

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Kelle

May 1, 2023

Sheldon Greer, P.E.
Respec
5971 Jefferson St. NE
Albuquerque, NM 8710

**RE: Modwash Juan Tabo, 2600 Juan Tabo Blvd NE
Tract 1-A, Block 101, Brentwood Hills
Grading & Drainage Plans
Engineer's Stamp Date: 4/19/2023
Hydrology File: H22D076**

Dear Mr. Greer:

Based upon the information provided in your submittal received 4/19/2023, the Grading & Drainage Plan is approved for Building Permit approval. Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO CERTIFICATE OF OCCUPANCY:

Albuquerque

NM 87103

www.cabq.gov

1. Engineer's Certification, per the DPM Part 6-14 (F): *Engineer's Certification Checklist For Non-Subdivision* is required.
2. Please provide the executed paper Drainage Covenant (latest revision) printed on one-side only with Exhibit A and a check for \$25 made out to "Bernalillo County" for the stormwater quality ponds per Article 6-15(C) of the DPM to Hydrology for review. Once the review is done, Hydrology will send back an email stating our approval/comments.

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

If you have any questions, please contact me at 505-924-3695 or tchen@cabq.gov.

Sincerely,

Tiequan Chen, P.E.
Principal Engineer, Hydrology
Planning Department, Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Modwash Juan Tabo **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Tract 1-A, Block 101, Brentwood Hills
City Address: 102205902845521401

Applicant: Hutton **Contact:** Michael Evans
Address: 736 Cherry St, Chattanooga TN 37402
Phone#: 504.343.1714 **Fax#:** _____ **E-mail:** mevans@hutton.build

Other Contact: RESPEC **Contact:** John Stapleton
Address: 7770 Jefferson Street NE, Suite 200, Albuquerque NM 87109
Phone#: 505.918.1053 **Fax#:** _____ **E-mail:** john.stapleton@respec.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE ☒ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

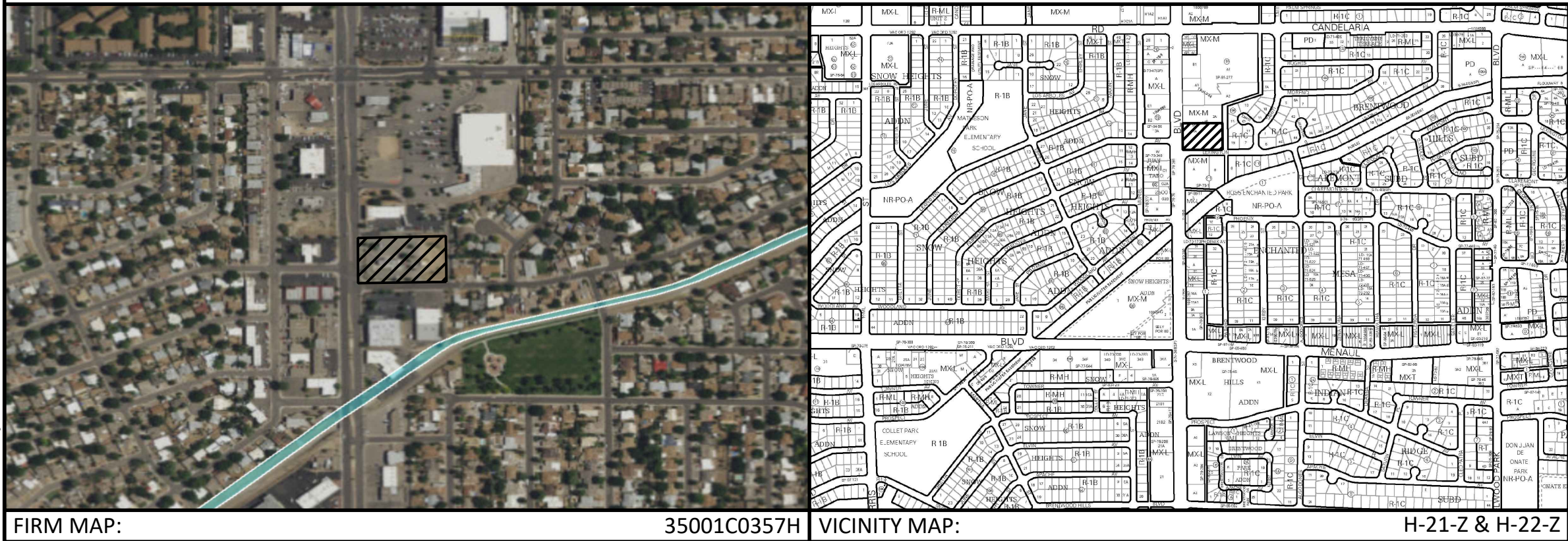
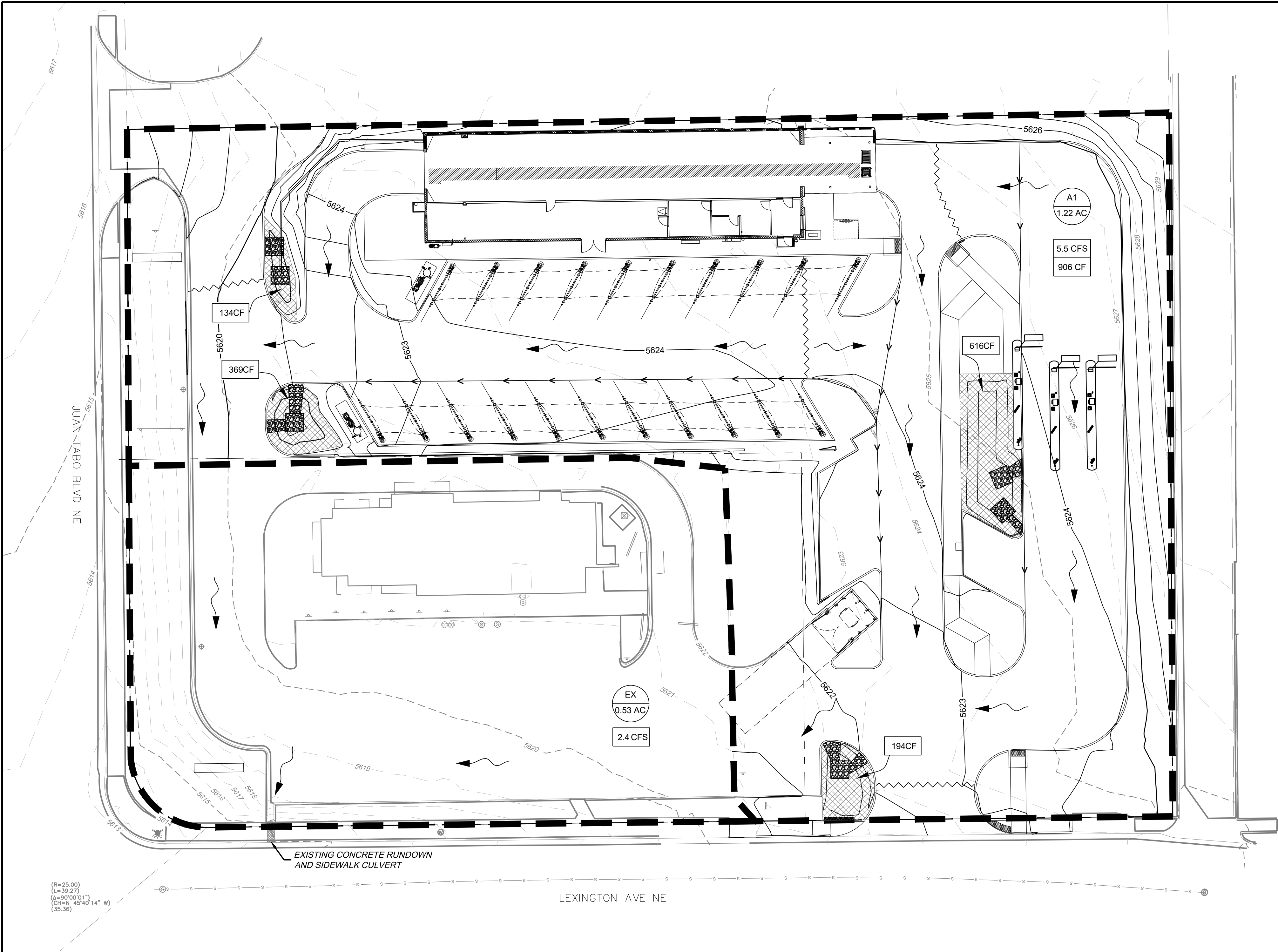
DATE SUBMITTED: 04/19/23 **By:** John Stapleton

