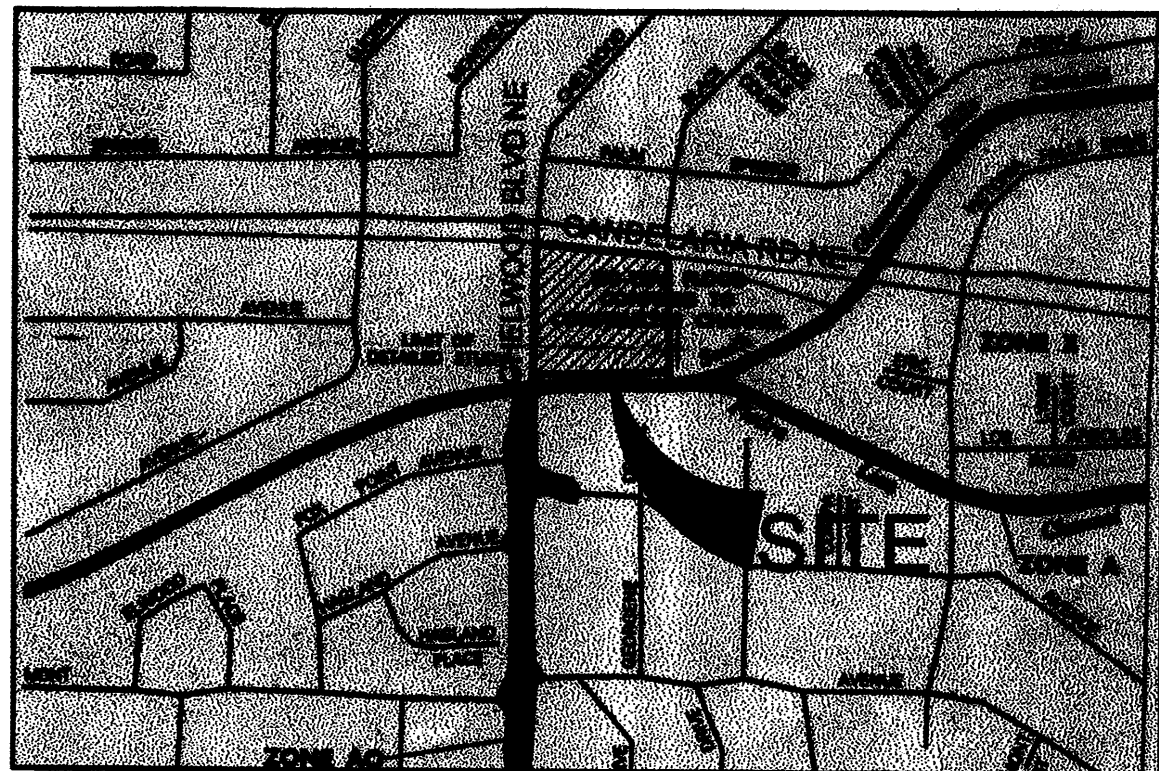
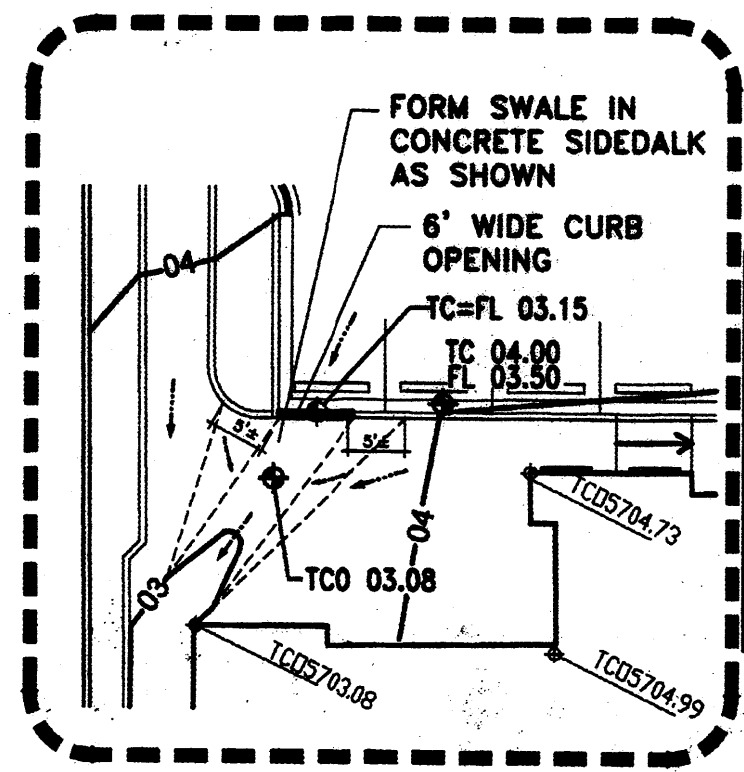




VICINITY MAP NTS H-22-Z



FIRM MAP NTS 35001C0357 D



DETAIL A NTS

LEGEND

	NEW CONCRETE PAVEMENT (PROPOSED)
	NEW ASPHALT PAVEMENT (PROPOSED)
	LANDSCAPING AREA
	PROPOSED BIKE RACK LOCATION
	CONCRETE WHEEL STOP
	HC ACCESSIBLE SIGN ON BLDG WALL
	BUILDING ENTRANCE
	EXISTING WATER LINE TO REMAIN
	EXISTING WATER METER TO REMAIN
	EXISTING WATER METER TO REMAIN
	PROPOSED WATER METER
	PROPOSED WATER LINE
	EXISTING SEWER LINE TO REMAIN
	EXISTING SEWER MANHOLE
	EXISTING SEWER CLEANOUT
	PROPOSED SEWER LINE
	EXISTING STORM SEWER LINE
	EXISTING STORM SEWER MANHOLE
	EXISTING STORM SEWER DROP INLET
	PROPOSED ELEV. CONTOUR
	EXISTING ELEV. CONTOUR TO REMAIN
	EXISTING ELEV. CONTOUR TO BE MODIFIED
	PROPOSED BUILDING FINISH FLOOR ELEV.
	FLOW DIRECTION
	ROOF FLOW DIRECTION

FIN. FLR 5094.00

0.3% SLOPE

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

1"=30'

DRAINAGE CERTIFICATION WITH VERIFICATION

I, CELIA S. TOMLINSON, NMPE 4895, OF THE FIRM RHOMBUS P.A., INC. HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 4/26/05. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPATION.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THE PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

CELIA S. TOMLINSON, PE
NO. 4895
5/28/2008

CELIA S. TOMLINSON, PE
NO. 4895
5/28/2008

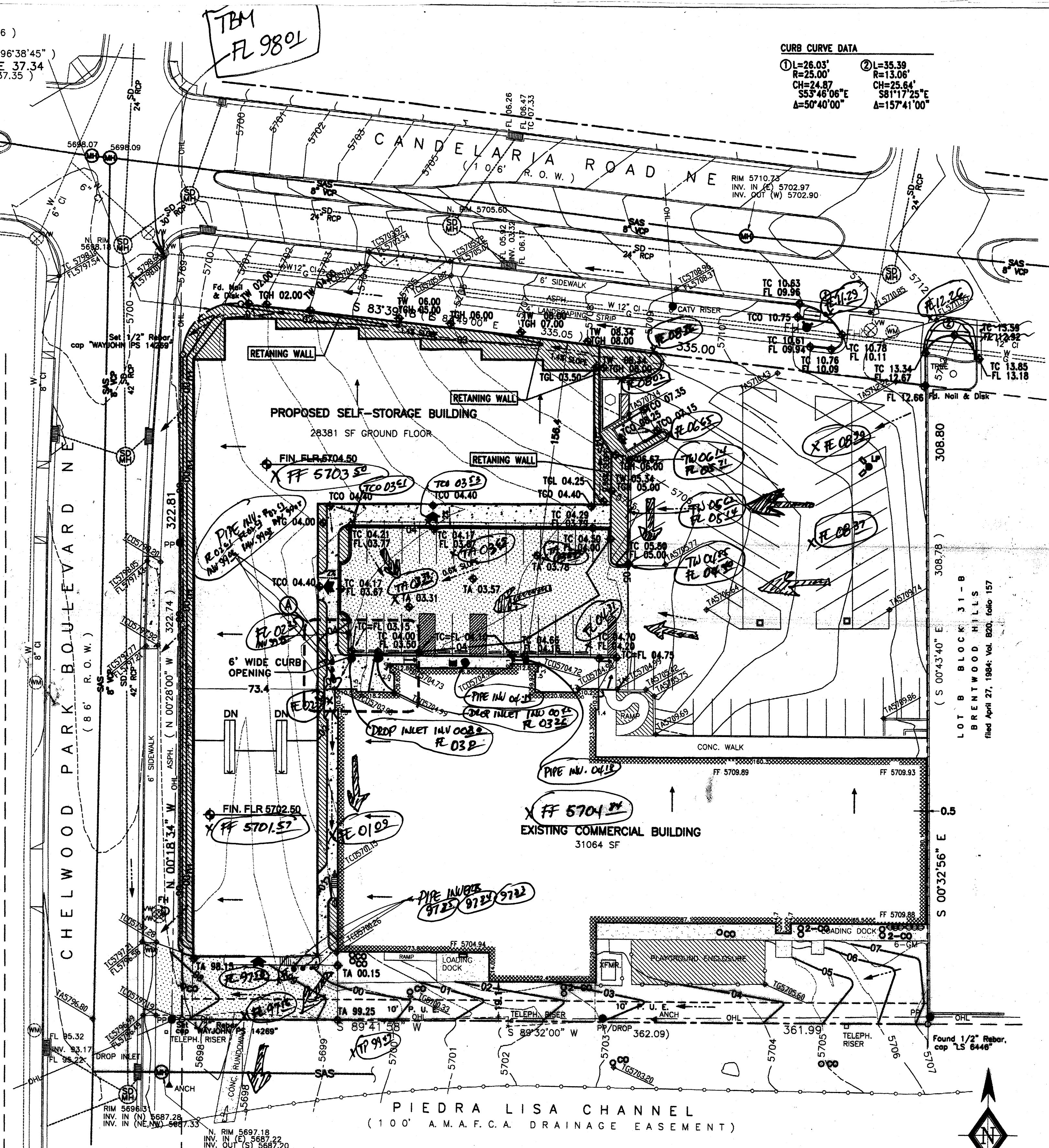
EXISTING TOP OF ASPHALT ELEVATION TO REMAIN
EXISTING TOP OF GRADE ELEVATION TO REMAIN
EXISTING TOP OF CONCRETE ELEVATION TO REMAIN
EXISTING TOP OF CURB ELEVATION TO REMAIN
EXISTING FLOWLINE ELEVATION TO REMAIN
PROPOSED TOP OF ASPHALT PAVEMENT SPOT ELEVATION
PROPOSED TOP OF CONCRETE ELEVATION
PROPOSED TOP OF WALL ELEVATION
PROPOSED TOP OF CURB ELEVATION
PROPOSED TOP OF GRADE ELEVATION, HIGHER SIDE OF RETAINING WALL
PROPOSED TOP OF GRADE ELEVATION, LOWER SIDE OF RETAINING WALL
AS-BUILT ELEVATION ROWLINE
AS-BUILT DIRECTION OF ROW
AS-BUILT ELEVATIONS TOP OF WALL

NOTE: THIS IS NOT A BOUNDARY SURVEY. PROPERTY CORNERS, BEARINGS AND DISTANCES SHOWN HEREON ARE FOR ORIENTATION PURPOSES ONLY.

