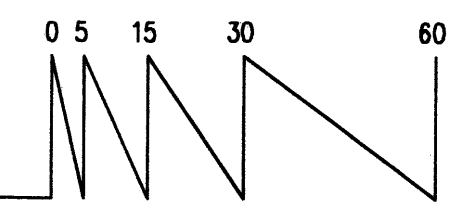


Grading Plan
Scale: 1"=30'

NOTE:
ALL ON SITE TOP OF CURB AND TOP OF SIDEWALK ELEVATIONS ARE 6" ABOVE THE ADJACENT TOP OF ASPHALT UNLESS SHOWN TO BE OTHERWISE.

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED OCTOBER 04, 2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY. THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND IS INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Site Notes

EXISTING CONDITION
THE SITE IS PRESENTLY UNDEVELOPED WITH SLOPE FROM NORTHEAST TO SOUTHWEST. VEGETATION IS QUITE SPARSE, COMPOSED OF NATIVE PLANTS. DRAINAGE RUNOFF IS OVERLAND AND TRANSFERS SOIL INTO THE ADJACENT STREET SYSTEM IN STORMS. NO OFFSITE DRAINAGE ENTERS THE SITE. EXISTING CURB & GUTTER AND SIDEWALK ON JUAN TABO AND CURB & GUTTER ON LEXINGTON ARE TO REMAIN. THE ALLEY AT THE WEST SIDE OF THE SITE IS COMPLETELY DEVELOPED.

PROPOSED CONDITION
THE EXISTING PAVED ENTRANCE AT THE NORTHWEST CORNER IS TO BE REVISED TO PROVIDE A SMOOTHER ENTRANCE TO THE PROPOSED DEVELOPMENT. LANDSCAPED AREAS ARE PLANNED FOR THE NORTH, SOUTH AND WEST SIDES OF THE PROPERTY. THE SITE WILL DEVELOPED IN TWO OR MORE PHASES WITH PHASE ONE PROVIDING INGRESS/EGRESS FOR REFUSE AND A DEVELOPED DRAINAGE OUTFALL FACILITY. THE FUTURE BUILDING ROOF WILL DRAIN TO THE ALLEY. THE ENTIRE SITE WILL BE ROUTED ON PAVED SURFACES TO LEXINGTON AVENUE. SIDEWALK ON LEXINGTON WILL BE CONSTRUCTED WITH THIS PROJECT.

THE SITE IS LOCATED IN ZONE X PER FEMA FIRM NO. 357.

Legal Description

TRACT 1-A, BLOCK 101, BRENTWOOD HILLS SUBDIVISION

Permanent Benchmark

ACS 10-H22 ELEVATION 5619.80 (NAVD88)

Keyed Notes

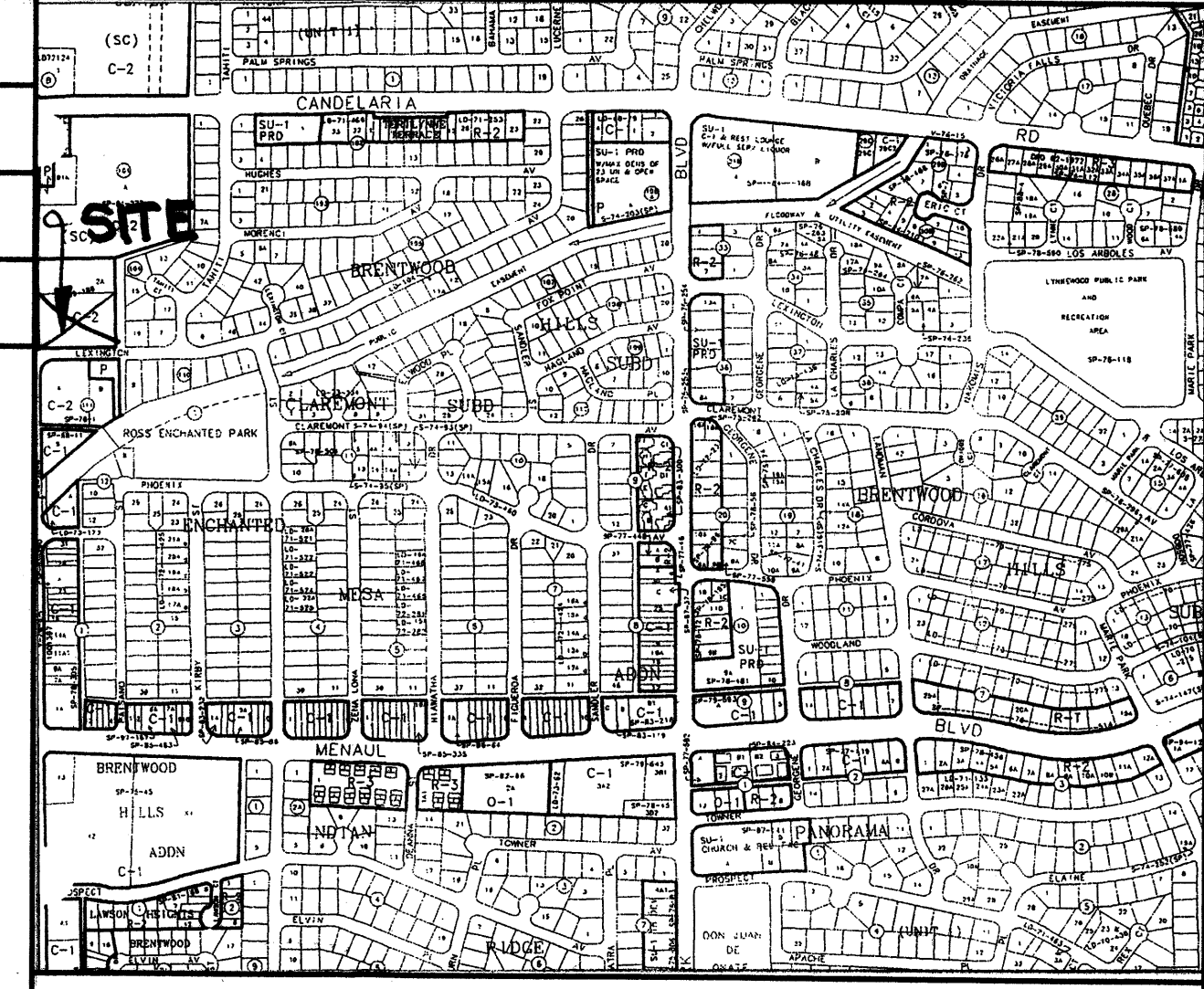
1. HEADER CURB. SEE DETAIL SHEET C.3.
2. CONCRETE CURB AND GUTTER. SEE DETAIL SHEET C.3.
3. HEAVY DUTY PAVING (CROSS HATCHED AREA). SEE DETAIL SHEET C.3.
4. LIGHT DUTY PAVING (PARKING & DRIVE-UP ASLE). SEE DETAIL SHEET C.3.
5. TURNDOWN SIDEWALK. SEE DETAIL SHEET C.3.
6. SITE SIDEWALK. SEE DETAIL SHEET C.3.
7. CITY SIDEWALK. SEE COA STD. DNG. 2430.
8. VALLEY GUTTER. SEE DETAIL SHEET C.3.
9. INSTALL 24" CONCRETE DRIVEPAD. SEE COA STD. DNG. 2425, SECTION D-D.
10. 24" SIDEWALK CULVERT. SEE COA STD. DNG. 2226.
11. 24" CONCRETE CHANNEL. SEE DETAIL SHEET C.3.
12. REFUSE ENCLOSURE. SEE ARCHITECTURAL & PLUMBING FOR DETAILS.
13. REMOVE EXISTING CURB, GUTTER AND ASPHALT IN HATCHED AREA.

Notice to Contractor

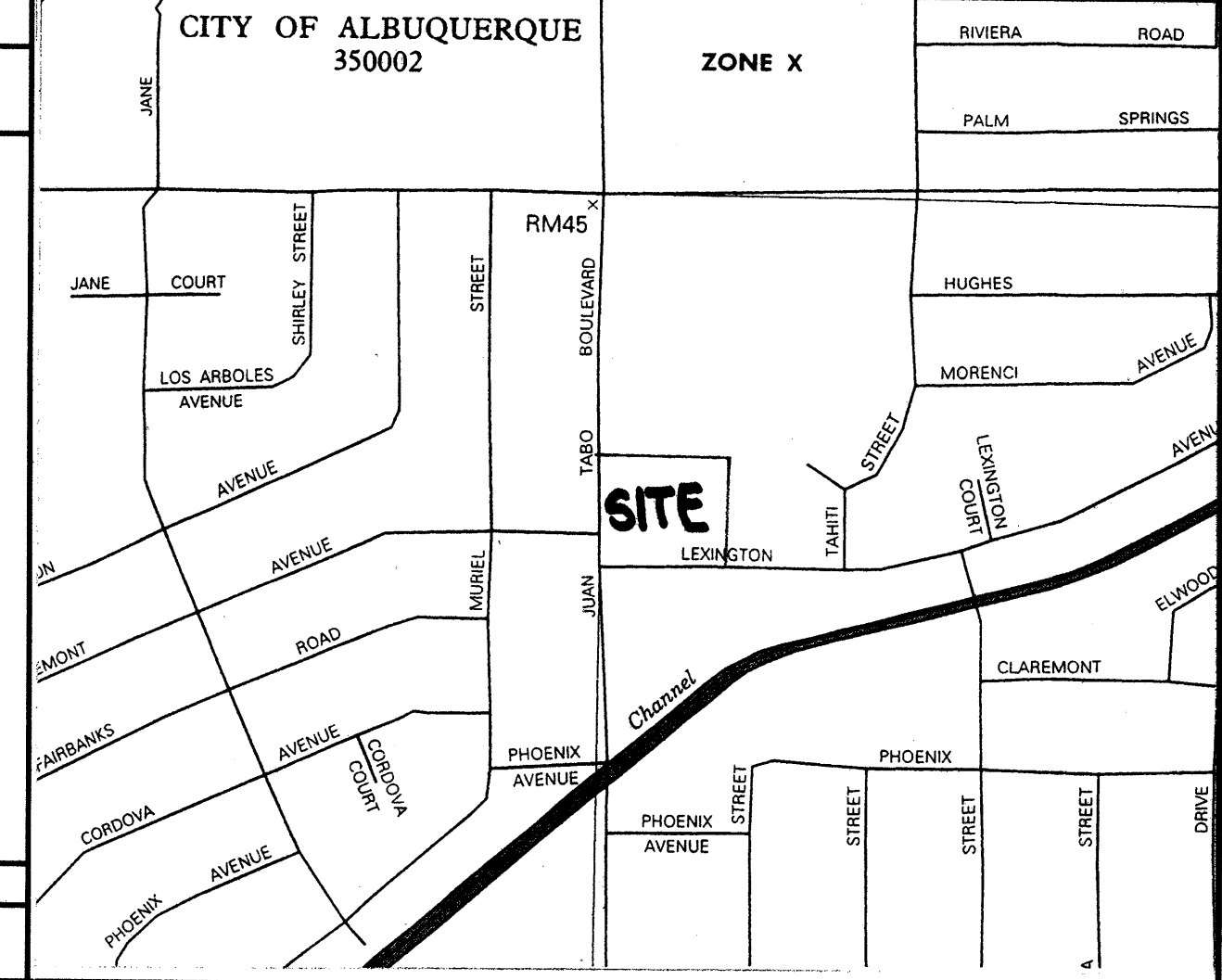
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #1, AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL AT 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE SIDEWALK CULVERT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

Vicinity Map No. H-22



FEMA FIRM Panel No. 329



Onsite Grading Notes

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

Erosion Control Notes

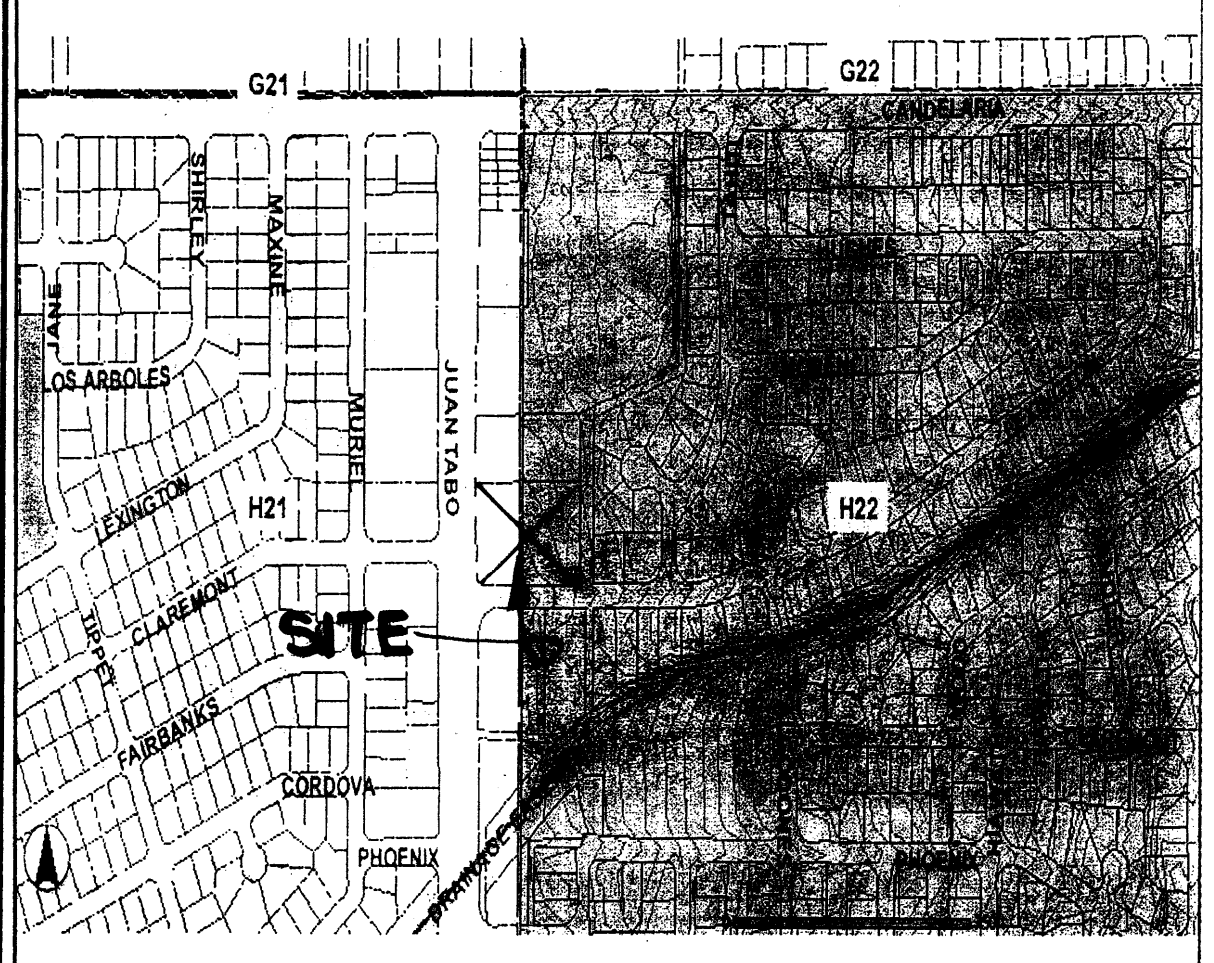
1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND BY NETTING SOIL TO PREVENT IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
4. THE SITE IS MORE THAN ONE (1) ACRE IN AREA AND A SWPPP IS REQUIRED FOR THE PROJECT.

