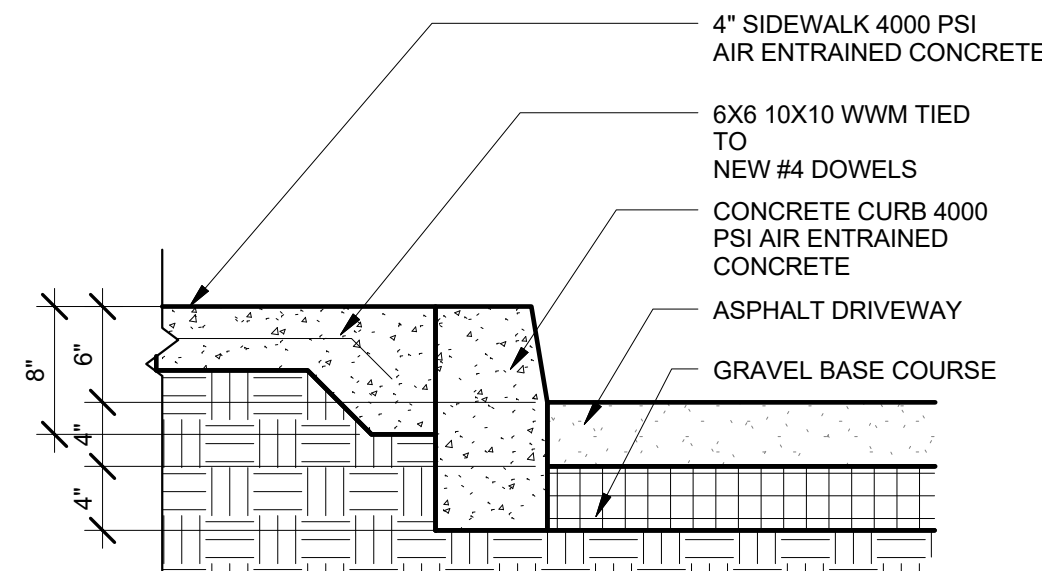
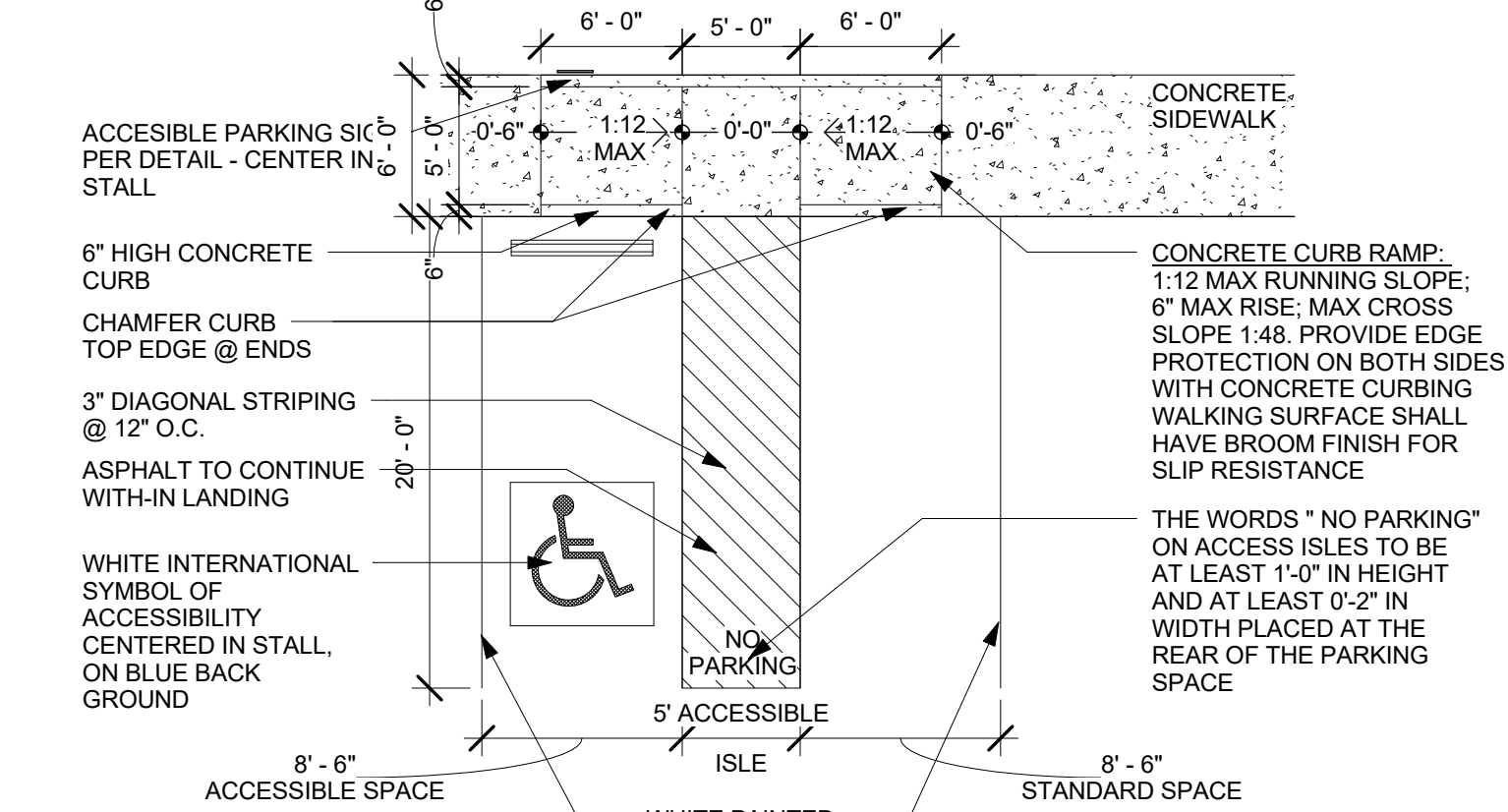