NOTE: ADD 5700 FEET TO PROPOSED SPOT ELEVATIONS TO GET MEAN SEA LEVEL DATUM ELEVATIONS.

BENCHMARK:
ACS 11-G22
ELEVATION 5697.07
ACS BRASS TABLET STAMPED "11-G22 1979" SET FLUSH WITH THE GROUND

SITE PLAN

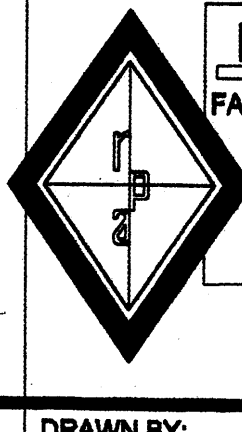
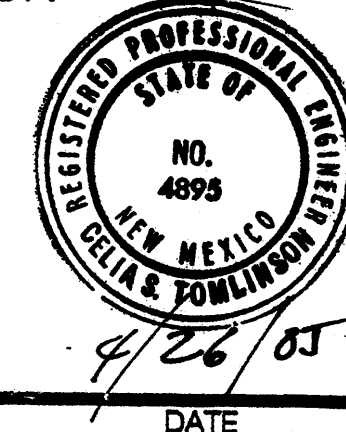


FOR GENERAL NOTES, NOTES TO CONTRACTOR AND RETAINING WALL DETAIL SEE SITE DEVELOPEMENT PLAN, SHEET C-1

ENGINEERS CERTIFICATION

I HEREBY CERTIFY THAT I HAVE PERSONALLY INSPECTED THE SITE AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE DATE OF THE TOPOGRAPHIC SURVEY (MARCH 21, 2005).

CELIA S. TOMLINSON, PE



RHOMBUS P.A., INC.
FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS
e-mail: rhombus@nmia.com
web site: www.RHOMBUSPA.COM
2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-8890 FAX (505) 881-8896

DRAWN BY: RG CHECKED BY: CT FIELD WORK BY: DATE: 4/28/2005

PROJECT TITLE:

GLOBAL STORAGE
SELF STORAGE BUILDING

12000 CANDELARIA RD NE ALBUQUERQUE NEW MEXICO

SHEET TITLE:

GRADING AND DRAINAGE PLAN

MAP NO: H-22-Z RHOMBUS JOB NO: 05-C2-15 SHEET C-2

DRAINAGE AND GRADING PLAN

FOR
LOTS A, BLOCK 31-B
BRENTWOOD HILLS SUBDIVISION
CITY OF ALBUQUERQUE, BERNALILLO COUNTY
NEW MEXICO

LEGAL DESCRIPTION

Lot A, Block 31B, Brentwood Hills Subdivision, City of Albuquerque, New Mexico.

FLOOD HAZARD ZONE

Lot A is located in Flood Hazard Zone X (i.e., Areas determined to be outside 500-year floodplain) designated on the Federal Emergency Management Agency's (FEMA's) Flood Insurance Rate Map Panel No. 35001C0357E (November 19, 2003).

DRAINAGE ANALYSIS

REFERENCE: City of Albuquerque, Development Process Manual -Vol. 2, Section 22.2 - Hydrology, January, 1993.

Principal Design Storm: 100-year 6-hour event

Precipitation Zone 4 (Table A-1)

Excess Precipitation (Table A-8):

E₁ = 0.80 in (Land Treatment 'A'), E₂ = 1.08 in (Land Treatment 'B'), E₃ = 1.46 in (Land Treatment 'C'), & E₄ = 2.64 in (Land Treatment 'D')

Peak Discharge (Table A-9):

Q_{P1} = 2.20 ft³/sec-acre (Land Treatment 'A')

Q_{P2} = 2.92 ft³/sec-acre (Land Treatment 'B')

Q_{P3} = 3.73 ft³/sec-acre (Land Treatment 'C')

Q_{P4} = 5.25 ft³/sec-acre (Land Treatment 'D')

On-Site 'Existing' Condition (Lot A):

Total Site Area = 118,987 ft² x 1 acre/43,560 ft² = 2.73 acres

7.38% Land Treatment 'C', 92.62% Land Treatment 'D' (Table A-4)

Weighted E = ((E₃ x 0.20 acres) + (E₄ x 2.53 acres))/2.73 acres = 2.55 in

V₃₆₀ = 2.55 in x 2.73 acres x 1 ft/12 in

= 0.581 acre-ft x 43,560 ft²/acre

= 25,313 ft³

Total Q_P = (Q_{P3} x 0.20 acres) + (Q_{P4} x 2.53 acres)

= 14.03 ft³/sec

On-Site 'Post Development' Condition (Lot A):

7.38% Land Treatment 'C', 92.62% Land Treatment 'D'

Weighted E = ((E₃ x 0.20 acres) + (E₄ x 2.53 acres))/2.73 acres = 2.55 in

V₃₆₀ = (2.55 in x 2.73 acres) x 1 ft/12 in

= 0.581 acre-ft x 43,560 ft²/acre

= 25,313 ft³

Total Q_P = (Q_{P3} x 0.20 acres) + (Q_{P4} x 2.53 acres)

= 14.03 ft³/sec

The On-Site 'Existing' and 'Post Development' Condition runoff volume and peak flow are the same.

Off-Site 'Existing' Condition:

Offsite Drainage Basin (Lot B, Block 31B and Lots 29C1 and 29C2, Block 29C, Brentwood Hills Addition).

Drainage Basin Area = 90,750 ft² x 1 acre/43,560 ft² = 2.08 acres

100% Land Treatment 'D'

E₄ = 2.64 in

V₃₆₀ = (2.64 in x 2.08 acres) x 1 ft/12 in

= 0.458 acre-ft x 43,560 ft²/acre

= 19,965 ft³

Total Q_P = (Q_{P4} x 2.08 acres)

= 10.94 ft³/sec

A recent site visit and inspection revealed that none of the runoff from the offsite drainage basin enters onto Lot A. All of the runoff from the offsite drainage basin is discharged directly to the Piedra Lisa Channel.

As demonstrated by the calculations presented herein, the proposed Lot A building addition will not increase the peak discharge from Lot A. The proposed building addition will not create an additional impact on the capacity of the Chelwood Park Boulevard storm drain and/or the Piedra Lisa Channel; therefore, free discharge from the subject site is recommended.

Free discharge of 'Post Development' runoff from Lot A to the Chelwood Park Boulevard storm drain and/or the Piedra Lisa Channel is acceptable for the following reasons:

1. There are no storm water ponds on the other development parcels within the off-site drainage basin.

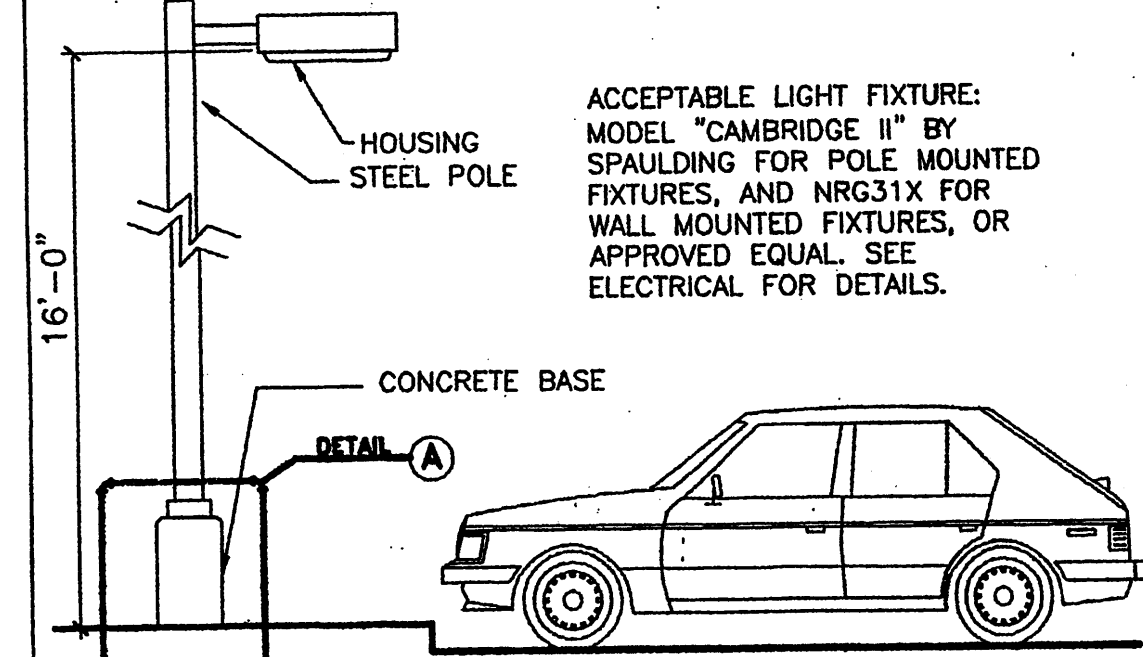
2. The 'Post Development' runoff from Lot A is a small percentage of the total runoff from the entire off-site drainage basin.