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

NAME: N:\Projects\W0306-Hutton\W0306-22002 Juan Tabo\3 DWG\3_Sheets\C-102 Drainage Plan.dwg PLOT DATE: Apr 19, 2023 2:28pm



Hydrology Calculations
The following calculations are based on Albuquerque's Development Process Manual (DPM), Article 6-2.

Runoff Rate:
Treatment Type Areas

Subbasin	Area _A (ac)	Area _B (ac)	Area _C (ac)	Area _D (ac)	Total (ac)
A1	0.00	0.00	0.26	0.96	1.22
EX	0.00	0.00	0.10	0.43	0.53

100-yr Peak Discharge values based on Zone 4 from Table 6.2.14
Q_A = 2.09 cfs/ac Q_B = 2.73 cfs/ac Q_C = 3.41 cfs/ac Q_D = 4.78 cfs/ac

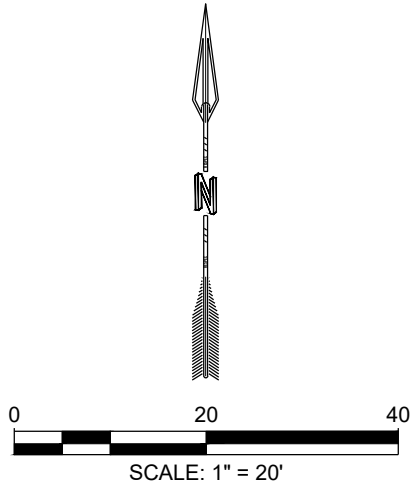
Peak Discharge calculation for a 100-yr, 24-hour storm event from equation 6.6

Subbasin	Discharge (cfs)	Discharge(cfs/acre)	Allowable (cfs/acre)
A1	5.5	4.5	5.25*
EX	2.4	4.5	
TOTAL	7.9	4.5	

*Allowable discharge rate from the previously approved drainage plan (Hydrology File: H22-D76)

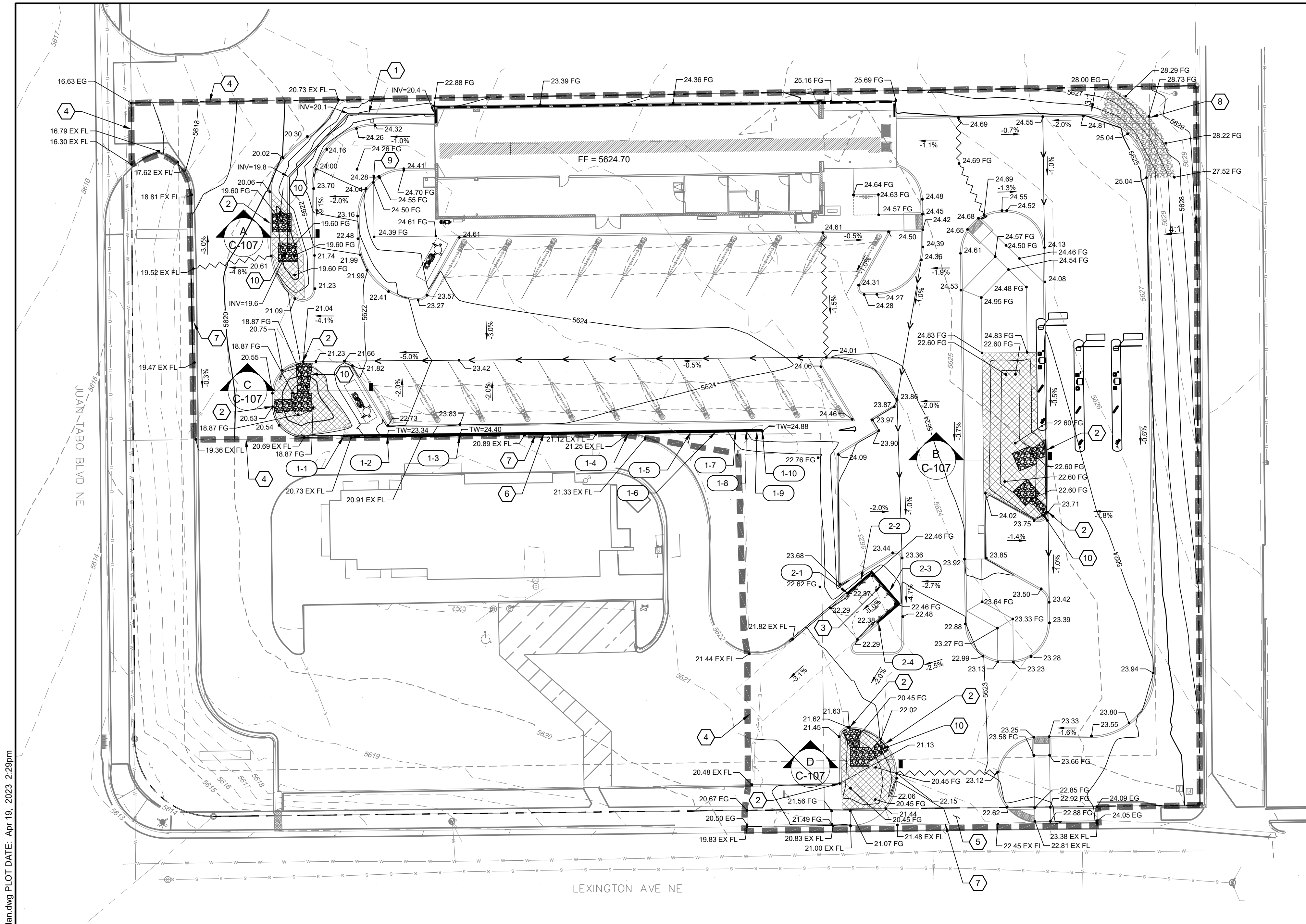
Water Quality:
Required Water Quality volume for first flush of 0.26" per DPM, Article 6-12

Subbasin	Req Volume (cu. ft.)	Provided Volume (cu.ft.)	Net Volume (cu. ft.)
A1	906	1,313	407



DESIGNED JMS	RESPEC COMMUNITY DESIGN SOLUTIONS 7770 JEFFERSON STREET SUITE 200 ALBUQUERQUE, NM 87117 WWW.RESPEC.COM PHONE (505) 253-9718	REVISION
DRAWN JMS		
CHECKED JS		
DATE 4.19.2023		
STAMP SHELDON E. GREER NEW MEXICO 17154 LICENSED PROFESSIONAL ENGINEER 04/19/2023 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED. nm811 Know what's below. Call before you dig. PROJ. #: W0306.22002		
PROJECT NAME:	JUAN TABO CAR WASH	
SHEET TITLE:	DRAINAGE PLAN	
SUBMITTED FOR:	BUILDING PERMIT	
SHEET NUMBER:	C-102	

