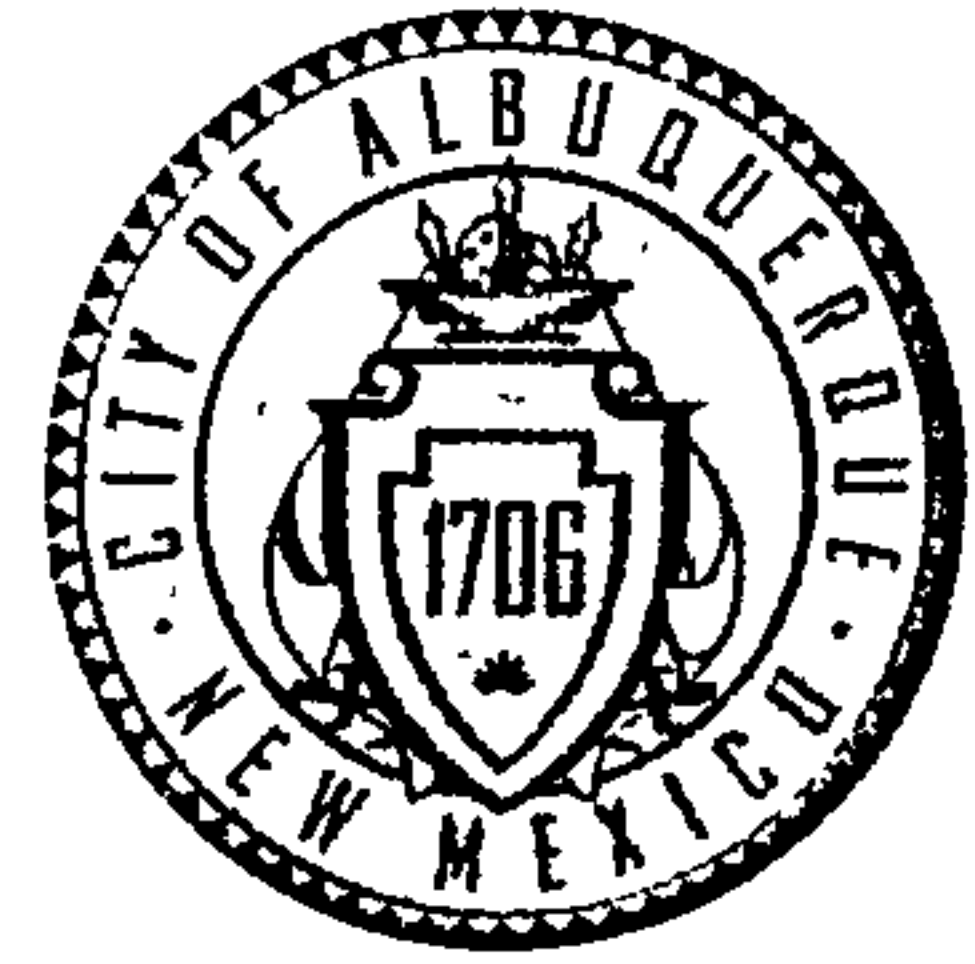


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

October 26, 2011

J. David Hickman, R.A.
Core Architecture LTD.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

Re: Certification for Permanent Certificate of Occupancy (C.O.)
for Design Power Office Bldg., [H-22/D077]
12514 Manual NE
Architect's Stamp Dated 10/26/11

Dear Mr. Hickman:

Based upon the information provided in your submittal received 10-26-11, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Design Power Office Building ZONE MAP: H 22 /
 DRB#: _____ EPC#: _____ WORK ORDER#: 0077

LEGAL DESCRIPTION: LOT 1 A Block 4 Brentwood Hills Addition
 CITY ADDRESS: 12514 Menaul Blvd NE

ENGINEERING FIRM: Graft M. McGEE P.E. CONTACT: Scott McGEE
 ADDRESS: _____ PHONE: 505 263-2905
 CITY, STATE: _____ ZIP CODE: _____

OWNER: MANZANO MEADOWS LLC CONTACT: Paul Drage
 ADDRESS: 12514 Menaul Blvd NE PHONE: 505 280-2550
 CITY, STATE: ALBUQUERQUE, NM ZIP CODE: 87112

ARCHITECT: CORE Architecture LLC CONTACT: Dave Hickman
 ADDRESS: 5924 Anaheim Ave NE # A PHONE: 505 796-0894
 CITY, STATE: Albuquerque, NM 87113 ZIP CODE: 87113

SURVEYOR: _____ CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: Ollason Construction CONTACT: Larry Ollason
 ADDRESS: 10811 San Antonio Dr NE PHONE: 505 821-9304
 CITY, STATE: Albuquerque, NM ZIP CODE: 87122

TYPE OF SUBMITTAL:
☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

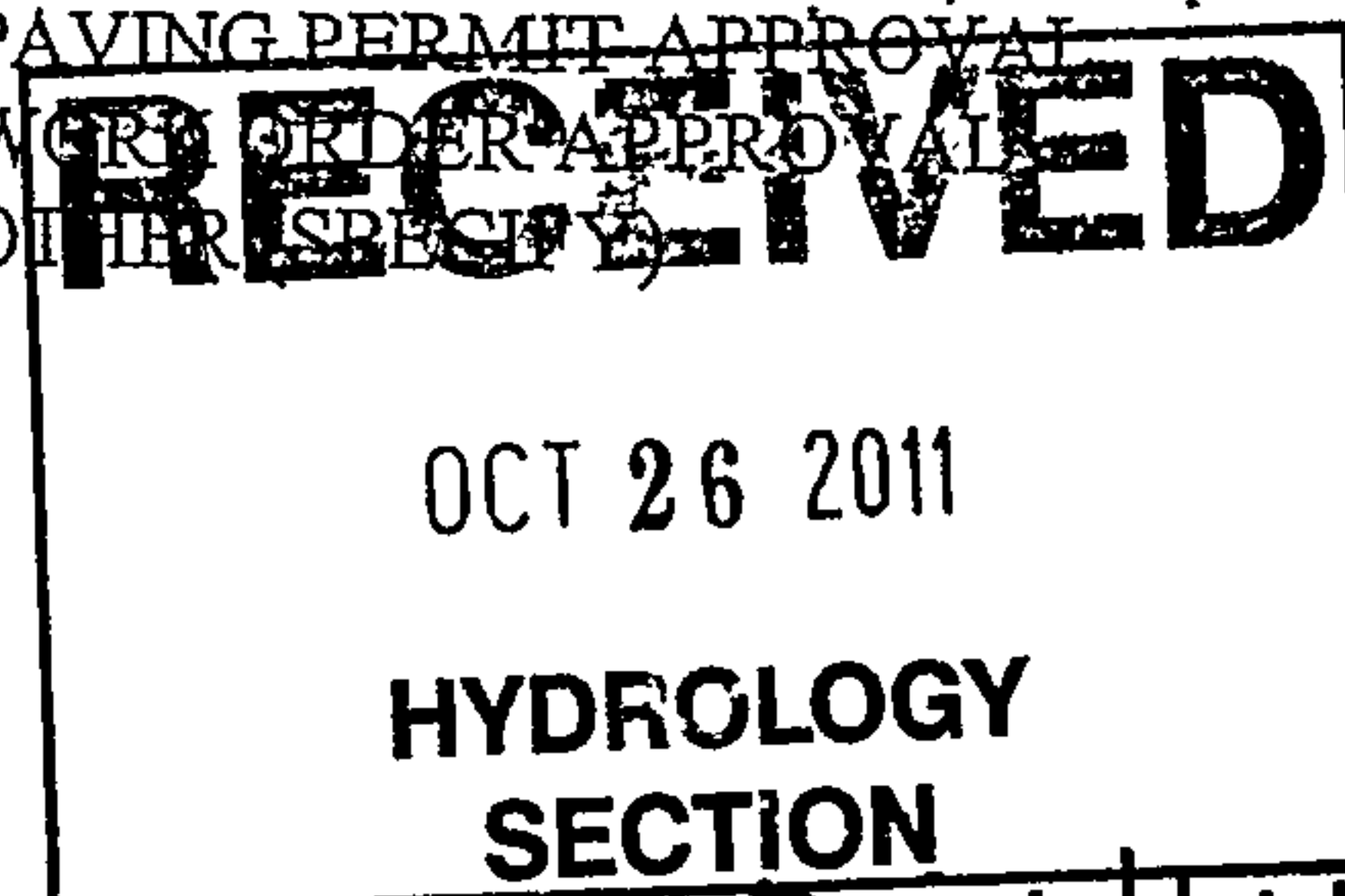
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
☐ NO
☐ COPY PROVIDED