3. Existing curb and gutter in Candelaria Road and Chelwood Park Boulevard will intercept and convey nuisance flows to the Chelwood Park Boulevard storm drain and the Piedra Lisa Channel.

RECEIVED
JUN 12 2008
HYDROLOGY
SECTION

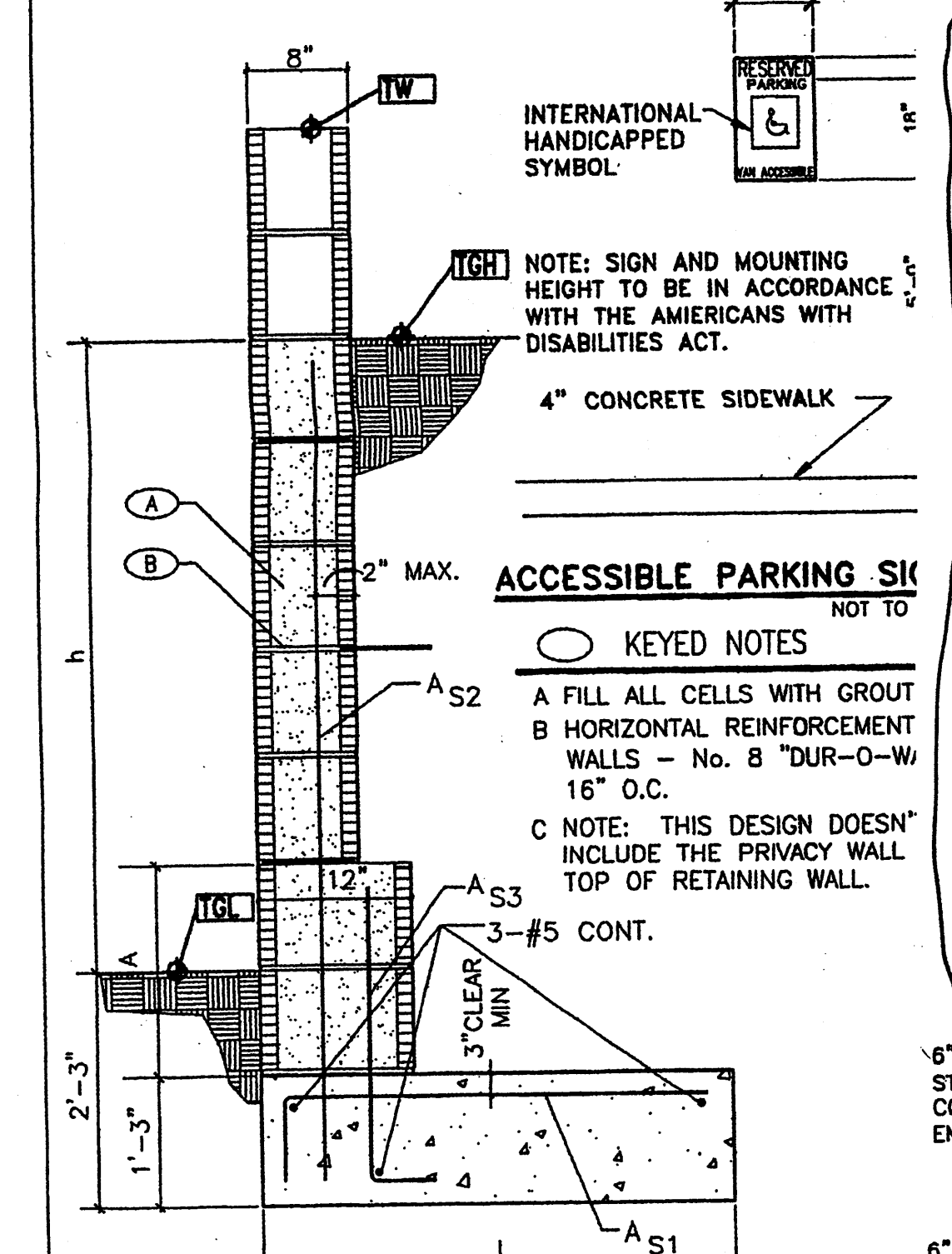


VICINITY MAP



LIGHT POLE ELEVATION

NOT TO SCALE



RETAINING WALL DETAIL

NOT TO SCALE

REINFORCEMENT TABLE

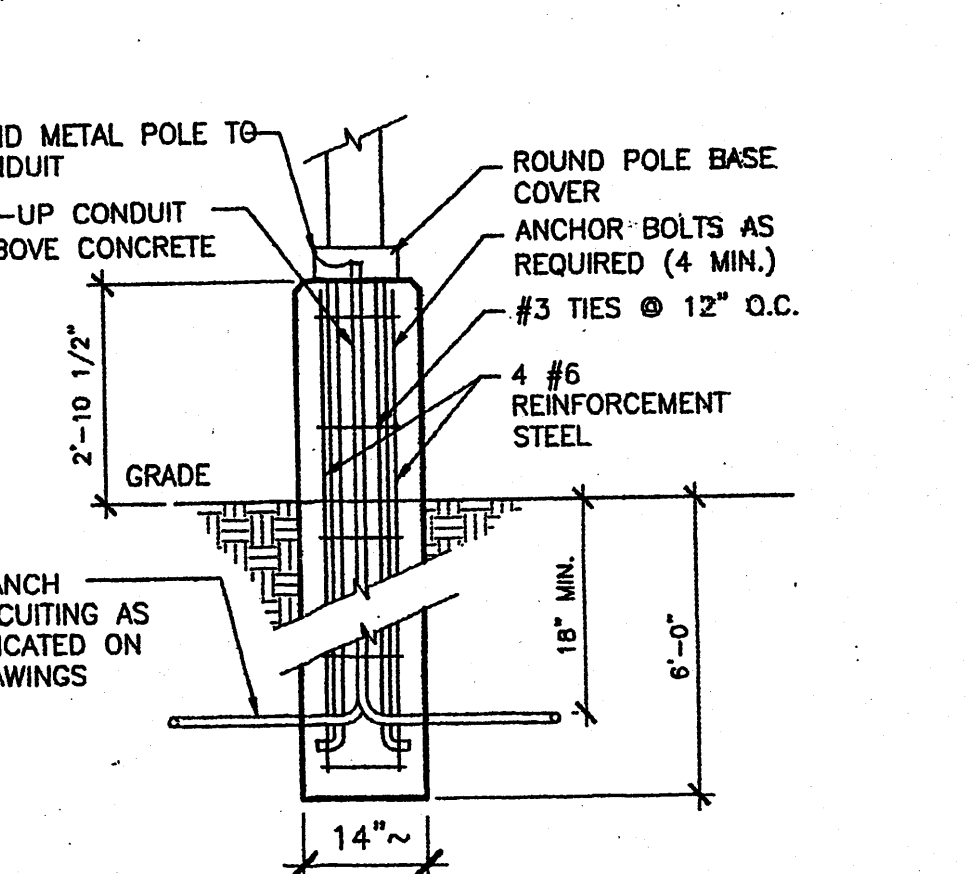
h	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"
l	2'-6"	3'-0"	3'-8"	4'-8"	6'-4"	8'-3"
A S1	#4@12"O.C.	#4@12"O.C.	#4@12"O.C.	#4@12"O.C.	#4@10"O.C.	#4@8"O.C.
A S2	#4@16"O.C.	#4@16"O.C.	#5@16"O.C.	#5@16"O.C.	#5@16"O.C.	#5@16"O.C.
A	1'-4"	2'-0"	2'-0"	3'-4"		
A S3			#5@16"O.C.	#4@8"O.C.	#5@8"O.C.	

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1986 EDITION, AS AMENDED WITH UPDATE NO. 7.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPES OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION THEREOF, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NEW MEXICO ONE CALL SYSTEM" PROCEDURES, OR OTHERWISE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

SITE LIGHTING NOTES:

- SITE AREA LIGHTING SHALL MOUNTED ON 16" HIGH STEEL POLES, PAINTED ACCORDING WITH OVERALL COLOR SCHEME OF THE PROJECT. SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL.
- SITE AREA LIGHTING SHALL NOT DIRECT LIGHT, EITHER DIRECTLY OR THROUGH REFLECTIVE DEVICE, UPON ADJACENT PROPERTY AND SHALL NOT HAVE A OFF-SITE LUMINESCENCE GREATER THAN TOTAL OF 1000 FOOT LAMBERTS, MEASURED FROM THE PROPERTY LINES.
- ALL SITE AREA LIGHTING FIXTURES SHALL USE LOW, HIGH PRESSURE SODIUM OR METAL HALIDE LAMPS. NO MERCURY VAPOR LIGHTS SHALL BE ALLOWED.
- MAXIMUM WATTAGE SHALL BE 250 WATT AND ALL LIGHTING UNITS SHALL BE HOODED OR SHIELDED AS TO DIRECT ALL LIGHTING DOWNWARDS.
- ALL SITE AREA LIGHTING FIXTURES SHALL BE DESIGNED AS A PART OF THE ARCHITECTURAL AND LANDSCAPE CHARACTER.



