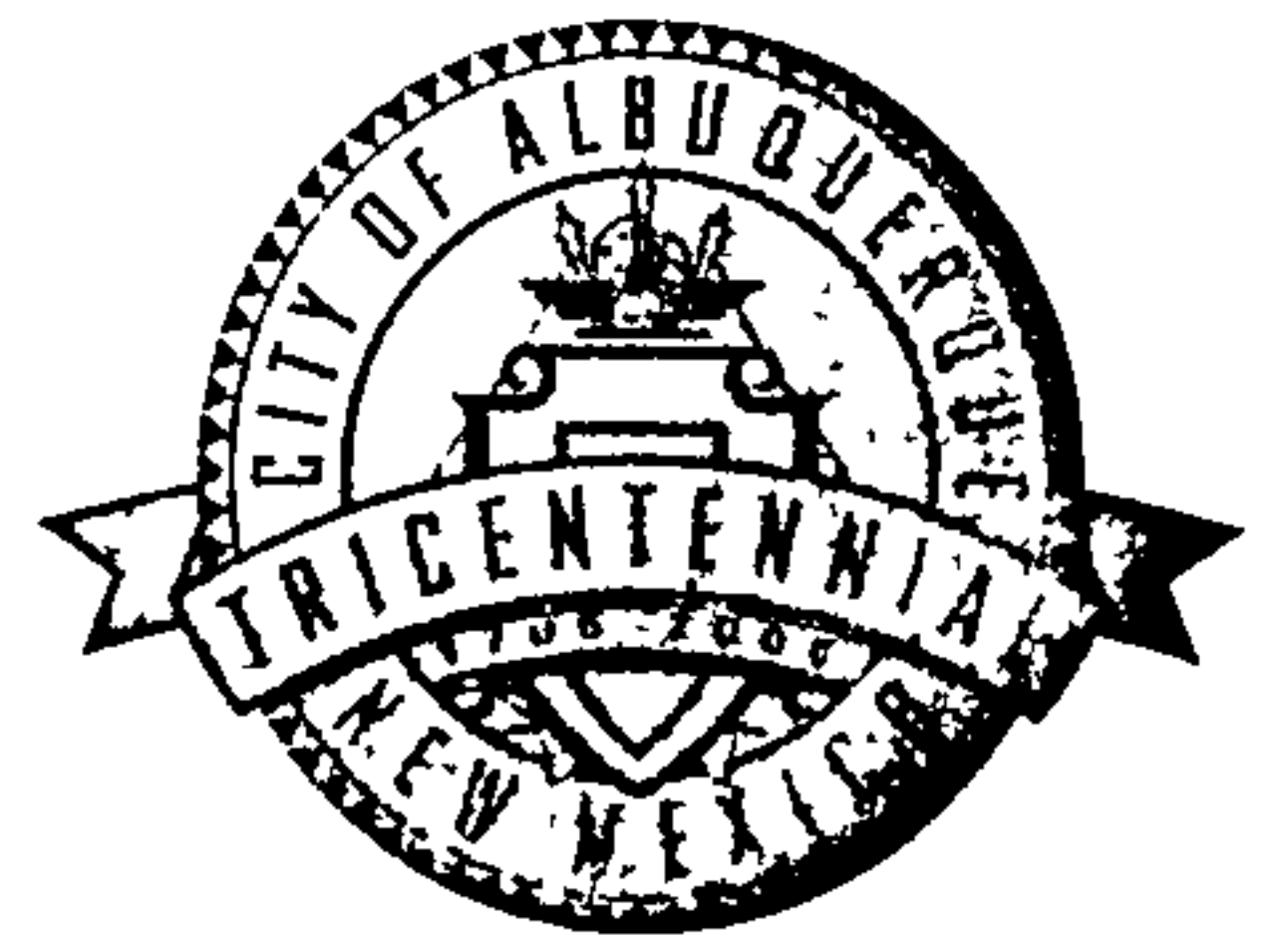


CITY OF ALBUQUERQUE



July 23, 2007

Jake Bordenave, P.E.
Bordenave Designs
PO Box 91194
Albuquerque, NM 87109

**Re: Popeye's Chicken & Biscuits, 2600 Juan Tabo NE,
Approval of Permanent Certificate of Occupancy (C.O.)
Engineer's Stamp dated 10/04/2006 (H-22/D76)
Certification dated 07/22/2007**

Based upon the information provided in your submittal received 07/23/2007, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

P.O. Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

New Mexico 87103

Timothy Sims
Plan Checker-Hydrology, Planning Dept.
Development and Building Services

www.cabq.gov

C: CO Clerk-Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: POPEYE'S CHICKEN & BISQUITS ZONE MAP: H22 / D074
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot 1A, Block 101, Brentwood Hills Subdivision
CITY ADDRESS: Juan Tabo NE at Lexington

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Popeye's Chicken & Bisquits CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
--	-------------	------

CONTRACTOR: <u>P J Development</u>	CONTACT: <u>P. Joseph</u>
ADDRESS: <u>PO Box 14903</u>	PHONE: <u>263-6965</u>
CITY, STATE: <u>Albuquerque, NM</u>	ZIP CODE: <u>87191-4903</u>

TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1st SUBMITTAL

☐ DRAINAGE PLAN RESUBMITTAL

☐ CONCEPTUAL G & D PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERT (HYDROLOGY)

☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT

☐ ENGINEER'S CERT (TCL)

☐ ENGINEER'S CERT (DRB SITE PLAN)

☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D APPROVAL

☐ S. DEV. FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

☐ OTHER (SPECIFY) _____

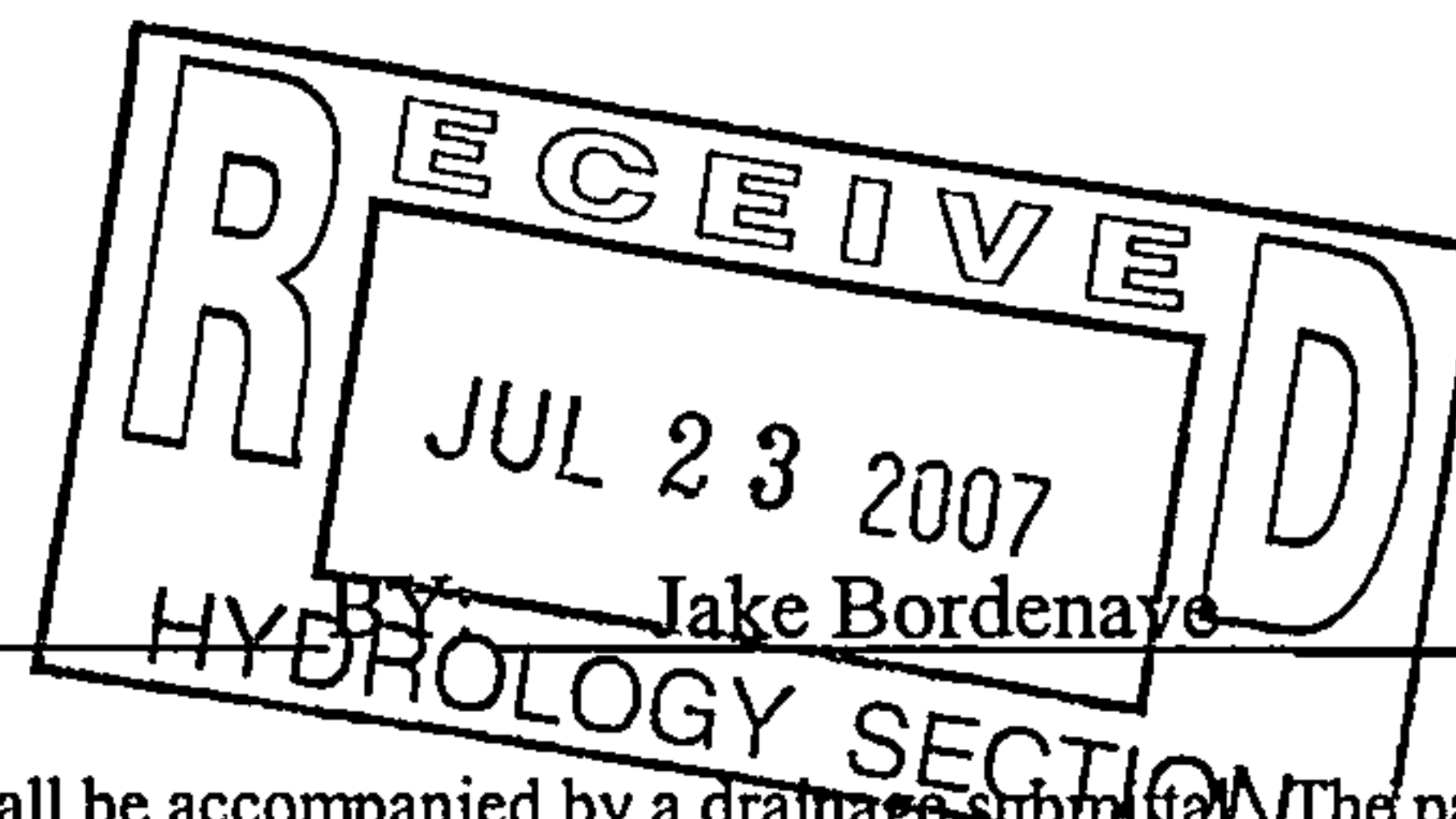
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