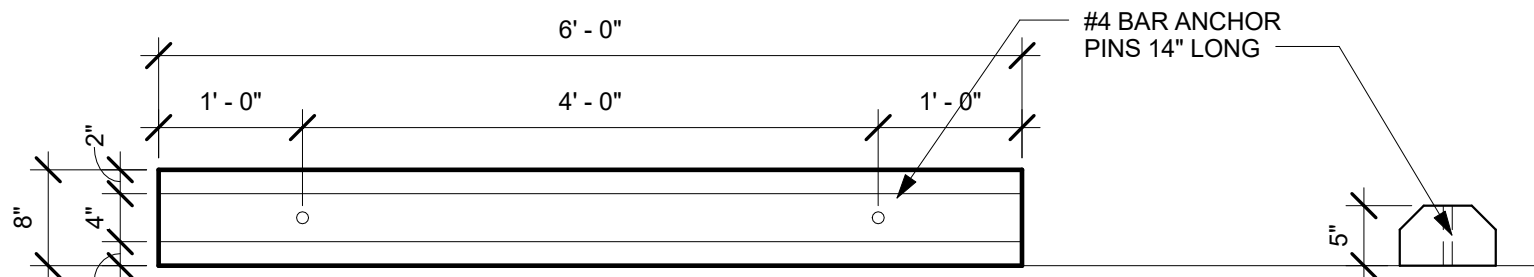
5 Trash Enclosure Gate Elevation
3/8" = 1'-0"