POLE BASE DETAIL

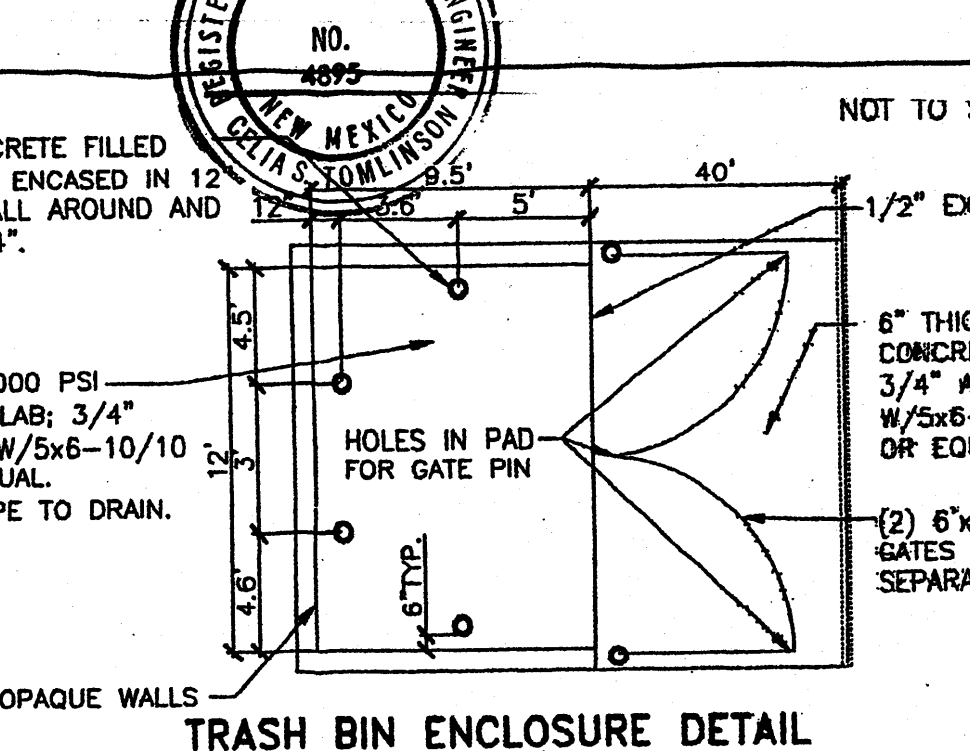
NOT TO SCALE

TRAFFIC CERTIFICATION

I, CELIA S. TOMLINSON, OF THE FIRM RHOMBUS P.A., INC. (RHOMBUS), HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE TCL APPROVED PLAN DATED 5-17-05 THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY CELIA TOMLINSON OF THE FIRM RHOMBUS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 6-28-08 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

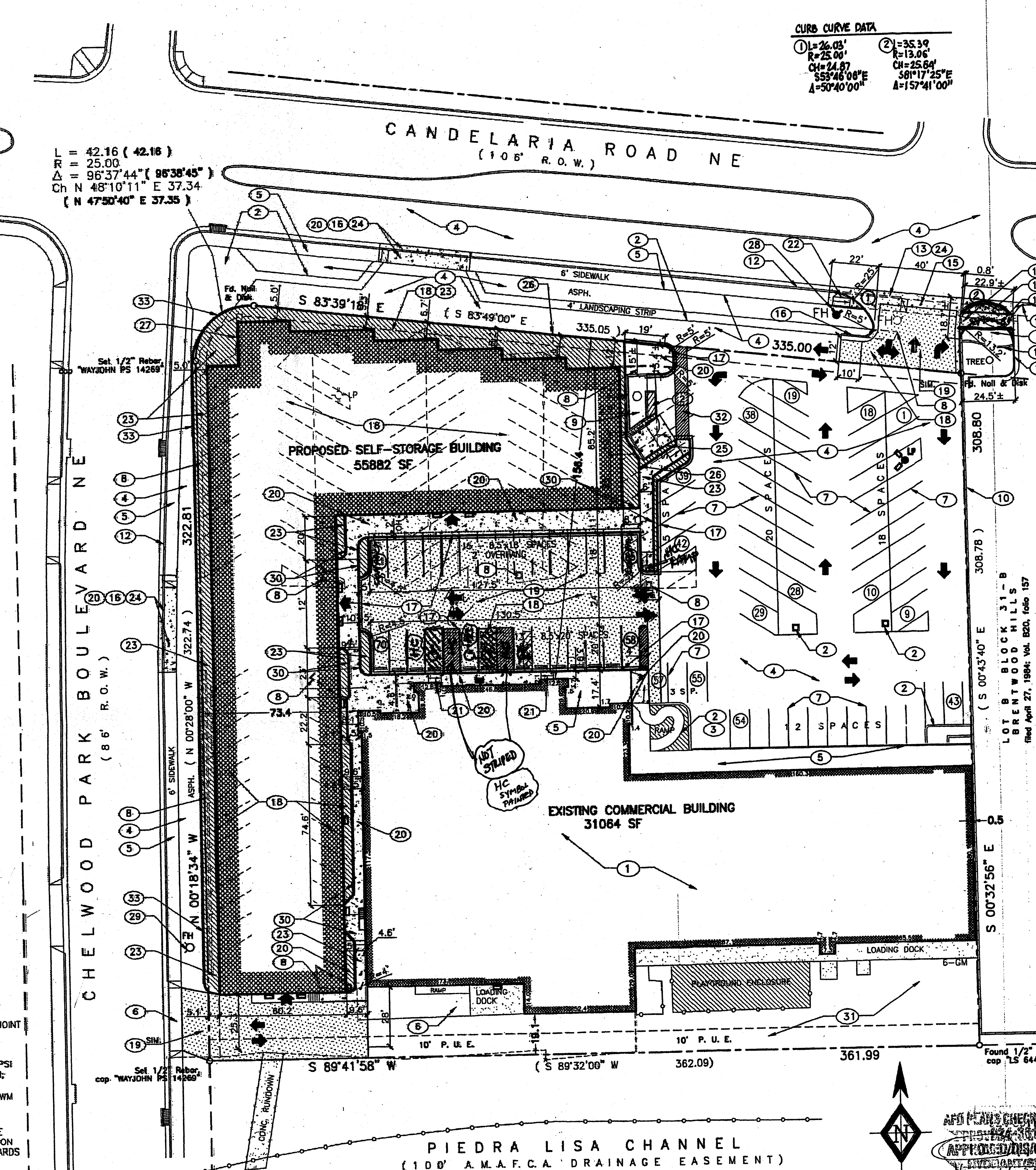
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE TRAFFIC ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

Celia S. Tomlinson, 6-30-2008
CELIA S. TOMLINSON, P.E.



TRASH BIN ENCLOSURE DETAIL

NOT TO SCALE



SITE DEVELOPMENT PLAN

NOT TO SCALE

LEGEND

- NEW CONCRETE PAVEMENT AREA
- NEW ASPHALT PAVEMENT AREA
- LANDSCAPING AREA
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN ON BLDG WALL
- EXISTING PLANTER TO BE DEMOLISHED
- EXISTING PARKING SPACE TO BE REMOVED
- EXISTING PARKING SPACE TO REMAIN, 4" WIDE WHITE SPACE MARKING
- NEW PARKING SPACE, 4" WIDE WHITE STRIPE SPACE MARKING
- HC SYMBOL PAVEMENT MARKING
- EXISTING LIGHT POLE TO BE DEMOLISHED
- INSTALL NEW LIGHT POLE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- INSTALL NEW BLDG WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- EXISTING FIRE HYDRANT TO BE RELOCATED
- RELOCATED FIRE HYDRANT
- EXISTING FIRE HYDRANT TO REMAIN
- TRAFFIC FLOW DIRECTION

- EXISTING LIGHT POLE TO BE DEMOLISHED
- INSTALL NEW LIGHT POLE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- INSTALL NEW BLDG WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- EXISTING FIRE HYDRANT TO BE RELOCATED
- RELOCATED FIRE HYDRANT
- EXISTING FIRE HYDRANT TO REMAIN
- TRAFFIC FLOW DIRECTION

LOT A BLOCK 31-B
AREA = 118988.67 sq. ft. = 2.7316 Acres

RHOMBUS P.A., INC.
FACILITIES ENGINEERS/ENVIRONMENTAL CONSULTANTS

2820 San Mateo NE Suite B
Albuquerque, NM 87110
TEL: (505) 881-8890 FAX: (505) 881-8896

DATE: 5/18/2005

PROJECT NUMBER
Application Number

THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVED BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED FEBRUARY 18, 2005 AND THE FINDING AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	Date
WATER UTILITY DEPARTMENT	Date
PARKS AND RECREATION DEPARTMENT	Date
CITY ENGINEER	Date
Michael Helton	5-17-05
SOLID WASTE MANAGEMENT	Date
DRB CHAIRPERSON, PLANNING DEPARTMENT	Date

KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING PLANTER/LANDSCAPING AREA TO REMAIN
- EXISTING CONCRETE HC RAMP TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE SIDEWALK/SLAB TO REMAIN
- EXISTING DRIVEPAD TO REMAIN
- EXISTING PARKING SPACES (PAINT ON ASPHALT PAVEMENT) TO REMAIN
- EXISTING PLANTER/LANDSCAPING AREA TO BE DEMOLISHED
- EXISTING CELL PHONE TOWER AND ENCLOSURE TO REMAIN
- EXISTING CMU/STUCCO RETAINING WALL TO REMAIN
- PORTION OF EXISTING CMU/STUCCO RETAINING WALL TO BE DEMOLISHED
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- PORTION OF EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED
- EXISTING CONCRETE VALLEY GUTTER TO REMAIN
- CONSTRUCT NEW VALLEY GUTTER PER COA STD DWG #2420
- CONSTRUCT NEW STANDARD CONCRETE CURB & GUTTER PER COA STD DWG #2415A. MATCH EXISTING CURB AND GUTTER ELEVATIONS, ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW MEDIAN CONCRETE CURB & GUTTER PER COA STD DWG #2415B
- EXISTING ASPHALT PAVEMENT TO BE DEMOLISHED
- INSTALL NEW ASPHALT PAVEMENT PER COA STD DWG #2405A. MATCH EXISTING TO REMAIN ASPHALT AND CONCRETE PAVEMENT; ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW CONCRETE SIDEWALK PER COA STD DWG #2430. MATCH EXISTING TO REMAIN ASPHALT AND CONCRETE PAVEMENT; ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW CONCRETE HC RAMP
- CONSTRUCT NEW UNIDIRECTIONAL CONCRETE HC RAMP PER COA STD DWG #2426
- NEW PLANTER/LANDSCAPING AREA
- EXISTING DRIVEPAD TO BE DEMOLISHED
- CONSTRUCT NEW CMU BLOCK TRASH BIN ENCLOSURE PER COA SOLID WASTE DEPARTMENT SPECIFICATIONS
- CONSTRUCT NEW CMU BLOCK RETAINING WALL, SEE DETAIL THIS SHEET
- EXISTING SIGN "CHELWOOD SQUARE" TO BE RELOCATED
- RELOCATED EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT TO REMAIN
- CONSTRUCT NEW HEADER CURB PER COA STD DWG #2415B
- EXISTING DIRT/GRAVEL TO REMAIN
- 4" WIDE STRIPES PAINTED ON ASPHALT
- 6" CONCRETE CONTAINMENT WALL, SEE DETAIL THIS SHEET