☐ COPY PROVIDED

DATE SUBMITTED: July 23, 2007



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

July 2, 2007

Kenneth R. Hovey, Registered Architect
433 Sierra Drive SE
Albuquerque, NM 87108

Re: Certification Submittal for Final Building Certificate of Occupancy for
Popeyes Chicken Restaurant, [H-22 / D76]
2600 Juan Tabo Blvd NE
Architect's Stamp Dated 06/28/07

P.O. Box 1293

Dear Mr. Hovey:

Albuquerque

The TCL / Letter of Certification submitted on June 29, 2007 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

New Mexico 87103

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: POPEYES CHICKEN RESTAURANT ZONE MAP/DRG. FILE # H-22/DO74
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 1-A Block 101 BRIGHTWOOD HILLS SUB-DIVISION
 CITY ADDRESS: 2600 JUAN TABO BLVD, NE

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: WOODS FAMILY TRUST
 ADDRESS: P.O. Box 14903
 CITY, STATE: ALBUQ, NM

CONTACT: MR. JOSEPH
 PHONE: 934-6965
 ZIP CODE: 87191

ARCHITECT: KEN HONEY
 ADDRESS: 433 SIERRA DRIVE SE
 CITY, STATE: ALBUQ, NM

CONTACT: KEN HONEY
 PHONE: 259 8458
 ZIP CODE: 87108

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: P.J. DEVELOPMENTS
 ADDRESS: P.O. Box 14903
 CITY, STATE: ALBUQ, NM

CONTACT: PKT
 PHONE: 263-6965
 ZIP CODE: 87191

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

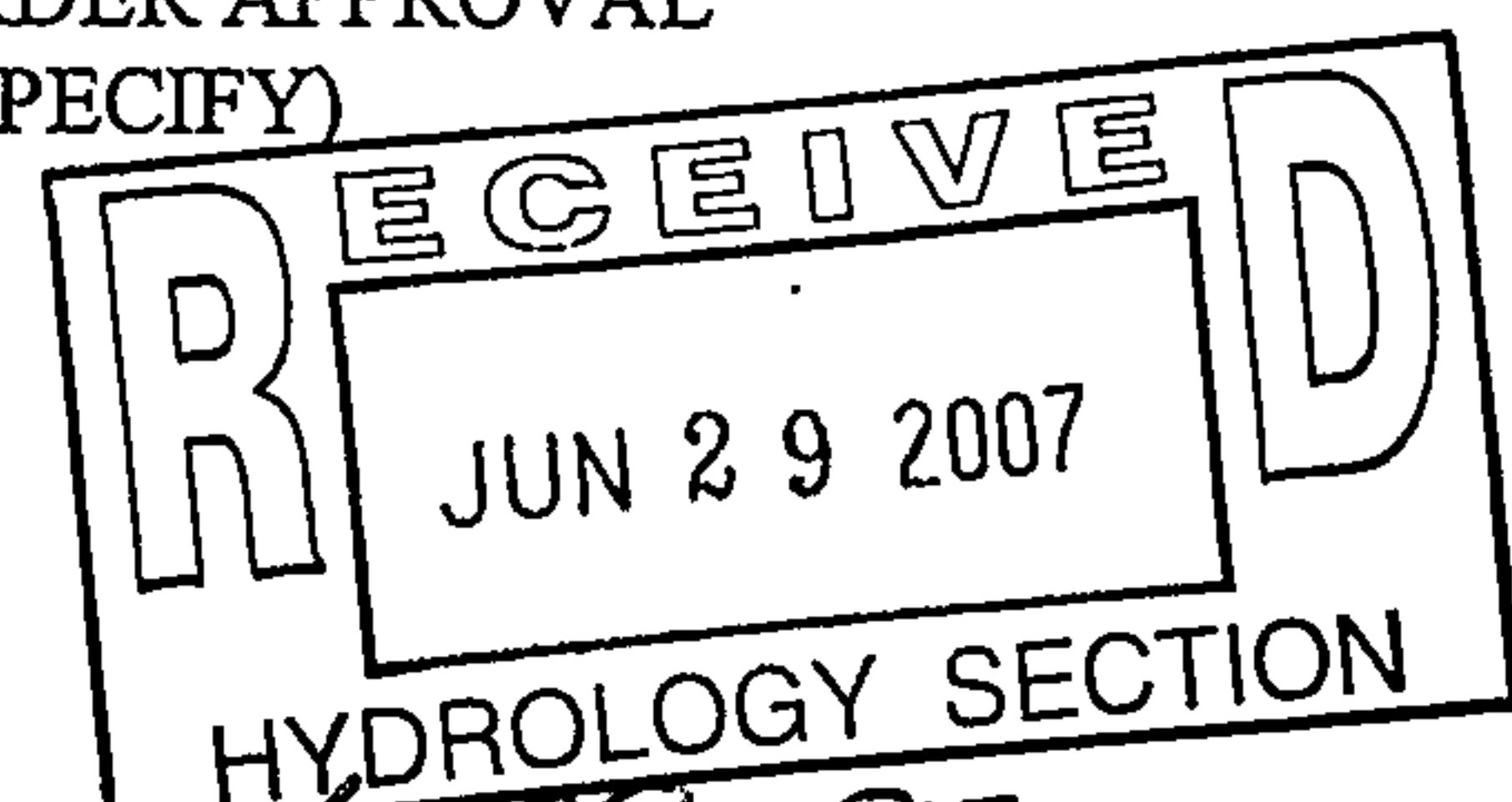
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: KEN HONEY

DATE: 6-29-07



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

**KEN HOVEY, ARCHITECT
433 SIERRA DRIVE SE
ALBUQUERQUE, NEW MEXICO 87108
PHONE: (505) 259-8458**

June 28, 2007

City of Albuquerque
Transportation Department
600 Second Street NW

Subject: Architect's TCL Certification for Popeyes Chicken Restaurant, 2600 A and Taco Bueno Restaurant, 6060 San Mateo Blvd. NE, Suite B, Albuquerque, NM.

I, Ken Hovey, prepared the Traffic Circulation Layout (TCL) for the subject projects located at 2600 Juan Tabo Blvd. NE, and more particularly described as Tract 1-A, Block 101, Brentwood Hills Subdivision..

I have visited the site and performed a visual inspection of the as-built construction and I find that it is in substantial compliance with the approved TCL dated 10/13/06.

I have submitted, herewith, a copy of the approved TCL with redlines showing any departure from the approved plan. The submitted plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

The information presented on the redlined TCL is intended only to verify substantial compliance of the Traffic aspects of this project and is not necessarily complete. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

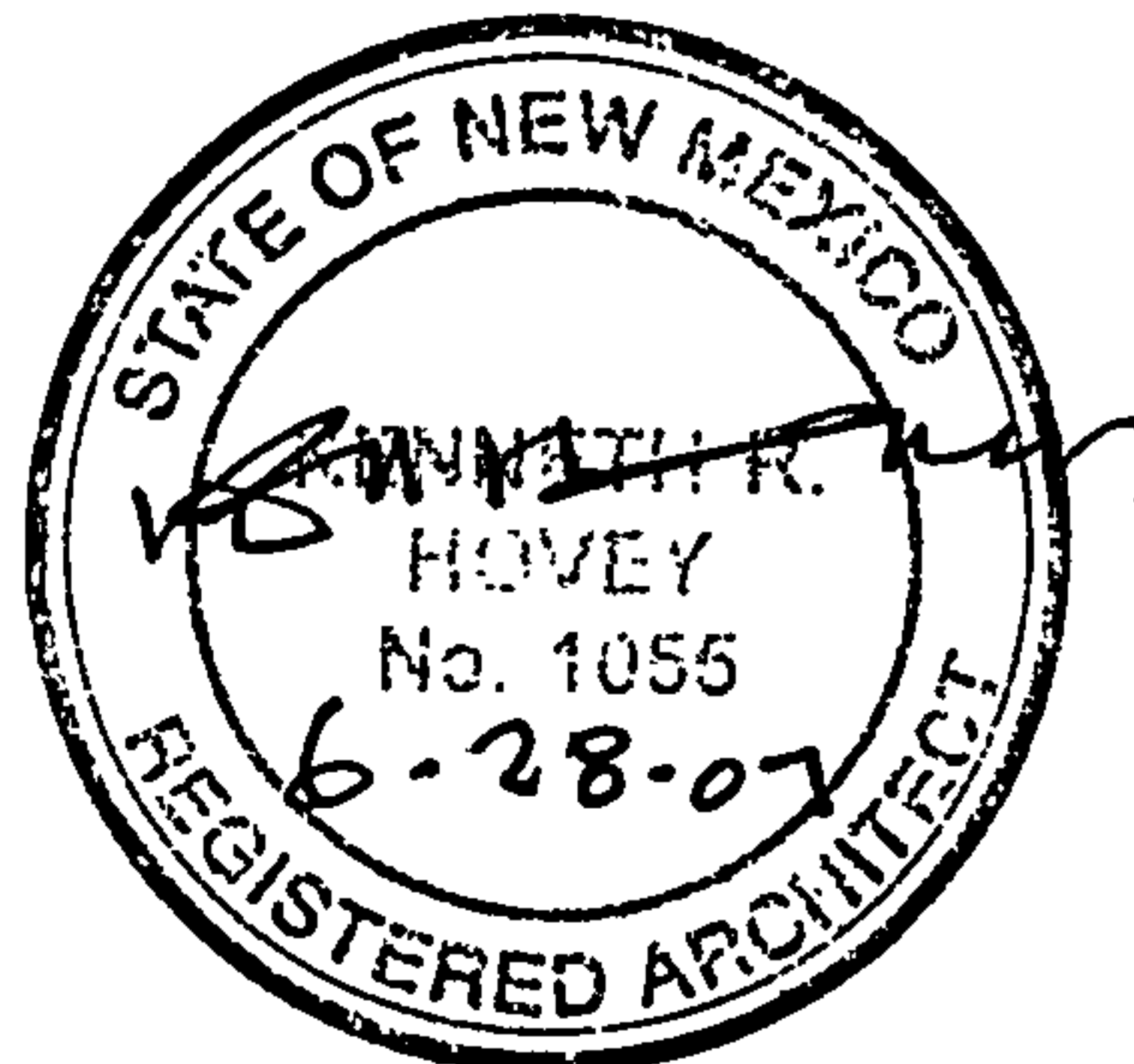
This Architect's certification is submitted in support of issuance of a Certificate of Occupancy for the subject addresses.