DATE SUBMITTED: October 26, 2011 BY: David Hickman

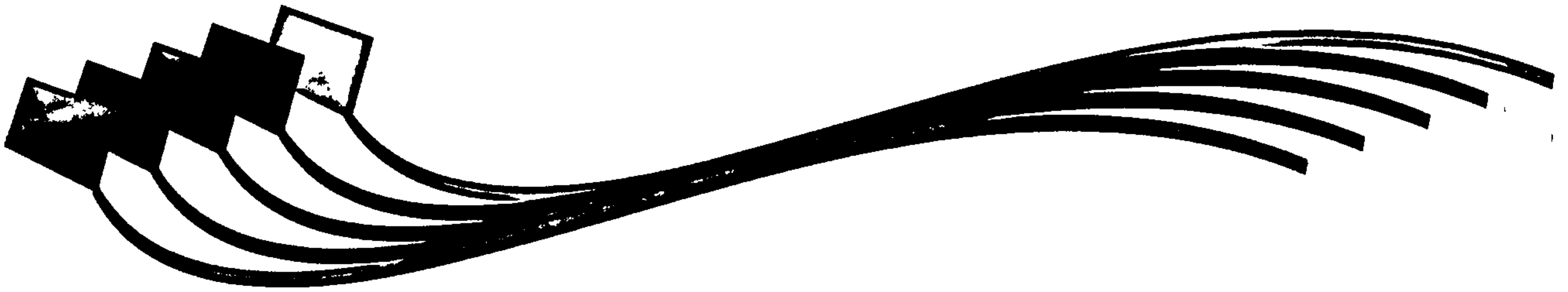
Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CORE

Architecture LLC



October 26, 2011

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Certification Package for
Design Power Office Building [H22/D077]
12514 Menaul Blvd. NE, Albuquerque
Architect's Stamp Dated 12/14/10

Dear Mr. Salgado-Fernandez,

I am pleased to report to you that the work required by the approved TCL and as described in the TCL approval letter dated December 16, 2010 has been fully completed for the above referenced project.