PARKING CALCULATIONS:

ACTUAL SQ. FT.	LEASABLE
55882	40000
17831	12000
13233	8400
86946	61400

PARKING REQ.
RETAIL = 1/200
STORAGE = 1/2000
BIKE REQ. = 1/20
HANDICAP REQ. = 4/200

PROJECT TITLE:
GLOBAL STORAGE SELF STORAGE BUILDING

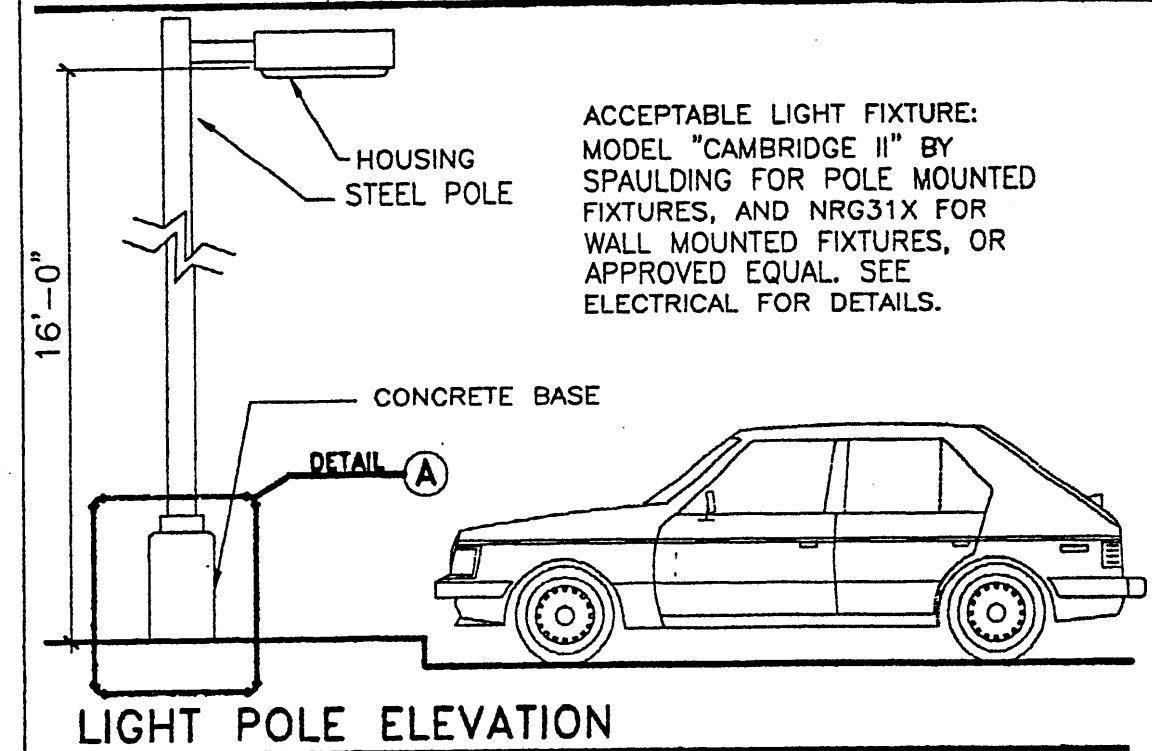
12000 CANDELARIA RD NE ALBUQUERQUE NEW MEXICO

SHEET TITLE:
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TRAFFIC CIRCULATION LAYOUT

MAP NO: H-22-Z RHOMBUS JOB NO: 05-C2-15 SHEET C-1

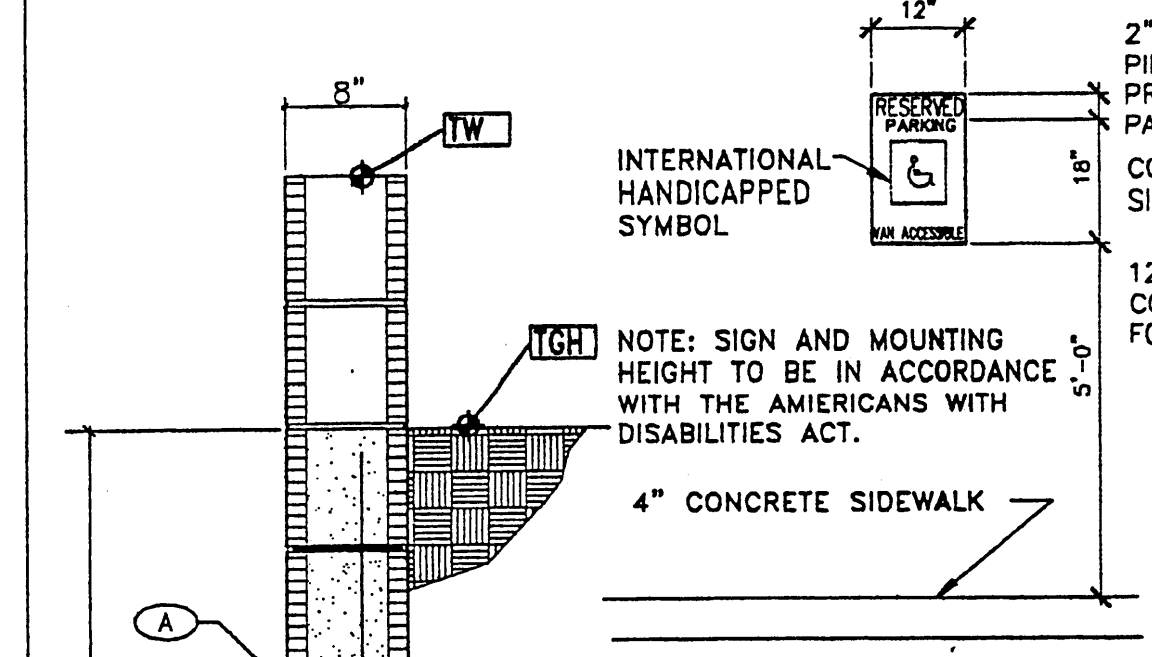


VICINITY MAP



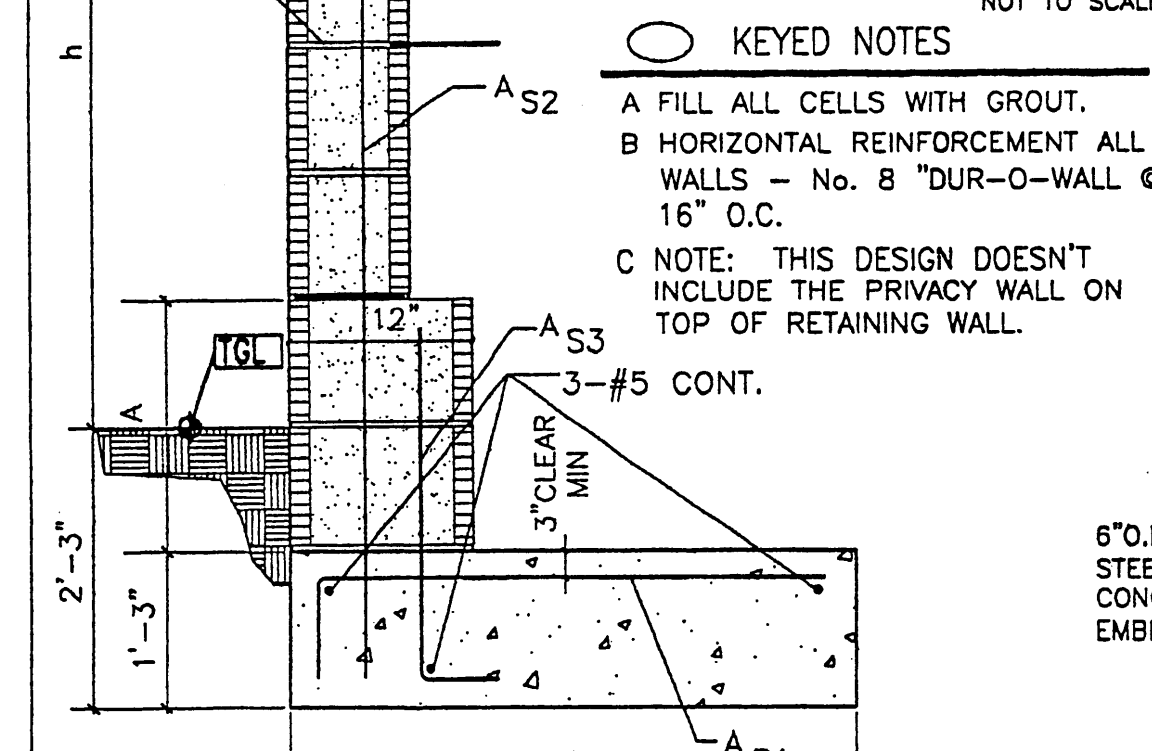
LIGHT POLE ELEVATION

NOT TO SCALE



ACCESSIBLE PARKING SIGN

NOT TO SCALE



RETAINING WALL DETAIL

NOT TO SCALE

REINFORCEMENT TABLE

h	3'-0"	4'-0"	5'-0"	6'-0"	7'-0"	8'-0"
1	2'-6"	3'-0"	3'-8"	4'-8"	5'-8"	6'-4"
AS1	#4@12"O.C.	#4@12"O.C.	#4@12"O.C.	#4@12"O.C.	#4@10"O.C.	#4@8"O.C.
AS2	#4@16"O.C.	#4@16"O.C.	#5@16"O.C.	#5@16"O.C.	#5@16"O.C.	#5@16"O.C.
A	1'-4"	2'-0"	3'-4"	4'-0"	5'-0"	6'-0"
AS3	#5@16"O.C.	#4@8"O.C.	#5@8"O.C.			