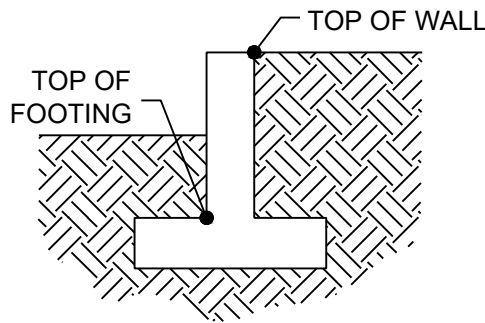
NAME: N:\Projects\W03096-Hutton\W03096-22002- Juan Tabo\3- DWG\3- Sheets\C-103 Grading Plan.dwg PLOT DATE: Apr 19, 2023 2:29pm



KEYED NOTES

- 1 INSTALL 6" DIAMETER PVC STORM PIPE WITH 1' MINIMUM COVER. PIPE INVERT ELEVATIONS PER PLAN.
- 2 INSTALL CURB OPENING PER DETAIL ON SHEET C-106.
- 3 INSTALL RETAIN WALL INTEGRAL WITH DUMPSTER ENCLOSURE. SEE RETAINING WALL TABLE 2 ON THIS SHEET.
- 4 MATCH ELEVATION AT EXISTING EDGE OF ASPHALT.
- 5 1.5% CROSS-SLOPE ON CROSS WALK. LONGITUDINAL SLOPE MATCHES THE SLOPE OF THE PUBLIC STREET.
- 6 INSTALL CONCRETE RETAINING WALL WITH FALL PROTECTION PER DETAILS ON SHEET C-106.
- 7 MATCH ELEVATION AT EXISTING FLOWLINE.
- 8 TOP OF CUT SLOPE SHALL BE A MINIMUM OF 10' AWAY FROM EXISTING POWER POLE.
- 9 NON-TYPICAL ROLL CURB HEIGHT BETWEEN THIS LOCATION AND THE BUILDING.
- 10 INSTALL 6" DEEP ROCK RUNDOWN PER DETAILS ON SHEET C-106.

RETAINING WALL TABLE				
WALL 1				
WALL POINT	TOP OF WALL ELEVATION	TOP OF FOOTING ELEVATION	WALL HEIGHT (FT)	APPROX. DISTANC
1-1	21.05	20.00	1.05	14
1-2	23.34	20.00	3.34	23
1-3	24.40	20.00	4.40	54
1-4	24.67	20.67	4.00	20
1-5	24.76	21.33	3.43	8
1-6	24.80	22.00	2.80	8
1-7	24.84	22.67	2.17	4
1-8	24.85	23.33	1.52	4
1-9	24.87	24.00	0.87	2
1-10	24.88	24.00	0.88	



RETAINING WALL TABLE				
WALL 2				
WALL POINT	TOP OF WALL	TOP OF FOOTING	WALL HEIGHT	APPROX. DISTANC
2-1	23.33	21.33	2.00	6
2-2	24.00	21.33	2.67	12
2-3	23.33	21.33	2.00	14
2-4	23.33	21.33	2.00	

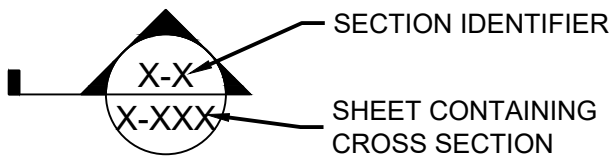


SITE CIVIL LEGEND:

- 5272 — PROPERTY BOUNDARY
- 5272 — PROPOSED MAJOR CONTOUR
- 5272 — PROPOSED MINOR CONTOUR
- - - 5272 - - - EXISTING MAJOR CONTOUR
- - - 5272 - - - EXISTING MINOR CONTOUR
- ▬▬▬ LIMITS OF DISTURBANCE
- FLOWLINE
- ~~~~~ GRADE BREAK / HIGH POINT
- 4" - 6" DIAMETER BROKEN ROCK INSTALLED WITH 6" TYPICAL DEPTH.
- ▨ TOP OF POND
- ▬▬▬ RETAINING WALL
- - - STEM WALL
- (##) RETAINING WALL POINT (SEE RETAINING WALL TABLES)

SPOT ELEVATION SYMBOLS

- 20.00 FLOWLINE
- 20.00 EG TOP OF EXISTING GROUND
- 20.00 FG TOP OF FINISHED GROUND
- 20.00 EX FL EXISTING FLOWLINE



ABBREVIATIONS

- ABCWUA ALBUQUERQUE BERNALILLO COUNTY WATER UTILITY AUTHORITY
- AC ACRE
- BP BOTTOM OF POND
- CF CUBIC FOOT
- ELEV ELEVATION
- FF FINISHED FLOOR
- INV INVERT
- LF LINEAR FOOT
- MAX MAXIMUM
- MIN MINIMUM
- NMAPWA NEW MEXICO AMERICAN PUBLIC WORKS ASSOCIATION
- PVC POLYVINYL CHLORIDE
- ROW PUBLIC RIGHT OF WAY
- RPBA REDUCED PRESSURE BACKFLOW ASSEMBLY
- SAS SANITARY SEWER
- SD STORM DRAIN
- STD DWG STANDARD DRAWING
- TF TOP OF FOOTING
- TP TOP OF POND
- TW TOP OF WALL
- VOL VOLUME
- WQ WATER QUALITY
- WSEL WATER SURFACE ELEVATION
- WTR WATER

GRADING GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY SIZE'S AND LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO ANY CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED
2. GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENTS OF TOPSOIL.
3. GRADE ADJACENT AREAS AT SITE PERIMETER SHALL MATCH GRADE OF ADJACENT PARCELS.
4. PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS, AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
5. REFER TO GEOTECHNICAL EVALUATIONS REPORT BY TERRACON (TERRACON PROJECT NO. 66225109) DATED MAY 17, 2022.
6. COMPOSITE SLOPE IN HANDICAP PARKING SHALL NOT EXCEED 2% IN ANY DIRECTION.
7. CROSS SLOPE ON ADA CROSSWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPE SHALL NOT EXCEED 5%.