If you have any questions, or if further discussion is required, please don't hesitate to contact me at (505) 259-8458 or by email at ken_hovey@msn.com.

Sincerely,



Ken Hovey



CITY OF ALBUQUERQUE



December 27, 2006

Mr. Jake Bordenave, P.E.
BORDENAVE DESIGNS
P.O. Box 91194
Albuquerque, NM 87109

Re: POPEYE'S CHICKEN – EAST CENTRAL
2600 Juan Tabo Blvd. NE
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 10/04/2006 (H-22/D076)
Certification dated 12/22/2006

P.O. Box 1293

Dear Jake,

Albuquerque

Based upon the information provided in your submittal received 12/27/2006, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

New Mexico 87103

Upon completion of the exceptions listed in your Drainage Certification, please resubmit an updated certification for Permanent C.O.

www.cabq.gov

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: C.O. Clerk
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 01/06 – KDM)

PROJECT TITLE: POPEYE'S CHICKEN & BISQUITS ZONE MAP: H22/D76
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot 1A, Block 101, Brentwood Hills Subdivision
CITY ADDRESS: 3600 Juan Tabo NE (at Lexington)

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Popeye's Chicken & Bisquits CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
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CONTRACTOR: P J Development CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

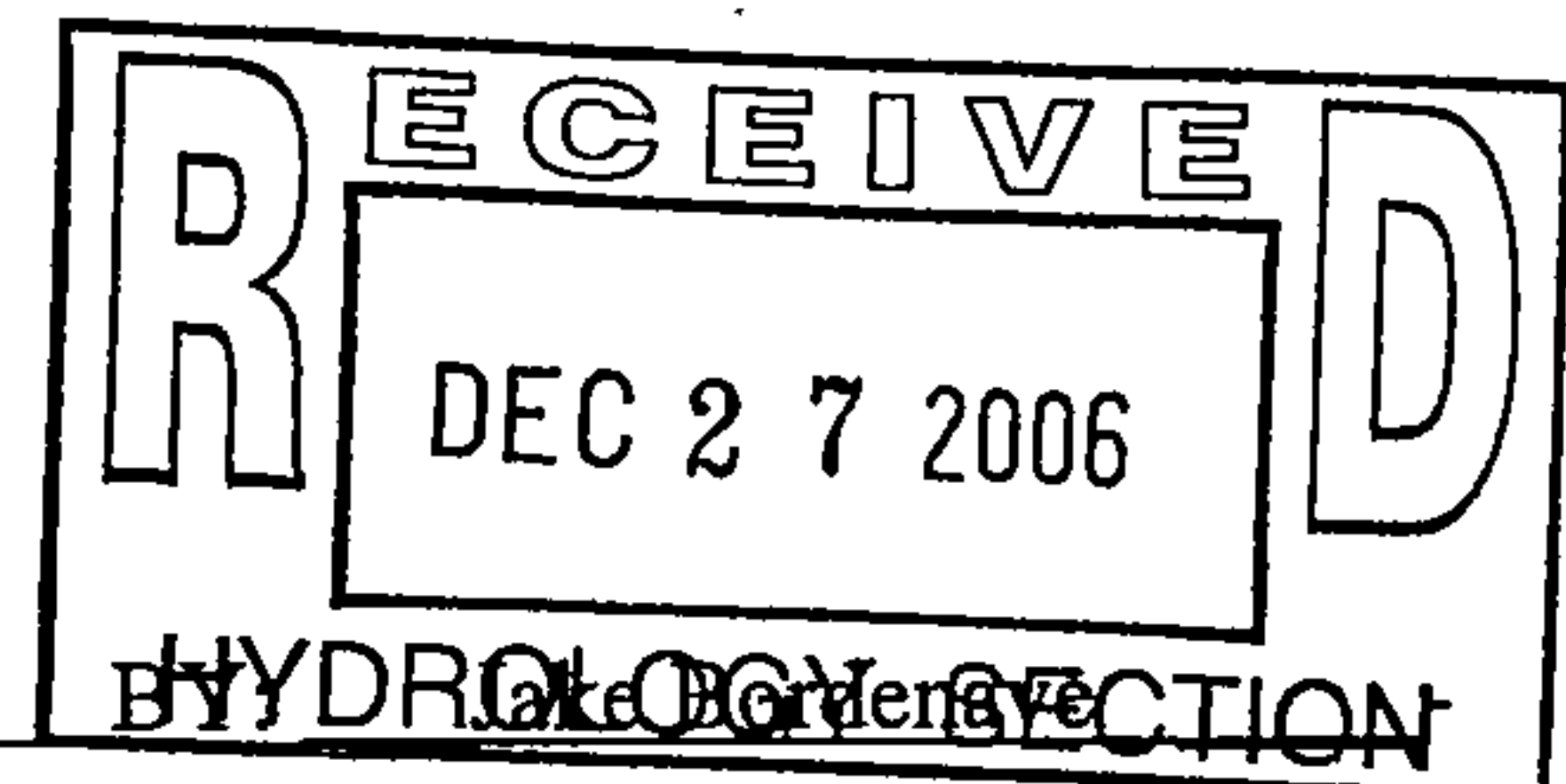
TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (TEMPORARY)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

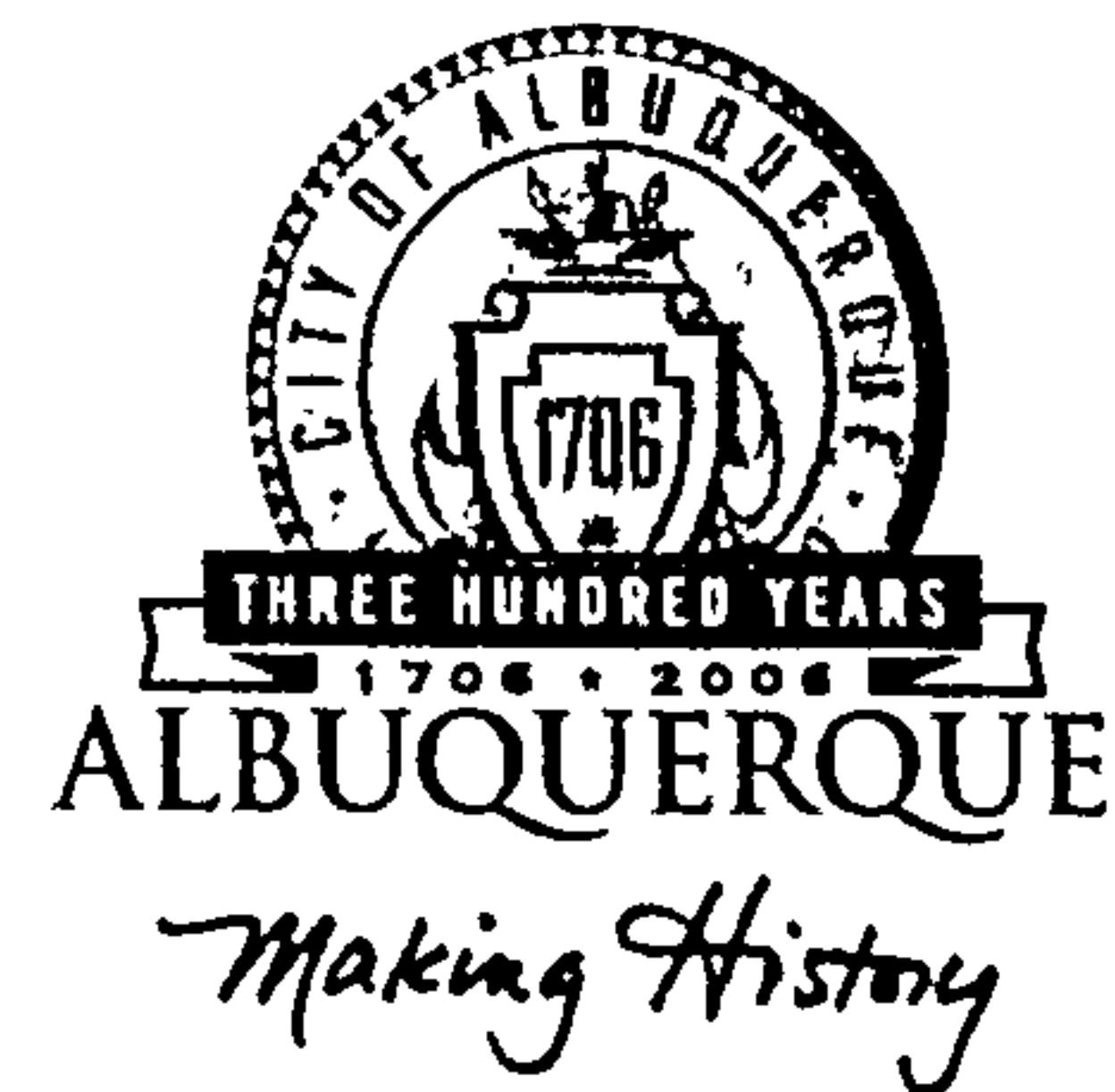
DATE SUBMITTED: December 22, 2006



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 12, 2006

Jean J. Bordenave, P.E.
Bordenave Designs
PO Box 91194
Albuquerque, NM 87199

**Re: Popeyes Chicken & Biscuits, Juan Tabo/Lexington Ave
Grading and Drainage Plan
Engineer's Stamp dated 10-04-06 (H22-D76)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 10-10-06, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. **Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.**

A separate permit (SO#19) is required for construction within City Right of Way. A copy of this approval letter must be on hand when applying for the excavation permit.