REINFORCEMENT TABLE

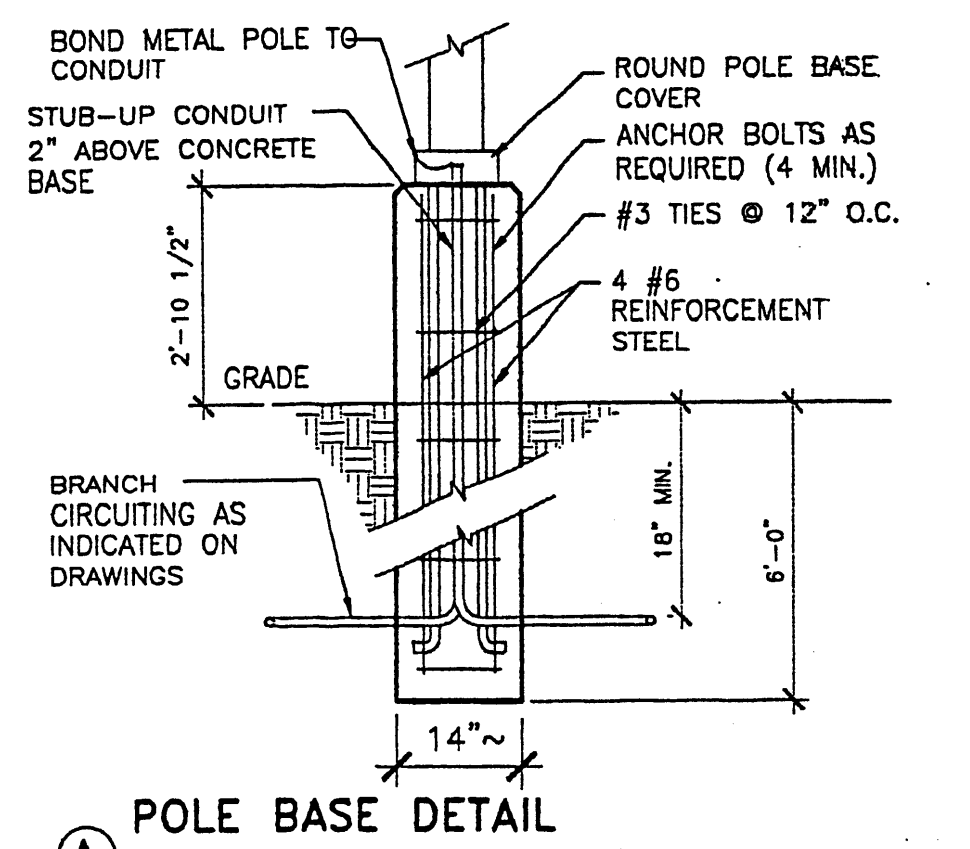
NOT TO SCALE

NOTICE TO CONTRACTOR

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN STREET RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION 1988 EDITION, AS AMENDED WITH UPDATE NO. 7.
- THE ENGINEER HAS UNDERTAKEN NO FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPES OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO, AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFOR. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES, IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "NEW MEXICO ONE CALL SYSTEM" PROCEDURES, OR OTHERWISE.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- BACKFILL CONSTRUCTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
- WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
- CONTRACTOR IS RESPONSIBLE FOR KEEPING RUNOFF ON SITE DURING CONSTRUCTION AND CLEANING UP SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY AND ADJOINING PROPERTIES AFTER CONSTRUCTION.

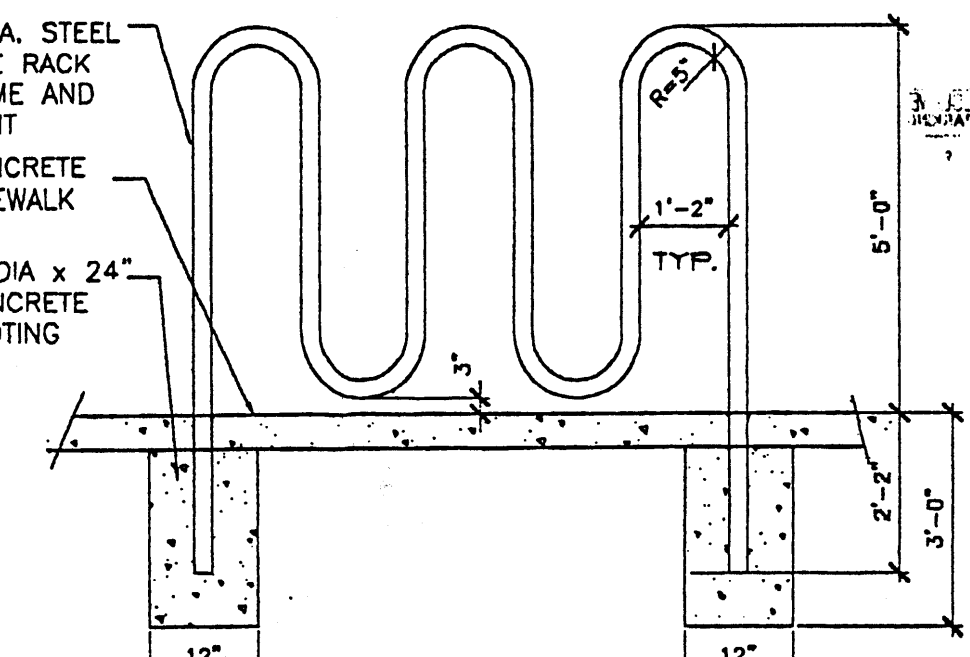
SITE LIGHTING NOTES:

- SITE AREA LIGHTING SHALL MOUNTED ON 16' HIGH STEEL POLES, PAINTED ACCORDING WITH OVERALL COLOR SCHEME OF THE PROJECT. SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL.
- SITE AREA LIGHTING SHALL NOT DIRECT LIGHT, EITHER DIRECTLY OR THROUGH REFLECTIVE DEVICE, UPON ADJACENT PROPERTY AND SHALL NOT HAVE A OFF-SITE LUMINESCENCE GREATER THAN TOTAL OF 1000 FOOT LAMBERTS, MEASURED FROM THE PROPERTY LINES.
- ALL SITE AREA LIGHTING FIXTURES SHALL USE LOW, HIGH PRESSURE SODIUM OR METAL HALIDE LAMPS. NO MERCURY VAPOR LIGHTS SHALL BE ALLOWED.
- MAXIMUM WATTAGE SHALL BE 250 WATT AND ALL LIGHTING UNITS SHALL BE HOODED OR SHIELDED AS TO DIRECT ALL LIGHTING DOWNWARDS.
- ALL SITE AREA LIGHTING FIXTURES SHALL BE DESIGNED AS A PART OF THE ARCHITECTURAL AND LANDSCAPE CHARACTER.