Legend

TBM	TEMPORARY BENCHMARK	GM	GAS METER
FF	FINISH FLOOR	GV	GAS VALVE
FG	FINISH GRADE	LP	LIGHT POLE
FL	FLOWLINE	PP	POWER POLE
TA	TOP OF ASPHALT	SW	GUY WIRE
TCP	TOP OF CONCRETE	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CURB	RD	ROOF DRAINAGE POINT
TP	TOP OF EARTH PAD		FEMA FLOODPLAIN BOUNDARY
TS	TOP OF SIDEWALK		DRAINAGE BASIN BOUNDARY
TN	TOP OF WALL		EROSION SETBACK LINE
FH	FIRE HYDRANT		EXISTING CONTOUR
WM	WATER METER		PROPOSED CONTOUR
WV	WATER VALVE	XXX	EXISTING SPOT ELEVATION
MH	MANHOLE	XXXX	PROPOSED SPOT ELEVATION
CB	CATCH BASIN GRATE	XXXXX	RECORD SPOT ELEVATION

Offsite Drainage Map

SCALE 1" = 200'



Drainage Data

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	(table 5)	cu. ft.	cfs
EXISTING	10	A	0	0.28	0.87	0	0.00
		B	0	0.46	1.45	0	0.00
		C	78426	0.73	2.26	4771	4.07
		D	0	1.69	3.57	0	0.00
		TOTAL	78426			4771	4.07
DEVELOPED	100	A	0	0.80	2.20	0	0.00
		B	0	1.08	2.92	0	0.00
		C	78426	1.46	3.73	9542	6.72
		D	0	2.64	5.25	0	0.00
		TOTAL	78426			9542	6.72
DEVELOPED	10	A	0	0.28	0.87	0	0.00
		B	10660	0.46	1.45	409	0.35
		C	1426	0.73	2.26	87	0.07
		D	66340	1.69	3.57	9343	5.44
		TOTAL	78426			9838	5.87
DEVELOPED	100	A	0	0.80	2.20	0	0.00
		B	10660	1.08	2.92	959	0.71
		C	1426	1.46	3.73	173	0.12
		D	66340	2.64	5.25	14595	8.00
		TOTAL	78426			15728	8.83
SW CULVERT	100	A	0	0.80	2.20	0	0.00
		B	4880	1.08	2.92	439	0.33
		C	0	1.46	3.73	0	0.00
		D	47830	2.64	5.25	10523	5.76
		TOTAL	52710			10962	6.09

CHANNEL TO SW CULVERT
BROAD CRESTED WEIR
 $Q = CLH^{0.67}$ where $Q=6.09cfs$, $C=3.0$, $H=0.5ft$
therefore $L=5.66ft$, Use 6 ft

SIDEWALK CULVERT
FLOWMASTER
 $Q=6.09cfs$, $H=0.5ft$, $S=0.02ft/ft$, $n=0.013$
therefore $W=1.65ft$, Use 2 ft

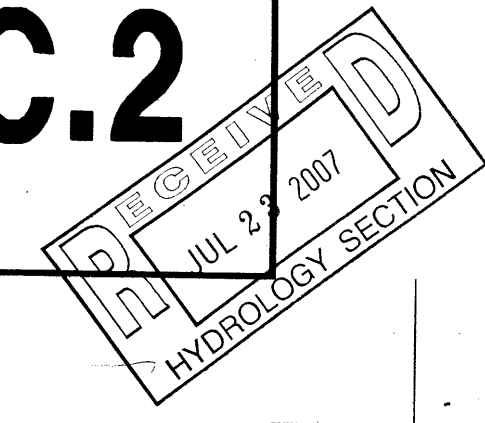


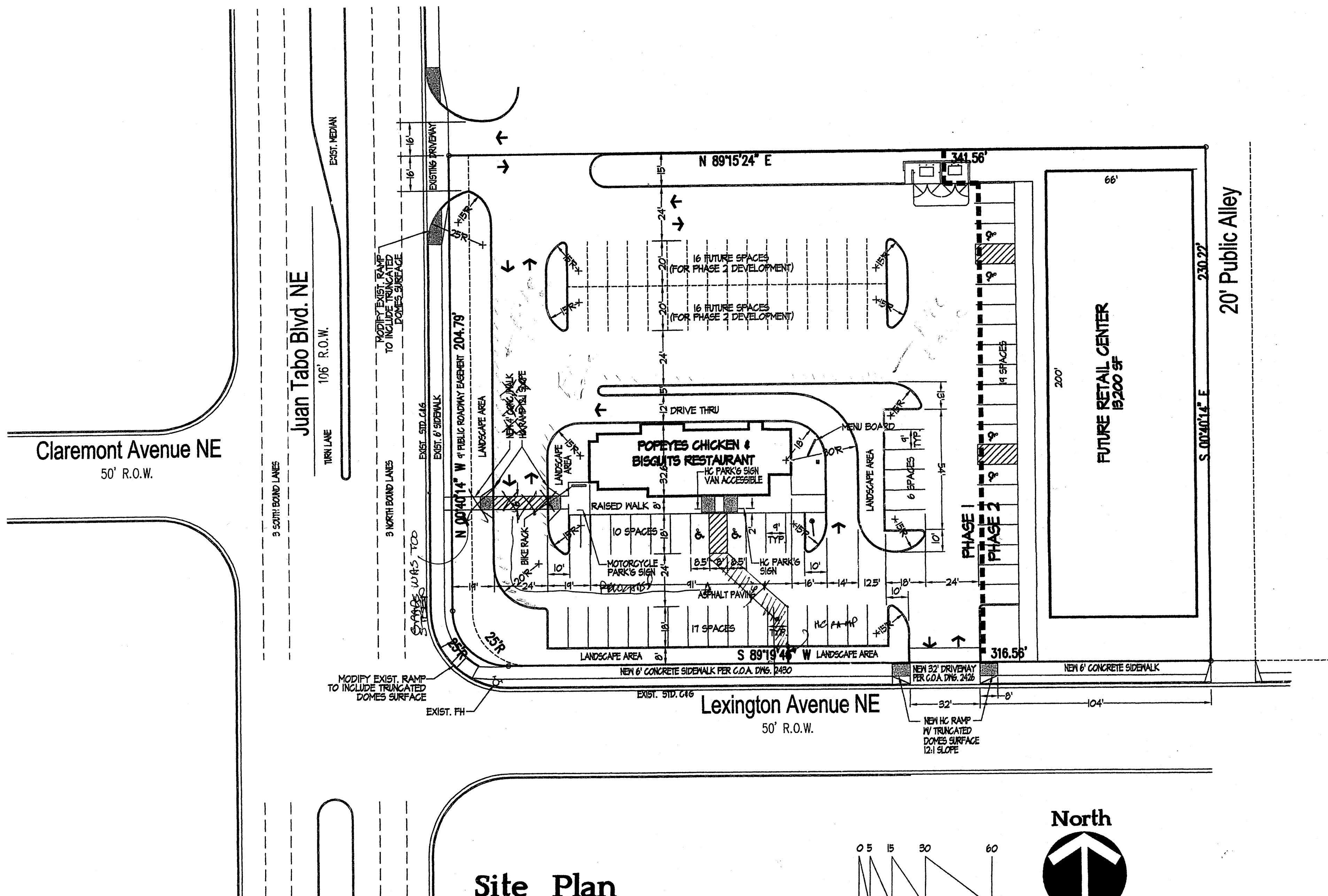
Popeyes Chicken & Biscuits Restaurant
JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 254-9459 • 3808 S. IRLINE AVENUE SE • ALBUQUERQUE, NM • 87109

JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	

SHEET NO.
C.2





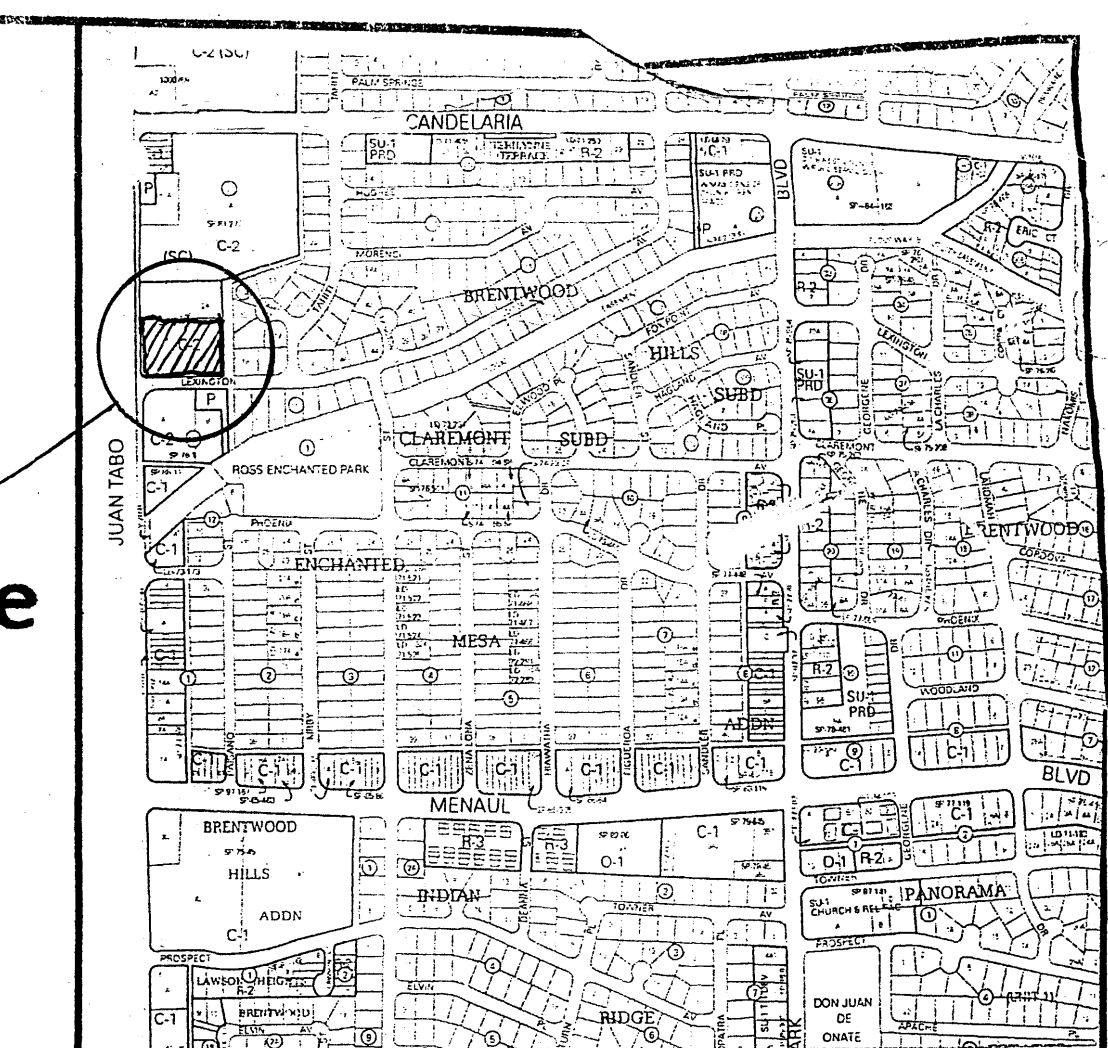
Site Plan
Scale: 1"=30'

EXEMPTIONS AS INDICATED IN RED INK, PEDESTRIAN ALLOYS
WAS RELOCATED BECAUSE GRADE WAS WAY TOO STEEP WHERE
SHOWN ORIGINALLY. KEN HOVEY
6-28-07



TRAFFIC CIRCULATION LAYOUT
APPROVED
Signed: [Signature] Date: 10/12/06

Site



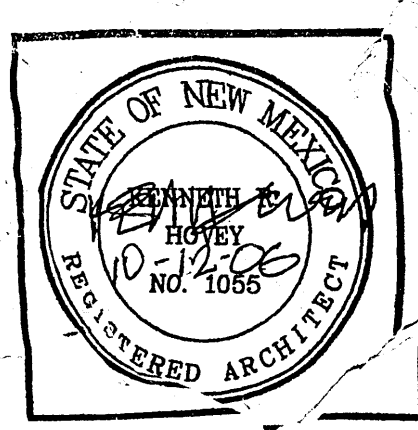
Vicinity Map H-22

Design Data

LEGAL DESCRIPTION:	TRACT 1--A BLOCK 101, BRENTWOOD HILLS SUBDIVISION ALBUQUERQUE, NEW MEXICO
CURRENT ZONING:	C-2
ZONE ATLAS PAGE:	H-22-Z
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	PHASE 1: POPEYES CHICKEN & BISCUIT RESTAURANT PHASE 2: RETAIL SHOPS
APPLICABLE BUILDING CODE:	IBC-2003
SEISMIC DESIGN CATEGORY:	D
WIND DESIGN SPEED (3-SECOND GUST):	90 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLERED:	NO
NUMBER OF STORIES:	ONE
TOTAL BUILDING AREA:	2,532 SQ. FT.
OCCUPANCY GROUP:	GROUP A-2
OCCUPANT LOAD:	IBC TABLE 1004.1.2 RESTAURANT FIXED SEATING: 48 SEATS = 48 OCC. COMMERCIAL KITCHEN: 1,308 SF/200 = 7 OCC. TOTAL: 55 OCCUPANTS
TWO EXITS REQUIRED FROM DINING RM:	YES TWO EXITS PROVIDED
PLUMBING SYSTEMS:	IBC TABLE 2902.1 WATER CLOSETS REQ'D: 2 WATER CLOSETS PROVIDED: 2 LAVATORIES REQ'D: 2 LAVATORIES PROVIDED: 2 SERVICE SINK REQ'D: 1 SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN REQ'D: 1 COMPLIMENTARY WATER SERVICE PROVIDED
REQUIRED OFF-STREET PARKING:	48 SEATS/4 = 12 SPACES
OFF-STREET PARKING PROVIDED:	33 SPACES TWO HC SPACES; ONE DESIGNATED VAN ACCESSIBLE TWO MOTORCYCLE SPACES

Albuquerque
Building & Safety
OCT 16 2006
I.B.C.
Plan Check Section

RECEIVED
OCT 12 2006
LAND DEVELOPMENT SECTION

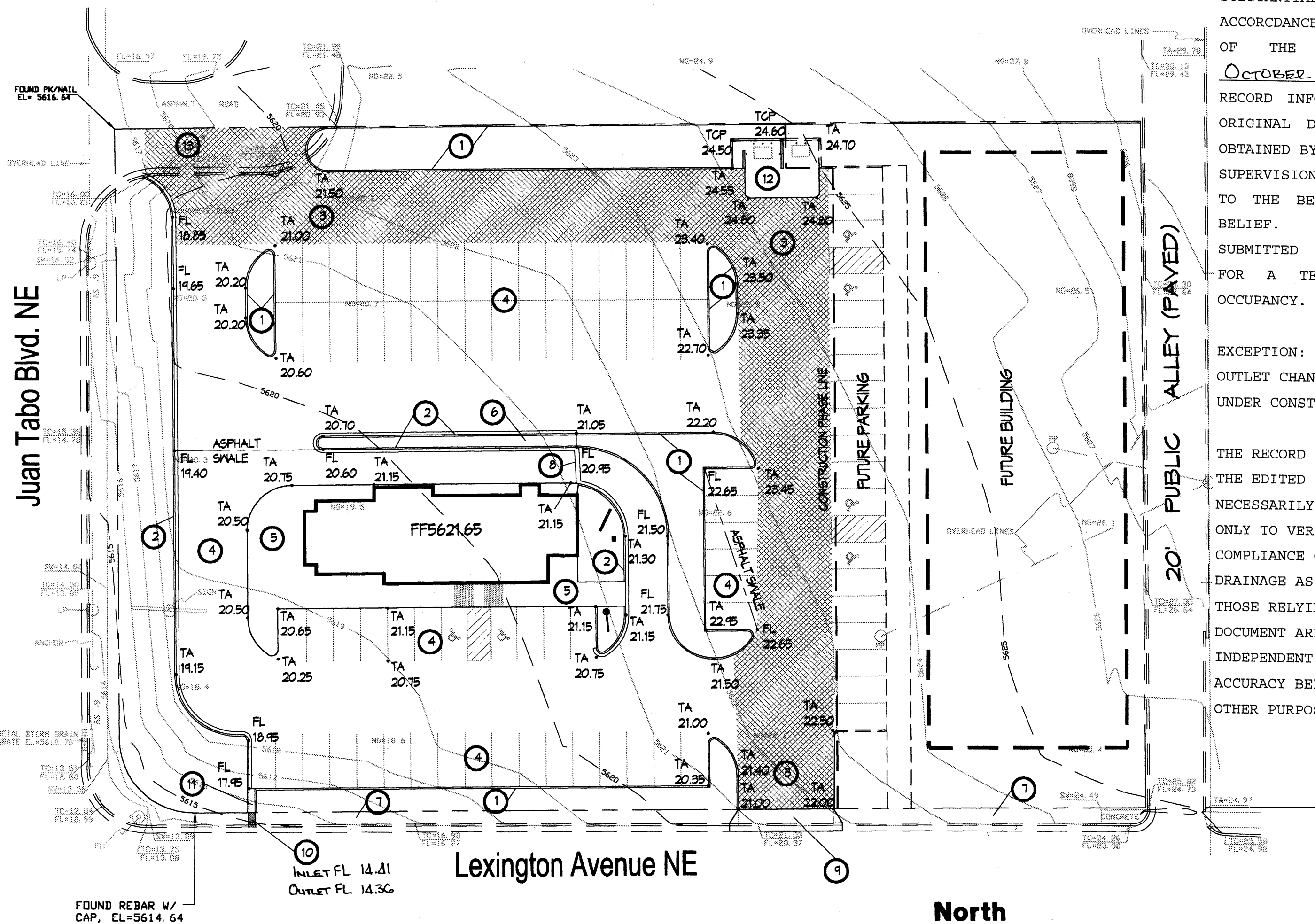


Popeyes Chicken & Biscuits Restaurant
JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO



JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	
	24 SEPTEMBER
	11 OCTOBER 2

SHEET NO.
C.1



Grading Plan

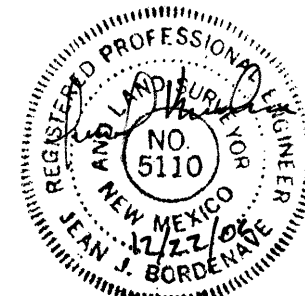
Scale: 1"=30'

NOTE:
ALL ON-SITE TOP OF CURB AND TOP OF SIDEWALK ELEVATIONS ARE 6" ABOVE THE ADJACENT TOP OF ASPHALT UNLESS SHOWN TO BE OTHERWISE.

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED OCTOBER 04/06. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR A TEMPORARY CERTIFICATE OF OCCUPANCY.

EXCEPTION:
OUTLET CHANNEL & SIDEWALK CULVERT UNDER CONSTRUCTION

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.