If you have any questions, you can contact me at 924-3977.

Sincerely,

Rudy E. Rael, Associate Engineer
Planning Department.
Development and Building Services

C: Liz Sanchez, Excavation Permits
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: POPEYE'S CHICKEN & BISQUITS ZONE MAP: H22/D76
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot 1A, Block 101, Brentwood Hills Subdivision
CITY ADDRESS: Juan Tabo NE at Lexington

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Popeye's Chicken & Bisquits CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
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CONTRACTOR: <u>P J Development</u>	CONTACT: <u>P. Joseph</u>	
ADDRESS: <u>PO Box 14903</u>	PHONE: <u>263-6965</u>	
CITY, STATE: <u>Albuquerque, NM</u>	ZIP CODE: <u>87191-4903</u>	

TYPE OF SUBMITTAL:

<input type="checkbox"/>	DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE PLAN 1 st SUBMITTAL
<input checked="" type="checkbox"/>	DRAINAGE PLAN RESUBMITTAL
<input type="checkbox"/>	CONCEPTUAL G & D PLAN
<input type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL PLAN
<input type="checkbox"/>	ENGINEER'S CERT (HYDROLOGY)
<input type="checkbox"/>	CLOMR/LOMR
<input type="checkbox"/>	TRAFFIC CIRCULATION LAYOUT
<input type="checkbox"/>	ENGINEER'S CERT (TCL)
<input type="checkbox"/>	ENGINEER'S CERT (DRB SITE PLAN)
<input type="checkbox"/>	OTHER (SPECIFY)

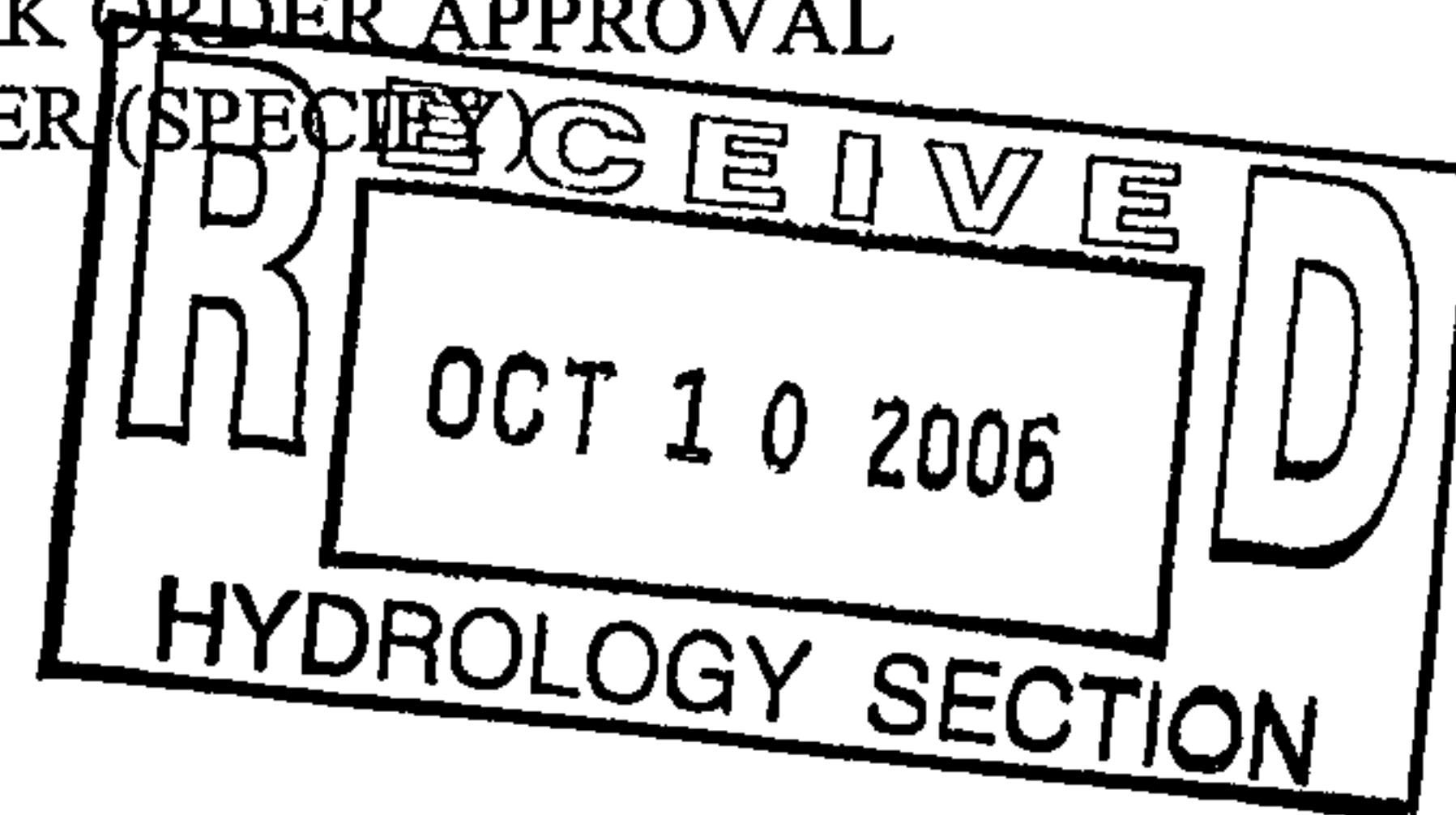
CHECK TYPE OF APPROVAL SOUGHT:

<input type="checkbox"/>	SIA/FINANCIAL GUARANTEE RELEASE
<input type="checkbox"/>	PRELIMINARY PLAT APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/>	S. DEV. FOR BLDG. PERMIT APPROVAL
<input type="checkbox"/>	SECTOR PLAN APPROVAL
<input type="checkbox"/>	FINAL PLAT APPROVAL
<input type="checkbox"/>	FOUNDATION PERMIT APPROVAL
<input checked="" type="checkbox"/>	BUILDING PERMIT APPROVAL
<input type="checkbox"/>	CERTIFICATE OF OCCUPANCY
<input type="checkbox"/>	GRADING PERMIT APPROVAL
<input type="checkbox"/>	PAVING PERMIT APPROVAL
<input type="checkbox"/>	WORK ORDER APPROVAL
<input type="checkbox"/>	OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