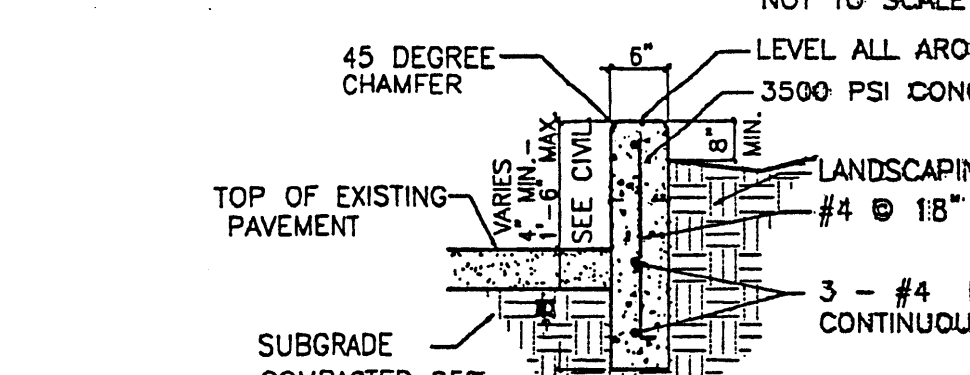
POLE BASE DETAIL

NOT TO SCALE



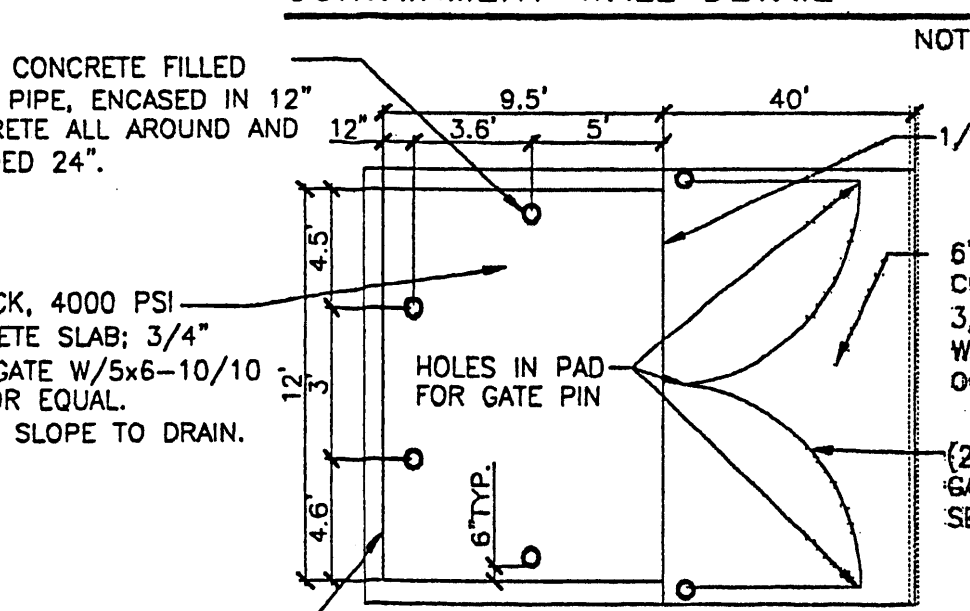
BICYCLE RACK

NOT TO SCALE



CONTAINMENT WALL DETAIL

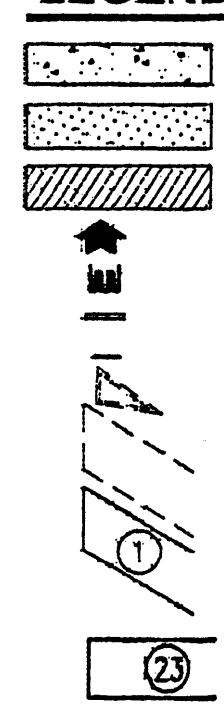
NOT TO SCALE



TRASH BIN ENCLOSURE DETAIL

NOT TO SCALE

LEGEND



- NEW CONCRETE PAVEMENT AREA
- NEW ASPHALT PAVEMENT AREA
- LANDSCAPING AREA
- ENTRY DOOR
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN ON BLDG WALL
- EXISTING PLANTER TO BE DEMOLISHED
- EXISTING PARKING SPACE TO BE REMOVED
- EXISTING PARKING SPACE TO REMAIN, 4' WIDE WHITE SPACE MARKING
- NEW PARKING SPACE, 4' WIDE WHITE STRIPE
- HC SYMBOL PAVEMENT MARKING
- EXISTING LIGHT POLE TO BE DEMOLISHED
- INSTALL NEW LIGHT POLE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- INSTALL NEW BLDG WALL MOUNTED LIGHT FIXTURE, SEE ELECTRICAL SITE PLAN FOR LOCATION(S)
- EXISTING FIRE HYDRANT TO BE RELOCATED
- RELOCATED FIRE HYDRANT
- EXISTING FIRE HYDRANT TO REMAIN
- TRAFFIC FLOW DIRECTION PAINTED ON ASPHALT

SITE DEVELOPMENT PLAN

NOT TO SCALE

CELL TOWER

1. NAME OF LESSEE: GLOBAL TOWERS

2. TERMINATION DATE OF ALL EXISTING LEASE AGREEMENTS: 2007 (JUNE 30)

3. THE EXISTING ON-PREMISE CELLULAR TRANSMISSION TOWER SHALL EITHER BE REMOVED OR BROUGHT INTO COMPLIANCE WITH THE CONDITIONS STIPULATED BY THE ENVIRONMENTAL PLANNING COMMISSION FOR THE CITY OF ALBUQUERQUE ON FEBRUARY 17, 2005 UPON THE TERMINATION OF ANY LEASES ACTIVE AT TIME OF FINAL DEVELOPMENT BOARD APPROVAL, OR ANYTIME EXTENSION THEREOF.

CURB CURVE DATA

① L=26.03' R=25.00' CH=24.97' S33°46'08"E Δ=50°40'00"

② L=35.39' R=13.06' CH=25.64' S81°17'25"E Δ=157°41'00"

L = 42.16 (42.16)

R = 25.00

Δ = 96°37'44" (96°38'45")

Ch N 48°10'11" E 37.34

(N 47°50'40" E 37.35)

CANDELARIA ROAD NE

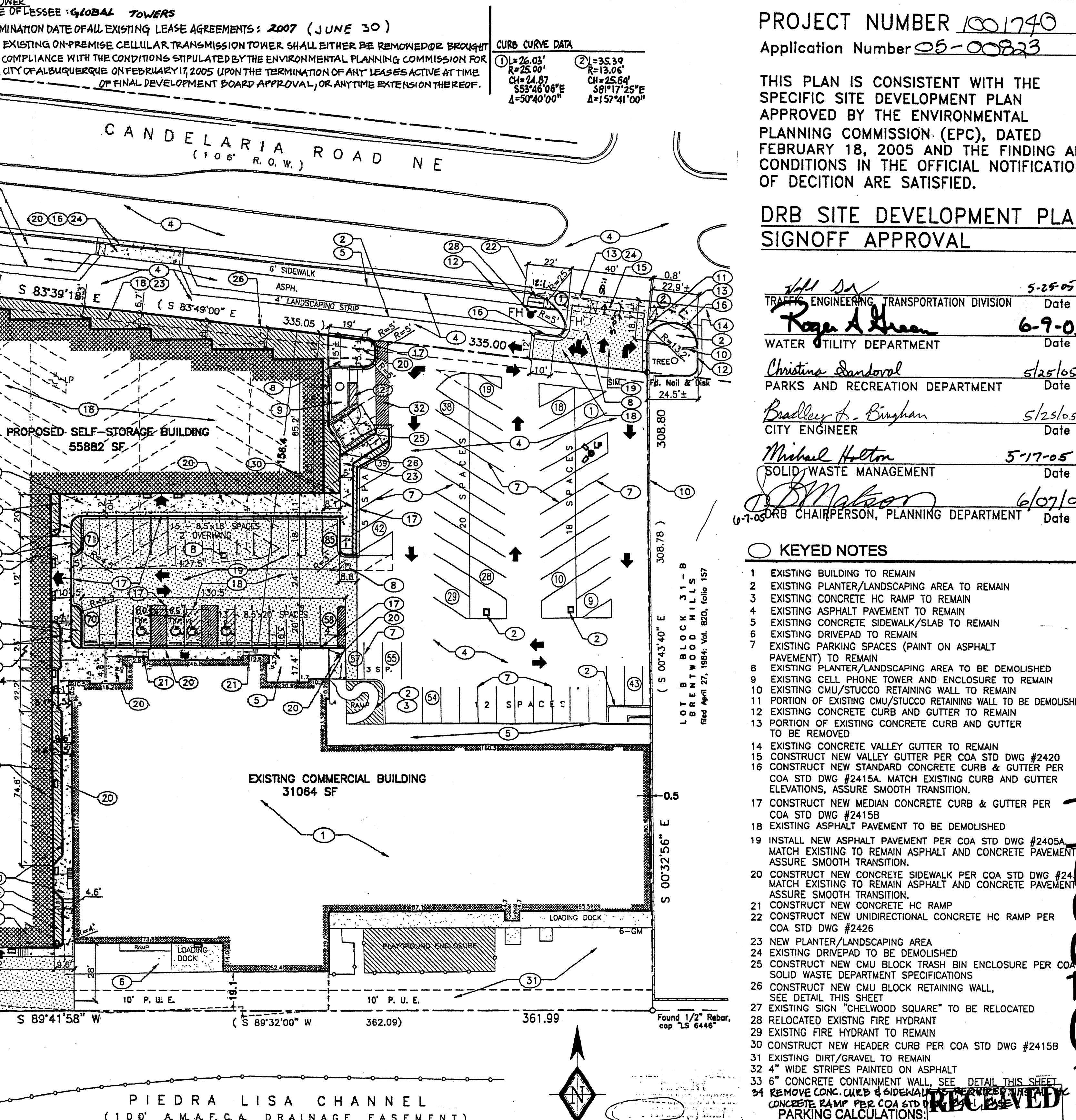
(106' R.O.W.)

CHELWOOD PARK BOULEVARD NE

(86' R.O.W.)

PIEDRA LISA CHANNEL

(100' A.M.A.F.C.A. DRAINAGE EASEMENT)



KEYED NOTES

- EXISTING BUILDING TO REMAIN
- EXISTING PLANTER/LANDSCAPING AREA TO REMAIN
- EXISTING CONCRETE HC RAMP TO REMAIN
- EXISTING ASPHALT PAVEMENT TO REMAIN
- EXISTING CONCRETE SIDEWALK/SLAB TO REMAIN
- EXISTING DRIVEPAD TO REMAIN
- EXISTING PARKING SPACES (PAINT ON ASPHALT PAVEMENT) TO REMAIN
- EXISTING PLANTER/LANDSCAPING AREA TO BE DEMOLISHED
- EXISTING CELL PHONE TOWER AND ENCLOSURE TO REMAIN
- EXISTING CMU/STUCCO RETAINING WALL TO REMAIN
- PORTION OF EXISTING CMU/STUCCO RETAINING WALL TO BE DEMOLISHED
- EXISTING CONCRETE CURB AND GUTTER TO REMAIN
- PORTION OF EXISTING CONCRETE CURB AND GUTTER TO BE REMOVED
- EXISTING CONCRETE VALLEY GUTTER TO REMAIN
- CONSTRUCT NEW VALLEY GUTTER PER COA STD DWG #2420
- CONSTRUCT NEW STANDARD CONCRETE CURB & GUTTER PER COA STD DWG #2415A. MATCH EXISTING CURB AND GUTTER ELEVATIONS, ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW MEDIAN CONCRETE CURB & GUTTER PER COA STD DWG #2415B
- EXISTING ASPHALT PAVEMENT TO BE DEMOLISHED
- INSTALL NEW ASPHALT PAVEMENT PER COA STD DWG #2405A. MATCH EXISTING TO REMAIN ASPHALT AND CONCRETE PAVEMENT. ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW CONCRETE SIDEWALK PER COA STD DWG #2410. MATCH EXISTING TO REMAIN ASPHALT AND CONCRETE PAVEMENT. ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW CONCRETE HC RAMP
- CONSTRUCT NEW UNIDIRECTIONAL CONCRETE HC RAMP PER COA STD DWG #2426
- NEW PLANTER/LANDSCAPING AREA
- EXISTING DRIVEPAD TO BE DEMOLISHED
- CONSTRUCT NEW CMU BLOCK TRASH BIN ENCLOSURE PER COA STD DWG #2415B. MATCH EXISTING TO REMAIN ASPHALT AND CONCRETE PAVEMENT. ASSURE SMOOTH TRANSITION.
- CONSTRUCT NEW CMU BLOCK RETAINING WALL, SEE DETAIL THIS SHEET
- EXISTING SIGN "CHELWOOD SQUARE" TO BE RELOCATED
- RELOCATED EXISTING FIRE HYDRANT
- EXISTING FIRE HYDRANT TO REMAIN
- CONSTRUCT NEW HEADER CURB PER COA STD DWG #2415B
- EXISTING DIRT/GRAVEL TO REMAIN
- 4" WIDE STRIPES PAINTED ON ASPHALT
- 6" CONCRETE CONTAINMENT WALL, SEE DETAIL THIS SHEET
- REMOVE CONC. CURB & SIDEWALK, SEE DETAIL THIS SHEET