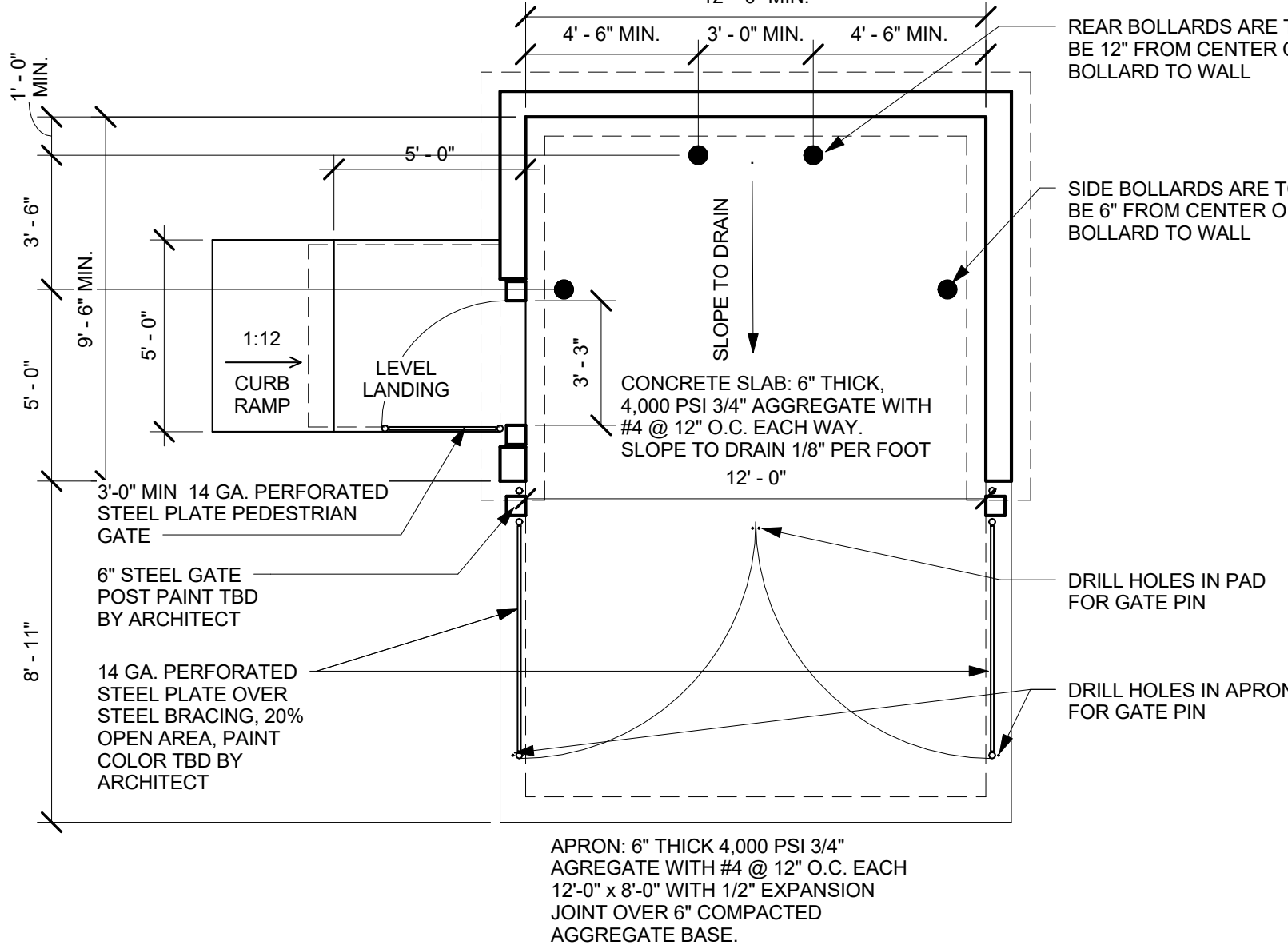
9 Curb Section Detail
1" = 1'-0"