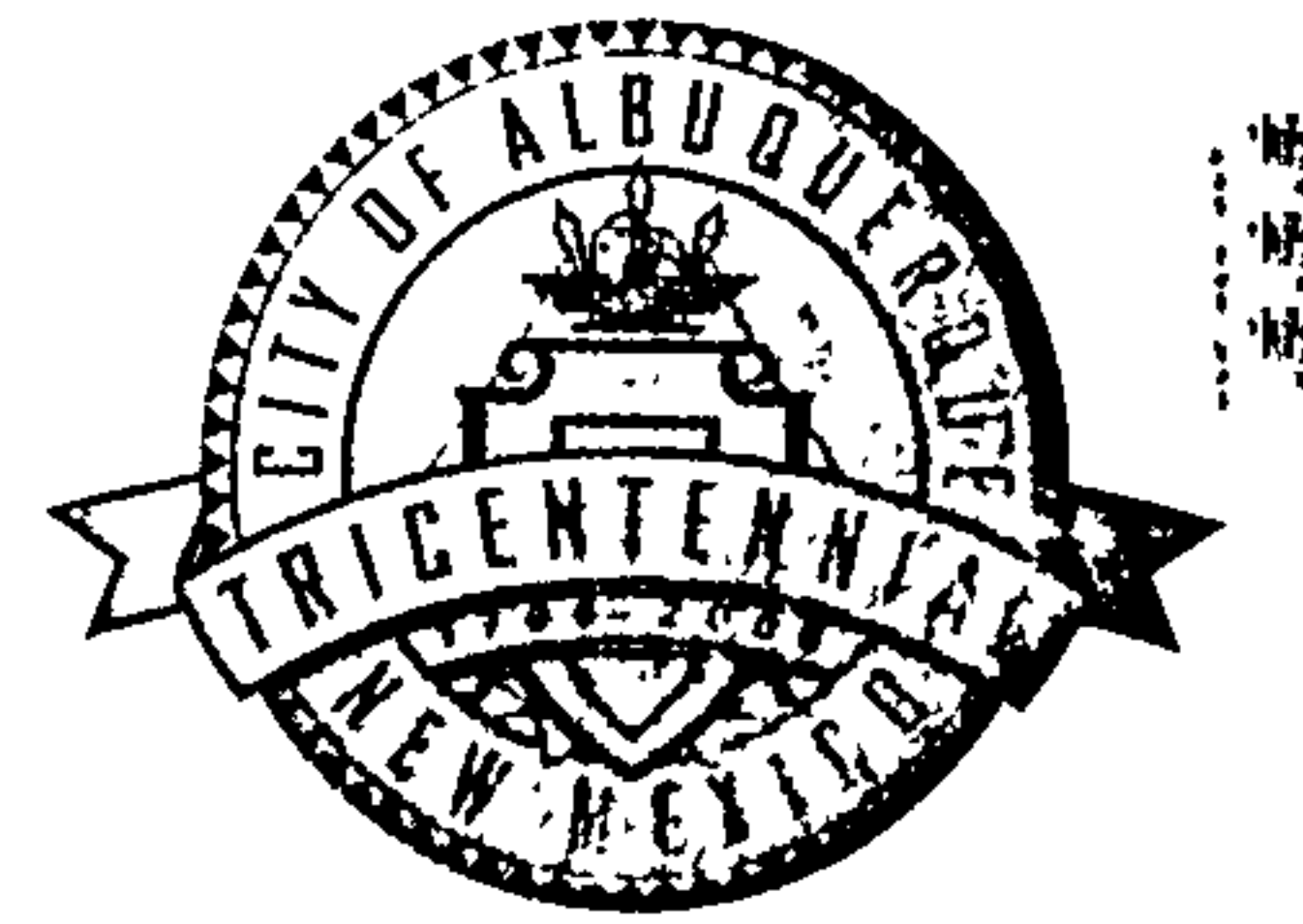
DATE SUBMITTED: October 04, 2006 BY: Jake Bordenave



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



October 13, 2006

Ken Hovey, R.A.
3808 Simms Ave. SE
Albuquerque, NM 87108

Re: Popeye's Chicken, 2600 Juan Tabo Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 10-12-06 (H22-D76)

Dear Mr. Hovey,

The TCL submittal received 10-12-06 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

cc: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: APPROX CHURCH RESTAURANT ZONE MAP/DRG. FILE # 11-22/D76
 DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 1-A BLOCK 101 BREITWEG HILLS SUBDIVISION
 CITY ADDRESS: 2600 VAN TASS BLVD. NE

ENGINEERING FIRM: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: _____
 PHONE: _____
 ZIP CODE: _____

OWNER: WOODS FAMILY TRUST
 ADDRESS: PO Box 14903
 CITY, STATE: ALBUQ. NM

CONTACT: PATRICK
 PHONE: 934 6965
 ZIP CODE: 87191

ARCHITECT: Ken H. O'Leary
 ADDRESS: 3808 SUMMIT AVE SE
 CITY, STATE: ALBUQ. NM 0

CONTACT: Ken
 PHONE: 259 84580
 ZIP CODE: 87108

SURVEYOR: _____
 ADDRESS: _____
 CITY, STATE: _____

CONTACT: FAX: 343-8882
 PHONE: _____
 ZIP CODE: _____

CONTRACTOR: PJ Development
 ADDRESS: PO Box 14903
 CITY, STATE: ALBUQ. NM

CONTACT: MR. JOSEPH
 PHONE: 263 6965
 ZIP CODE: 87191

TYPE OF SUBMITTAL:

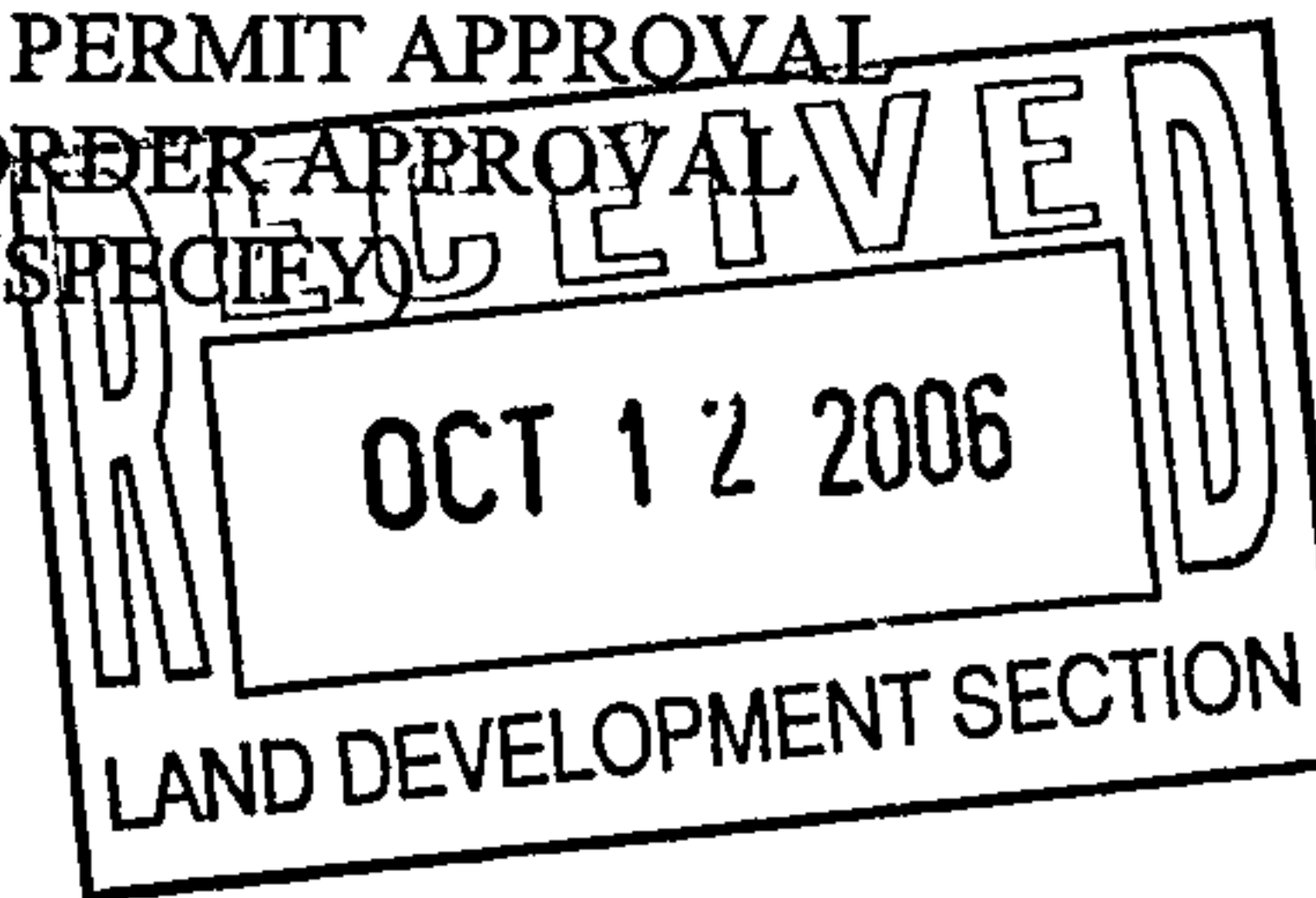
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) Resub

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED



SUBMITTED BY: Ken H. O'Leary DATE: 10-12-06

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Oct. 12 2006 10:43AM HP LASERJET 3200

P.2

2006/AUG/25/FRI 01:44 PM RIO GRANDE TITLE

PAX No. 505 375 6038

P. 029/012

for the purpose of access, ingress, egress and movement by vehicular and pedestrian traffic to and from Tract 1-A, and specifically an easement to and from the thirty foot (30') wide access easement created by that certain Agreement filed February 6, 1985 in Book NS, 198A, Page 984 within Tract A, Brantwood Hills Subdivision as shown and designated on the plat filed in Volume C18, folio 193 and adjoining Tract 2-A to the north ("Tract A Easement"), for so long as the Tract A Easement exists.

c. Tract 1-A is subject to a perpetual non-exclusive easement for the benefit of Tract 2-A, over, through and across the northern fifteen feet (N.15') of the western ninety-five feet (W.95') of Tract 1-A for the purpose of access, ingress and egress by vehicular and pedestrian traffic.

d. Tract 1-A is subject to a perpetual non-exclusive easement for the benefit of Tract 2-A, over, through and across the Access Areas located on Tract 1-A for the purpose of access, ingress, egress and movement by vehicular and pedestrian traffic to and from Tract 2-A.

e. "Access Areas" are the portions of the Tracts designated and used by the owners thereof from time to time for vehicular and pedestrian access, ingress, egress and movement to and from Juan Tabo Boulevard, Lexington Avenue, Tract A Easement, and the twenty foot (20') public alley to the east of the Tracts.

f. Except as provided hereinafter in this Paragraph 1f, the Access Areas may be relocated by the owners of the Tracts, provided said Access Areas are not blocked at any time.