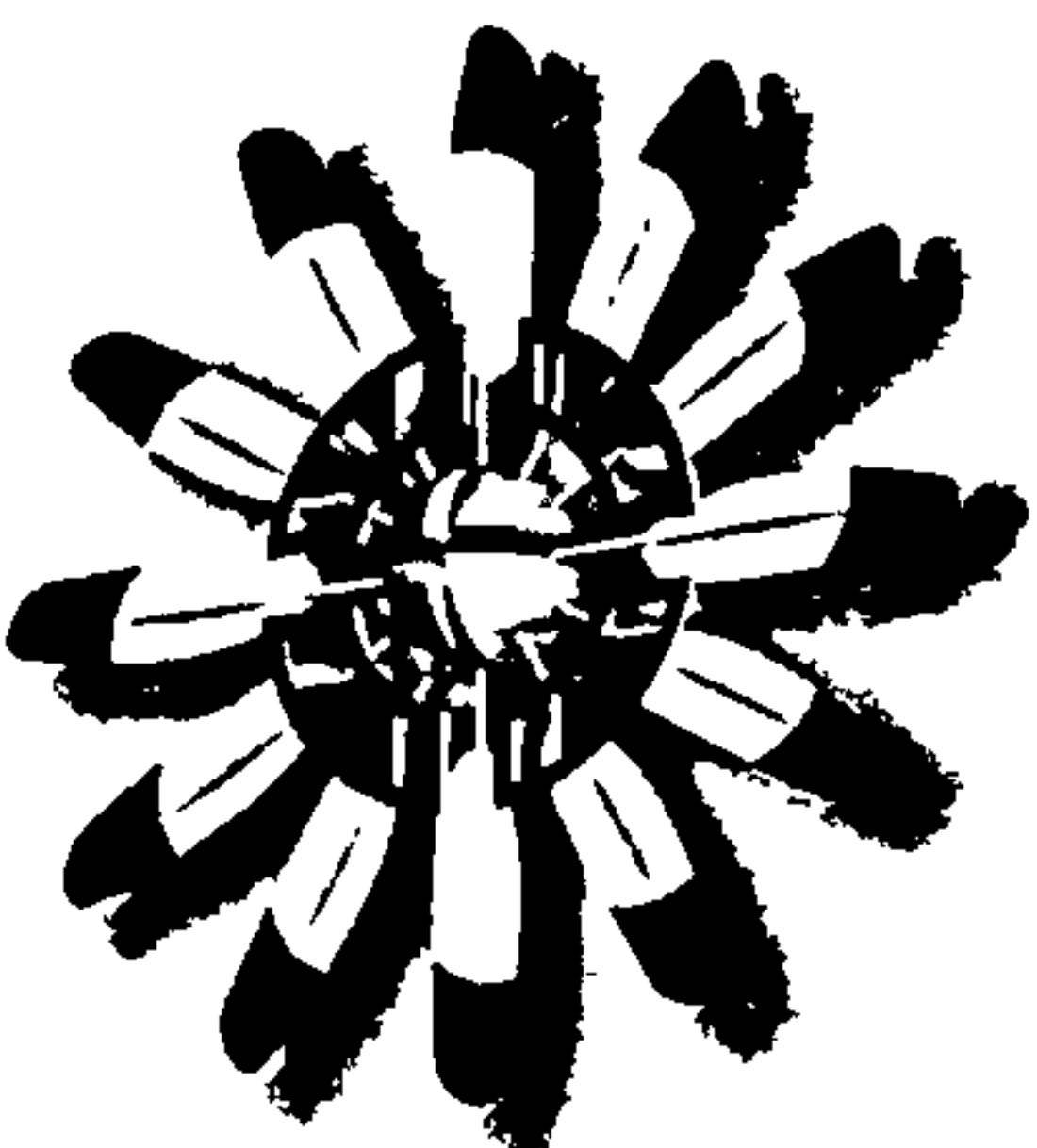
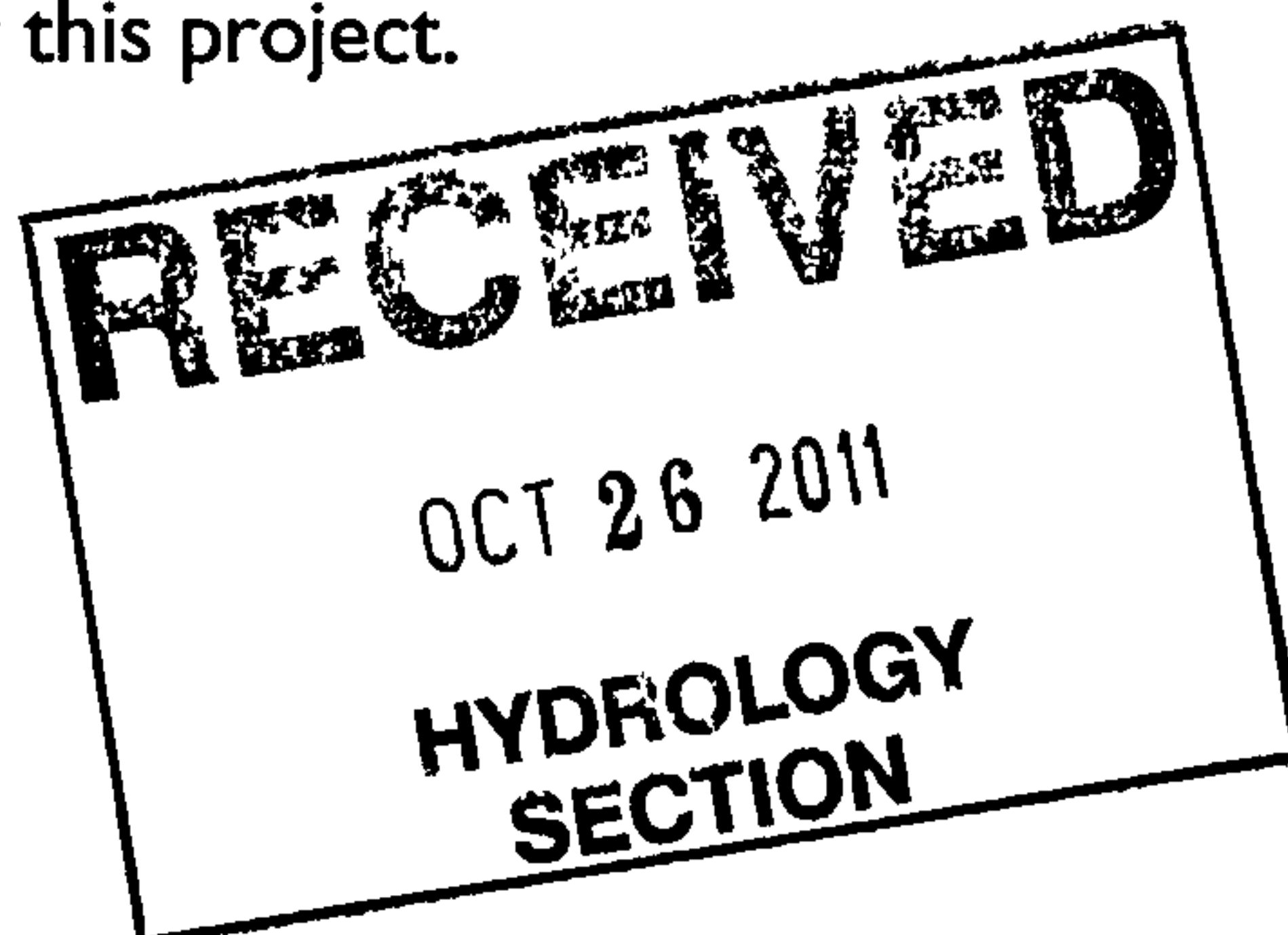
I have reviewed the work on September 21, 2010 and have found it to be in full compliance with the TCL.

I do hereby certify that the project meets and conforms to these requirements and the design provided in the approved TCL. I am including with this package the required recorded Cross Access Agreement which was filed on 9/23/11 with the County. I am also including a copy of your letter dated 9/23/11 as well.

We appreciate your assistance in the completion of this project, and formally request that a final Certificate of Occupancy be issued for this project.

Sincerely,

J. David Hickman
Architect

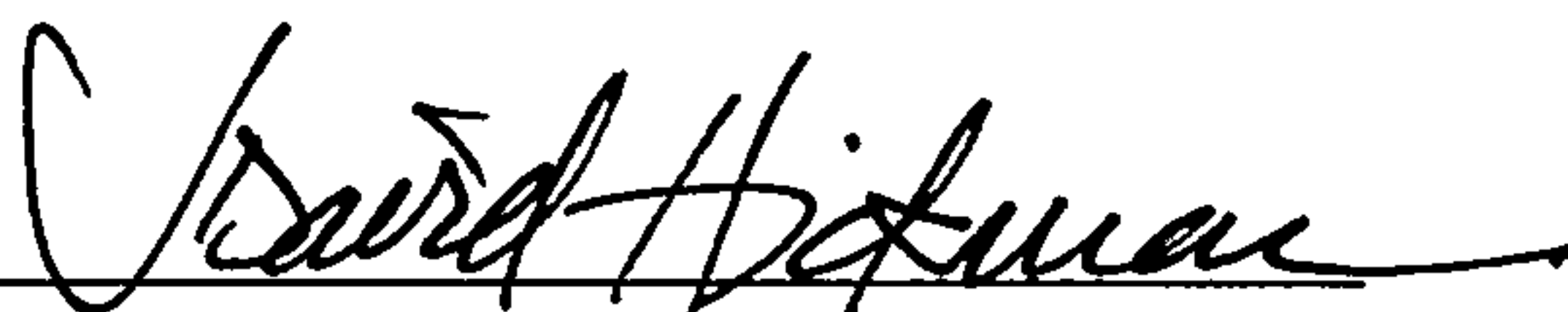


"Let's Make It Fun"