Legal Description

TRACT 1-A, BLOCK 101, BRENTWOOD HILLS SUBDIVISION

Permanent Benchmark

ACS 10-H22 ELEVATION 5613.80 (NAVD88)

Keyed Notes

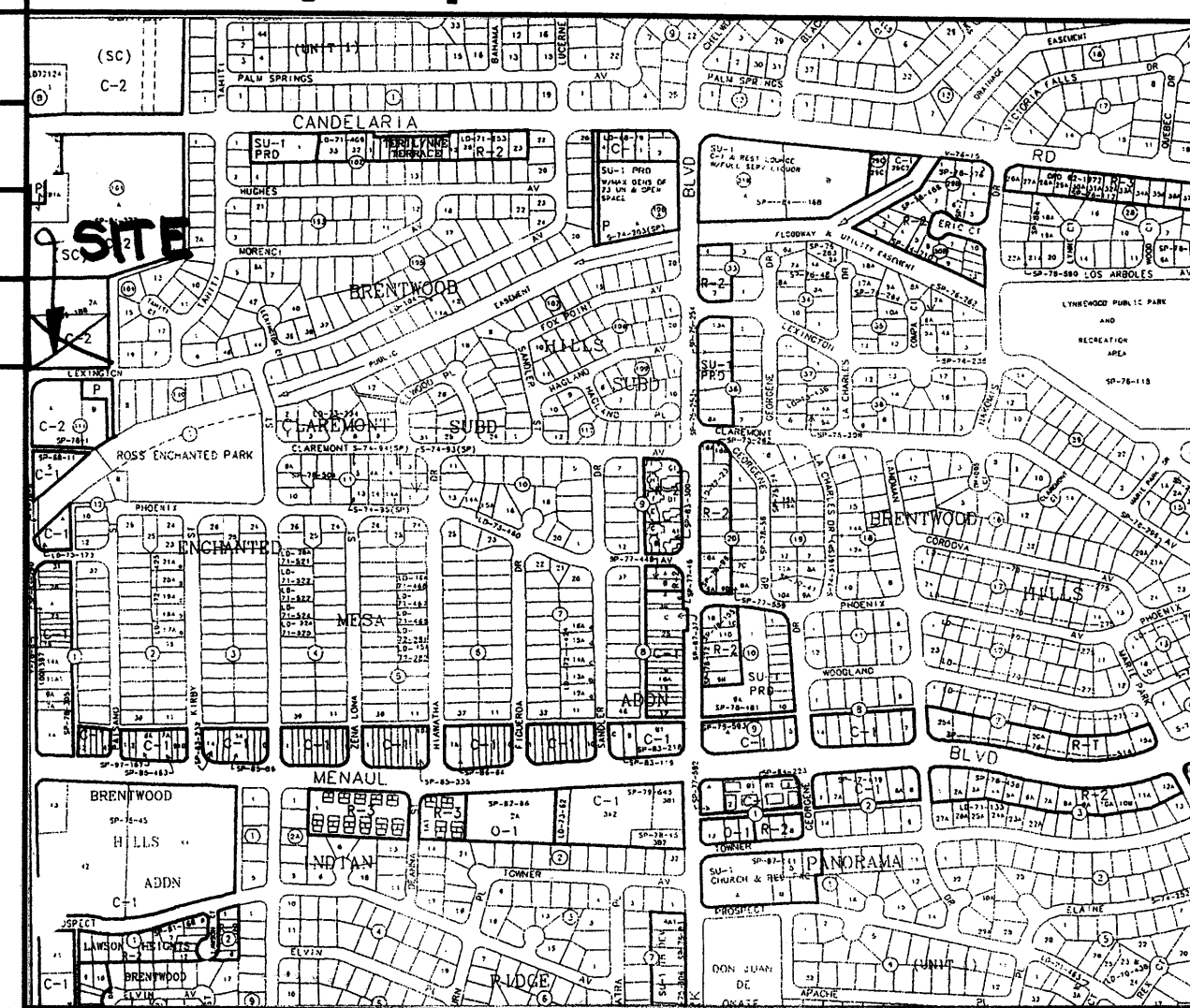
1. HEADER CURB. SEE DETAIL SHEET C3.
2. CONCRETE CURB AND GUTTER. SEE DETAIL SHEET C3.
3. HEAVY DUTY PAVING (CROSS HATCHED AREA). SEE DETAIL SHEET C3.
4. LIGHT DUTY PAVING (PARKING & DRIVE-UP AISLE). SEE DETAIL SHEET C3.
5. TURNDOWN SIDEWALK. SEE DETAIL SHEET C3.
6. SITE SIDEWALK. SEE DETAIL SHEET C3.
7. CITY SIDEWALK. SEE COA STD. DMS. 2430.
8. VALLEY GUTTER. SEE DETAIL SHEET C3.
9. INSTALL 24" CONCRETE DRIVEPAD. SEE COA STD. DMS. 2425, SECTION D-D.
10. 24" SIDEWALK CULVERT. SEE COA STD. DMS. 2236.
11. 24" CONCRETE CHANNEL. SEE DETAIL SHEET C3.
12. REFUSE ENCLOSURE. SEE ARCHITECTURAL & PLUMBING FOR DETAILS.
13. REMOVE EXISTING CURB, GUTTER AND ASPHALT IN HATCHED AREA.

Notice to Contractor

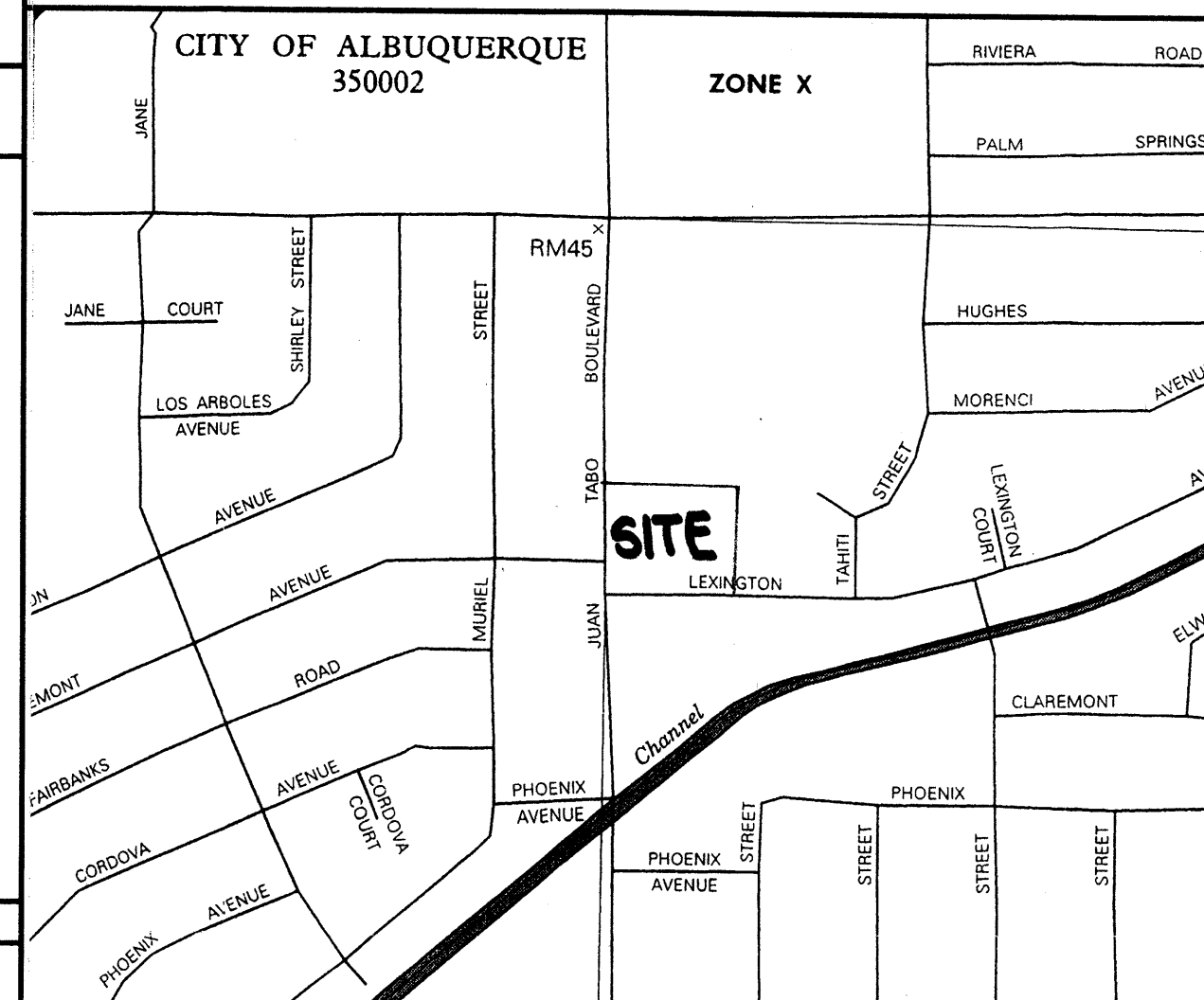
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #1, AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL AT 280-1990 FOR THE LOCATION OF EXISTING UTILITIES.
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6. MAINTENANCE OF THE SIDEWALK CULVERT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

Vicinity Map No. H-22



FEMA FIRM Panel No. 329



Site Notes

EXISTING CONDITION

THE SITE IS PRESENTLY UNDEVELOPED WITH SLOPE FROM NORTHEAST TO SOUTHWEST. VEGETATION IS QUITE SPARSE, COMPOSED OF NATIVE PLANTS. DRAINAGE RUNOFF IS OVERLAND AND TRANSFERS SOIL INTO THE ADJACENT STREET SYSTEM IN STORMS. NO OFFSITE DRAINAGE ENTERS THE SITE. EXISTING CURB & GUTTER AND SIDEWALK ON JUAN TABO AND CURB & GUTTER ON LEXINGTON ARE TO REMAIN. THE ALLEY AT THE WEST SIDE OF THE SITE IS COMPLETELY DEVELOPED.

PROPOSED CONDITION

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THE SITE IS LOCATED IN ZONE X PER FEMA FIRM NO. 351.

Onsite Grading Notes

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 280-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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Erosion Control Notes

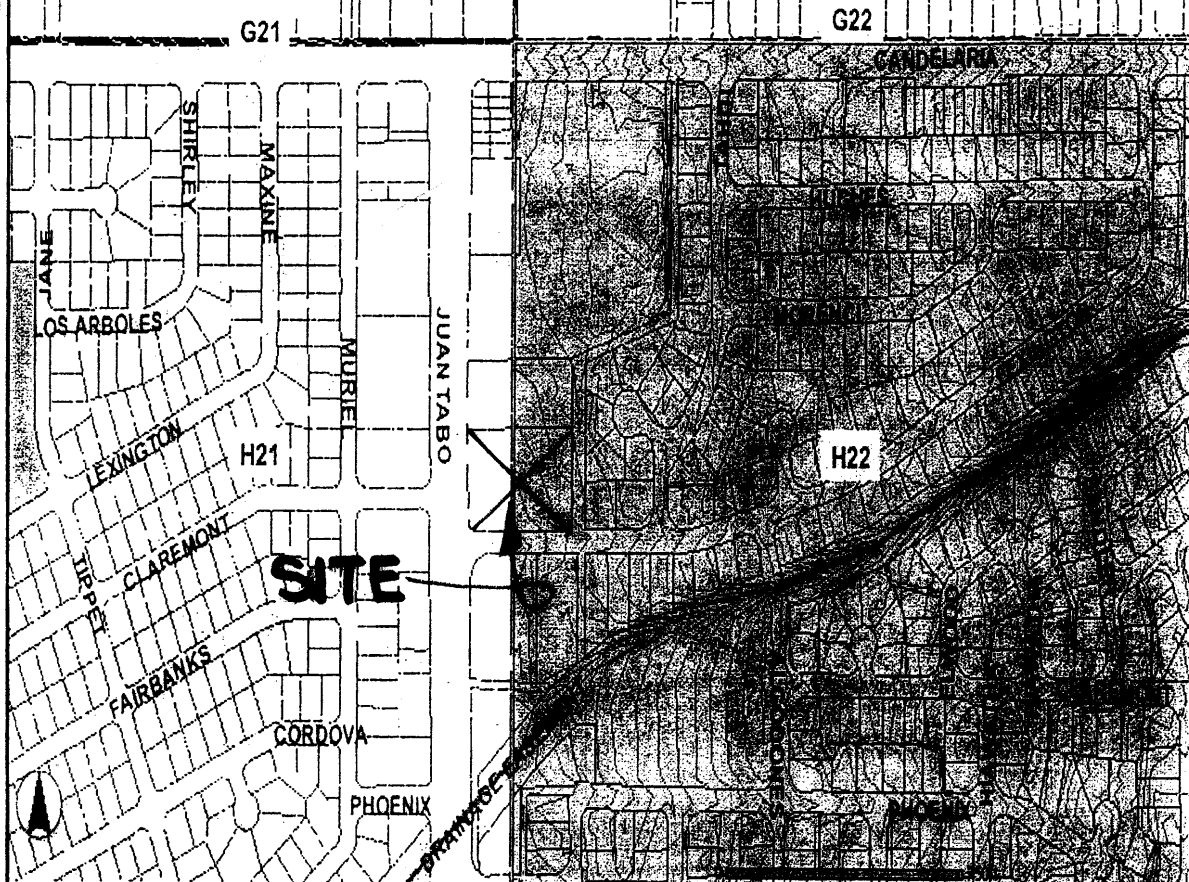
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4. THE SITE IS MORE THAN ONE (1) ACRE IN AREA AND A SNPPP IS REQUIRED FOR THE PROJECT.

Legend

TBM	TEMPORARY BENCHMARK	GM	GAS METER
FF	FINISH FLOOR	GV	GAS VALVE
FG	FINISH GRADE	LP	LIGHT POLE
FL	FLOWLINE	PP	POWER POLE
TA	TOP OF ASPHALT	GW	GUY WIRE
TCP	TOP OF CONCRETE	PED	ELEG. OR TEL. PEDESTAL
TC	TOP OF CURB	RD	ROOF DRAINAGE POINT
TP	TOP OF EARTH PAD		FEMA FLOODPLAIN BOUNDARY
TS	TOP OF SIDEWALK		DRAINAGE BASIN BOUNDARY
TN	TOP OF WALL		EROSION SETBACK LINE
FH	FIRE HYDRANT		EXISTING CONTOUR
WM	WATER METER		PROPOSED CONTOUR
WV	WATER VALVE		EXISTING SPOT ELEVATION
MH	MANHOLE		PROPOSED SPOT ELEVATION
CB	CATCH BASIN GRATE		RECORD SPOT ELEVATION

Offsite Drainage Map

SCALE 1" = 200'



Drainage Data

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.28	0.87	0	0.00
		B	0	0.46	1.45	0	0.00
		C	78426	0.73	2.26	4771	4.07
		D	0	1.69	3.57	0	0.00
		TOTAL	78426			4771	4.07
	100	A	0	0.80	2.20	0	0.00
		B	0	1.08	2.92	0	0.00
		C	78426	1.46	3.73	9542	6.72
		D	0	2.64	5.25	0	0.00
		TOTAL	78426			9542	6.72
DEVELOPED	10	A	0	0.28	0.87	0	0.00
		B	10660	0.46	1.45	409	0.35
		C	1426	0.73	2.26	87	0.07
		D	86340	1.69	3.57	9343	5.44
		TOTAL	78426			9838	5.87
	100	A	0	0.80	2.20	0	0.00
		B	10660	1.08	2.92	959	0.71
		C	1426	1.46	3.73	173	0.12
		D	86340	2.64	5.25	14595	8.00
		TOTAL	78426			15728	8.83
SW CULVERT	100	A	0	0.80	2.20	0	0.00
		B	4880	1.08	2.92	439	0.33
		C	0	1.46	3.73	0	0.00
		D	47830	2.64	5.25	10523	5.76
		TOTAL	52710			10962	6.09

CHANNEL TO SW CULVERT
BROAD CRESTED WEIR
 $Q = CLH^{0.67}$ where $Q = 6.09 \text{ cfs}$, $C = 3.0$, $H = 0.5 \text{ ft}$

therefore $L = 5.66 \text{ ft}$, Use 6 ft

SIDEWALK CULVERT
FLOWMASTER
 $Q = 6.09 \text{ cfs}$, $H = 0.5 \text{ ft}$, $S = 0.02 \text{ ft/ft}$, $n = 0.013$

therefore $W = 1.65 \text{ ft}$, Use 2 ft



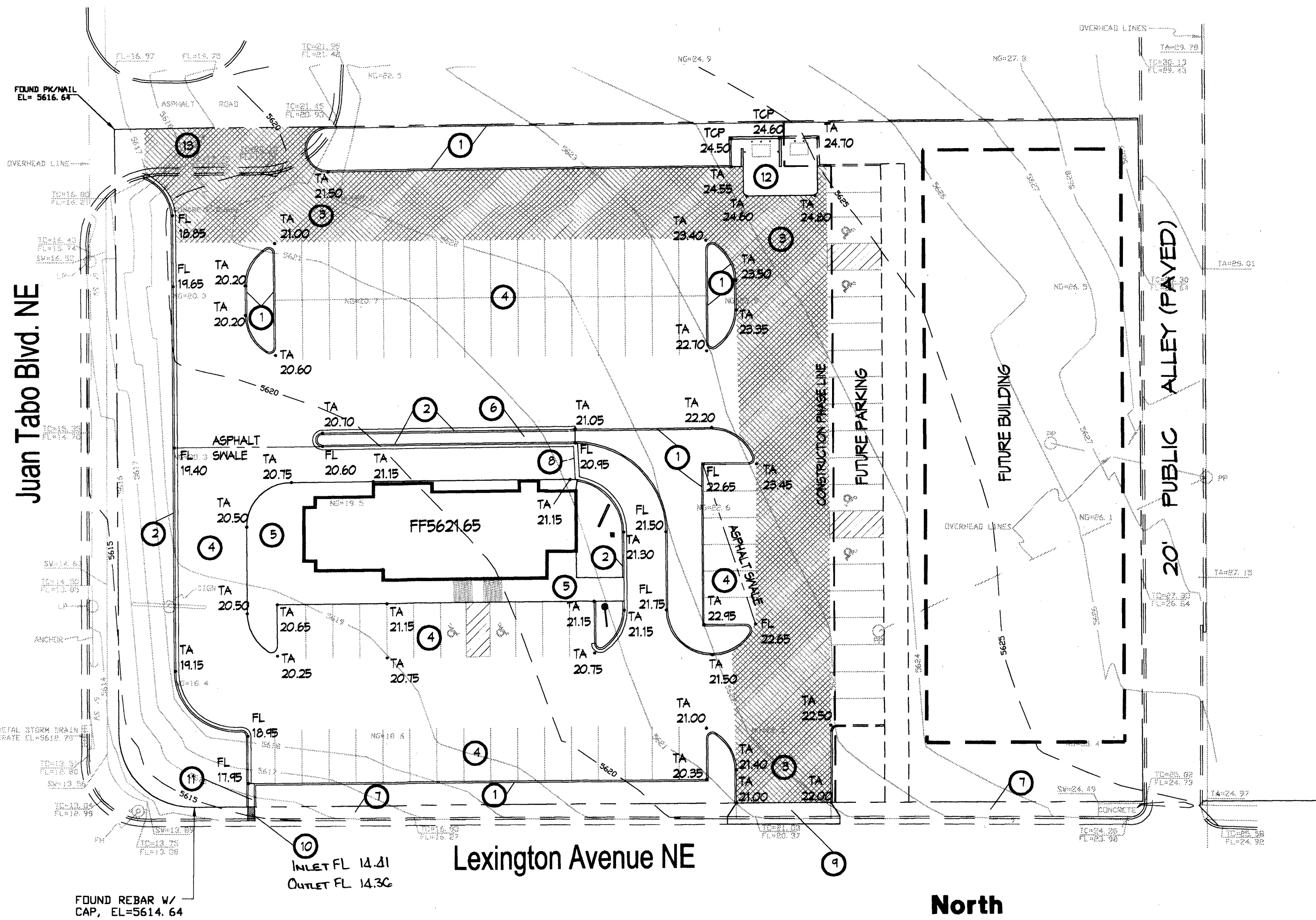
Popeyes Chicken & Biscuits Restaurant

JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505/254-8458 • 3808 Simms Avenue SE • Albuquerque, NM • 87108

JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	

SHEET NO.	C.2
RECEIVED	
DEC 27 2006	
HYDROLOGY SECTION	



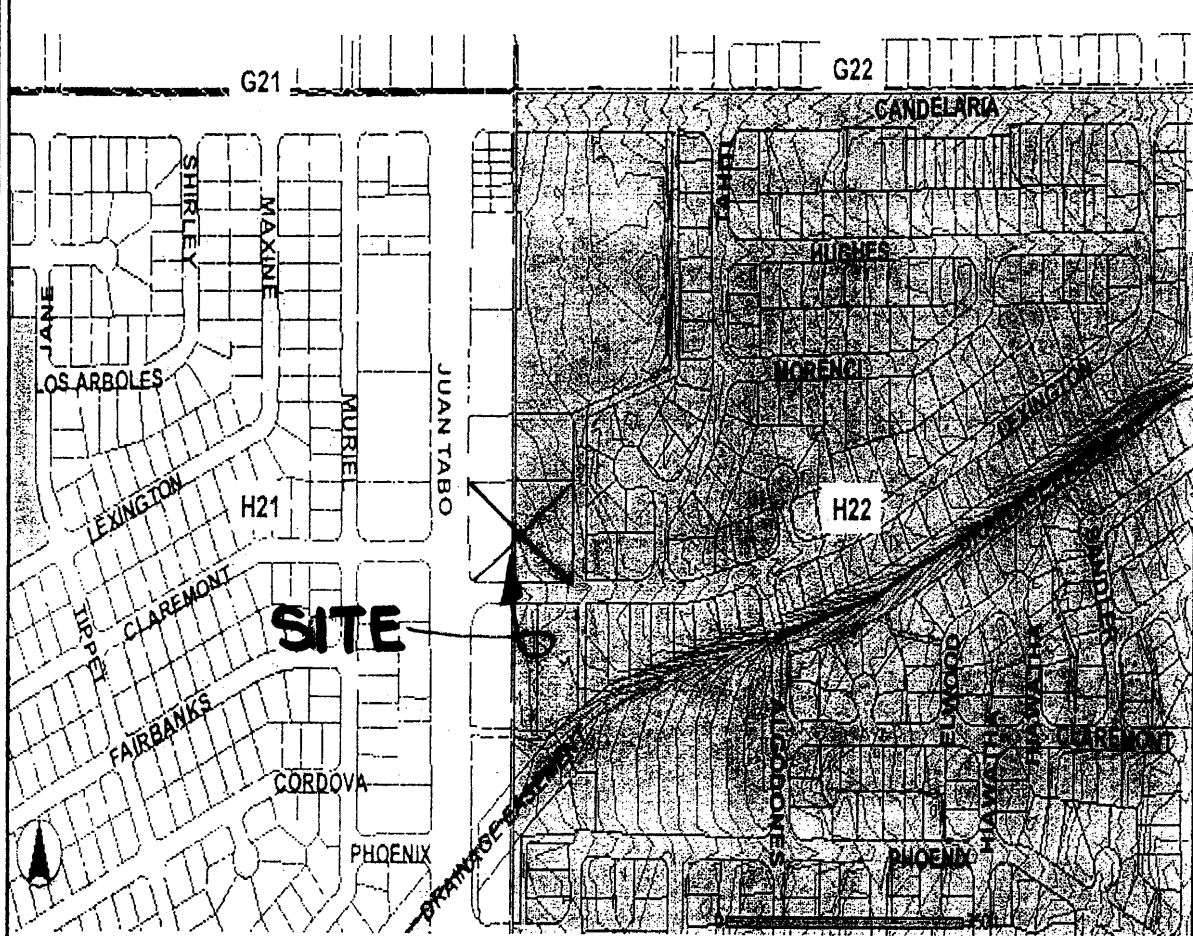
Grading Plan

Scale: 1"=30'

NOTE: ALL ON-SITE TOP OF CURB AND TOP OF SIDEWALK ELEVATIONS ARE 6" ABOVE THE ADJACENT TOP OF ASPHALT UNLESS SHOWN TO BE OTHERWISE.

Offsite Drainage Map

SCALE 1" = 200'



Drainage Data

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	(table 5) cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.28	0.87	0	0.00
		B	0	0.46	1.45	0	0.00
		C	78426	0.73	2.26	4771	4.07
		D	0	1.69	3.57	0	0.00
		TOTAL	78426			4771	4.07
DEVELOPED	100	A	0	0.80	2.20	0	0.00
		B	0	1.08	2.92	0	0.00
		C	78426	1.46	3.73	9542	6.72
		D	0	2.64	5.25	0	0.00
		TOTAL	78426			9542	6.72
DEVELOPED	10	A	0	0.28	0.87	0	0.00
		B	10660	0.46	1.45	409	0.35
		C	1426	0.73	2.26	87	0.07
		D	66340	1.69	3.57	9343	5.44
		TOTAL	78426			9838	5.87
DEVELOPED	100	A	0	0.80	2.20	0	0.00
		B	10660	1.08	2.92	959	0.71
		C	1426	1.46	3.73	173	0.12
		D	66340	2.64	5.25	14595	8.00
		TOTAL	78426			15728	8.83
SW CULVERT	100	A	0	0.80	2.20	0	0.00
		B	4880	1.08	2.92	439	0.33
		C	0	1.46	3.73	0	0.00
		D	47830	2.64	5.25	10503	5.76
		TOTAL	52710			10962	6.09

CHANNEL TO SW CULVERT
BROAD CRESTED WEIR
 $Q = CLH^{0.67}$ where $Q = 6.09 \text{ cfs}$, $C = 3.0$, $H = 0.5 \text{ ft}$
therefore $L = 5.66 \text{ ft}$, Use 6 ft

SIDEWALK CULVERT
FLOWMASTER
 $Q = 6.09 \text{ cfs}$, $H = 0.5 \text{ ft}$, $S = 0.02 \text{ ft/ft}$, $n = 0.013$
therefore $W = 1.65 \text{ ft}$, Use 2 ft

Legal Description

TRACT 1-A, BLOCK 101, BRENTWOOD HILLS SUBDIVISION

Permanent Benchmark

ACS 10-H22 ELEVATION 5613.80 (NAVD83)

Keyed Notes

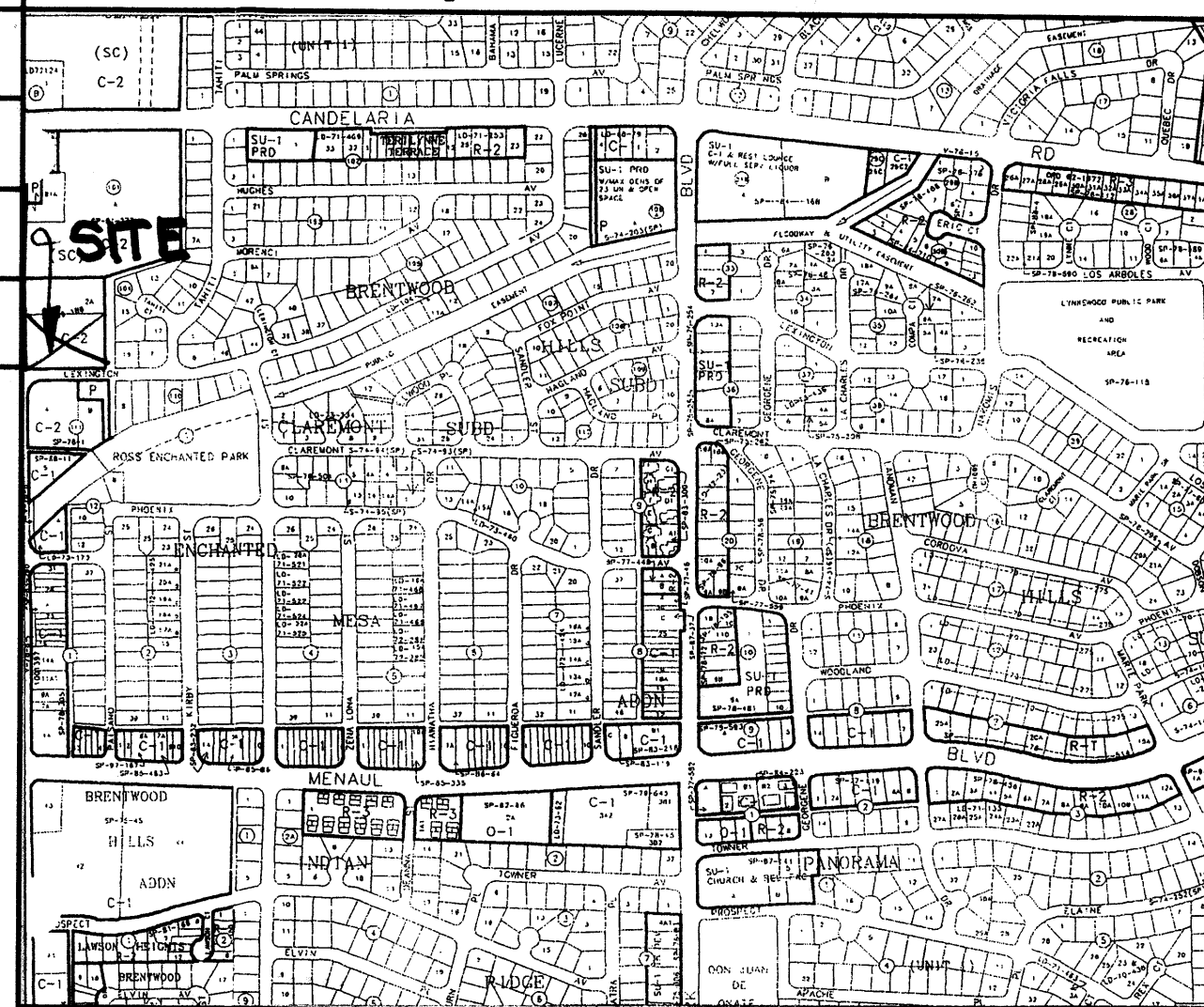
1. HEADER CURB. SEE DETAIL SHEET C.3.
2. CONCRETE CURB AND GUTTER. SEE DETAIL SHEET C.3.
3. HEAVY DUTY PAVING (CROSS HATCHED AREA). SEE DETAIL SHEET C.3.
4. LIGHT DUTY PAVING (PARKING & DRIVE-UP AISLE). SEE DETAIL SHEET C.3.
5. TURNDOWN SIDEWALK. SEE DETAIL SHEET C.3.
6. SITE SIDEWALK. SEE DETAIL SHEET C.3.
7. CITY SIDEWALK. SEE COA STD. DNG. 2430.
8. VALLEY GUTTER. SEE DETAIL SHEET C.3.
9. INSTALL 24" CONCRETE DRIVEPAD. SEE COA STD. DNG. 2425, SECTION D-D.
10. 24" SIDEWALK CULVERT. SEE COA STD. DNG. 2236.
11. 24" CONCRETE CHANNEL. SEE DETAIL SHEET C.3.
12. REFUSE ENCLOSURE. SEE ARCHITECTURAL & PLUMBING FOR DETAILS.
13. REMOVE EXISTING CURB, GUTTER AND ASPHALT IN HATCHED AREA.

Notice to Contractor

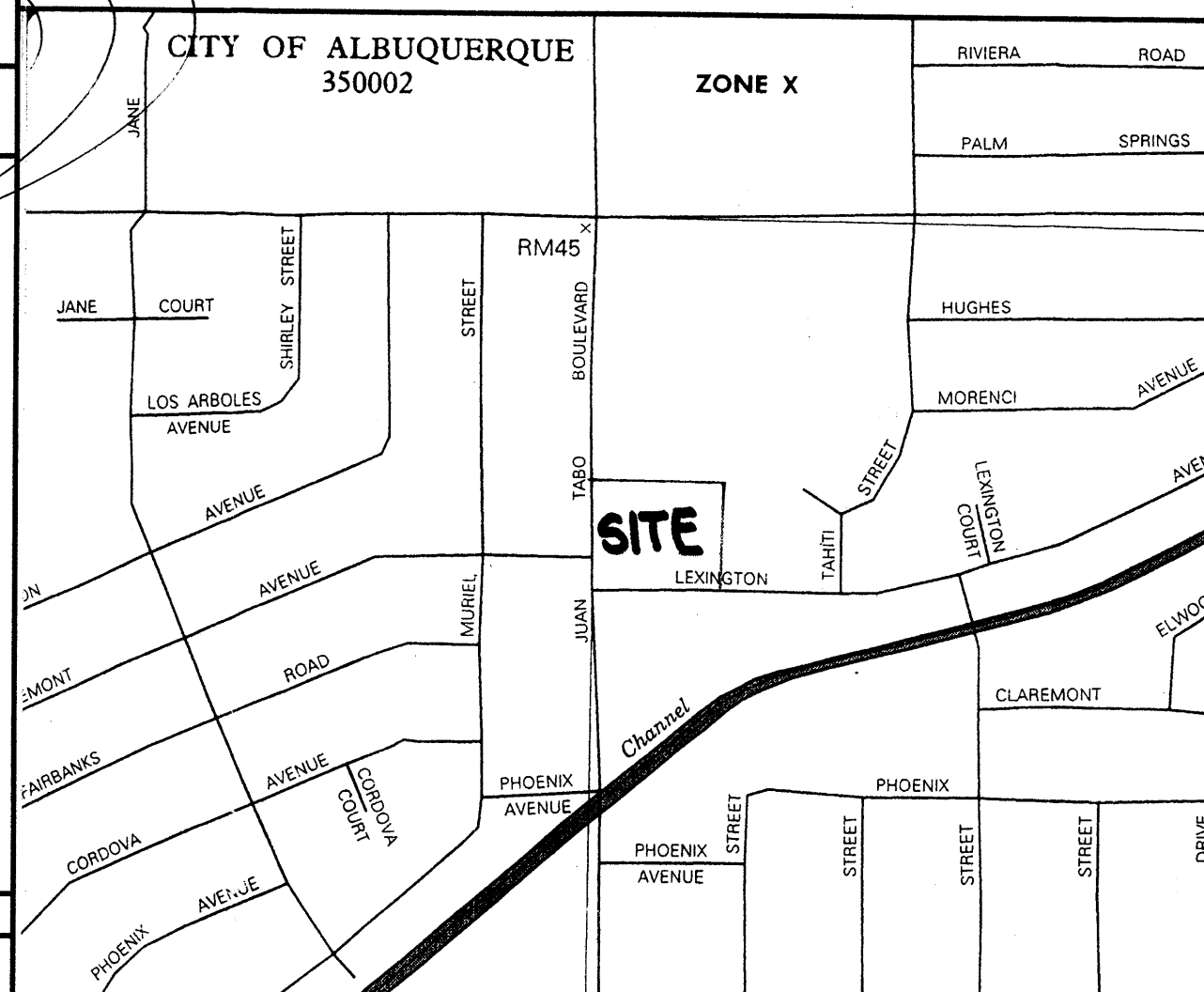
1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK WITHIN CITY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION AS REVISED THROUGH UPDATE #1, AMENDMENT 1.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL AT 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE SIDEWALK CULVERT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVAL	NAME	DATE
INSPECTOR		

Vicinity Map No. H-22



FEMA FIRM Panel No. 329



Site Notes

EXISTING CONDITION

THE SITE IS PRESENTLY UNDEVELOPED WITH SLOPE FROM NORTHEAST TO SOUTHWEST. VEGETATION IS QUITE SPARSE, COMPOSED OF NATIVE PLANTS. DRAINAGE RUNOFF IS OVERLAND AND TRANSFERS SOIL INTO THE ADJACENT STREET SYSTEM IN STORMS. NO OFFSITE DRAINAGE ENTERS THE SITE. EXISTING CURB & GUTTER AND SIDEWALK ON JUAN TABO AND CURB & GUTTER ON LEXINGTON ARE TO REMAIN. THE ALLEY AT THE WEST SIDE OF THE SITE IS COMPLETELY DEVELOPED.

PROPOSED CONDITION

THE EXISTING PAVED ENTRANCE AT THE NORTHWEST CORNER IS TO BE REVISED TO PROVIDE A SMOOTHER ENTRANCE TO THE PROPOSED DEVELOPMENT. LANDSCAPED AREAS ARE PLANNED FOR THE NORTH, SOUTH AND WEST SIDES OF THE PROPERTY. THE SITE WILL DEVELOPED IN TWO OR MORE PHASES WITH PHASE ONE PROVIDING INGRESS/EGRESS FOR REFUSE AND A DEVELOPED DRAINAGE OUTFALL FACILITY. THE FUTURE BUILDING ROOF WILL DRAIN TO THE ALLEY. THE ENTIRE SITE WILL BE ROUTED ON PAVED SURFACES TO LEXINGTON AVENUE. SIDEWALK ON LEXINGTON WILL BE CONSTRUCTED WITH THIS PROJECT.

THE SITE IS LOCATED IN ZONE X PER FEMA FIRM NO. 351.

Onsite Grading Notes

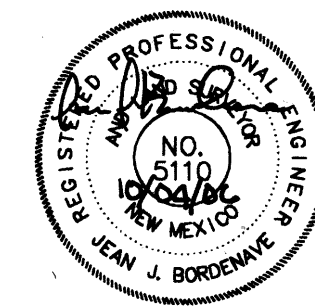
1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

Erosion Control Notes

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF SOIL BERM OR SILT FENCES AT PROPERTY LINES AND BY NETTING SOIL TO PREVENT IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
4. THE SITE IS MORE THAN ONE (1) ACRE IN AREA AND A SWPPP IS REQUIRED FOR THE PROJECT.