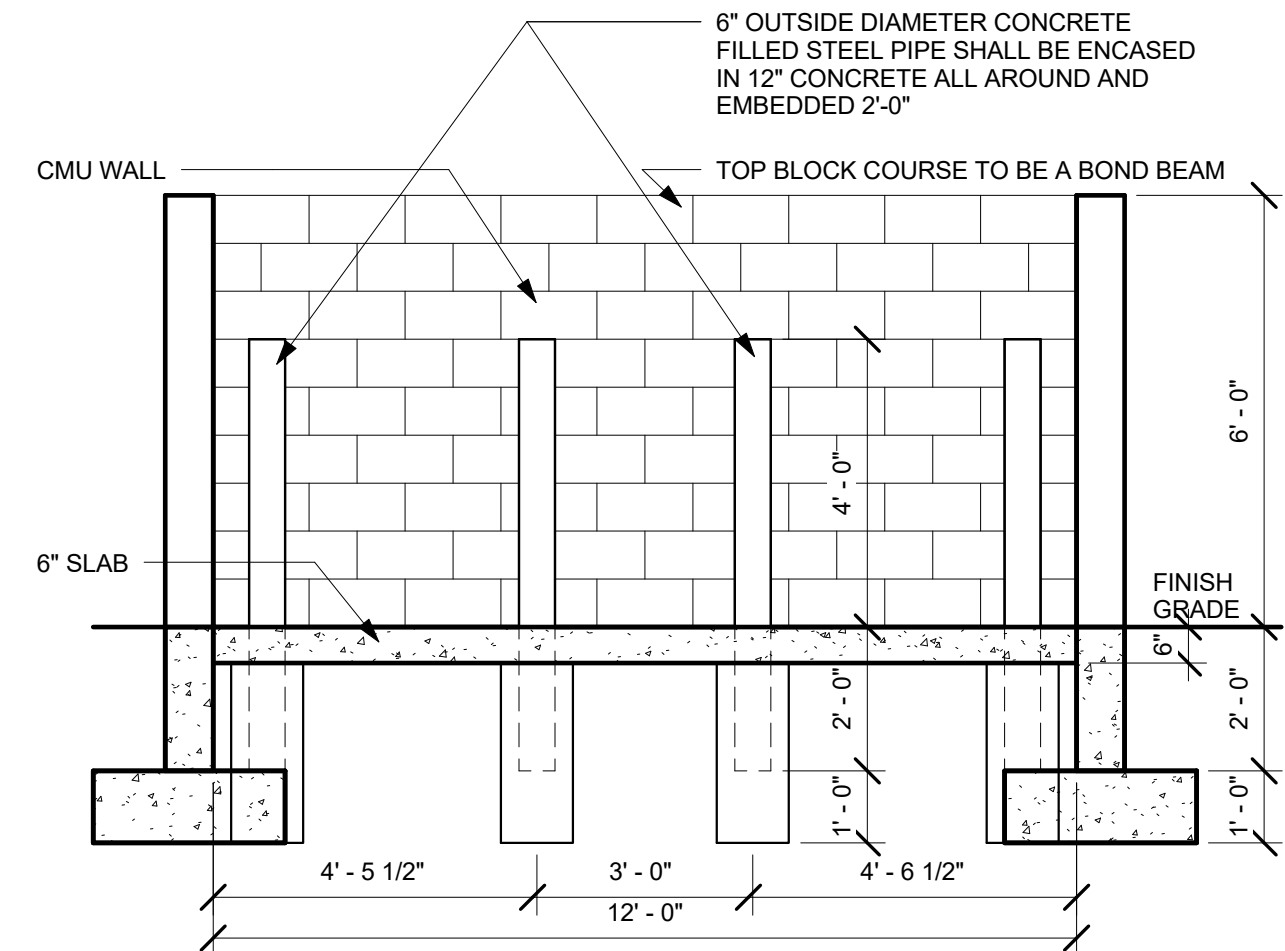
10 ADA Parking Detail
1/8" = 1'-0"