PARKING CALCULATIONS:

ACTUAL SQ. FT.	LEASABLE	PROVIDED
55882	40000	RETAIL: 47
17831	12000	STORAGE: 26
13233	9400	BIKE: 2
86946	61400	HANDICAP: 4
		TOTAL REQUIRED: 73
		SPACES PROVIDED: 85

LOT A BLOCK 31-B
AREA = 118988.67 sq. ft. = 2.7316 Acres

RHOMBUS P.A., INC.
FACILITIES ENGINEERS • ENVIRONMENTAL CONSULTANTS

2620 San Mateo NE Suite B Albuquerque, NM 87110
TEL. (505) 881-6890 FAX (505) 881-6896

PROJECT TITLE: GLOBAL STORAGE SELF STORAGE BUILDING

12000 CANDELARIA RD NE ALBUQUERQUE NEW MEXICO

SHEET TITLE: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT TRAFFIC CIRCULATION LAYOUT

MAP NO: H-22-Z RHOMBUS JOB NO: 05-C2-15 SHEET C-1

DATE: 5/16/2005

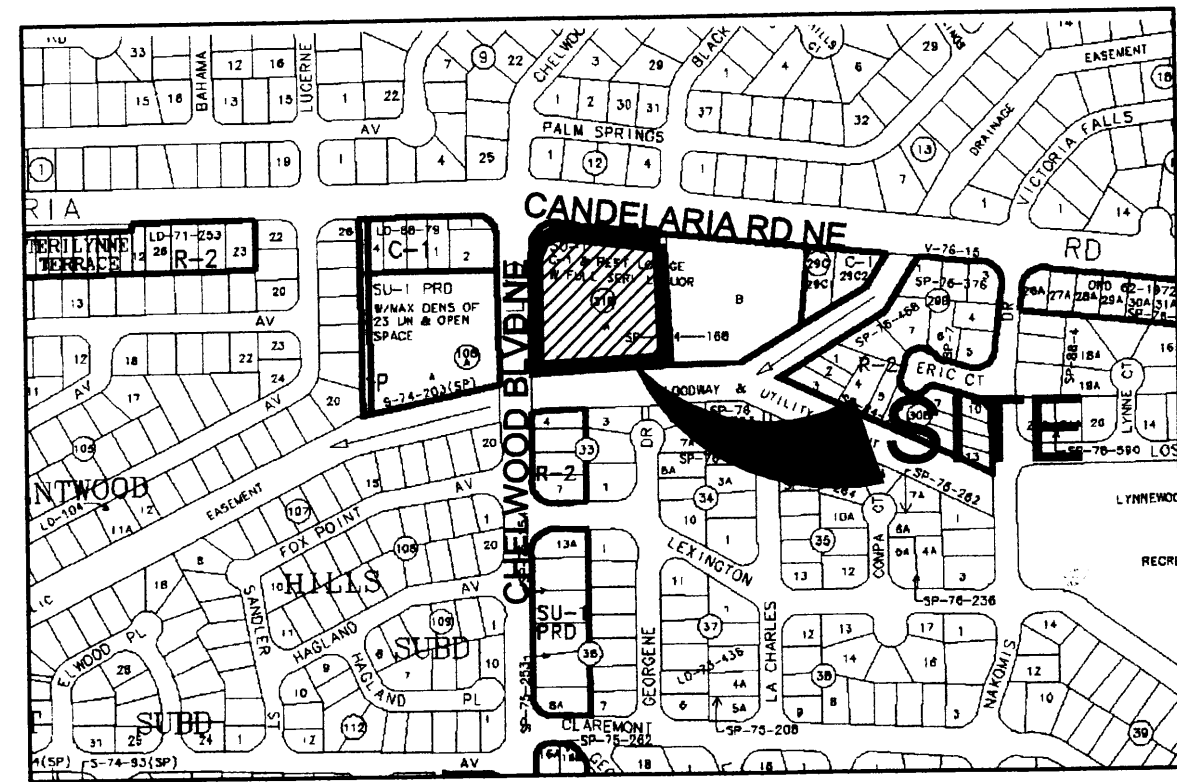
FIELD WORK BY: WEYJOHN SURVEYING INC.

CHECKED BY: CT

DRAWN BY: RG

RECEIVED

PROJECT # 1001740



VICINITY MAP H-22-Z
NTS

LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT PAVEMENT
- LANDSCAPING AREA
- PROPOSED BIKE RACK LOCATION
- CONCRETE WHEEL STOP
- HC ACCESSIBLE SIGN ON BLDG WALL
- BUILDING ENTRANCE
- EXISTING WATER LINE TO REMAIN
- EXISTING WATER METER TO REMAIN
- EXISTING WATER METER TO REMAIN
- EXISTING SEWER LINE TO REMAIN
- EXISTING SEWER MANHOLE
- EXISTING SEWER CLEANOUT
- EXISTING STORM SEWER LINE
- EXISTING STORM SEWER MANHOLE
- EXISTING STORM SEWER DROP INLET
- PROPOSED ELEV. CONTOUR
- EXISTING ELEV. CONTOUR TO REMAIN
- EXIST. ELEV. CONTOUR TO BE MODIFIED
- PROPOSED BLDG FINISH FLOOR ELEV.
- FLOW DIRECTION
- ROOF FLOW DIRECTION
- EXISTING TOP OF ASPHALT ELEVATION TO REMAIN
- EXISTING TOP OF GRADE ELEVATION TO REMAIN
- EXISTING TOP OF CONCRETE ELEVATION TO REMAIN
- EXISTING TOP OF CURB ELEVATION TO REMAIN
- EXISTING FLOWLINE ELEVATION TO REMAIN
- PROPOSED TOP OF ASPHALT PAVEMENT SPOT ELEVATION
- PROPOSED TOP OF CONCRETE ELEVATION
- PROPOSED TOP OF WALL ELEVATION
- PROPOSED TOP OF CURB ELEVATION
- PROPOSED TOP OF GRADE ELEVATION, HIGHER SIDE OF RETAINING WALL
- PROPOSED TOP OF GRADE ELEVATION, LOWER SIDE OF RETAINING WALL

FIN. FLR 5094.00

0.5% SLOPE

12/19/24

12/19/25

12/19/26

12/19/27

12/19/28

12/19/29

12/19/30

12/19/31

12/19/32

12/19/33

12/19/34

12/19/35

12/19/36

12/19/37

12/19/38

12/19/39

12/19/40

12/19/41

12/19/42

12/19/43

12/19/44

12/19/45

12/19/46

12/19/47

12/19/48

12/19/49

12/19/50

12/19/51

12/19/52

12/19/53

12/19/54

12/19/55

12/19/56

12/19/57

12/19/58

12/19/59

12/19/60

12/19/61

12/19/62

12/19/63

12/19/64

12/19/65

12/19/66

12/19/67

12/19/68

12/19/69

12/19/70

12/19/71

12/19/72

12/19/73

12/19/74

12/19/75

12/19/76

12/19/77

12/19/78

12/19/79

12/19/80

12/19/81

12/19/82

12/19/83

12/19/84

12/19/85

12/19/86

12/19/87

12/19/88

12/19/89

12/19/90

12/19/91

12/19/92

12/19/93

12/19/94

12/19/95

12/19/96

12/19/97

12/19/98

12/19/99

12/19/100

12/19/101

12/19/102

12/19/103

12/19/104

12/19/105

12/19/106

12/19/107

12/19/108

12/19/109

12/19/110

12/19/111

12/19/112

12/19/113

12/19/114

12/19/115

12/19/116

12/19/117

12/19/118

12/19/119

12/19/120

12/19/121

12/19/122

12/19/123

12/19/124

12/19/125

12/19/126

12/19/127

12/19/128

12/19/129

12/19/130

12/19/131

12/19/132

12/19/133

12/19/134

12/19/135

12/19/136

12/19/137

12/19/138

12/19/139

12/19/140

12/19/141

12/19/142

12/19/143

12/19/144

12/19/145

12/19/146

12/19/147

12/19/148

12/19/149

12/19/150

12/19/151

12/19/152

12/19/153

12/19/154

12/19/155

12/19/156

12/19/157

12/19/158

12/19/159

12/19/160

12/19/161

12/19/162

12/19/163

12/19/164

12/19/165

12/19/166

12/19/167

12/19/168

12/19/169

12/19/170

12/19/171

12/19/172

12/19/173

12/19/174

12/19/175

12/19/176

12/19/177

12/19/178

12/19/179

12/19/180

12/19/181

12/19/182

12/19/183

12/19/184

12/19/185

12/19/186

12/19/187

12/19/188

12/19/189

12/19/190

12/19/191

12/19/192

12/19/193

12/19/194

12/19/195

12/19/196

12/19/197

12/19/198

12/19/199

12/19/200

12/19/201

12/19/202

12/19/203

12/19/204

12/19/205

12/19/206

12/19/207

12/19/208

12/19/209

12/19/210

12/19/211

12/19/212

12/19/213

12/19/214

12/19/215

12/19/216

12/19/217

12/19/218

12/19/219

12/19/220

12/19/221

12/19/222

12/19/223

12/19/224

12/19/225

12/19/226

12/19/227

12/19/228

12/19/229

12/19/230

12/19/231

12/19/232

12/19/233

12/19/234

12/19/235

12/19/236

12/19/237

12/19/238

12/19/239

12/19/240

12/19/241

12/19/242

12/19/243

12/19/244

12/19/245

12/19/246

12/19/247

12/19/248

12/19/249

12/19/250

12/19/251

12/19/252

12/19/253

12/19/254

12/19/255

12/19/256

12/19/257

12/19/258

12/19/259

12/19/260

12/19/261

12/19/262

12/19/263

12/19/264

12/19/265

12/19/266

12/19/267

12/19/268

12/19/269

12/19/270

12/19/271

12/19/272

12/19/273

12/19/274

12/19/275

12/19/276

12/19/277

12/19/278