Legend

TBM	TEMPORARY BENCHMARK	GM	GAS MATER
FF	FINISH FLOOR	GV	GAS VALVE
FG	FINISH GRADE	LP	LIGHT POLE
FL	FLOWLINE	PP	POWER POLE
TA	TOP OF ASPHALT	GN	GUY WIRE
TCP	TOP OF CONCRETE	PED	ELEC. OR TEL. PEDestal
TC	TOP OF CURB	RD	ROOF DRAINAGE POINT
TP	TOP OF EARTH PAD		FEMA FLOODPLAIN BOUNDARY
TS	TOP OF SIDEWALK		DRAINAGE BASIN BOUNDARY
TN	TOP OF WALL		EROSION SETBACK LINE
FH	FIRE HYDRANT		EXISTING CONTOUR
WM	WATER METER		PROPOSED CONTOUR
WV	WATER VALVE		EXISTING SPOT ELEVATION
MH	MANHOLE		PROPOSED SPOT ELEVATION
CB	CATCH BASIN GRATE		RECORD SPOT ELEVATION



Popeyes Chicken & Biscuits Restaurant

JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT

505/254-8450 • 3008 Simms Avenue SE • Albuquerque, NM • 87109

JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	

SHEET NO.
C.2

HEADER CURB	CURB AND GUTTER	PAVEMENT (LIGHT DUTY)	PAVEMENT (HEAVY DUTY)
<p>NOTE: PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.</p>	<p>NOTE: 1. PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.</p>	<p>NOTES: 1. ASPHALT MIX SHALL USE NMDOT DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS. 2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".</p>	<p>NOTES: 1. ASPHALT MIX SHALL USE NMDOT DESIGN W/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS. 2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".</p>
VALLEY GUTTER	SIDEWALK	TURNDOWN SIDEWALK	CONCRETE CHANNEL
<p>VALLEY GUTTER (3000 PSI PORTLAND CEMENT CONCRETE) 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR) COMPACTED SUBGRADE (90% MODIFIED PROCTOR)</p>	<p>4" PORTLAND CEMENT CONCRETE SIDEWALK (4000 PSI CONCRETE) 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR) COMPACTED SUBGRADE (90% MODIFIED PROCTOR)</p>	<p>4" PORTLAND CEMENT CONCRETE SIDEWALK (3000 PSI CONCRETE) 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR) NO. 4 REBAR (CONTINUOUS) COMPACTED SUBGRADE (90% MODIFIED PROCTOR) ASPHALT PAVING SECTION</p>	<p>CONCRETE CHANNEL NO. 4 REBAR (2 MIN.) AT 18" O.C. MAX. SUBGRADE PREPARATION (95% MODIFIED PROCTOR) SUBGRADE</p>

Popeyes Chicken & Biscuits Restaurant

JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT

505) 259-8458 * 3808 Simms Avenue SE * Albuquerque, NM * 87108

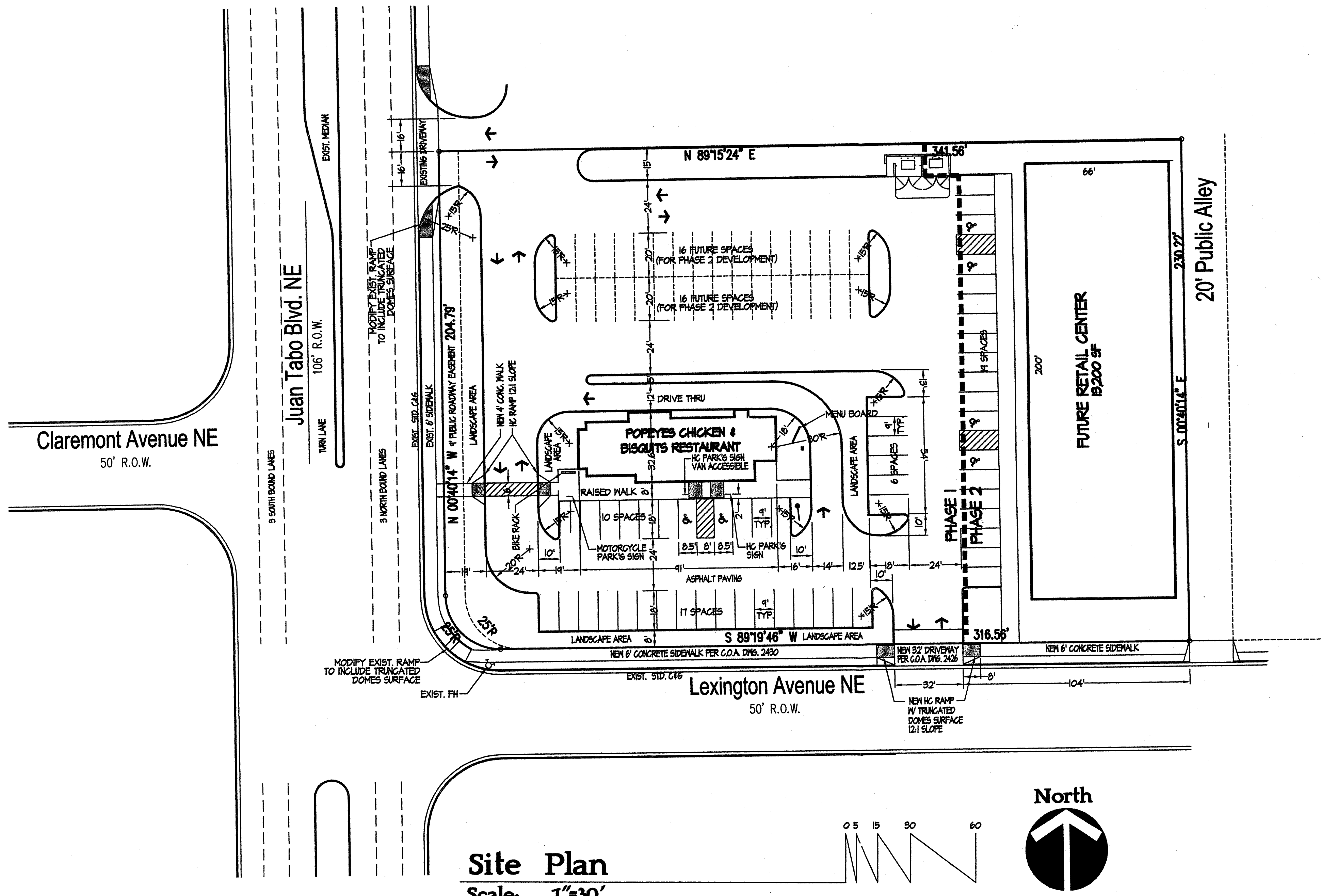
JOB NO: jpb0626

DATE: August 03, 2006

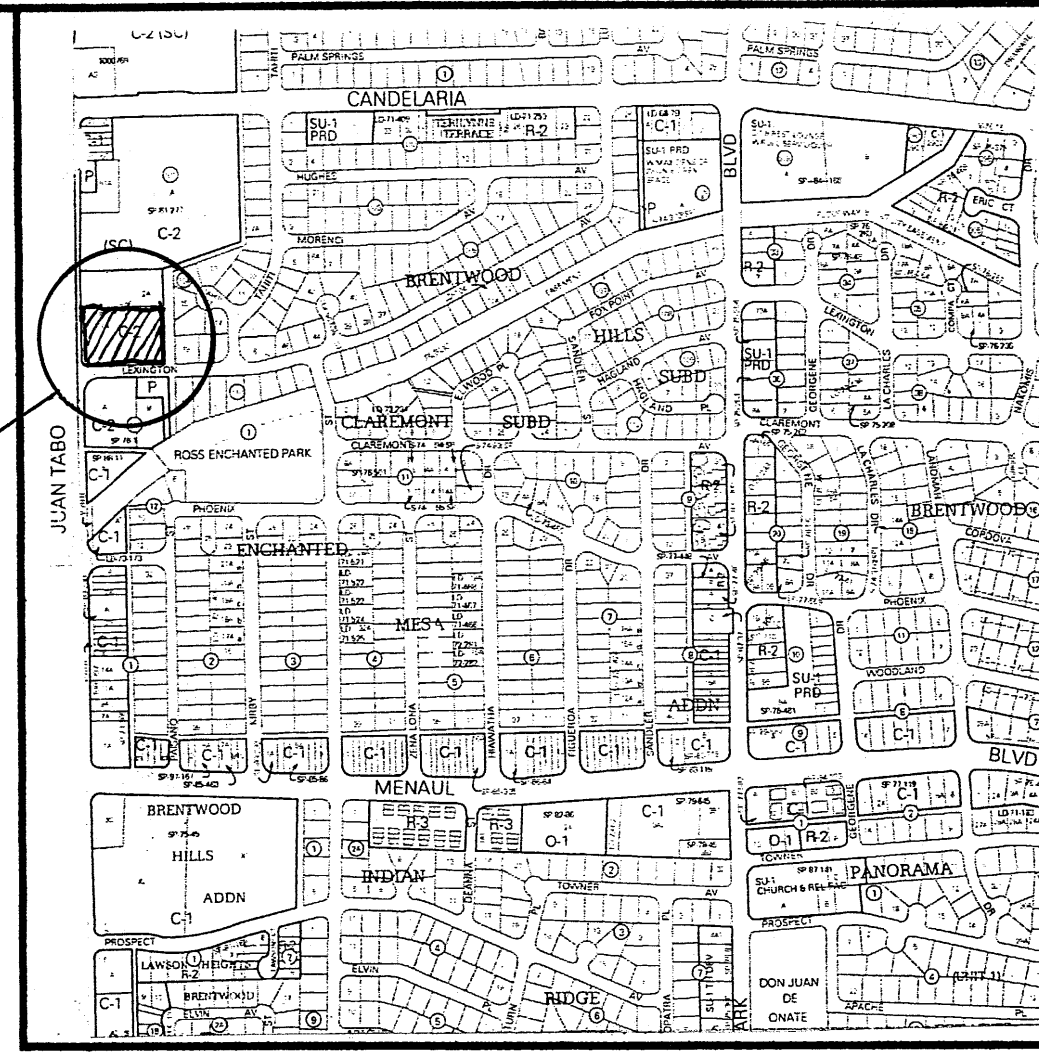
REVISIONS

SHEET NO.

C.3



Site



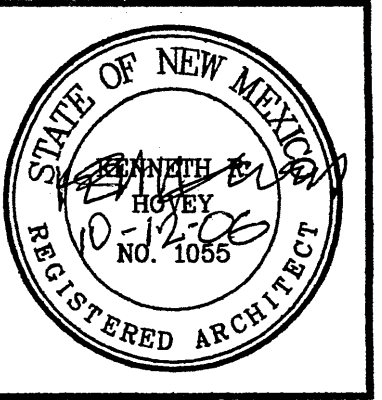
Vicinity Map H-22

Design Data

LEGAL DESCRIPTION:	TRACT 1-A BLOCK 101, BRENTWOOD HILLS SUBDIVISION ALBUQUERQUE, NEW MEXICO
CURRENT ZONING:	C-2
ZONE ATLAS PAGE:	H-22-Z
CURRENT USE:	UNDEVELOPED
PROPOSED USE:	PHASE 1: POPEYES CHICKEN & BISCUIT RESTAURANT PHASE 2: RETAIL SHOPS
APPLICABLE BUILDING CODE:	IBC-2003
SEISMIC DESIGN CATEGORY:	D
WIND DESIGN SPEED (3-SECOND GUST):	90 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLERED:	NO
NUMBER OF STORIES:	ONE
TOTAL BUILDING AREA:	2,532 SQ. FT.
OCCUPANCY GROUP:	GROUP A-2
OCCUPANT LOAD:	IBC TABLE 1004.1.2 RESTAURANT FIXED SEATING: 48 SEATS = 48 OCC. COMMERCIAL KITCHEN: 1,308 SF/200 = 7 OCC. TOTAL: 55 OCCUPANTS
TWO EXITS REQUIRED FROM DINING RM:	YES TWO EXITS PROVIDED
PLUMBING SYSTEMS:	IBC TABLE 2902.1 WATER CLOSETS REQ'D: 2 WATER CLOSETS PROVIDED: 2 LAVATORIES REQ'D: 2 LAVATORIES PROVIDED: 2 SERVICE SINK REQ'D: 1 SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN REQ'D: 1 COMPLIMENTARY WATER SERVICE PROVIDED
REQUIRED OFF-STREET PARKING:	48 SEATS/4 = 12 SPACES
OFF-STREET PARKING PROVIDED:	33 SPACES TWO HC SPACES; ONE DESIGNATED VAN ACCESSIBLE TWO MOTORCYCLE SPACES

TRAFFIC CIRCULATION LAYOUT
APPROVED
KJZ
10/13/06
Signed Date

RECEIVED
OCT 12 2006
LAND DEVELOPMENT SECTION

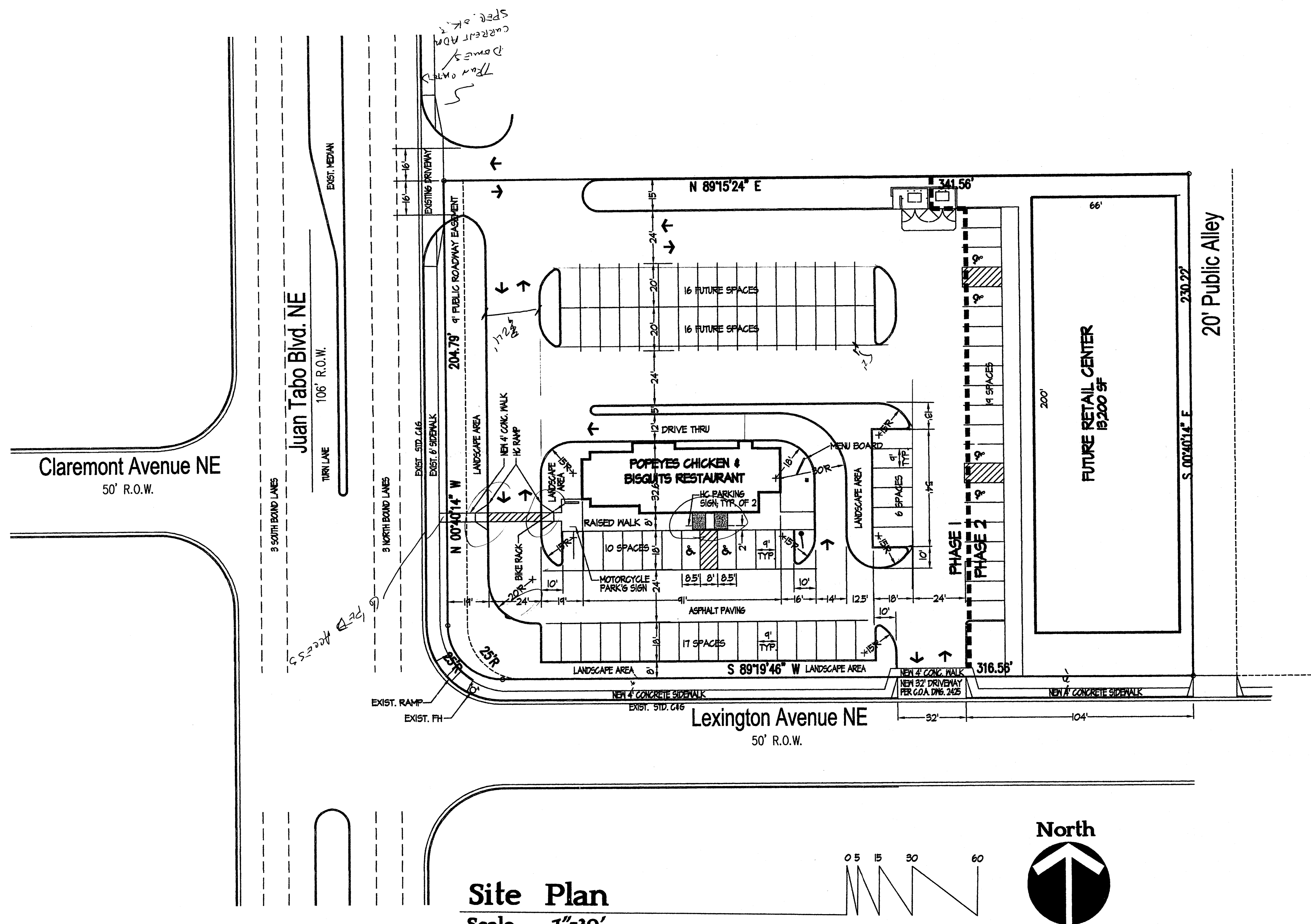


Popeyes Chicken & Biscuits Restaurant
JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