8. LONGITUDINAL SLOPE ON CURB RAMP SHALL NOT EXCEED 8.33%. CROSS SLOPE SHALL NOT EXCEED 2%.
9. COMPOSITE SLOPE ON RAMP LANDINGS SHALL NOT EXCEED 2%.
10. CROSS SLOPES ON SIDEWALKS SHALL NOT EXCEED 2%. LONGITUDINAL SLOPES ON ONSITE SIDEWALKS SHALL NOT EXCEED 5%.
11. SLOPE LABELS SHOW APPROXIMATE SLOPES ONLY. WHERE SLOPE LABELS AND SPOT ELEVATION LABELS CONFLICT, SPOT ELEVATION LABELS SHALL GOVERN AND THE SURVEYOR RESPONSIBLE FOR CONSTRUCTION STAKING SHALL CONTACT THE ENGINEER.
12. INSTALL PAVING PER PAVEMENT SECTION RECOMMENDED BY THE SITE GEOTECHNICAL REPORT.
13. FOR TUNNEL BUILDING ENTRANCE AND EXIT SLABS, SEE ARCHITECTURAL PLANS.
14. LONGITUDINAL SLOPES ON SIDEWALKS ADJACENT TO PUBLIC ROADS SHALL NOT EXCEED THE SLOPE OF THE PUBLIC ROAD.
15. WHERE THIS PLAN IS SILENT REGARDING SURFACE TREATMENT, REFER TO THE LANDSCAPING PLAN. DISTURBED AREAS WITHOUT SURFACE IMPROVEMENTS SPECIFIED IN THE LANDSCAPING OR GRADING PLAN SHALL BE RESEEDDED WITH A NATIVE SEEDING MIX. IF THE LANDSCAPING AND GRADING PLAN CONFLICT REGARDING SURFACE TREATMENTS, THE GRADING PLAN SHALL GOVERN.

DESIGNED JMS
DRAWN JMS
CHECKED JS
DATE 4.19.2023

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ALBUQUERQUE, NM 87102
WWW.RESPEC.COM PHONE (505) 253-9718

RESPEC

STAMP
SHELDON E. GREER
NEW MEXICO
17154
LICENSED PROFESSIONAL ENGINEER
04/19/2023

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AND NOT TO BE USED FOR
CONSTRUCTION UNLESS IT IS
STAMPED, SIGNED AND DATED

PROJ. #: W0396.22002

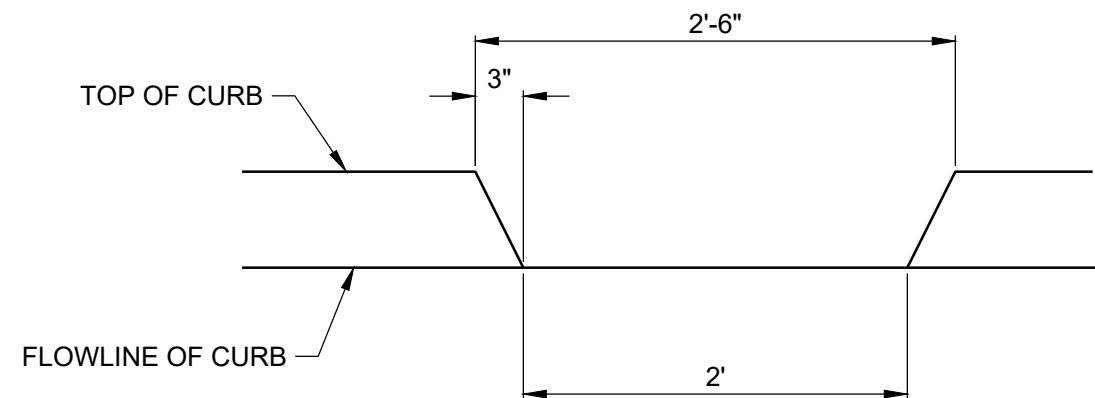
PROJECT NAME:
JUAN TABO CAR WASH

SHEET TITLE:
GRADING PLAN

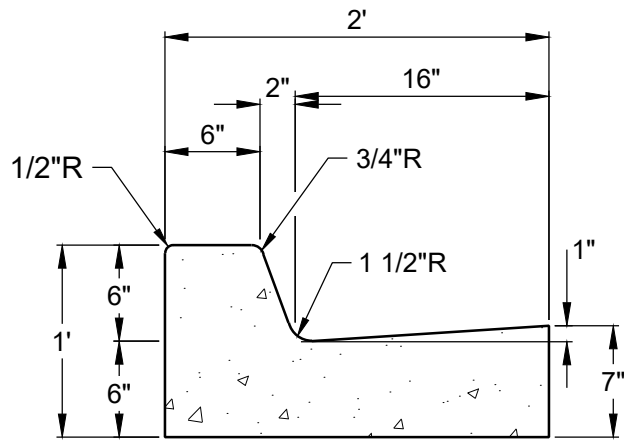
SUBMITTED FOR:
BUILDING PERMIT

SHEET NUMBER:
C-103

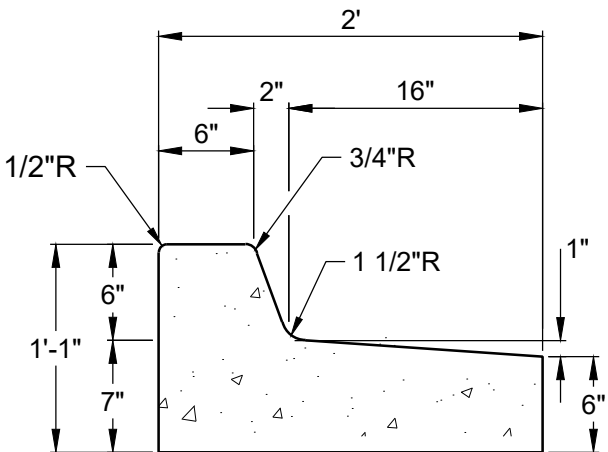
NAME: N:\Projects\W03096-Hutton\W03096-22002 Juan Tabo\3 DWG\3 Sheets\C-106 Details.dwg PLOT DATE: Apr 19, 2023 2:29pm



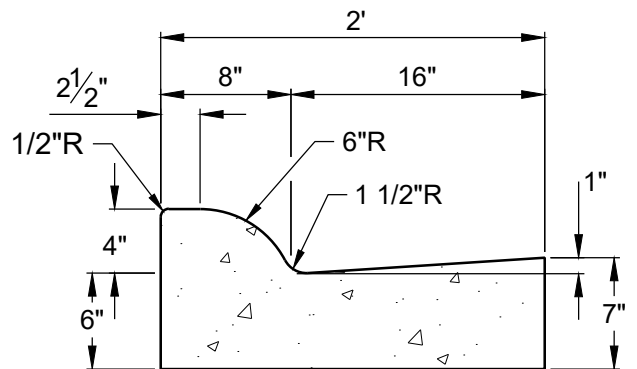
CURB OPENING DETAIL