Printed on 11/30/2005 14:34 by Steve Benoit

2



11/30/2005
Page 2 of 5
11/30/2005 14:34
P. 029/012

Vol. D. Booked Co. LLC

Oct 12 2006 10:45AM HP LASERJET 3200

P.5

2006/AUG/25/FRI 01:45 PM RIO GRANDE TITLE

FAX No. 505 875 8038

P. 012/012

IN WITNESS WHEREOF, the undersigned has executed this
Declaration effective the date first hereinabove set forth.

THE CHAFFEE FAMILY LIMITED PARTNERSHIP,
a New Mexico limited partnership

By: [Signature]
HAROLD D. CHAFFEE
General Partner

STATE OF NEW MEXICO)
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on 11/30/2005
at 11/30/2005, by HAROLD D. CHAFFEE, General Partner of THE
CHAFFEE FAMILY LIMITED PARTNERSHIP, a New Mexico limited
partnership.

MY COMMISSION EXPIRES: 11/30/2006

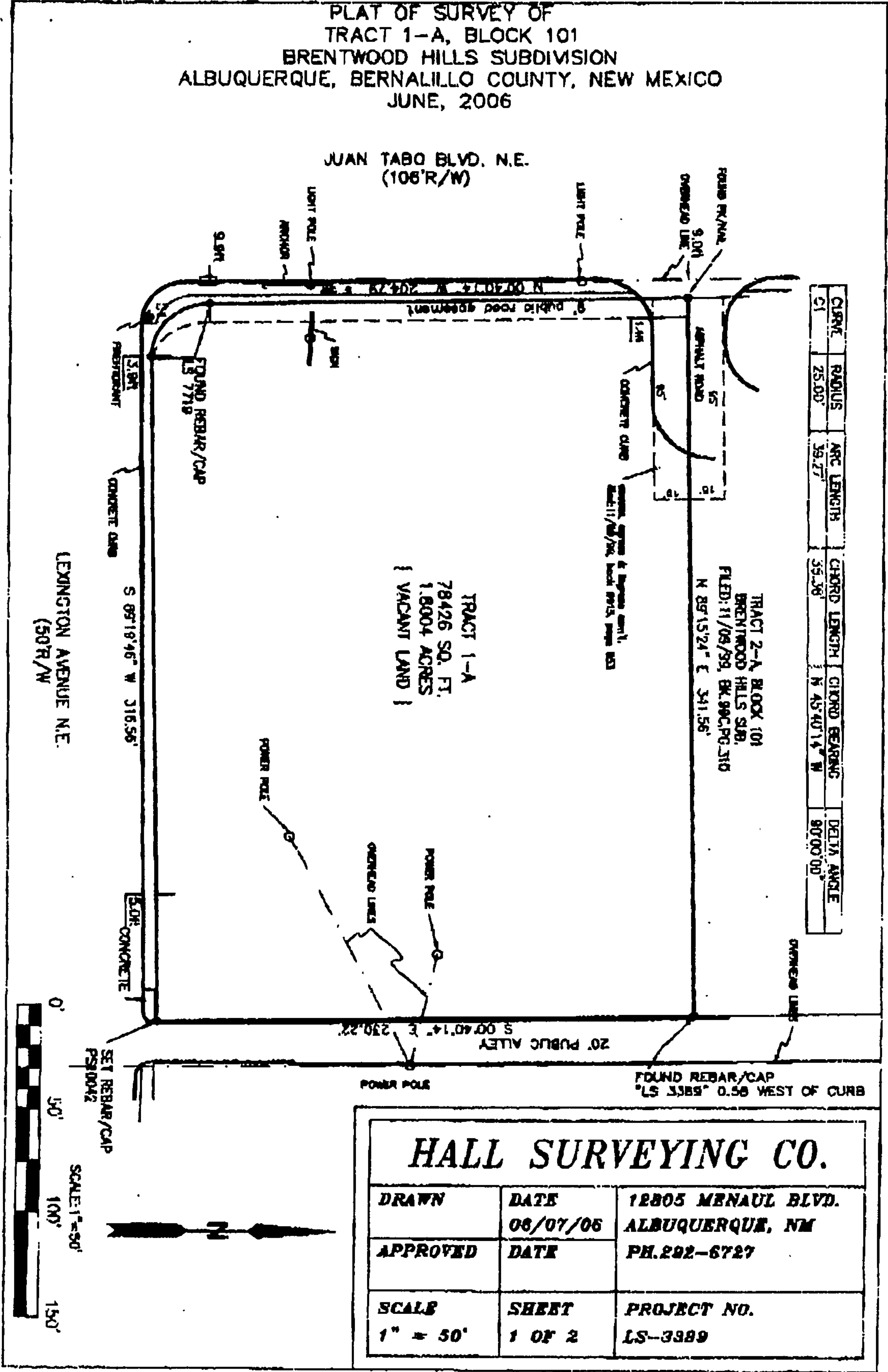
[Signature]
NOTARY PUBLIC



11/30/2005
Page: 1 of 3
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P.2





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p. 1

PLAT OF SURVEY OF
TRACT 1-A, BLOCK 101
BRENTWOOD HILLS SUBDIVISION
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JUNE, 2006

DESCRIPTION

TRACT 1-A IN BLOCK 101 OF BRENTWOOD HILLS SUBDIVISION AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON NOVEMBER 9, 1999 IN PLAT BOOK 99C, FOLIO 310.

NOTES

1) THIS SURVEY IS BASED ON THE PLAT OF RECORD. DISTANCES ARE GROUND.
2) THIS SURVEY SHOWS ALL EASEMENTS PER commitment for title insurance from RIO GRANDE TITLE CO. No. 02308338

3) ENCROACHMENTS

1) ASPHALT ROAD AND CURB AT NORTHWEST CORNER extend outside access. Ingress & egress com't. by upto 1.4'.

FLOOD INFORMATION

TRACT 1-A, BLOCK 101 APPEARS TO FALL IN ZONE X AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, PER F.I.R.M. PANEL 357 OF 825 MAP #35001C03B7 EFFECTIVE DATE NOVEMBER 19, 2003.

SURVEYORS CERTIFICATION

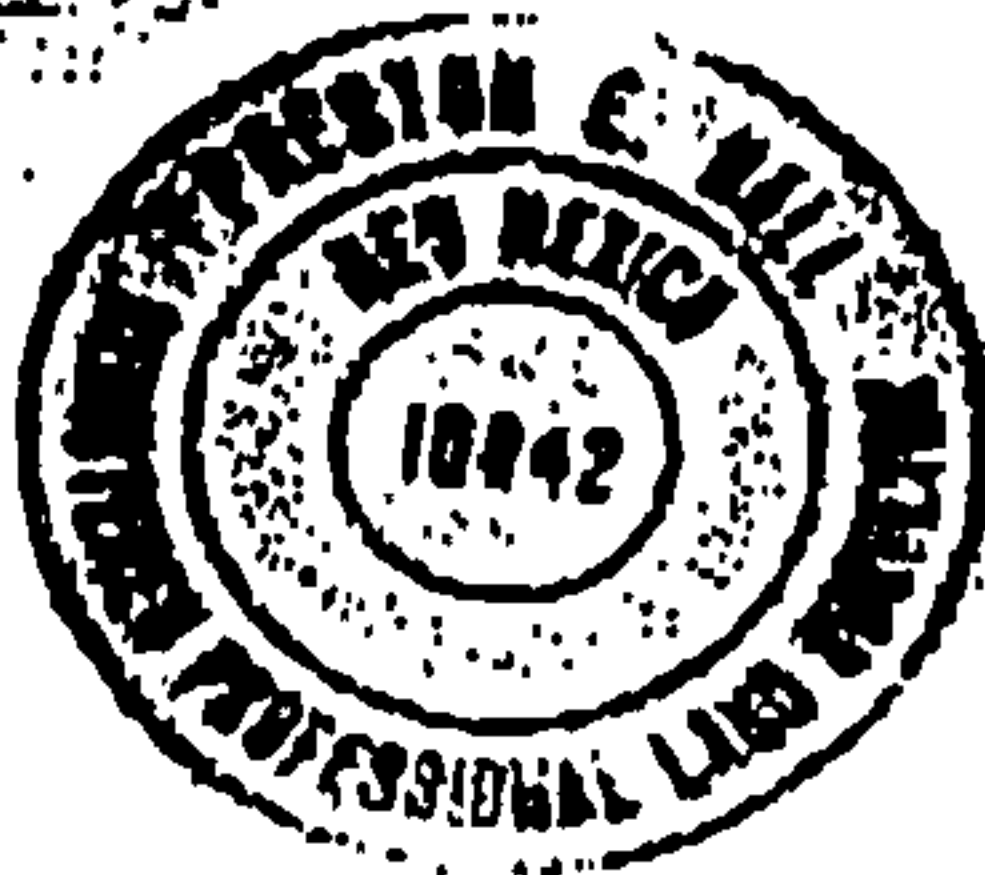
TO: SANFORD L. WOODS, SR., LAWYERS TITLE INSURANCE CORP., FIRST FEDERAL BANK AND MICHAEL J McDERMOTT;
I, PRESTON E. HALL, NEW MEXICO PROFESSIONAL SURVEYOR, HEREBY CERTIFY THAT THIS BOUNDARY SURVEY PLAT WAS PREPARED FROM AN ACTUAL GROUND SURVEY PERFORMED BY ME OR UNDER MY SUPERVISION, THAT I AM RESPONSIBLE FOR THIS SURVEY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THAT THIS BOUNDARY SURVEY PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED MEET THE MINIMUM STANDARDS FOR SURVEYING IN NEW MEXICO, AND THAT THIS SURVEY IS NOT A LAND DIVISION OR SUBDIVISION AS DEFINED IN THE NEW MEXICO SUBDIVISION ACT. THIS IS A BOUNDARY SURVEY PLAT OF AN EXISTING TRACT OR TRACTS.