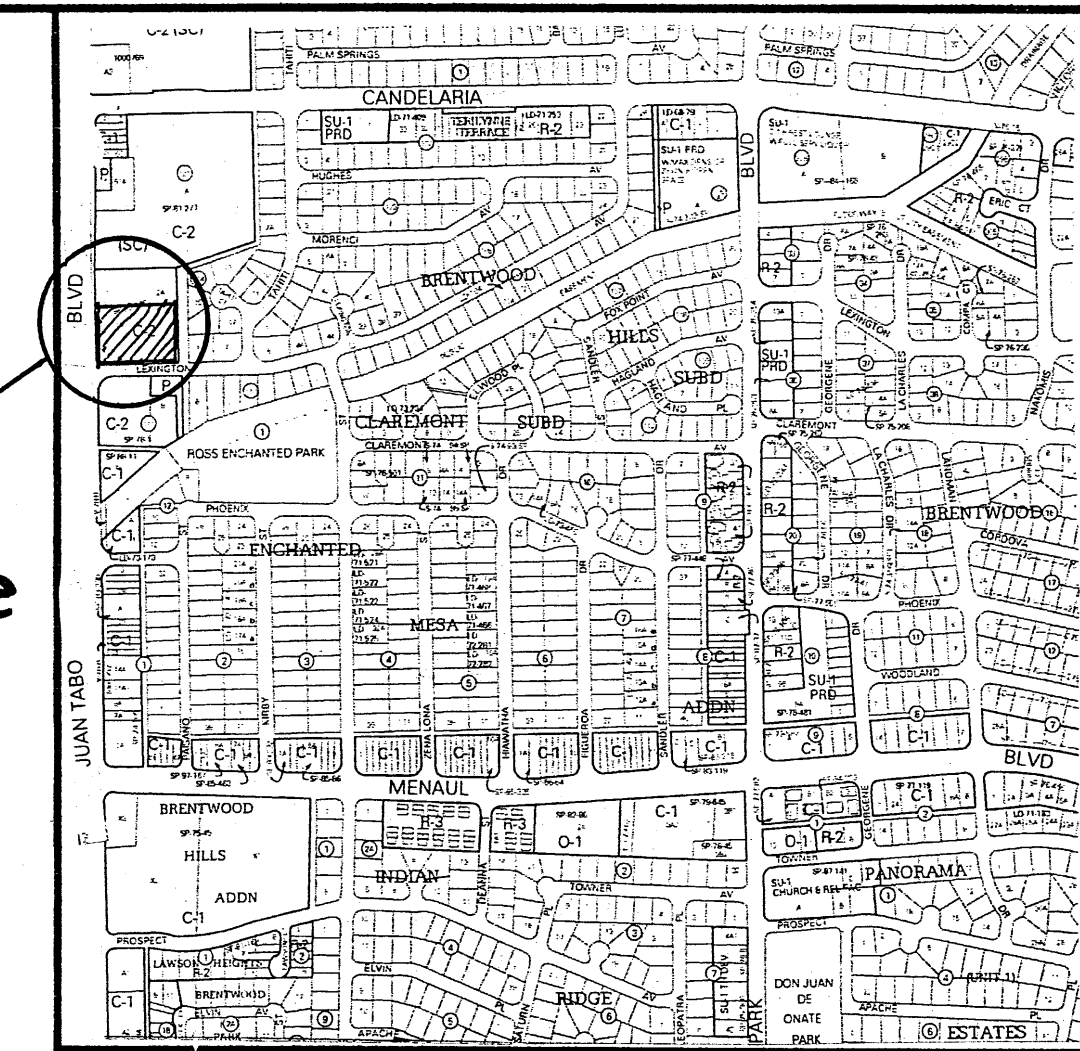
KEN HOVEY, ARCHITECT
505) 294-8450 • 3808 Simms Avenue SE • Albuquerque, NM • 87106

JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	
	24 SEPTEMBER 2006
	11 OCTOBER 2006

SHEET NO.
C.1



Site

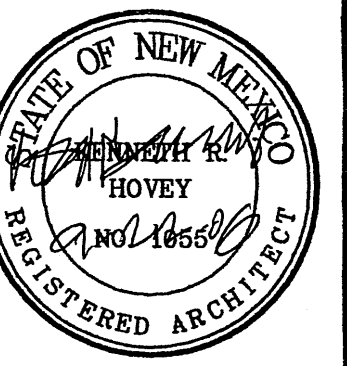
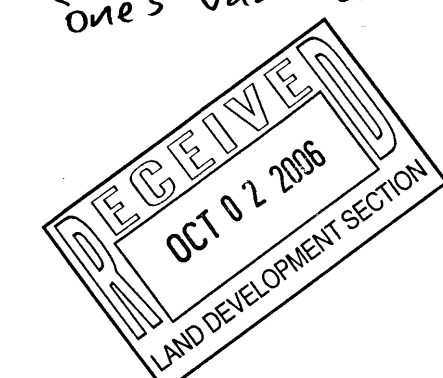


Vicinity Map

H-22

Design Data

LEGAL DESCRIPTION:	TRACT 1-A BLOCK 101, BRENTWOOD HILLS SUBDIVISION ALBUQUERQUE, NEW MEXICO
CURRENT ZONING:	C-2
ZONE ATLAS PAGE:	H-22-Z
APPLICABLE BUILDING CODE:	IBC-2003
SEISMIC DESIGN CATEGORY:	D
WIND DESIGN SPEED (3-SECOND GUST):	90 MPH
EXPOSURE:	C
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLERED:	NO
NUMBER OF STORIES:	ONE
TOTAL BUILDING AREA:	2,532 SQ. FT.
OCCUPANCY GROUP:	GROUP A-2
OCCUPANT LOAD:	IBC TABLE 1004.1.2 RESTAURANT FIXED SEATING: 48 SEATS = 48 OCC. COMMERCIAL KITCHEN: 1,308 SF/200 = 7 OCC. TOTAL: 55 OCCUPANTS
TWO EXITS REQUIRED FROM DINING RM:	YES TWO EXITS PROVIDED
PLUMBING SYSTEMS:	IBC TABLE 2902.1 WATER CLOSETS REQ'D: 2 WATER CLOSETS PROVIDED: 2 LAVATORIES REQ'D: 2 LAVATORIES PROVIDED: 2 SERVICE SINK REQ'D: 1 SERVICE SINK PROVIDED: 1 DRINKING FOUNTAIN REQ'D: 1 COMPLIMENTARY WATER SERVICE PROVIDED
REQUIRED OFF-STREET PARKING:	12 SPACES 48 SEATS/4 = 12 SPACES
OFF-STREET PARKING PROVIDED:	33 SPACES TWO HC SPACES ALL DESIGNATED VAN ACCESSIBLE TWO MOTORCYCLE SPACES one's van accessible

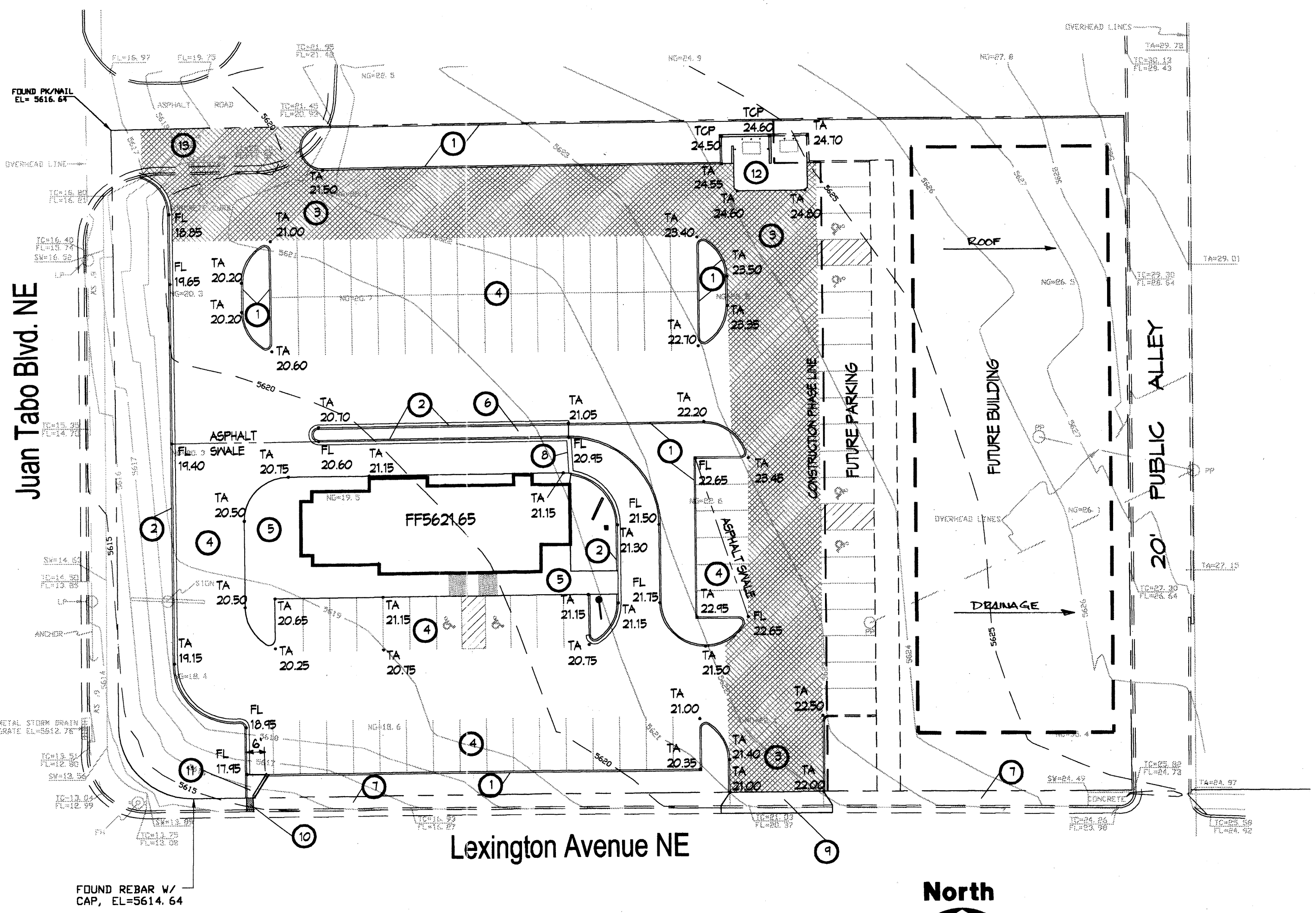


Popeyes Chicken & Biscuits Restaurant
JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
505) 254-8458 • 3808 Simms Avenue SE • Albuquerque, NM • 87108

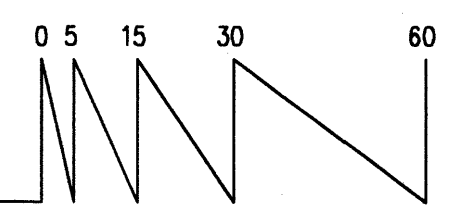
JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	
24 SEPTEMBER 2006	

SHEET NO.
C.1



Grading Plan
Scale: 1"=30'

NOTE:
ALL ONSITE TOP OF CURB AND TOP OF SIDEWALK ELEVATIONS ARE 6" ABOVE THE ADJACENT TOP OF ASPHALT UNLESS SHOWN TO BE OTHERWISE.



Site Notes

EXISTING CONDITION
THE SITE IS PRESENTLY UNDEVELOPED WITH SLOPE FROM NORTHEAST TO SOUTHWEST. VEGETATION IS QUITE SPARSE, COMPOSED OF NATIVE PLANTS. DRAINAGE RUNOFF IS OVERLAND AND TRANSFERS SOIL INTO THE ADJACENT STREET SYSTEM IN STORMS.

PROPOSED CONDITION
THE EXISTING PAVED ENTRANCE AT THE NORTHWEST CORNER IS TO BE REVISED TO PROVIDE A SMOOTHER ENTRANCE TO THE PROPOSED DEVELOPMENT. LANDSCAPED AREAS ARE PLANNED FOR THE NORTH, SOUTH AND WEST SIDES OF THE PROPERTY. THE SITE WILL BE DEVELOPED IN TWO OR MORE PHASES WITH PHASE ONE PROVIDING INGRESS/EGRESS FOR REFUSE AND A DEVELOPED DRAINAGE OUTFALL FACILITY. THE EXISTING PUBLIC ALLEY IS DEVELOPED AND THE FUTURE BUILDING ROOF WILL DRAIN TO THE ALLEY. THE ENTIRE SITE WILL BE ROUTED ON PAVED SURFACES TO LEXINGTON AVENUE.

THE SITE IS LOCATED IN ZONE X PER FEMA FIRM NO. 357.

Legal Description

TRACT 1-A, BLOCK 101, BRENTWOOD HILLS SUBDIVISION

Permanent Benchmark

ACS 10-H22 ELEVATION 5613.80 (NAVD88)

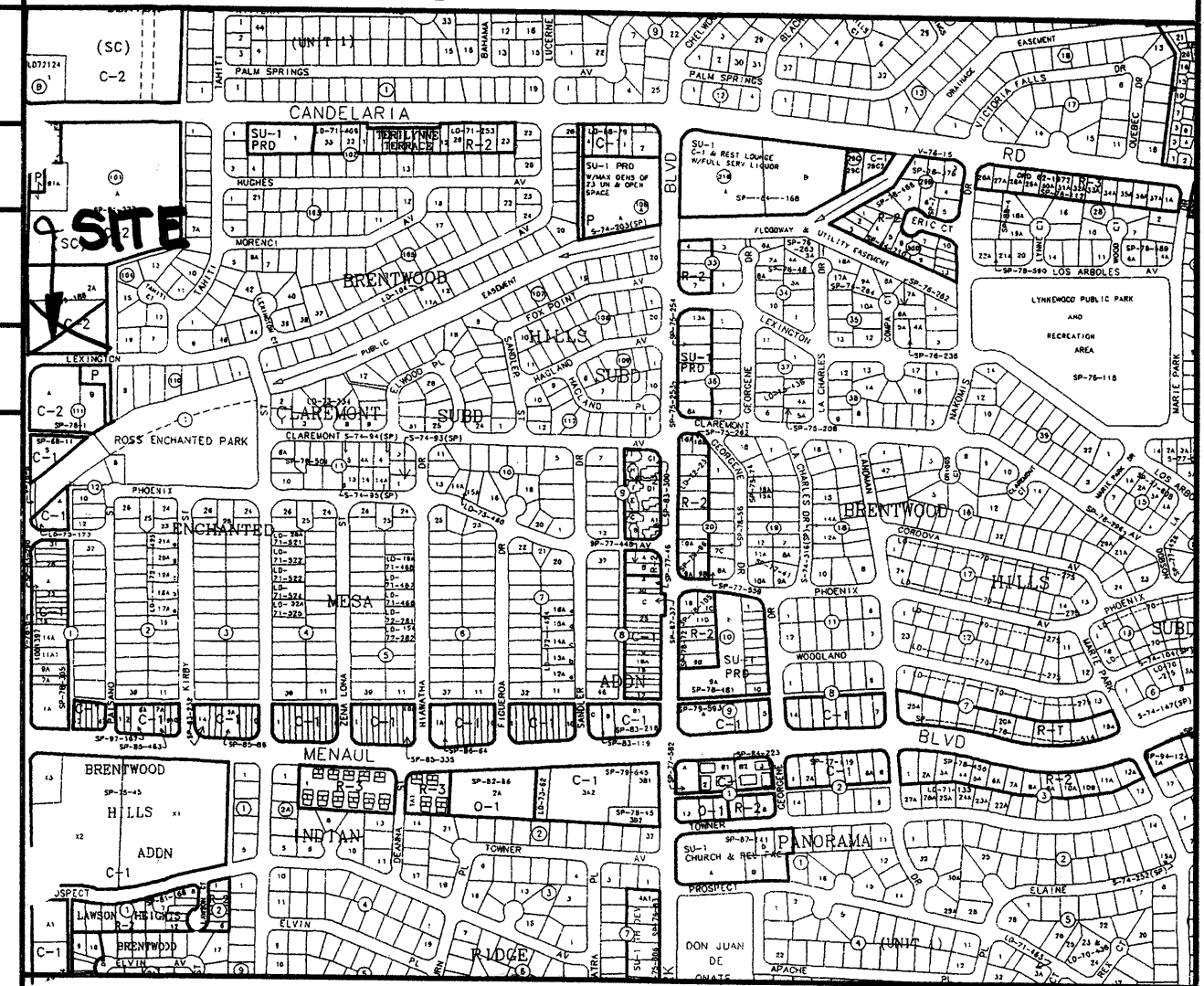
Keyed Notes

1. HEADER CURB. SEE DETAIL SHEET C-3.
2. CONCRETE CURB AND GUTTER. SEE DETAIL SHEET C-3.
3. HEAVY DUTY PAVING (MAIN ASILES ONLY). SEE DETAIL SHEET C-3.
4. LIGHT DUTY PAVING (PARKING & DRIVE-UP ASILE). SEE DETAIL SHEET C-3.
5. TURNDOWN SIDEWALK. SEE DETAIL SHEET C-3.
6. SITE SIDEWALK. SEE DETAIL SHEET C-3.
7. CITY SIDEWALK. SEE COA STD. DMS. 2430.
8. VALLEY GUTTER. SEE DETAIL SHEET C-3.
9. INSTALL 24" CONCRETE DRIVEPAD. SEE COA STD. DMS. 2425, SECTION D-D.
10. 24" SIDEWALK CULVERT. SEE COA STD. DMS. 2236.
11. CONCRETE CHANNEL. SEE DETAIL SHEET C-3.
12. REFUSE ENCLOSURE. SEE ARCHITECTURAL & PLUMBING FOR DETAILS.
13. REMOVE EXISTING CURB, GUTTER AND ASPHALT IN HATCHED AREA. INSTALL HEAVY DUTY ASPHALT.