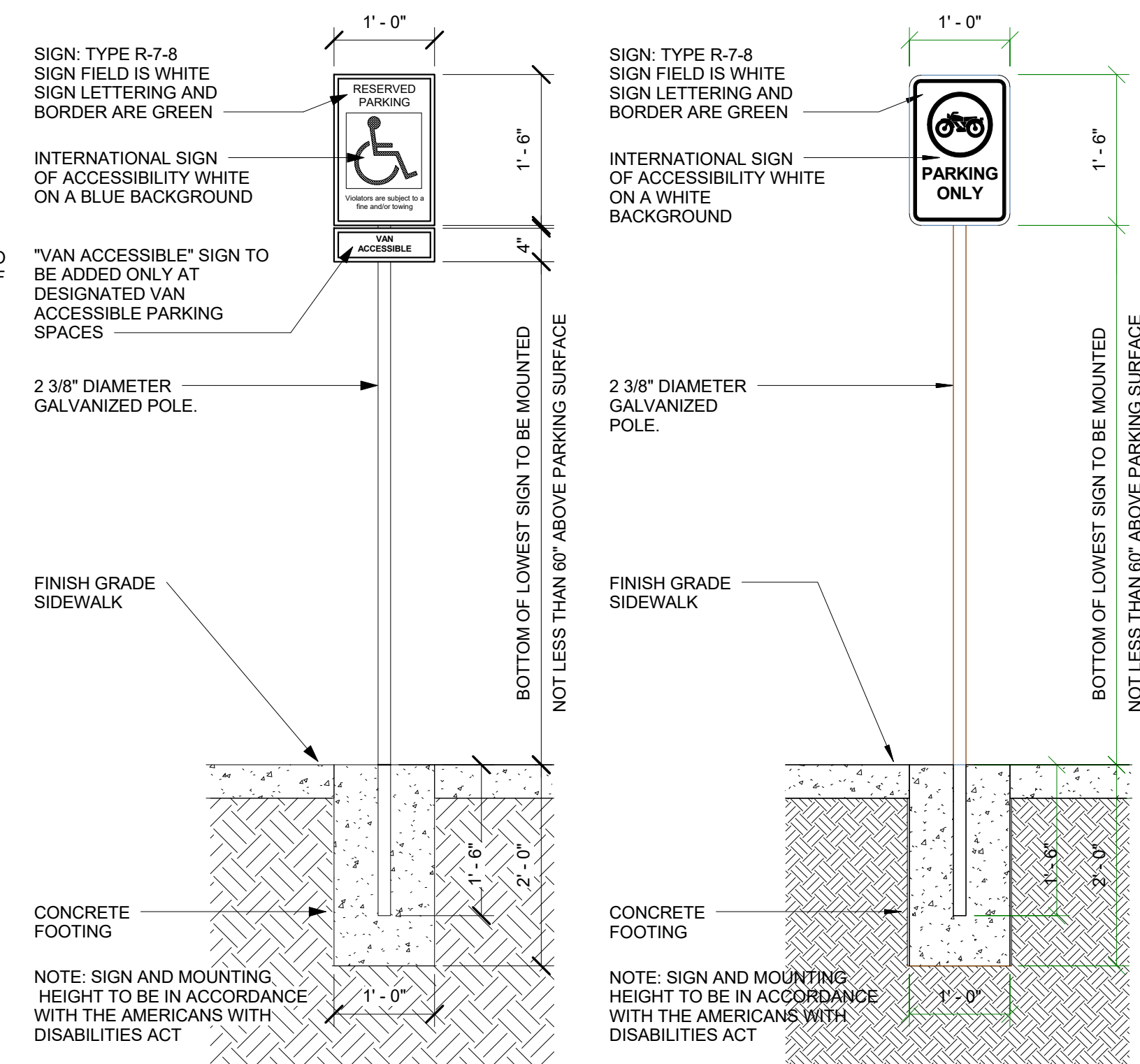
8 Concrete Bumper Detail
3/4" = 1'-0"



3 Single Refuse Enclosure Detail
1/4" = 1'-0"



4 Trash Enclosure Section Detail
3/8" = 1'-0"



6 Handicap Parking Sign
3/4" = 1'-0"

7 Motorcycle Parking Sign
3/4" = 1'-0"

PROJECT INFORMATION:

LEGAL DESCRIPTION:

UPC: 102205917329120507
ACRES: 0.2131
ZONING CLASSIFICATION: MX-L
OCCUPANCY USE: B (1 UNIT) / R2 (7 UNITS)
CONSTRUCTION TYPE: VA - SPRINKLED
AUTOMATIC SPRINKLER SYSTEM: NFPA 13.R
BUILDING HEIGHT: 26' - 6" FEET
NUMBER OF FLOORS: 2 FLOORS

BUILDING FIRE AREAS:

BUILDING LEVEL 1: 2,887 SF (gross combined all floors)
BUILDING LEVEL 2: 2,810 SF (gross combined all floors)

TOTAL BLDNG AREA:

5,697 GROSS SF

PARKING SPACES:

PARKING REQUIREMENTS PER INTEGRATED DEVELOPMENT ORDINANCE (IDO) TABLE 5-5-1:

OFF-STREET PARKING REQUIRED:

BUSINESS
3.5 SPACES / 1,000 SF GFA
493 SF
RESIDENTIAL
1.2 SPACES / 1 BR UNIT
7 UNITS X 1.2

1.75 SPACES

8.4 SPACES

REDUCTION: 5-5(C)(5)(C)2
10% REDUCTION

TOTAL: 10 SPACES REQUIRED

OFF-STREET PARKING PROVIDED:

11 SPACES PROVIDED

MOTORCYCLE PARKING

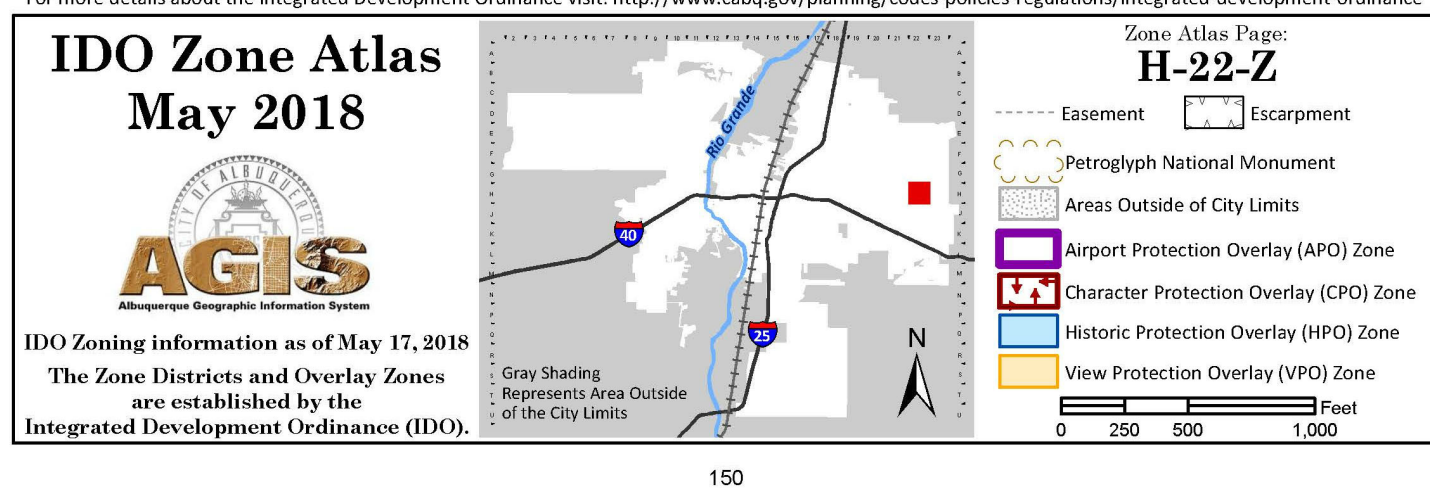
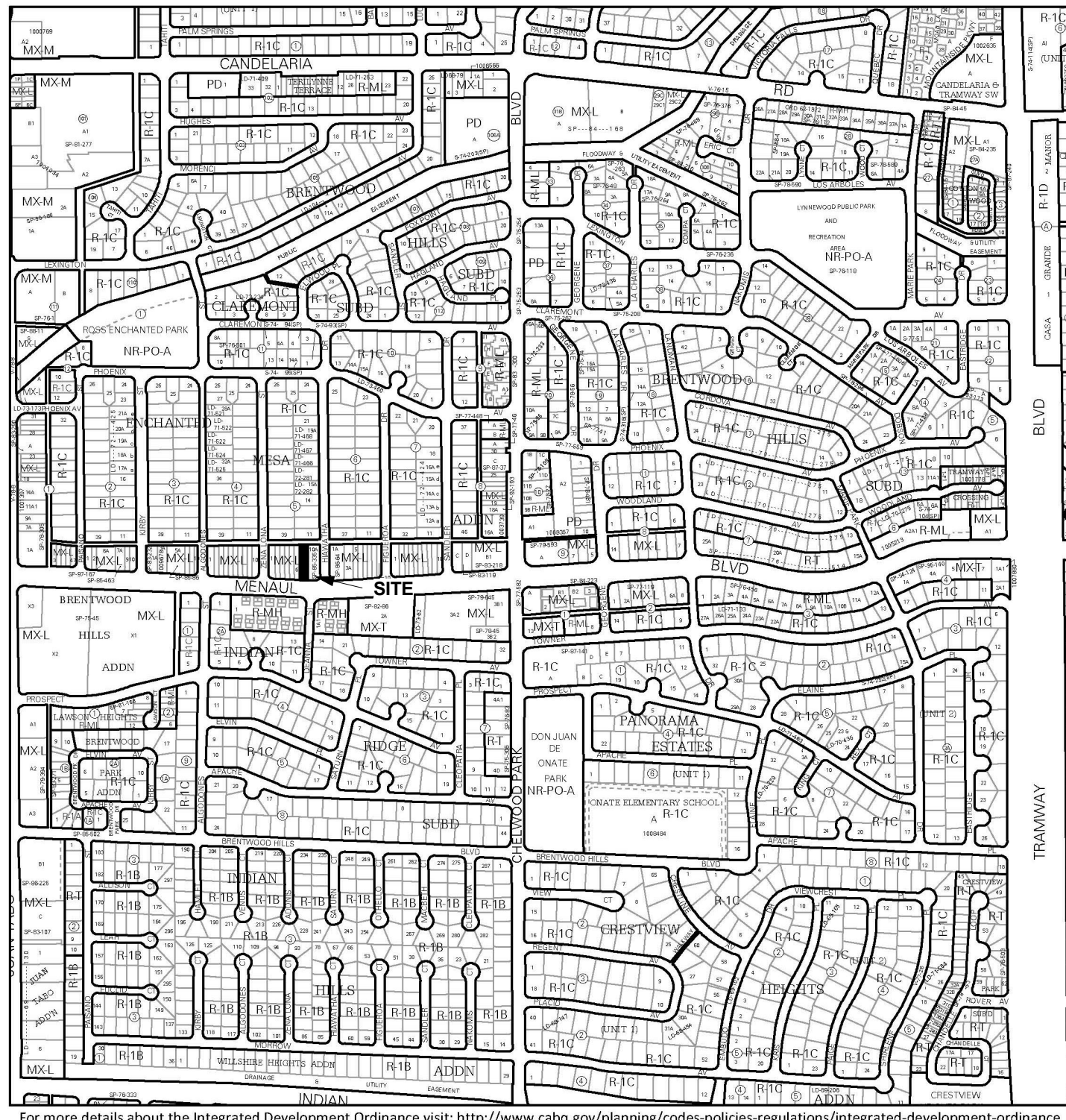
REQUIRED: 1 SPACE REQUIRED
PROVIDED: 2 SPACE REQUIRED