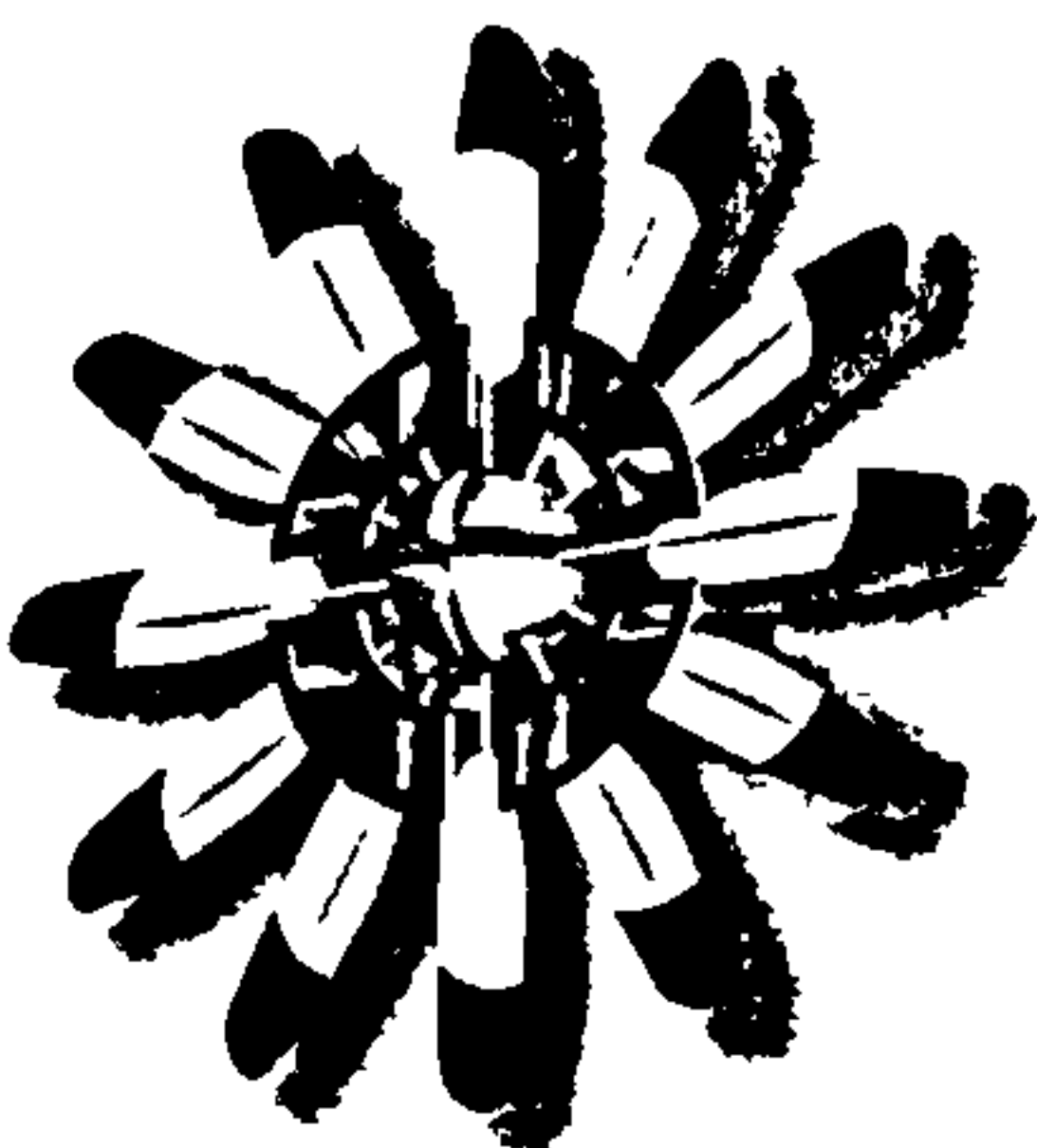
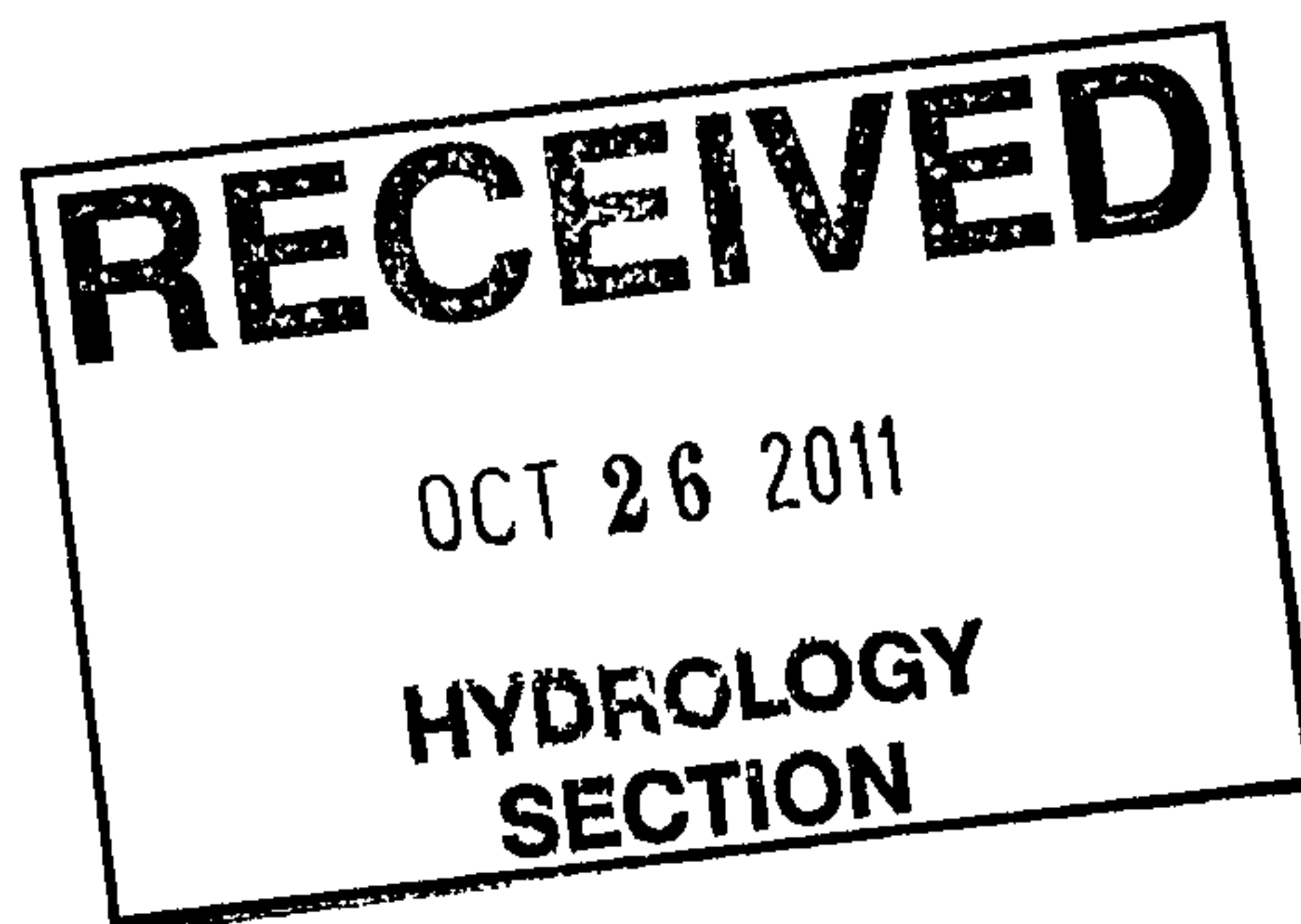
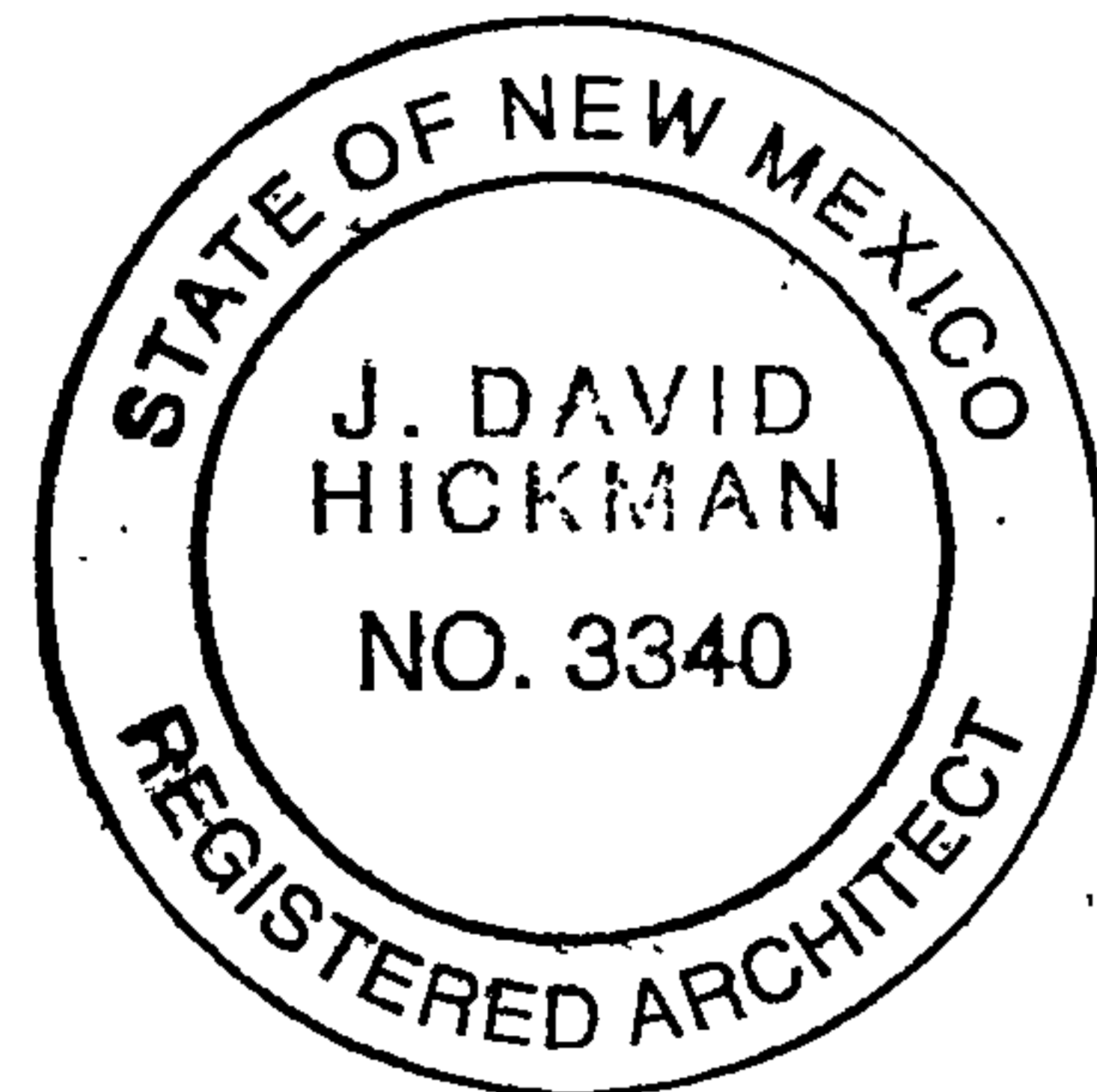
5924 ANAHEIM AVE NE, SUITE A ALBUQUERQUE, NM 87113 P(505) 796-0894 F(505) 796-0896