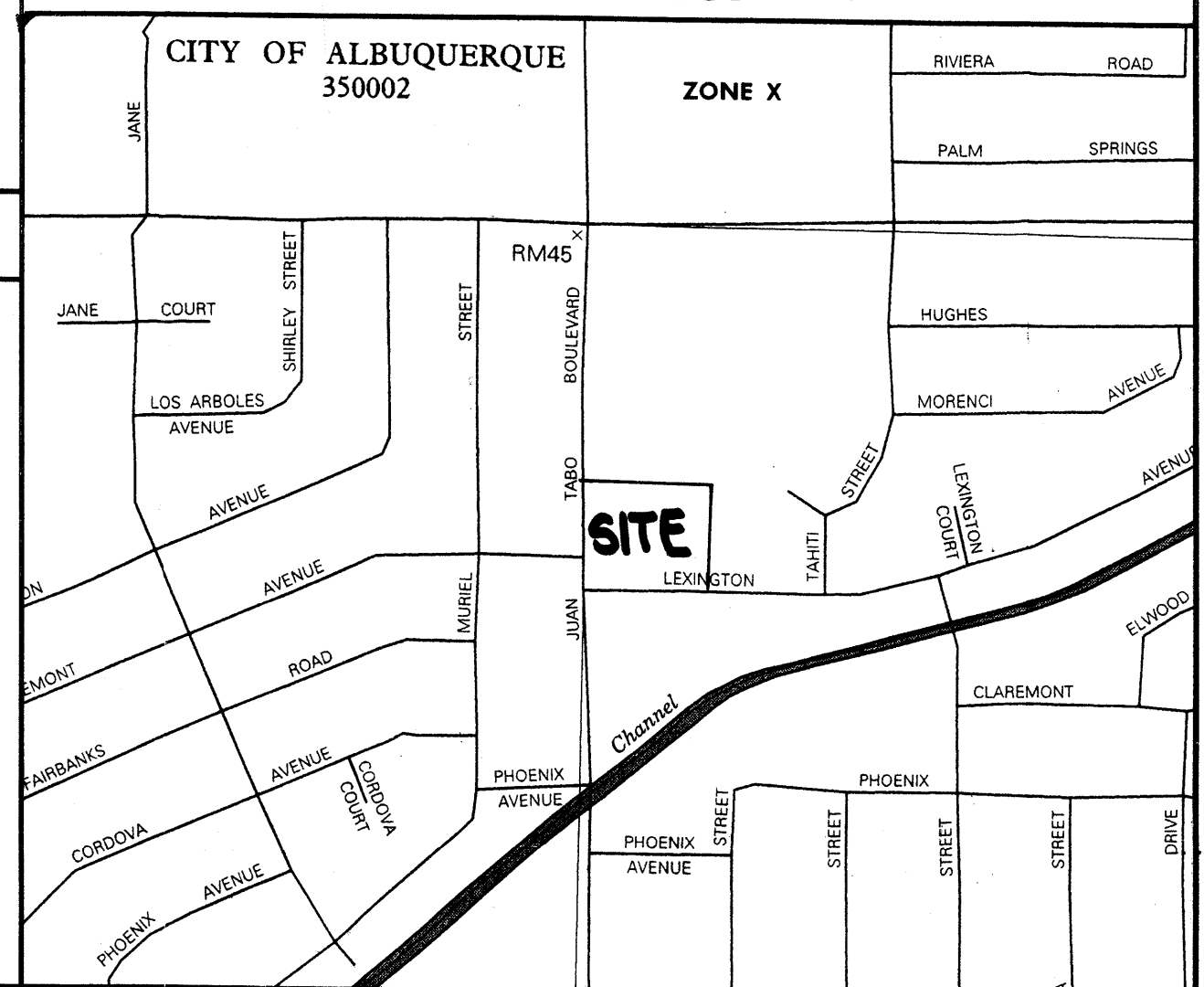
Notice to Contractor SO 19

1. AN EXCAVATION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE LINE LOCATING SERVICE, NEW MEXICO ONE CALL AT 260-1990 FOR THE LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION WITHIN THE CITY RIGHT-OF-WAY SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THE SIDEWALK CULVERT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY BEING SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

Vicinity Map No. H-22



FEMA FIRM Panel No. 357



Onsite Grading Notes

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

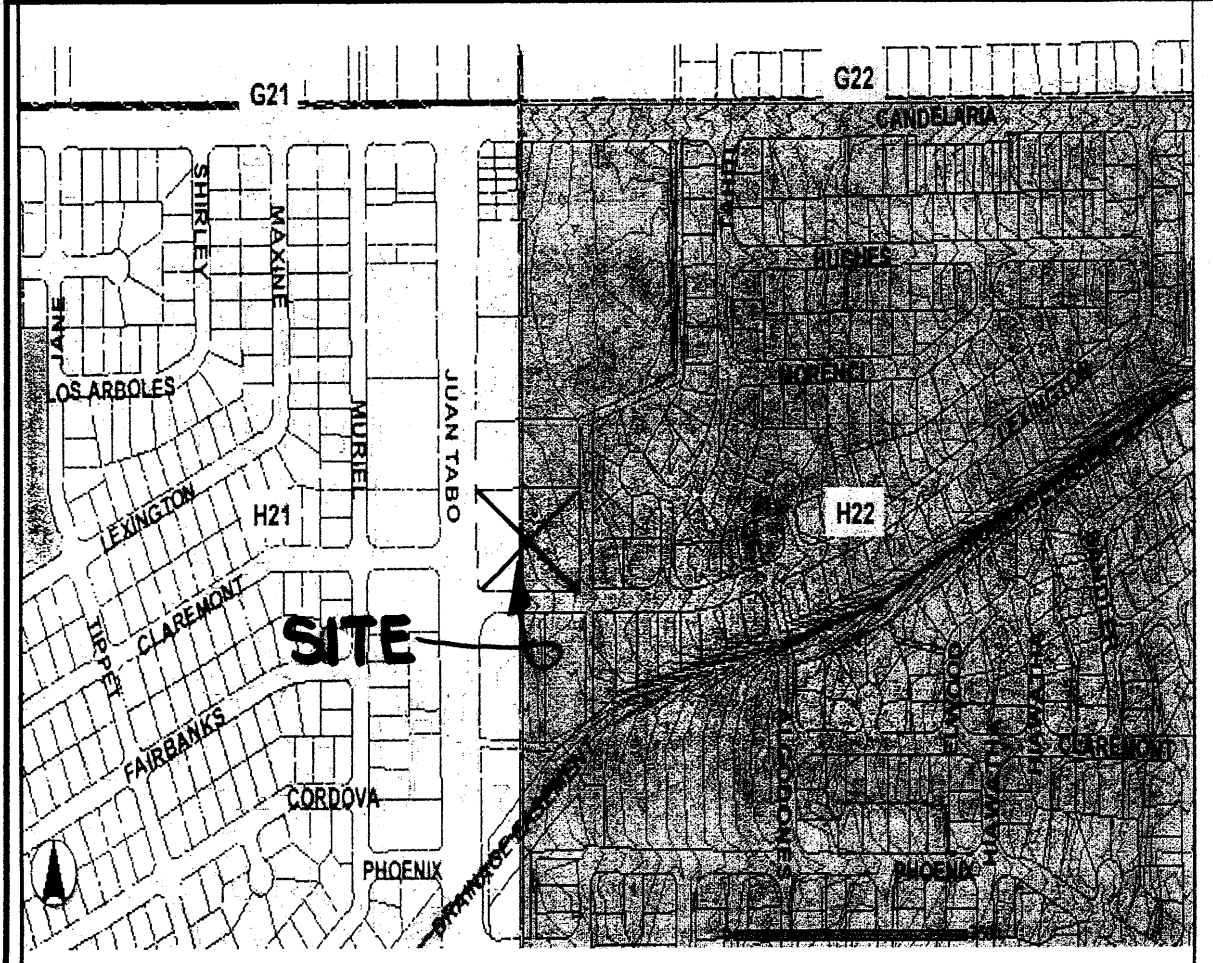
Erosion Control Notes

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND BY NETTING SOIL TO PREVENT IT FROM BLOWING.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE A "TOPSOIL DISTURBANCE PERMIT" PRIOR TO BEGINNING CONSTRUCTION.
4. THE SITE IS MORE THAN ONE (1) ACRE IN AREA AND A SWPPP IS REQUIRED FOR THE PROJECT.

Legend

BM	TEMPORARY BENCHMARK	GM	GAS METER
FF	FINISH FLOOR	GV	GAS VALVE
FG	FINISH GRADE	LP	LIGHT POLE
FL	FLOWLINE	PP	POWER POLE
TA	TOP OF ASPHALT	GM	GUY WIRE
TCP	TOP OF CONCRETE	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CURB	RD	ROOF DRAINAGE POINT
TP	TOP OF EARTH PAD		FEMA FLOODPLAIN BOUNDARY
TS	TOP OF SIDEWALK		DRAINAGE BASIN BOUNDARY
TW	TOP OF WALL		EROSION SETBACK LINE
FH	FIRE HYDRANT		EXISTING CONTOUR
WM	WATER METER		PROPOSED CONTOUR
WV	WATER VALVE		EXISTING SPOT ELEVATION
MH	MANHOLE		PROPOSED SPOT ELEVATION
CB	CATCH BASIN GRATE		RECORD SPOT ELEVATION

Offsite Drainage Map



Drainage Data

CONDITION	B STORM A RETURN S PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	(table 8) in.	(table 9) cfs/acre	cu. ft.	cfs
EXISTING	10	A	0	0.28	0.87	0	0.00
		B	0	0.46	1.45	0	0.00
		C	78426	0.73	2.26	4771	4.07
		D	0	1.69	3.57	0	0.00
		TOTAL	78426			4771	4.07
	100	A	0	0.80	2.20	0	0.00
		B	0	1.08	2.92	0	0.00
		C	78426	1.46	3.73	9542	6.72
		D	0	2.64	5.25	0	0.00
		TOTAL	78426			9542	6.72
DEVELOPED	10	A	0	0.28	0.87	0	0.00
		B	10660	0.46	1.45	409	0.35
		C	1426	0.73	2.26	87	0.07
		D	66340	1.69	3.57	9343	5.44
		TOTAL	78426			9836	5.87
	100	A	0	0.80	2.20	0	0.00
		B	10660	1.08	2.92	959	0.71
		C	1426	1.46	3.73	173	0.12
		D	66340	2.64	5.25	14595	8.00
		TOTAL	78426			15728	8.83
SW C U L V	100	A	0	0.80	2.20	0	0.00
		B	4880	1.08	2.92	439	0.33
		C	0	1.46	3.73	0	0.00
		D	47830	2.64	5.25	10523	5.76
		TOTAL	52710			10962	6.09

CHANNEL TO SW CULVERT
BROAD CRESTED WEIR
 $Q = CLH^{0.67}$ where $Q=6.09\text{cfs}$, $C=3.0$, $H=0.5\text{ft}$
therefore $L=5.66\text{ft}$, Use 6 ft

SIDEWALK CULVERT
FLOWMASTER
 $Q=6.09\text{cfs}$, $H=0.5\text{ft}$, $S=0.02\text{ft/ft}$, $n=0.013$
therefore $W=1.65\text{ft}$, Use 2 ft