GENERAL NOTES:

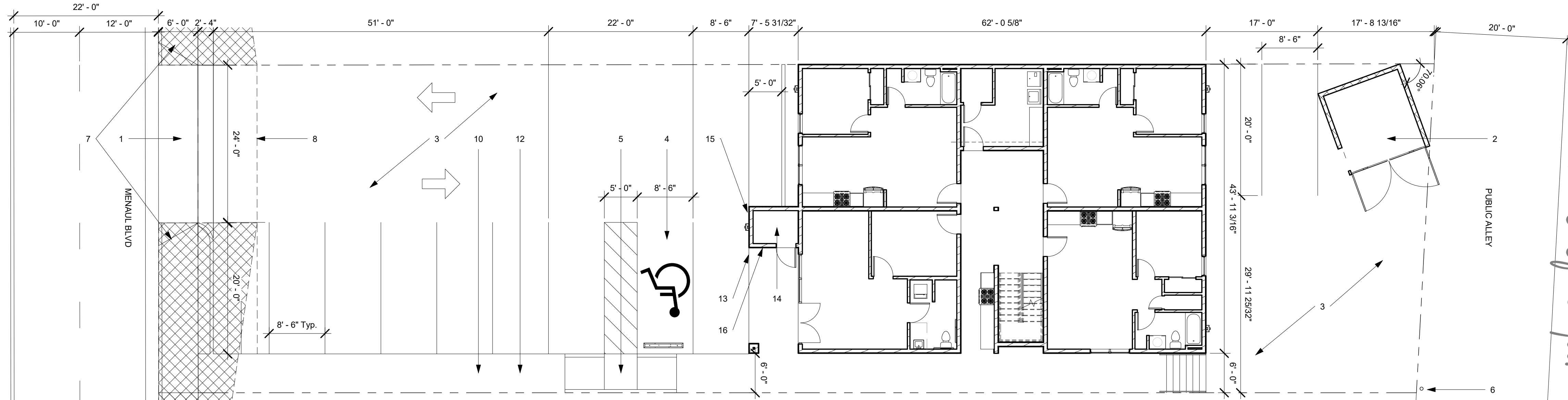
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH IBC 2015, UMC 2015, UPC 2015, NEC 2017, ANSI A117.1-2009 AND IN ACCORDANCE WITH LOCAL PERMIT REQUIREMENTS. SUBCONTRACTORS SHALL VERIFY LOCAL REQUIREMENTS.
- ALL BROKEN AND CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB AND GUTTER AND PER CITY STANDARD DWG 2430 AND 2415A.