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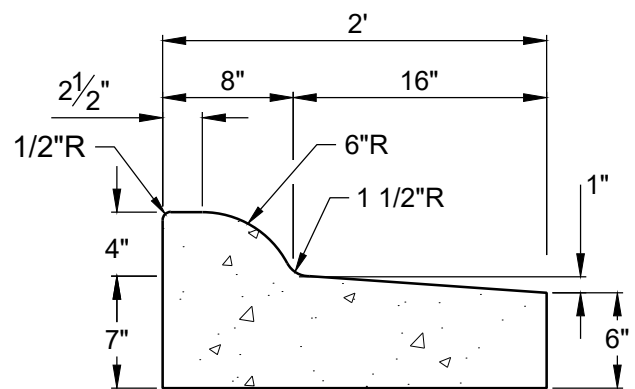
FULL HEIGHT CURB AND GUTTER DETAIL
Scale: NTS



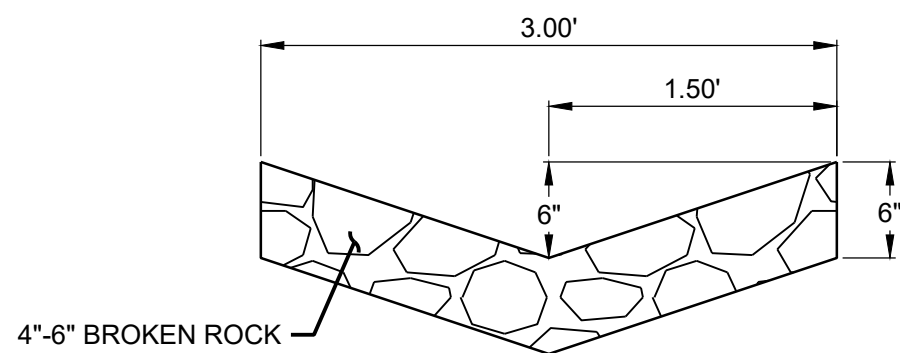
DEPRESSED FULL HEIGHT CURB AND GUTTER DETAIL
Scale: NTS



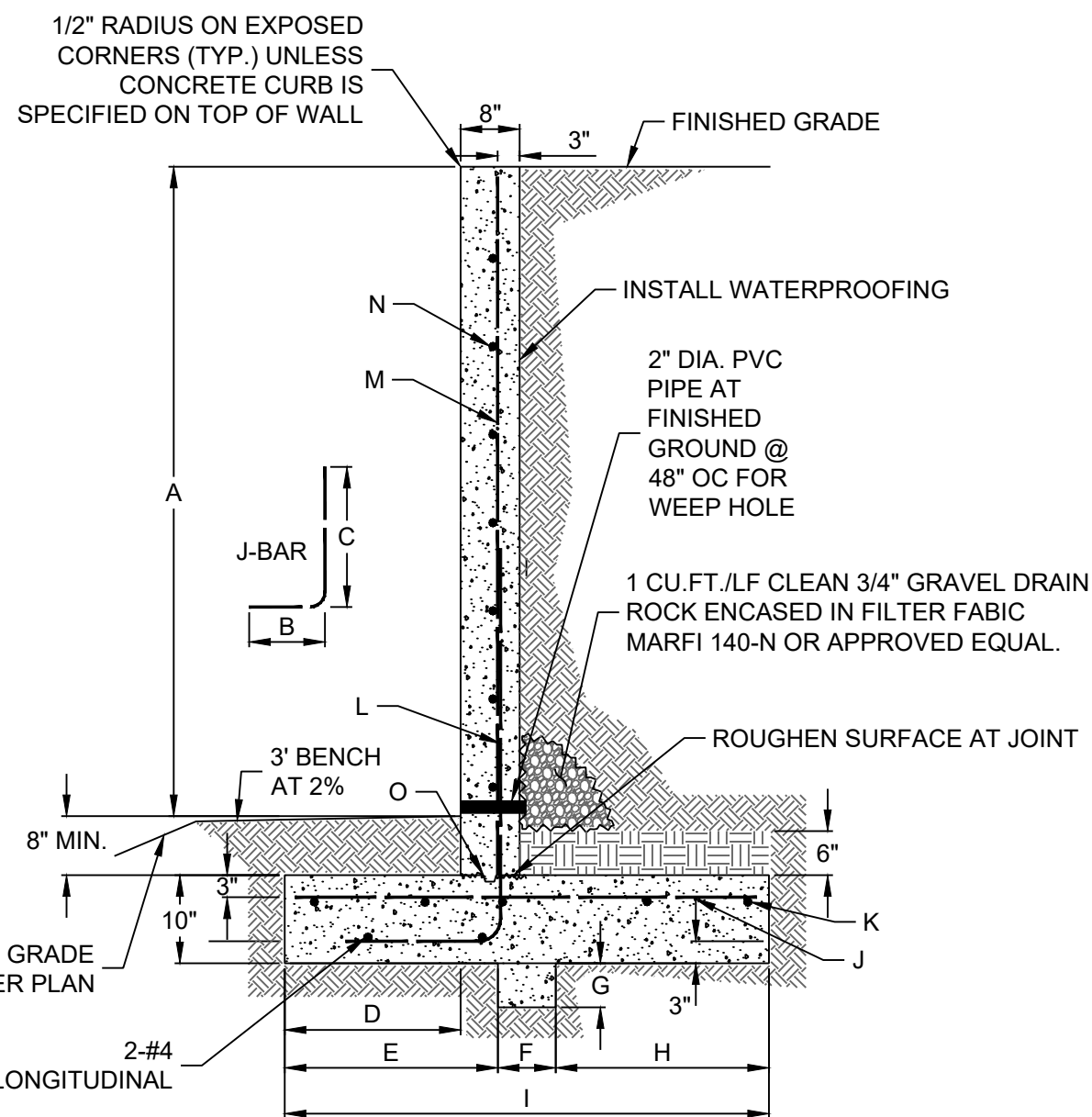
MOUNTABLE CURB AND GUTTER DETAIL
Scale: NTS



DEPRESSED MOUNTABLE CURB AND GUTTER DETAIL
Scale: NTS

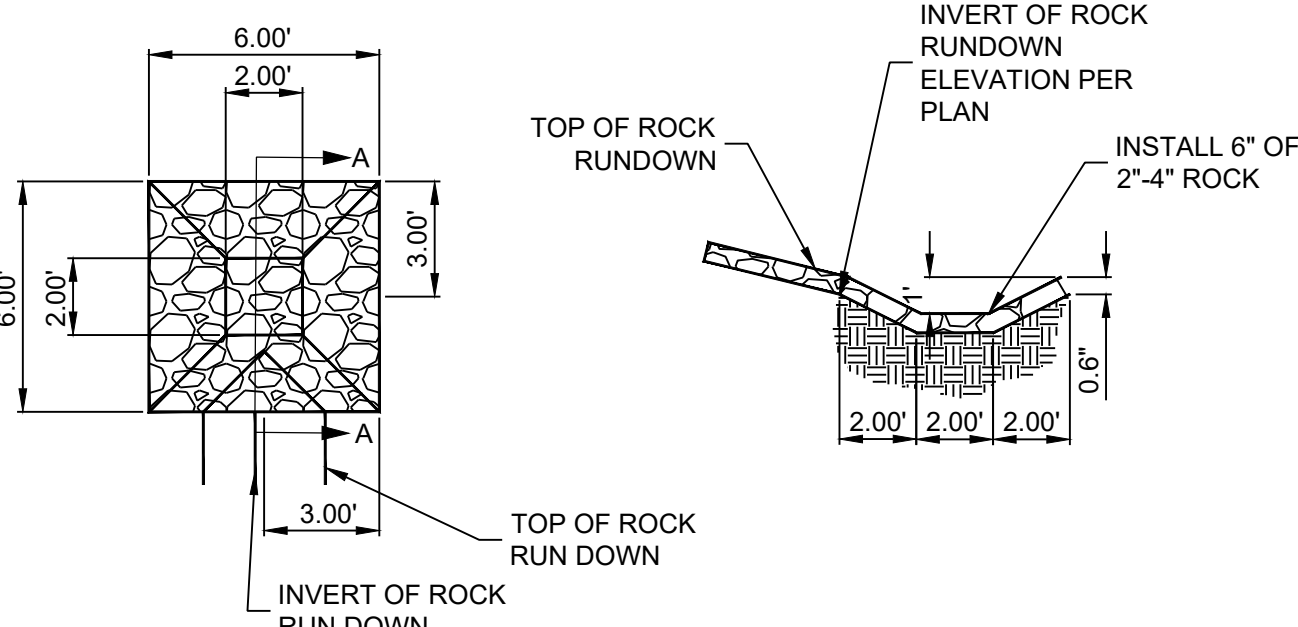


ROCK RUNDOWN DETAIL 6" DEPTH
NTS



STANDARD CONCRETE RETAINING WALL
SCALE: NTS

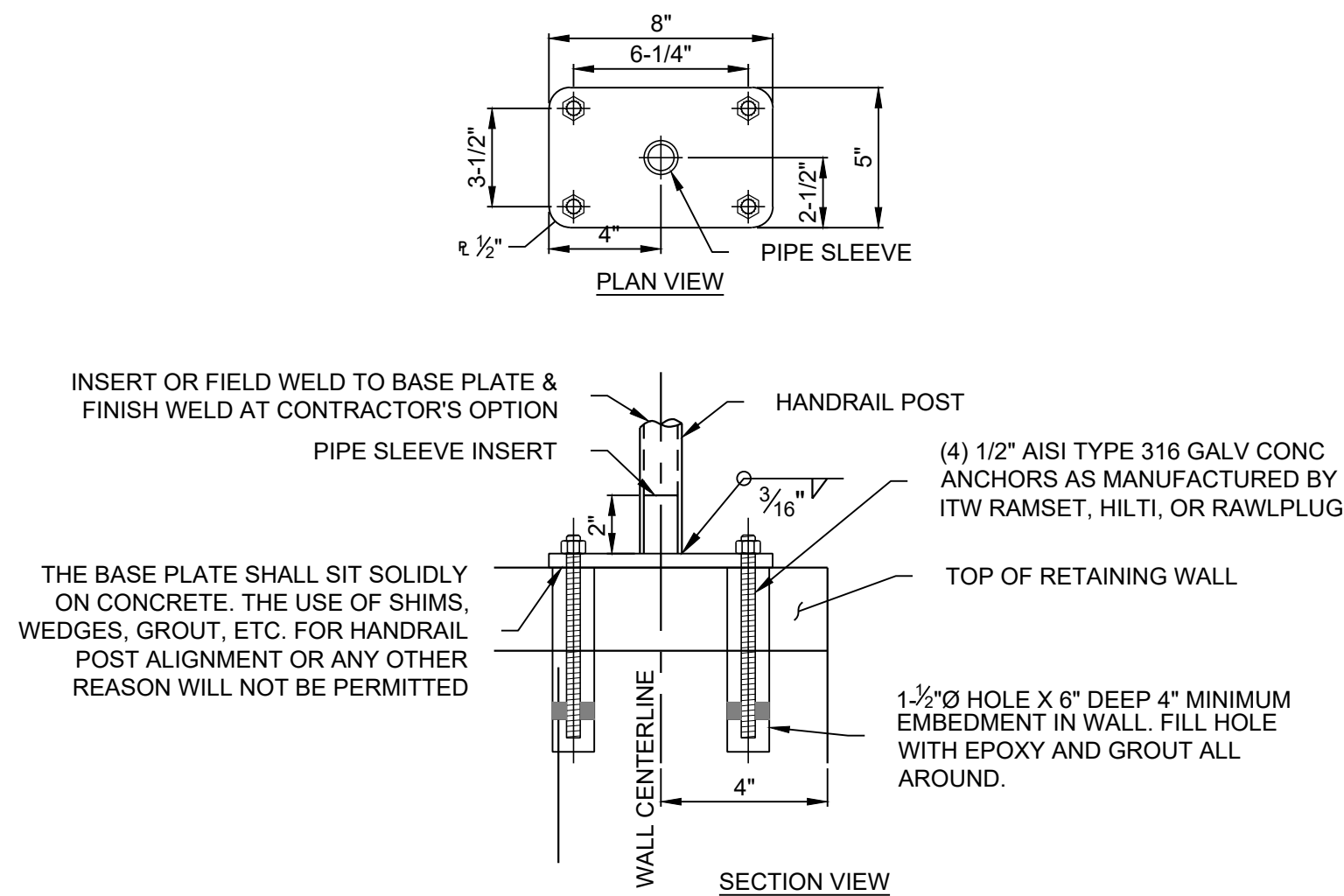
TYPE 2: 3:1 MAX BACKFILL OR 100 PSF MAX. SURCHARGE LOADING														
"MAX. RETAINED HEIGHT (A)	B	C	D	E	F	G	H	I	J	K	L	M	N	O
2'-0"	8"	29"	8"	-	-	-	1'-4"	2'	#4 @ 48" O.C. TRANSVERSE	2 - #4 LONGITUDINAL	#4 J-BAR @ 32" O.C.	-	#4 @ 12" O.C. TRANSVERSE	-
3'-4"	10"	33"	8"	-	-	-	2'-4"	3'	#4 @ 32" O.C. TRANSVERSE	3 - #4 LONGITUDINAL	#4 J-BAR @ 16" O.C.	#4 @ 32" O.C.	#4 @ 12" O.C. TRANSVERSE	1.25"x7/8" KEY
4'-8"	14"	33"	12"	-	-	-	2'-6"	3'-6"	#4 @ 32" O.C. TRANSVERSE	3 - #4 LONGITUDINAL	#4 J-BAR @ 16" O.C.	#4 @ 16" O.C.	#6 @ 12" O.C. TRANSVERSE	1.25"x7/8" KEY



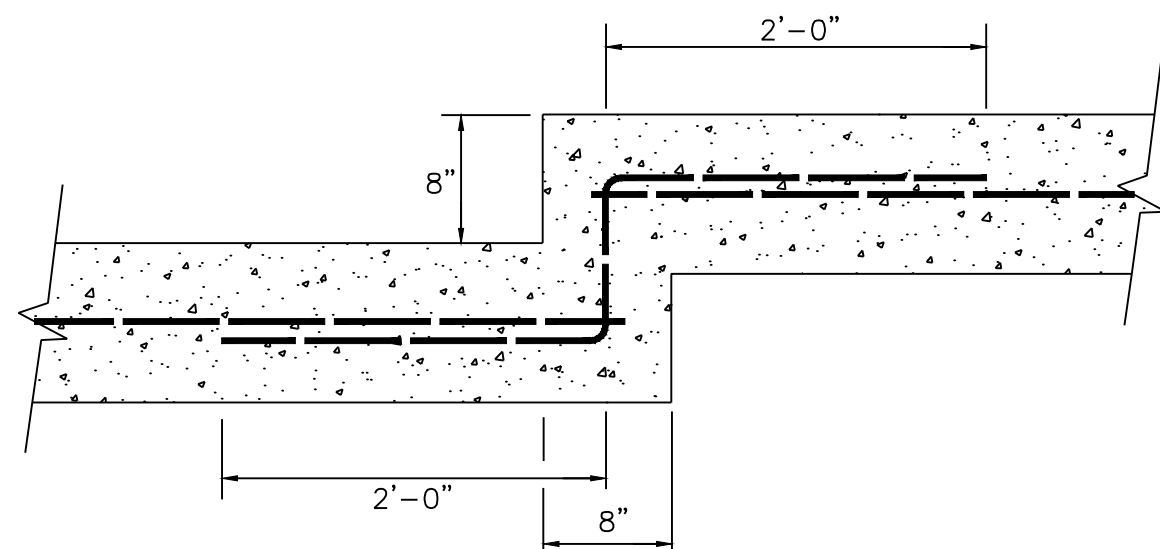
PLUNGE POOL
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RETAINING WALL GENERAL NOTES

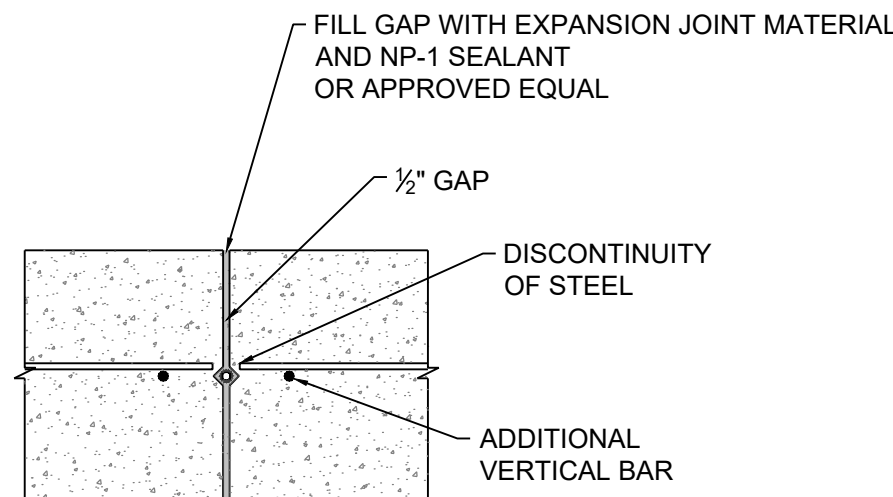
1. COMPACT SUBGRADE TO 95% MIN. RELATIVE DENSITY (12" MIN DEPTH) PER ASTM D1557. IF CLAY OR LOOSE SAND IS ENCOUNTERED, CONTACT THE ENGINEER BEFORE PROCEEDING.
 2. COMPACT BACKFILL TO 90% MIN. RELATIVE DENSITY PER ASTM D1557. CONTRACTOR IS RESPONSIBLE FOR METHOD OF PLACEMENT AND COMPACTION OF BACKFILL MATERIAL TO ENSURE THAT LOADS SUFFICIENT TO CAUSE DAMAGE TO WALL ARE NOT EXCEEDED.
 3. FOR TYPE 1 WALLS, FINISHED GRADE SHALL BE LEVEL WITH OR BELOW TOP OF RETAINING PORTION OF WALL AND NO ADDITIONAL SURFACE LOADS SHALL BE PLACED WITHIN AN AREA FROM FACE OF WALL TO A DISTANCE EQUAL TO THE RETAINED EARTH HEIGHT.