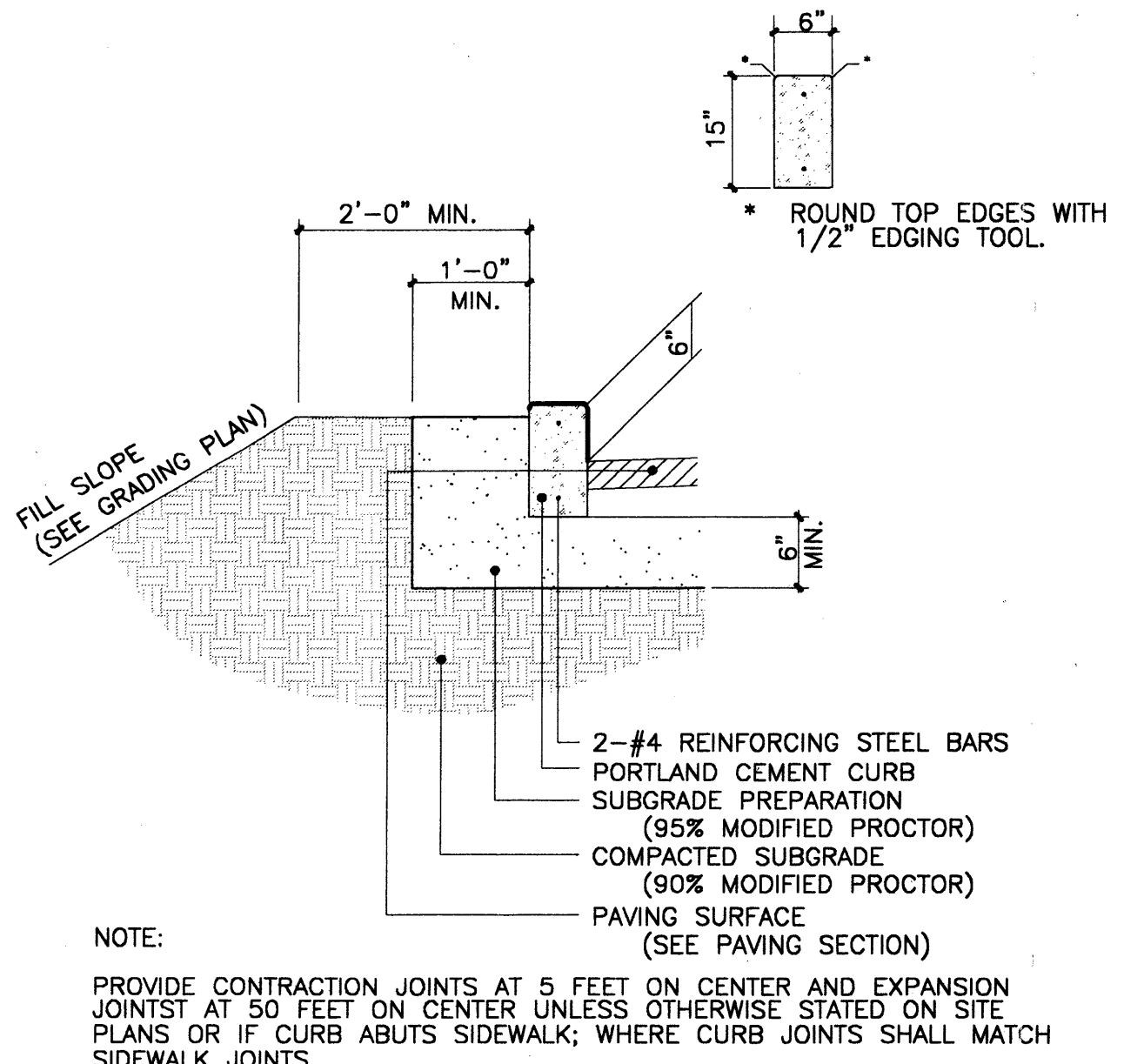
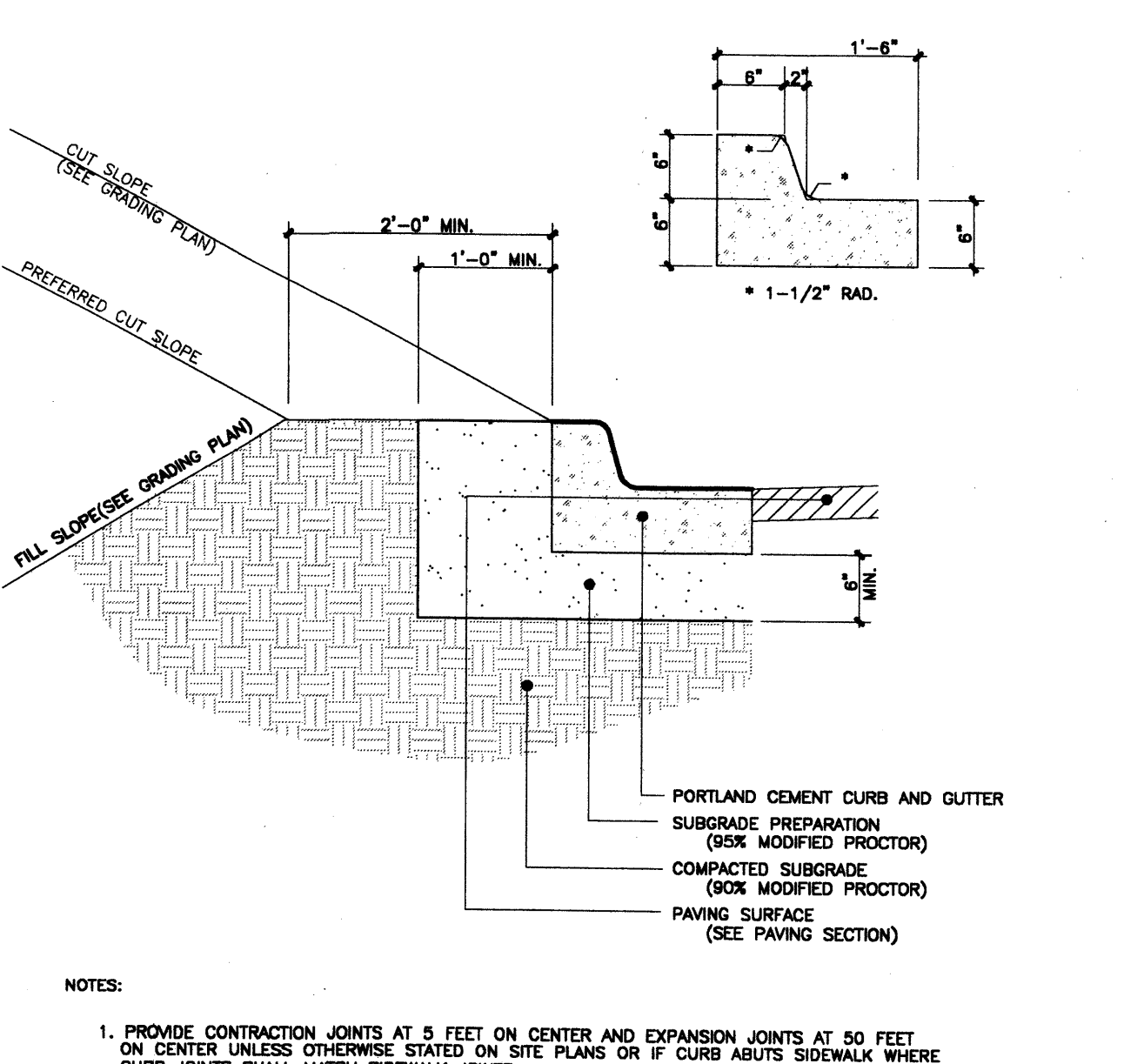
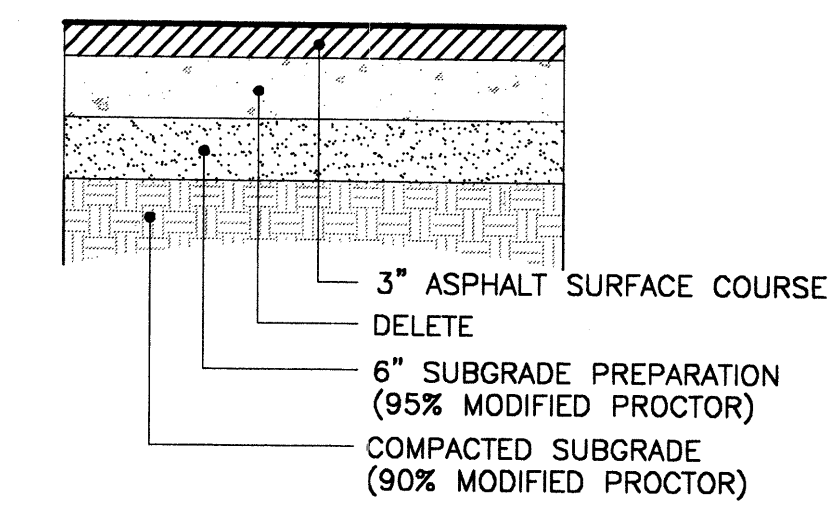
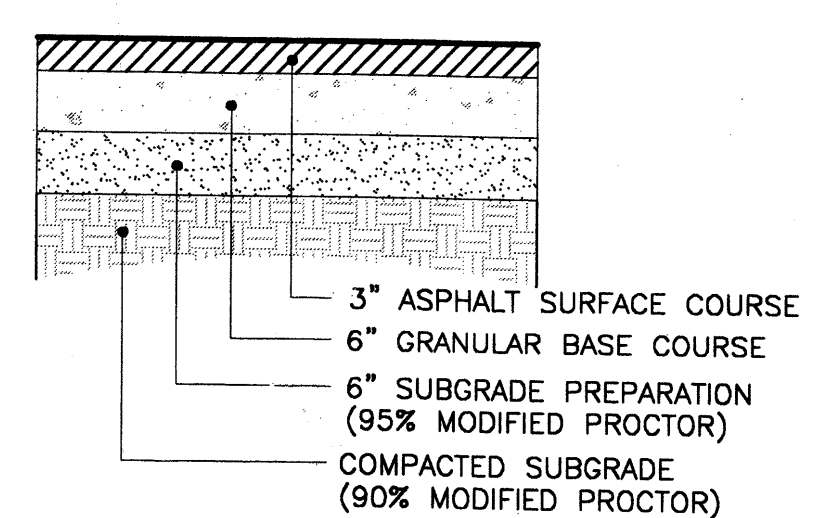
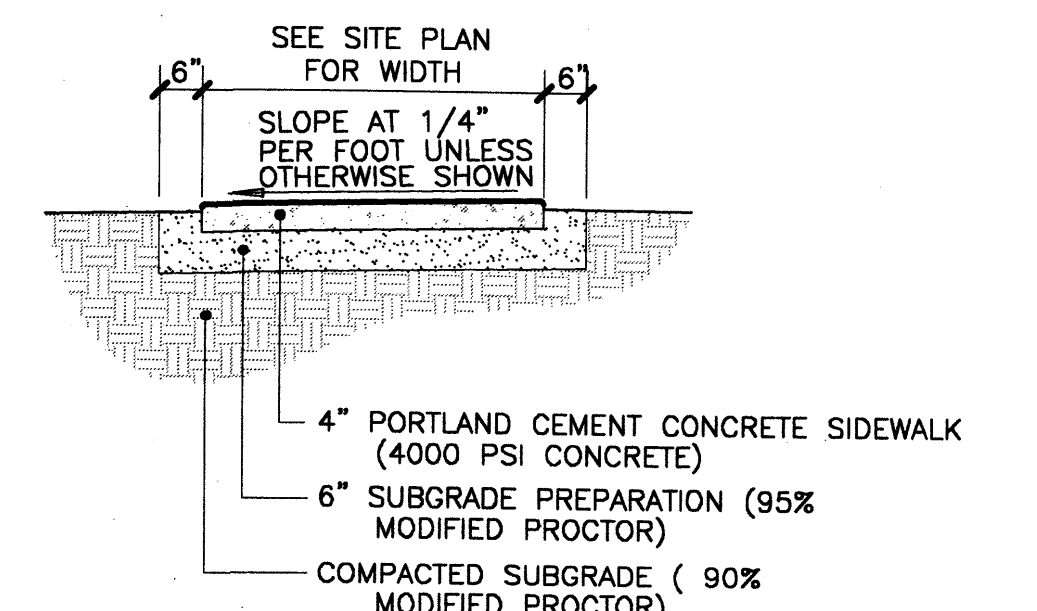
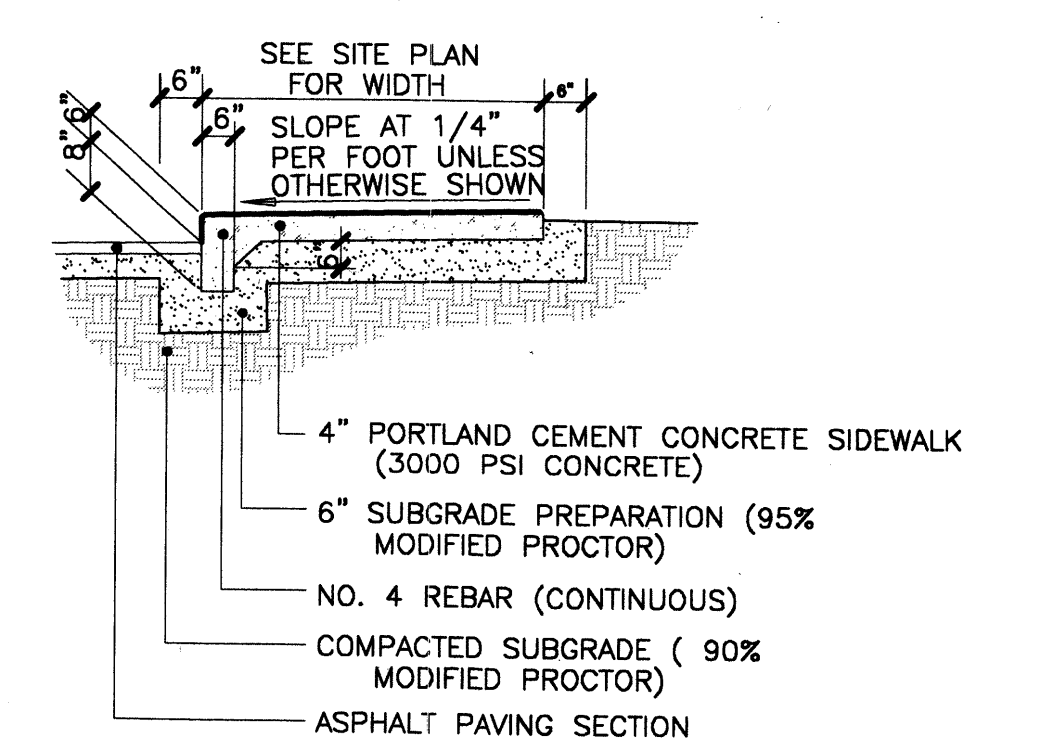
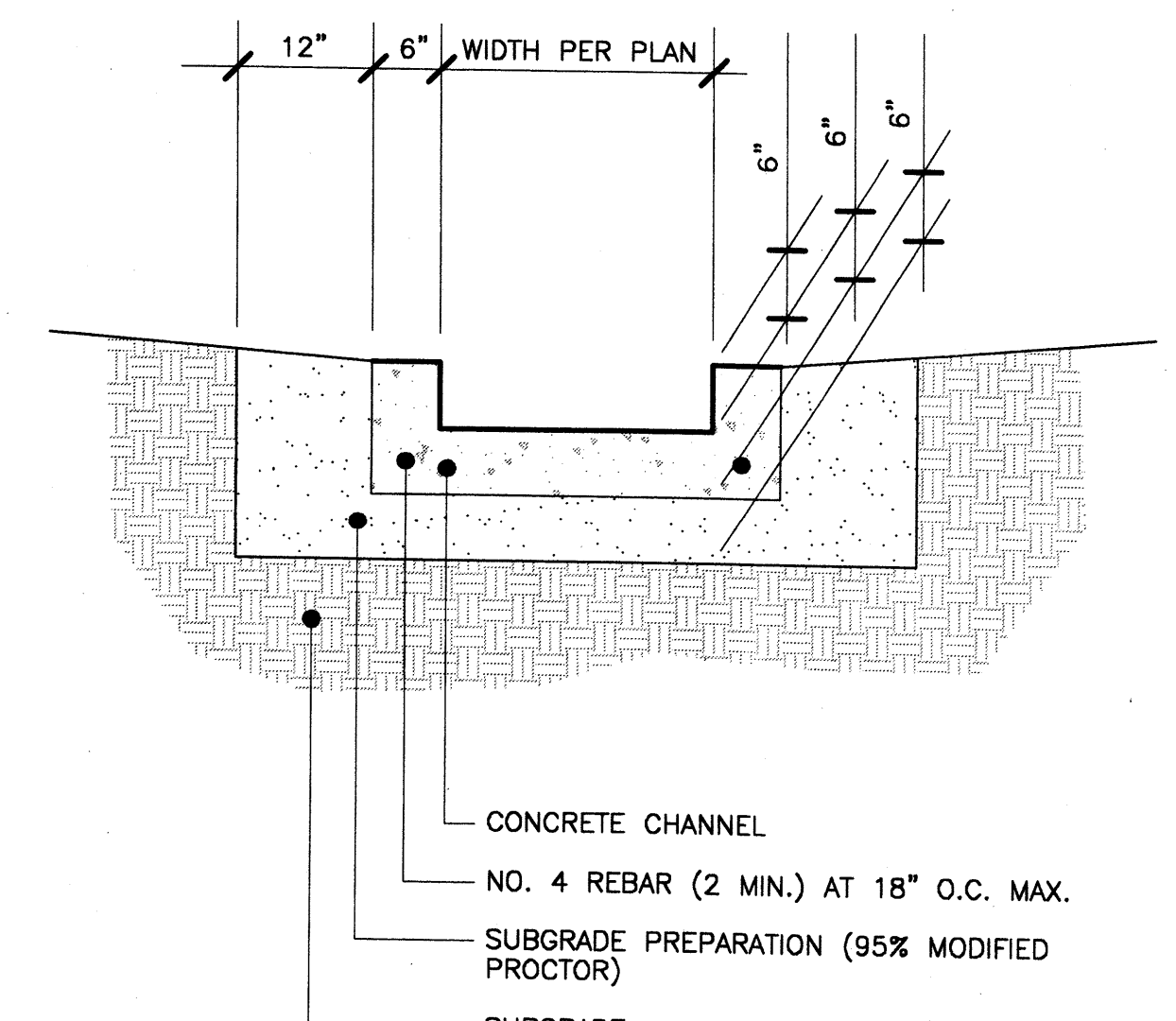
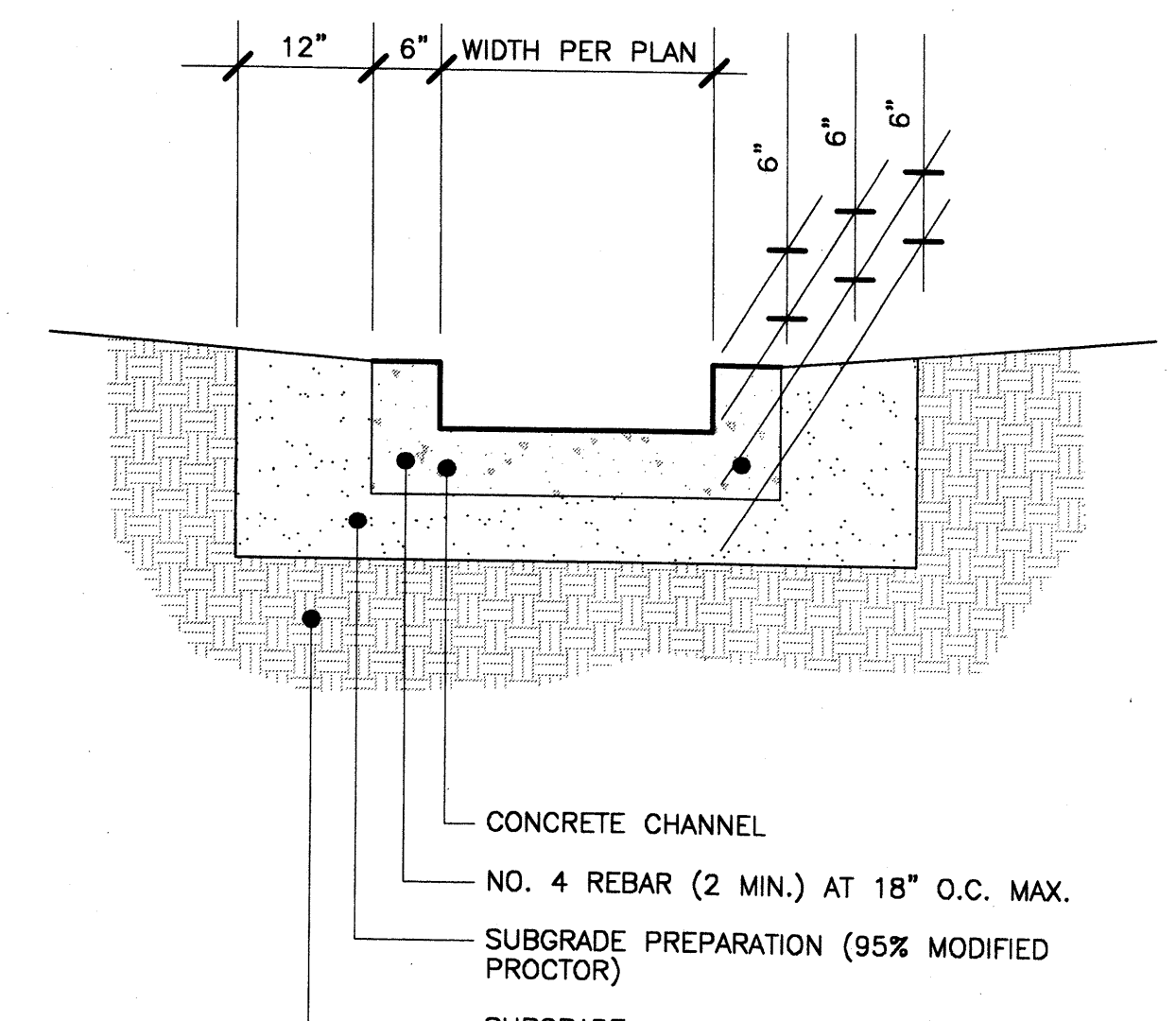


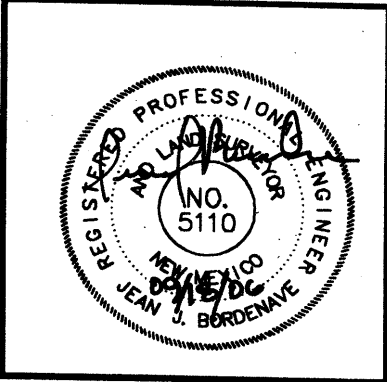
Popeyes Chicken & Biscuits Restaurant
JUAN TABO NE AT LEXINGTON AVENUE NE, ALBUQUERQUE, NEW MEXICO

KEN HOVEY, ARCHITECT
5051 254-8458 • 8809 Simms Avenue SE • Albuquerque, NM • 87109

JOB NO:	0612
DATE:	20 JUNE 2006
REVISIONS	

SHEET NO.
C.2

HEADER CURB	CURB AND GUTTER	PAVEMENT (LIGHT DUTY)	PAVEMENT (HEAVY DUTY)
 <p>NOTE: PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK; WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.</p>	 <p>NOTES: 1. PROVIDE CONTRACTION JOINTS AT 5 FEET ON CENTER AND EXPANSION JOINTS AT 50 FEET ON CENTER UNLESS OTHERWISE STATED ON SITE PLANS OR IF CURB ABUTS SIDEWALK WHERE CURB JOINTS SHALL MATCH SIDEWALK JOINTS.</p>	 <p>NOTES: 1. ASPHALT MIX SHALL USE NMDOT DESIGN w/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS. 2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".</p>	 <p>NOTES: 1. ASPHALT MIX SHALL USE NMDOT DESIGN w/ 3/4" AGGREGATE AND HAVE A MARSHALL STABILITY GREATER THAN 1800 LBS. 2. ASPHALT CONCRETE COURSES GREATER THAN 3" IN THICKNESS SHALL BE PLACED WITH MULTIPLE LIFTS. MINIMUM LIFT THICKNESS 1 1/2".</p>
	SIDEWALK	TURNDOWN SIDEWALK	CONCRETE CHANNEL
	 <p>SEE SITE PLAN FOR WIDTH SLOPE AT 1/4" PER FOOT UNLESS OTHERWISE SHOWN</p> <p>4" PORTLAND CEMENT CONCRETE SIDEWALK (4000 PSI CONCRETE) 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR) COMPACTED SUBGRADE (90% MODIFIED PROCTOR)</p>	 <p>SEE SITE PLAN FOR WIDTH SLOPE AT 1/4" PER FOOT UNLESS OTHERWISE SHOWN</p> <p>4" PORTLAND CEMENT CONCRETE SIDEWALK (3000 PSI CONCRETE) 6" SUBGRADE PREPARATION (95% MODIFIED PROCTOR) NO. 4 REBAR (CONTINUOUS) COMPACTED SUBGRADE (90% MODIFIED PROCTOR) ASPHALT PAVING SECTION</p>	 <p>12" 6" WIDTH PER PLAN</p> <p>CONCRETE CHANNEL NO. 4 REBAR (2 MIN.) AT 18" O.C. MAX. SUBGRADE PREPARATION (95% MODIFIED PROCTOR) SUBGRADE</p>
			 <p>12" 6" WIDTH PER PLAN</p> <p>CONCRETE CHANNEL NO. 4 REBAR (2 MIN.) AT 18" O.C. MAX. SUBGRADE PREPARATION (95% MODIFIED PROCTOR) SUBGRADE</p>



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505) 259-8458 * 3806 Simms Avenue SE * Albuquerque, NM * 87108

JOB NO:	j0626
DATE:	August 03, 2006
REVISIONS	

SHEET NO.
C.3