PRESTON E. HALL

06/07/06

DATE

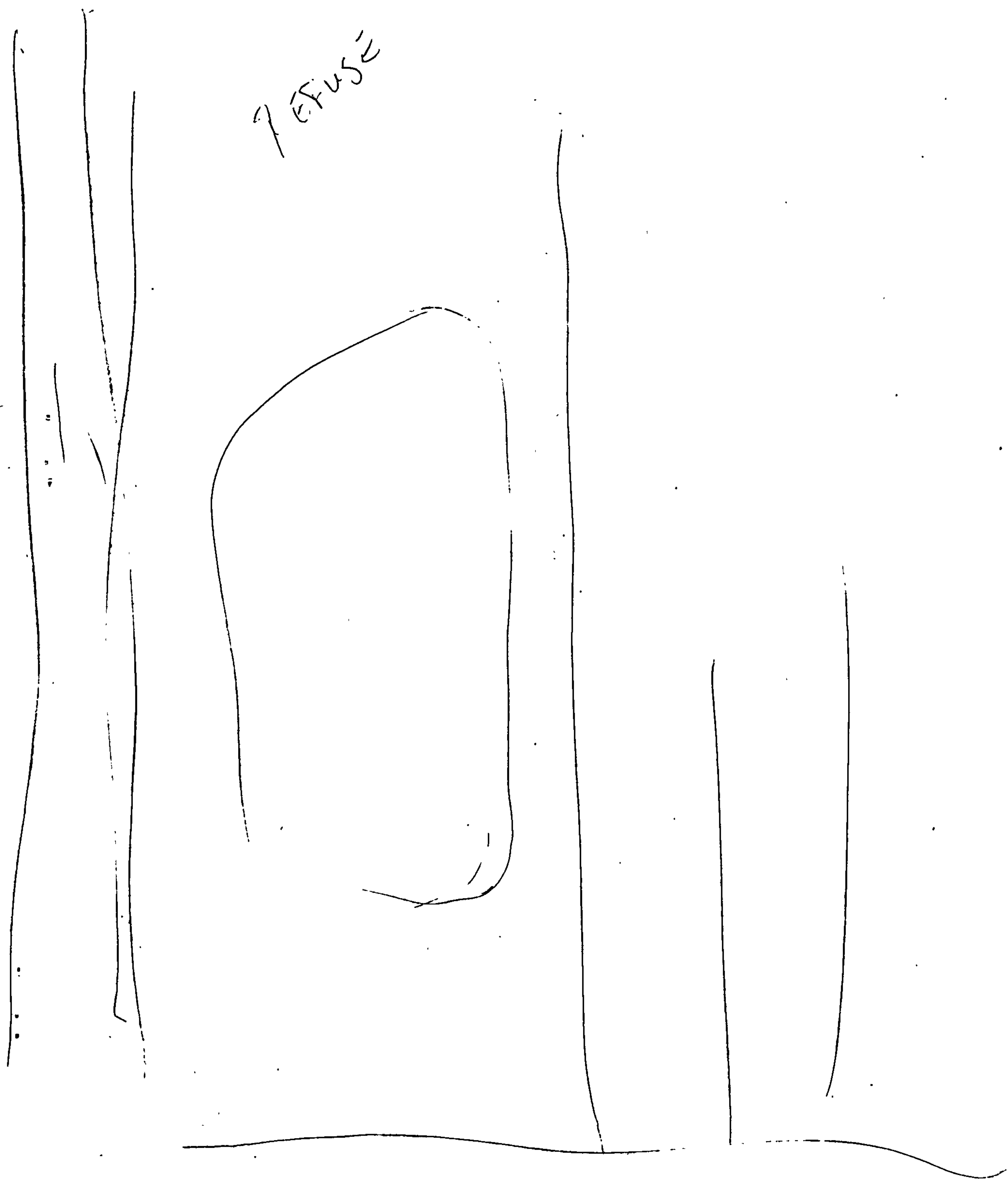
REVISED: 8/28/06



HALL SURVEYING CO.

DRAWN	DATE	12805 MENAUL BLVD.
	06/07/06	ALBUQUERQUE, NM
APPROVED	DATE	PH.292-6727
SCALE	SHEET	PROJECT NO.
1" = 50'	2 OF 2	LS-3389

7 EFUSE



CITY OF ALBUQUERQUE



October 11, 2006

Ken Hovey, R.A.
3808 Simms Ave. SE
Albuquerque, NM 87108

Re: Popeye's Chicken, 2600 Juan Tabo Blvd. NE, Traffic Circulation Layout
Architect's Stamp dated 9-22-06 (H22-D76)

Dear Mr. Hovey,

Based upon the information provided in your submittal received 10-02-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Provide a sidewalk easement for all public sidewalk located outside of the right-of-way, or redesign the sidewalk at the drivepad on Lexington Avenue.
2. The proposed sidewalk along Lexington Avenue must be 6 feet in width. Please place the proposed sidewalk at the property line, not the back of curb.
3. List radii for all curves shown.
4. Provide a copy of the cross lot access easement.
5. Please provide more information about the existing driveway and wheelchair ramps to ensure that these are ADA compliant. The ramps will require truncated domes. Provide a ramp detail.
6. The handicapped space to the left of the 8-foot wide van access aisle is a van accessible space. The note under *Off Street Parking Provided* states: "Two HC spaces all designated van accessible." However, only one handicapped space is van accessible. Please correct this note and adjust your parking signs accordingly. In addition, please note that this phase provides 33 proposed parking spaces, not 34.
7. Please refer to all applicable city standards.
8. It appears that the landscaping islands do not provide adequate protection for the parking spaces; extend the landscape islands an additional two feet (approximate) or to the end of the parking stalls.
9. The pedestrian path needs to be 6 feet wide.
10. What are the existing conditions of the site? Clarify existing versus proposed versus future conditions. Are the parking spaces shown to the north of the proposed building part of phase 2? What is proposed for this area with phase 1? Please provide more detail.
11. Include a copy of solid waste approval.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

H-22/D76

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 12/05)

PROJECT TITLE: POPOYAS CHUCKEN RESTAURANT ZONE MAP/DRG. FILE # H 22
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 1-X BLOCK 101 BRENTWOOD HILLS ADDN
CITY ADDRESS: 2600 JUAN TABO BLVD, NE

ENGINEERING FIRM: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

OWNER: WOODS FAMILY TRUST
ADDRESS: P.O. BOX 14903
CITY, STATE: ALBUQUERQUE, NM

CONTACT: MR. JOSEPH
PHONE: 505-934-6965
ZIP CODE: 87191

ARCHITECT: KEN HOVEY
ADDRESS: 3808 SIMMS AVE SE
CITY, STATE: ALBUQUERQUE, NM

CONTACT: KEN HOVEY
PHONE: 505-259-8458
ZIP CODE: 87108

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: P.V. DEVELOPMENT
ADDRESS: P.O. BOX 14903
CITY, STATE: ALBUQUERQUE, NM

CONTACT: 505 263-6965
PHONE: FAT JOSEPH
ZIP CODE: 87191 87191

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER/ARCHITECT CERT (TCL)
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)
☐ ENGINEER/ARCHITECT CERT (AA)
☐ OTHER (SPECIFY) _____