 4. MAINTAIN 2" MIN CLEARANCE BETWEEN ALL REINFORCING BARS AND OUTSIDE SURFACE OF FORMED CONCRETE, 3" BETWEEN BARS AND OUTSIDE SURFACE OF CONCRETE POURED AGAINST EARTH.
 5. CONCRETE FOR FOOTINGS SHALL MEET 3,000 PSI AT 28 DAYS, WITH 3/4" MAX SIZE AGGREGATE, AND A MAX SLUMP OF 5".
 6. ALL REINFORCING SHALL MEET REQUIREMENTS OF ASTM A615, GRADE 60.
 7. REINFORCING STEEL SPLICES SHALL HAVE 24" MIN. LAPS.
 8. FENCE POSTS (OR POST SLEEVES), IF USED, SHALL BE BOLTED OR ANCHORED A MINIMUM OF 3" INTO THE
- TOP OF THE RETAINING WALL.
9. 1/2" WIDE EXPANSION / CONTRACTION JOINTS SHALL BE PROVIDED AT 16' OC (MAX). PROVIDE A VERTICAL REBAR (MATCH ADJACENT VERTICAL REBAR SIZE) ON EACH SIDE THE JOINT. SEE EXPANSION / CONTRACTION JOINT DETAIL.
 10. EXPANSION / CONTRACTION JOINTS SHALL BE FILLED WITH NP-1 SEALANT OR ENGINEER APPROVED EQUIVALENT.
 11. TRANSVERSE REBAR SHALL BE DISCONTINUOUS AT THE EXPANSION / CONTRACTION JOINTS AND PILASTERS. SEE EXPANSION / CONTRACTION JOINT STANDARD DETAIL.
 12. WATERPROOFING SHALL BE HYDROCIDIC LIQUID MEMBRANE HLM 5000 OR APPROVAL EQUAL, AND SHALL BE APPLIED FROM FINISHED GRADE TO TOP OF FOUNDATION.
 13. ALL CONCRETE CALL AND DECORATIVE SURFACE TREATMENT SHALL BE AT THE OWNER'S DIRECTION.
 14. WALL, INCLUDING FOOTING, SHALL NOT EXTEND INTO ANY ADJACENT PROPERTY OWNED BY OTHERS WITHOUT THE WRITTEN CONSENT OF THE ADJACENT PROPERTY OWNER.
 15. FOOTING SHALL BE LEVEL. STEP FOOTING VERTICALLY PER THE STEPPED FOOTING DETAIL, AS NECESSARY.
 16. WALL KEY AT TOP OF FOOTER MAY BE FORMED USING A 1.25" HAT CHANNEL.
 17. PROVIDE STRUCTURAL FILL BENEATH THE WALL FOOTING ACCORDING TO THE RECOMMENDATION OF THE GEOTECHNICAL REPORT.



RAILING ANCHOR
NTS



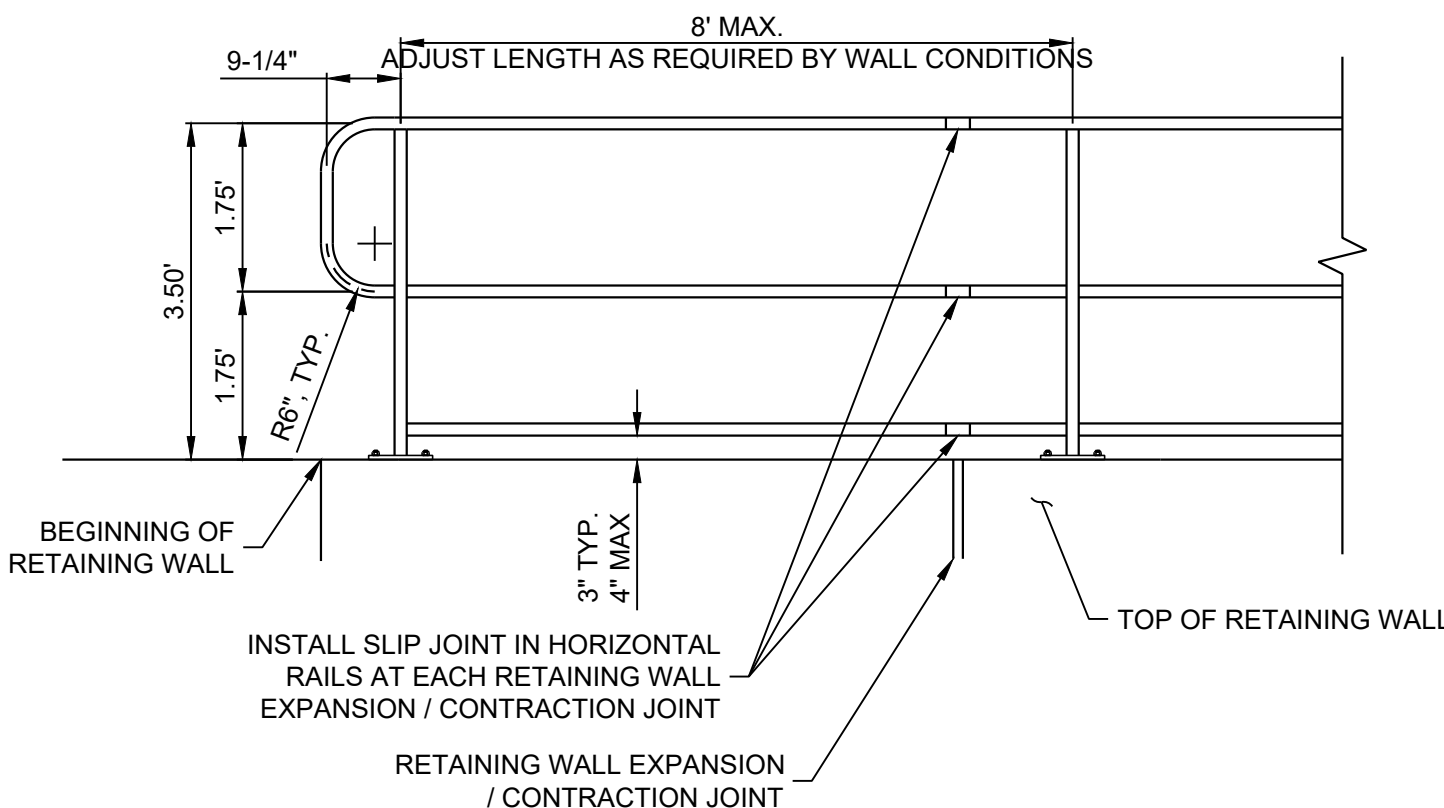
RETAINING WALL FOOTING STEP DETAIL
Scale: NTS



RETAINING WALL EXPANSION JOINT DETAIL
Scale: NTS

NOTES:

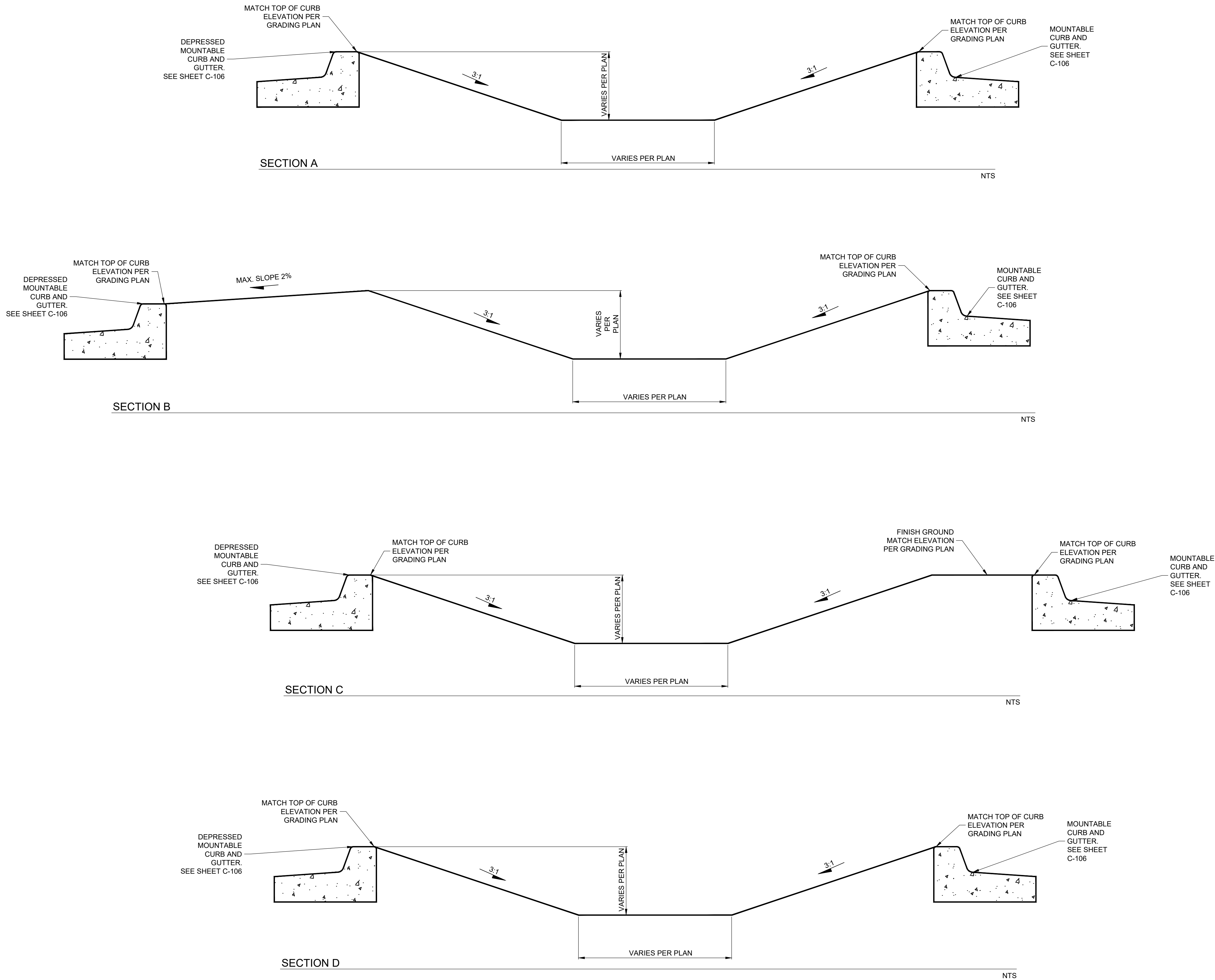