KEYED NOTES:

- SITE PRIMARY ENTRY. NEW DRIVE PAD INTO SITE PER CITY OF ALBUQUERQUE STANDARDS.
- GARBAGE ENCLOSURE W/ GATES - SEE DETAILS 3-5/TCL1.0 FOR GARBAGE ENCLOSURE NOTES AND DIMENSIONS
- ASPHALT ACCESS ROAD - DRIVE AISLE: 2.5" ASPHALT PAVEMENT OVER 4" COMPACTED ROADWAY BASECOURSE. DRIVE SHALL BE DESIGNED AND CONSTRUCTED CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPRATUS WEIGHING AT LEAST 75,000 POUNDS. - DRIVE SHALL NOT EXCEED 10% GRADE.
- ADA PARKING W/ PRECAST CONCRETE WHEEL STOPS - PLEASE SEE DETAIL XXX FOR ADA PARKING SPACE DIMENSIONS.
- ADA CURB RAMP - SEE DETAIL XXX FOR CURB RAMP SLOPES AND DIMENSIONS
- EXISTING POWER POLES TO REMAIN.
- SIGHT TRIANGLE PER DPM TABLE 7.5.60 - LANDSCAPING, FENCING AND SIGNING WILL NOT INTERFERE W/ CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, & SHRUBBERY BETWEEN 3 & 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THE CLEAR SIGHT TRIANGLE.
- 9" P.U.E. (DOC NO. 33499)
- MOTORCYCLE PARKING
- NEW 6" CAST IN PLACE CONCRETE SIDEWALK - CROSS SLOPE NOT TO EXCEED 2%. SEE DETAIL 9/TCL1.0
- NEW CONCRETE STAIRS W/ HANDRAILS
- ACCESSIBLE ROUTE FROM ADA PARKING TO PUBLIC SIDEWALK AND TO PUBLIC AMMENITIES
- SITE LIGHTING TO BE PROVIDED BY WALL MOUNTED LIGHTS - LIGHTING TO BE COMPLIANT W/ ABQ NIGHT SKY ORDINANCE.
- FIRE RISER ROOM
- FIRE DEPARTMENT CONNECTION - ALL FDC CONNECTIONS TO BE MOUNTED ON WALLS AND VISIBLE FROM FIRE LANE.
- KNOX BOX FOR SUITE ENTRY - FIRE ALARM PANEL



1 Site Plan - TOL
1" = 10'-0"

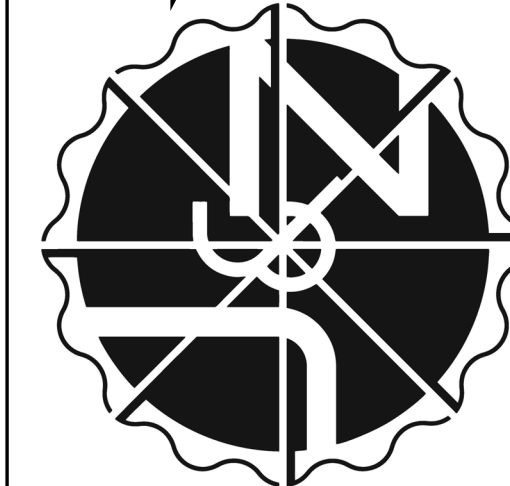


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JEEBS & ZUZU, LLC.

**Architecture
Construction
Design-Build**



job no: 24-015

drawn: Author

checked: Checker

date: May 29, 2024

Ruelas Spa & Apartments
11715 MENAUL BLVD NE ALBUQUERQUE 87112
sheet no: **TCL1.0**