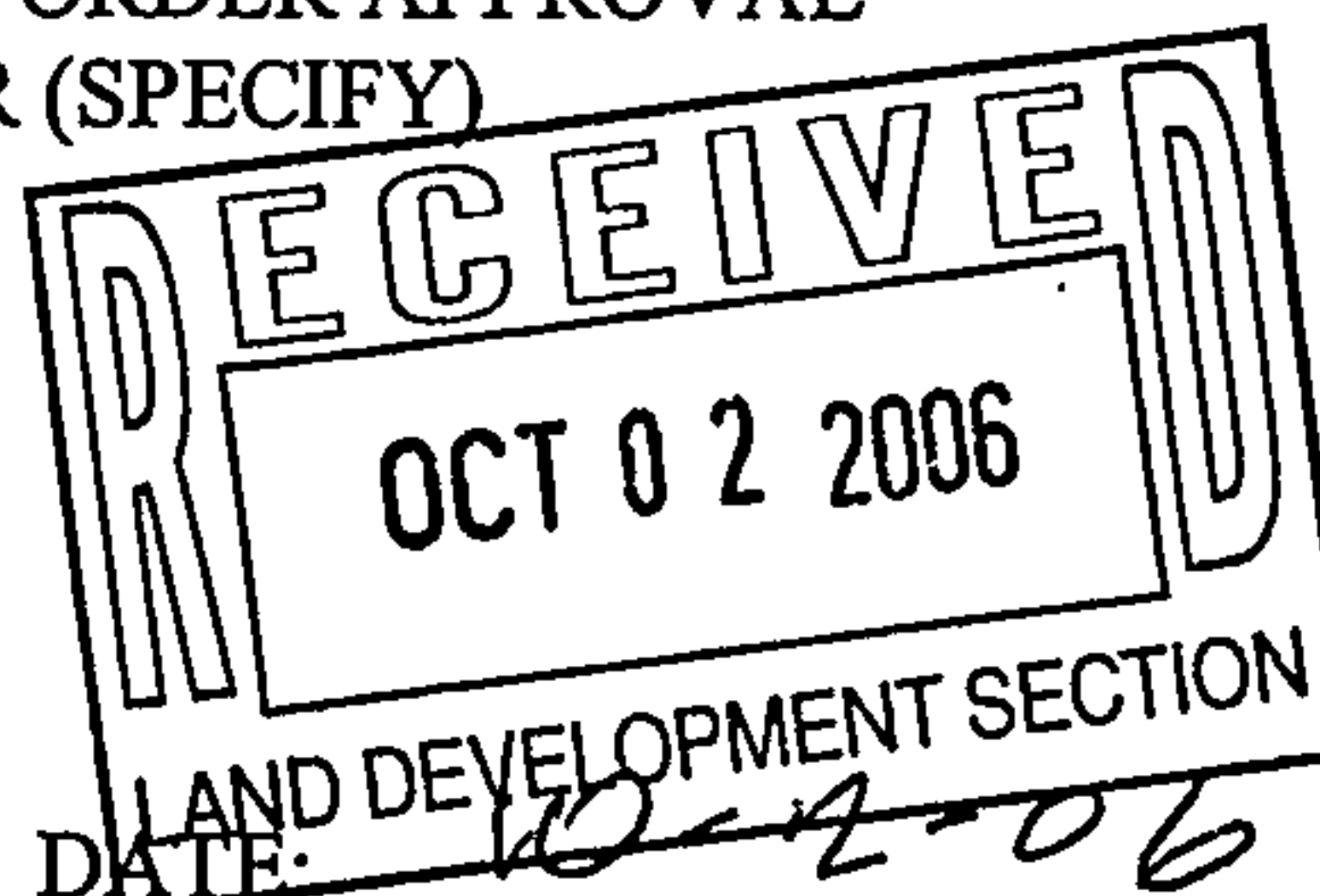
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SUBMITTED BY: KEN HOVEY



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

- ✓ Need SW esmt - or redesign
- ✓ 6' sidewalk needed along Lexington
- ✓ Provide more info to ensure the existing driveway and ramps are ADA compliant
- ✓ Copy of cross lot access esmt
- ✓ Need to add sign to van accessible space (to the left of the 8' aisle)

✓ Landscape islands do not provide adequate protection for the parking spaces - should extend out approx 2 ft more

✓ Proposed SW at the PL

N/A 33 proposed parking spaces, not 34



Provide 6' pedestrian access

✓ Need ramp details

What are the existing conditions of the site?

Need all radii values

Include ² Provide copy of refuse approval

✓ Clarify future work vs. proposed work vs. existing conditions

CITY OF ALBUQUERQUE



October 2, 2006

Jean Bordenave, P.E.
Bordenave Designs
P.O. Box 91194
Albuquerque, NM 87199

**Re: Popeye's Chicken and Biscuits Restaurant, Juan Tabo Boulevard at
Lexington Avenue, Grading and Drainage Plan
Engineer's Stamp dated 9-18-06 (H22-D76)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 9-26-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. An offsite drainage map is shown, but the offsite drainage is not defined or quantified.
2. What is the status of the 20 foot public alley? Is it currently paved?
3. Is the refuse enclosure existing or proposed?
4. Please clarify what items on the plan are existing and what items are proposed.
5. Provide invert elevations for the proposed sidewalk culvert.
6. Two copies of the plan must be provided when an SO#19 permit is required.
7. Please update your SO#19 notes on the plan (see attached notes for reference).
8. What does the cross hatching indicate?
9. A valley gutter detail is not shown on sheet C.3. Please provide a detail or refer to the appropriate City Standard.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 01/06 – KDM)

PROJECT TITLE: POPEYE'S CHICKEN & BISQUITS ZONE MAP: H22 / D76
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot 1A, Block 101, Brentwood Hills Subdivision
CITY ADDRESS: Juan Tabo NE at Lexington

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave
ADDRESS: PO Box 91194 PHONE: 823-1344
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: Popeye's Chicken & Bisquits CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

ARCHITECT: Ken Hovey CONTACT: K. Hovey
ADDRESS: 3808 Simms Ave. SE PHONE: 259-8458
CITY, STATE: Albuquerque, NM ZIP CODE: 87108

SURVEYING FIRM: Hall Surveying, Inc. LICENSED SURVEYOR: Cliff
ADDRESS: 12805 Menaul Blvd. NE PHONE: 292-6727
CITY, STATE: Albuquerque, NM ZIP CODE: 87112

PROFESSIONAL LICENSED SURVEYOR SIGNATURE	LICENSE NO.	DATE
--	-------------	------

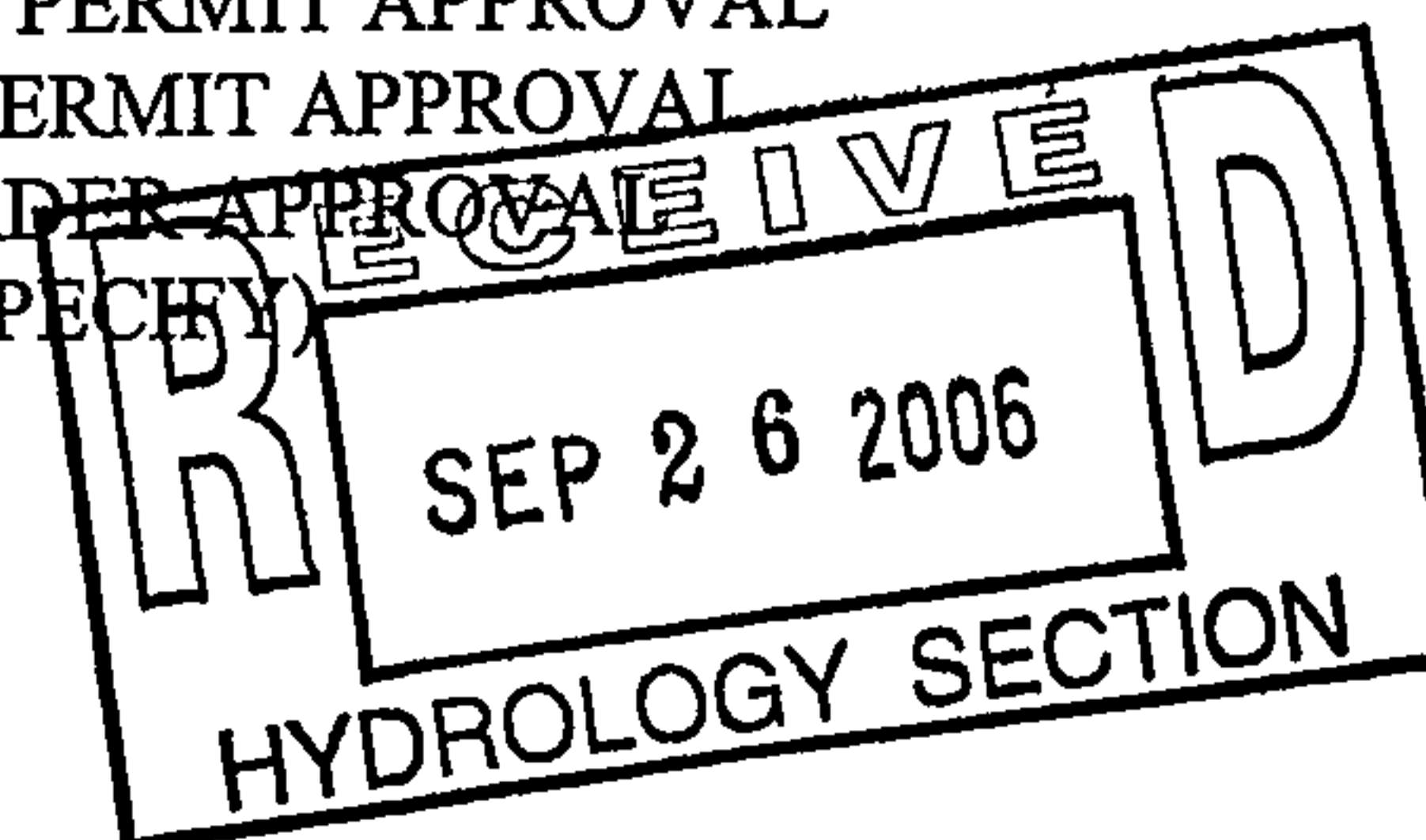
CONTRACTOR: P J Development CONTACT: P. Joseph
ADDRESS: PO Box 14903 PHONE: 263-6965
CITY, STATE: Albuquerque, NM ZIP CODE: 87191-4903

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

See paid

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☐ YES
☒ NO
☐ COPY PROVIDED



DATE SUBMITTED: September 25, 2006 BY: Jake Bordenave

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

You have an offsite drainage map, but you do not define the quantity of offsite flow

What is the status of the 20' public alley? Is it paved?

Refuse enclosure - is this existing?

Clarify what's existing vs. proposed on the site

Provide inverts for the sidewalk culverts

2 copies for SO19

Update SO19 notes

Valley Gutter detail is not shown on sheet C.3
- provide a detail or refer to appropriate City Std

Define the depth of the concrete channel