1. LENGTH OF RAILING IS MEASURED BETWEEN CENTER OF END VERTICAL SUPPORTS.
2. RAILING FABRICATION TO BE BASED ON FIELD MEASUREMENTS. RAILING SHALL BE EXACTLY CENTERED ON THE WALL AND SHALL FOLLOW THE GRADE BRAKES AND LENGTHS OF THE CONSTRUCTED WALL.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS TO ENGINEER.
4. ALL POSTS SHALL BE VERTICAL AND PLUMB AND RAILS PARALLEL TO TOP OF WALL.
5. RAILING SHALL BE GALVANIZED STANDARD STEEL WITH POWDER COATING, COLOR TO BE BY OWNERS DIRECTION.
6. ALL METAL INCLUDING HARDWARE TO BE POWDER COATED OR PAINTED TO MATCH RAILING COLOR.
7. ALL RAILING TO BE PAINTED. PAINT COLOR TO BE SPECIFIED BY OWNER.



RETAINING WALL FALL PROTECTION
NTS

DESIGNED: JMS	DRAWN: JMS	CHECKED: JS	DATE: 4.19.2023
RESPEC COMMUNITY DESIGN SOLUTIONS 1770 JEFFERSON STREET SUITE 200 DENVER, CO 80202 WWW.RESPEC.COM PHONE (303) 253-9718			
STAMP SHELDON E. GREER NEW MEXICO 17154 LICENSED PROFESSIONAL ENGINEER 04/19/2023 THIS DRAWING IS INCOMPLETE AND NOT TO BE USED FOR CONSTRUCTION UNLESS IT IS STAMPED, SIGNED AND DATED. nm811 Know what's below. Call before you dig. PROJ. #: W03096.22002			
PROJECT NAME: JUAN TABO CAR WASH			
SHEET TITLE: DETAILS			
SUBMITTED FOR: BUILDING PERMIT			
SHEET NUMBER: C-106			

NAME: N:\Projects\W0396-Hutton\W0396-22002 Juan Tabo\3. DWG\3. Sheets\C-106 Details.dwg PLOT DATE: Apr 19, 2023 2:29pm



DESIGNED JMS DRAWN JMS CHECKED JS DATE 4.19.2023				REVISION	
RESPEC COMMUNITY DESIGN SOLUTIONS 7770 JEFFERSON STREET SUITE 200 DENVER, CO 80231 WWW.RESPEC.COM PHONE (303) 253-9718					
RESPEC					
STAMP SHELDON E. GREER NEW MEXICO 17154 LICENSED PROFESSIONAL ENGINEER 04/19/2023					
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nm811 Know what's below. Call before you dig. PROJ. #: W0396.22002					
PROJECT NAME:				JUAN TABO CAR WASH	
SHEET TITLE:				SECTIONS	
SUBMITTED FOR:				BUILDING PERMIT	
SHEET NUMBER:				C-107	