I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM CORE, ARCHITECTURE, LLC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 12/16/10. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SCOTT MCGEE, A REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 21, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

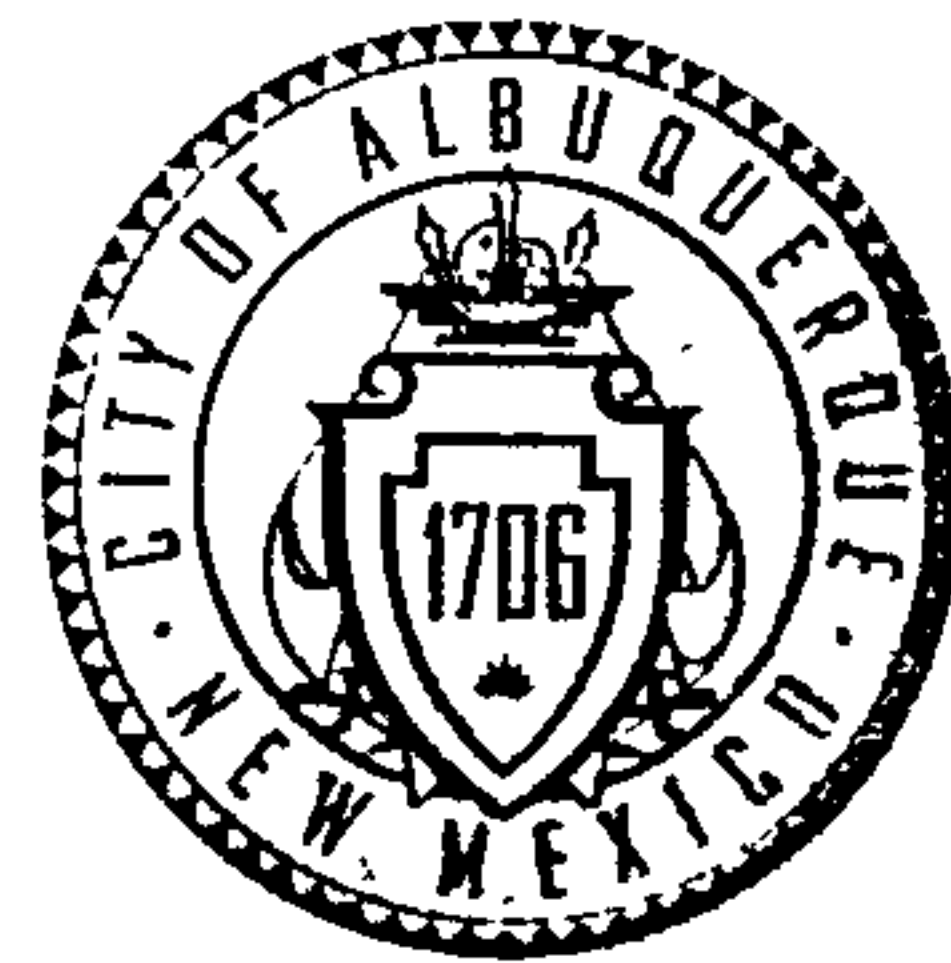

J. David Hickman, AIA
Architect

10/26/11
Date:



"Let's Make It Fun"

CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

September 26, 2011

J. David Hickman, R.A.
Core Architecture LTD.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

Re: Certification for **120-Day Temporary Building Certificate of Occupancy (C.O.)**
for Design Power Office Bldg., [H-22/D077]
12514 Manual NE
Architect's Stamp Dated 09/23/11

Dear Mr. Hickman:

Based upon the information provided in your submittal received 09-23-11, Transportation Development has downgraded your request from a Permanent to a **120-day Temporary Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **120-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

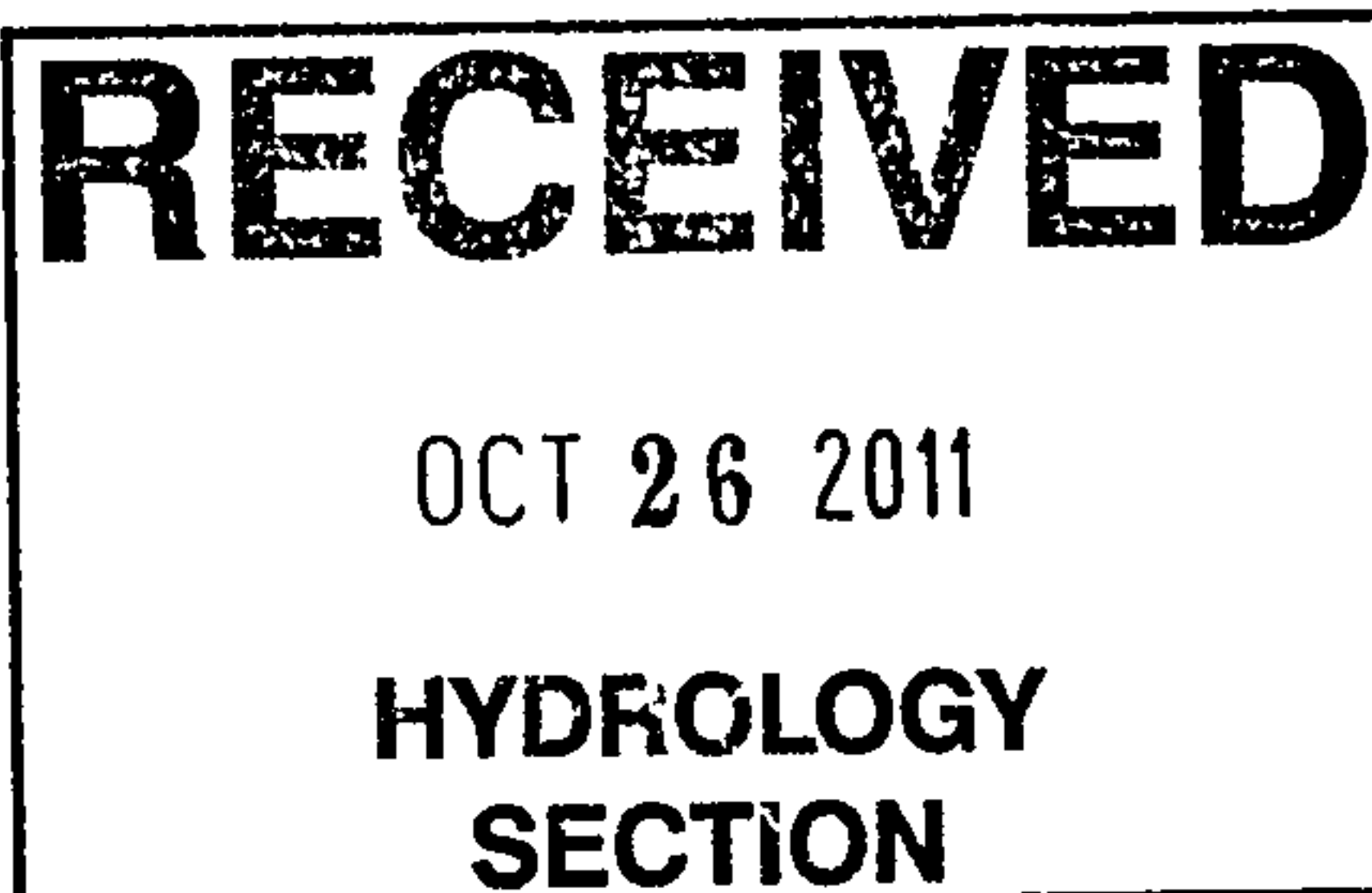
The following items will need to be addressed prior to issuance of a Permanent Certificate of Occupancy (As a condition for Permanent CO approval): Please provide a recorded copy of the cross access easement between Lot 1A and Lot 2A. Once this issue has been addressed you'll need to re-submit the total package for Permanent C.O.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk



RECIPROCAL EASEMENTS FOR COMMON ACCESS

This Easement Agreement is entered into between Manzano Meadows, LLC, owner of 12514 Menaul Boulevard NE Lot 1-A, Block 4, Brentwood Hills Addition, City of Albuquerque, County of Bernalillo, State of New Mexico, and of Manzano Meadows, LLC, owner of 12514 Menaul Boulevard NE Lot 2-A, Block 4, Brentwood Hills Addition, City of Albuquerque, County of Bernalillo, State of New Mexico.

The parties have an interest in adjoining real estate situated in the City of Albuquerque, County of Bernalillo, State of New Mexico and described as follows:

12514 Menaul Boulevard NE Lot 1-A & 2-A, Block 4, Brentwood Hills Addition,

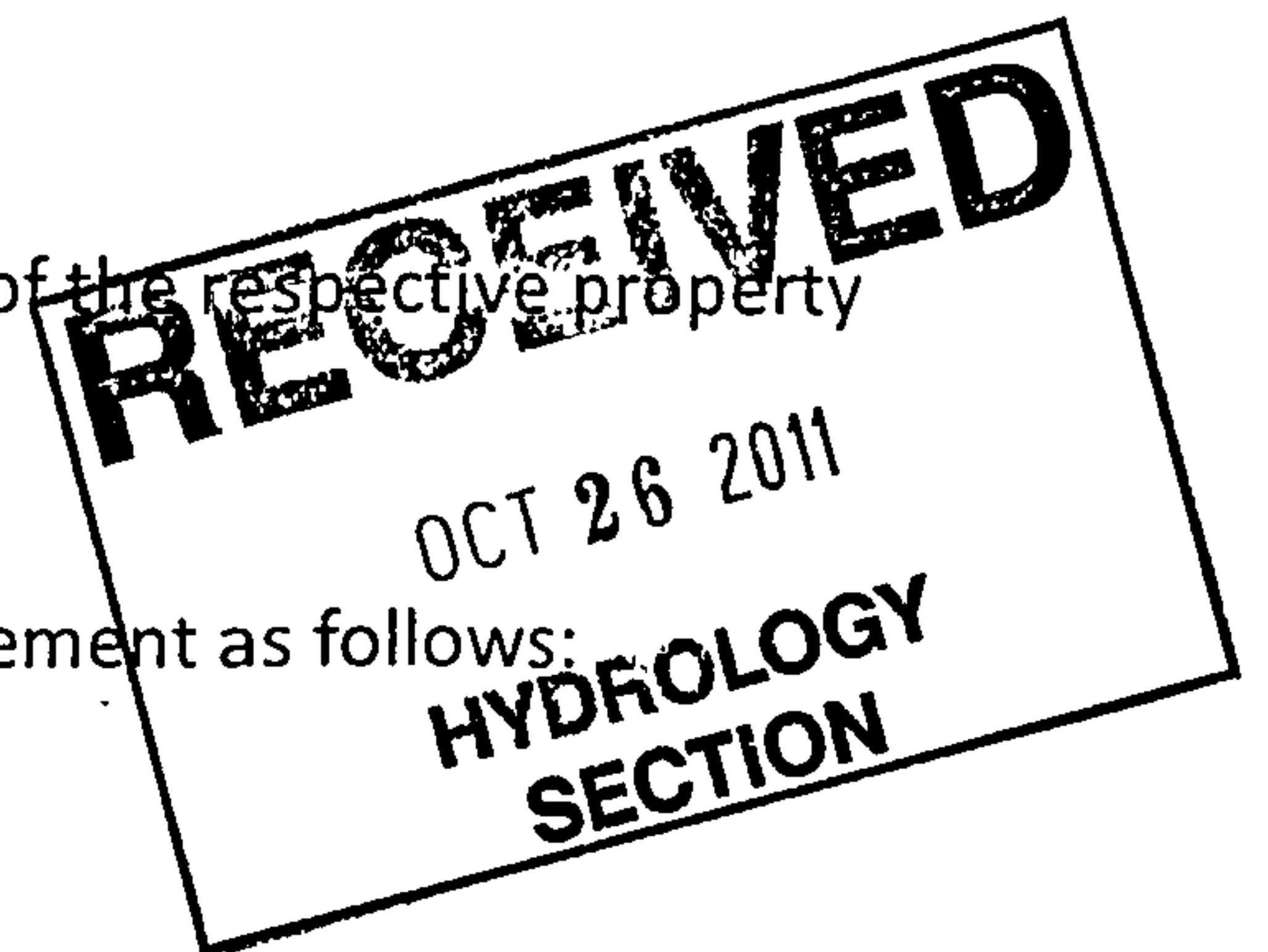
The parties desire to create a common access easement between the above-described adjoining lots providing access, from a single access point on the abutting street, to said lots owned by them for the benefit of each of them; and therefore agree as follows.

An easement for a common access in favor of Lot 2-A, owned by Manzano Meadows, LLC, is created over the entirety of Lot 1-A, owned by Manzano Meadows, LLC, for the benefit of the above described lots, and; an easement for a common access in favor of Lot 1-A, owned by Manzano Meadows, LLC, is created over the entirety of Lot 2-A, owned by Manzano Meadows, LLC, for the benefit of the above described lots.

This easement is superior and paramount to the rights of any of the parties hereto in the respective servient estates so created, and the parties further agree that it is a covenant that shall run the land.

The maintenance of the easement areas are the responsibility of the respective property owners.

In witness whereof, the parties hereto have executed this agreement as follows:



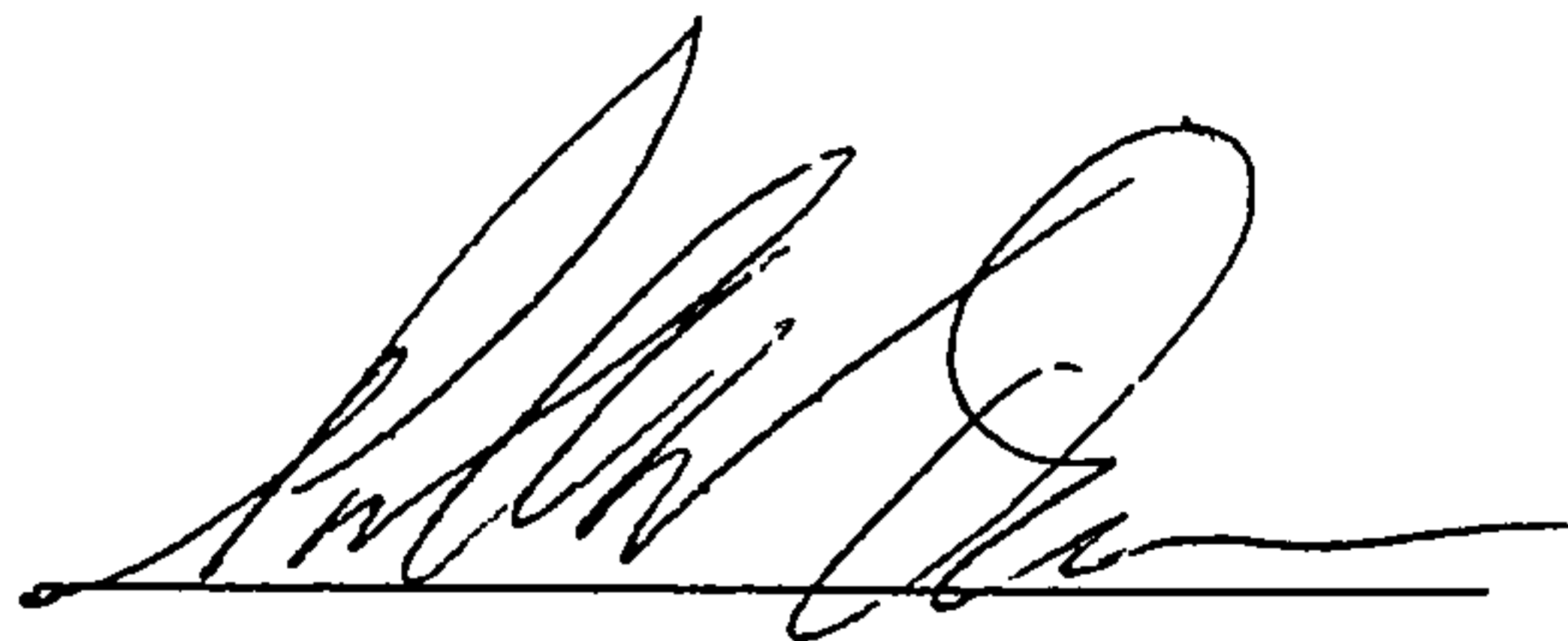
Doc# 2011086315

09/23/2011 04:06 PM Page: 1 of 2
EASE R: \$25.00 M. Toulouse Oliver, Bernalillo County



ACKNOWLEDGED:

September 23, 2011



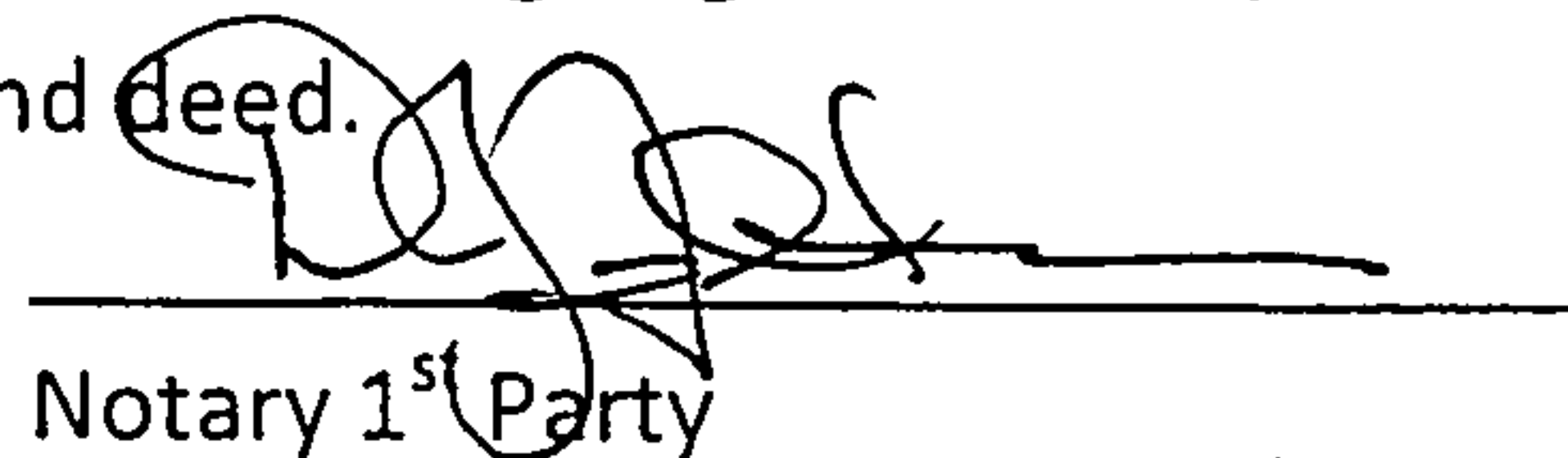
Paul W. Droege, Managing member
for Manzano Meadows, LLC
Owner of Lot 1-A

WITNESSED:

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

On this 23rd day of Sept., 2011, before me personally appeared Paul W. Droege, and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.



My Commission Expires:

12-24-2011



OFFICIAL SEAL
DJ Fulton
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 12-24-2011

Notary 1st Party

ACKNOWLEDGED:

September 23, 2011



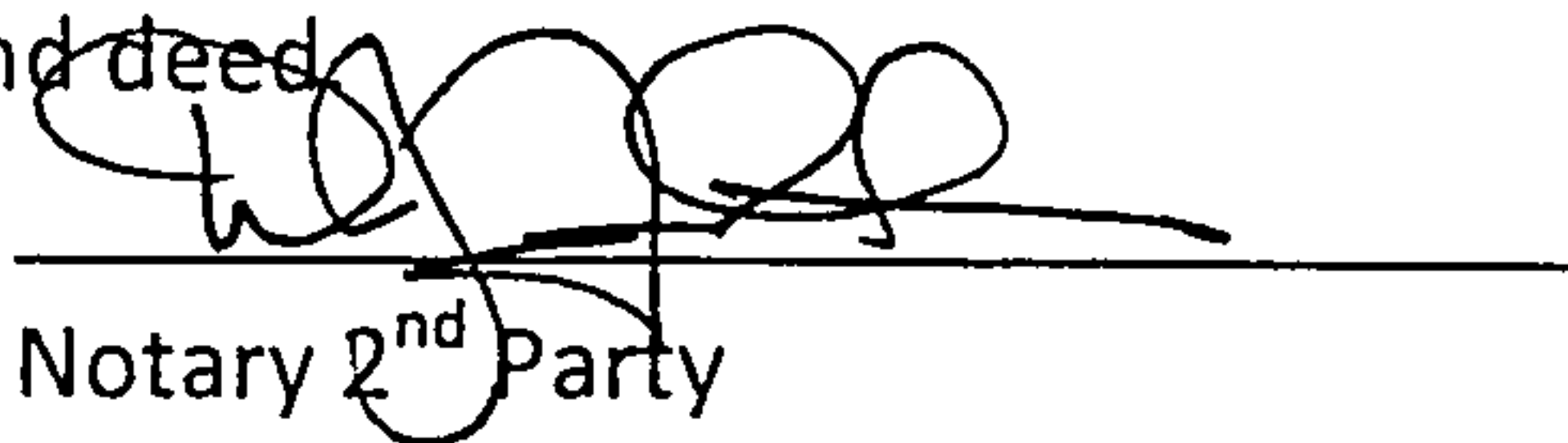
Paul W. Droege, Managing member
for Manzano Meadows, LLC
Owner of Lot 2-A

WITNESSED:

STATE OF NEW MEXICO)

COUNTY OF BERNALILLO)

On this 23 day of Sept., 2011, before me personally appeared Paul W. Droege and to me known to be the person described in and who executed the foregoing instrument, and acknowledged that he executed the same as his free act and deed.



My Commission Expires:

12-24-2011



OFFICIAL SEAL
DJ Fulton
NOTARY PUBLIC-STATE OF NEW MEXICO

My commission expires: 12-24-2011

Notary 2nd Party

Bernalillo County, NM
One Civic Plaza NW
P.O. Box 542
Albuquerque, NM 87102

Receipt: 0304081

Product	Name	Extended
EASE	Easement	\$25 00
	# Pages	2
	Document #2011086315	
	# Of Entries	0
	In Person/Interested	false
	Person	

Total	\$25.00
-------	---------

Tender (Credit Card)	\$25.00
Paid	Paul Droege Designed
By	Power Assoc

Thank You!

9/23/11 4:06 PM jusanchez

CITY OF ALBUQUERQUE



Planning Department Transportation Development Services Section

September 26, 2011

J. David Hickman, R.A.
Core Architecture LTD.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

Re: Certification for **120-Day Temporary Building Certificate of Occupancy (C.O.)**
for Design Power Office Bldg., [H-22/D077]
12514 Manual NE
Architect's Stamp Dated 09/23/11

Dear Mr. Hickman:

Based upon the information provided in your submittal received 09-23-11, Transportation Development has downgraded your request from a Permanent to a **120-day Temporary Certificate of Occupancy**. This letter serves as a "green tag" from Transportation Development for a **120-day Temporary Certificate of Occupancy** to be issued by the Building and Safety Division.

The following items will need to be addressed prior to issuance of a Permanent Certificate of Occupancy (As a condition for Permanent CO approval): Please provide a recorded copy of the cross access easement between Lot 1A and Lot 2A. Once this issue has been addressed you'll need to re-submit the total package for Permanent C.O.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

N/E E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

c: Engineer
Hydrology file
CO Clerk

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE



December 16, 2010

J. David Hickman, R.A.
Core Ltd.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

Re: Design Power Office Buildings, 12514 Menaul Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 12-14-10 (H22-D077)

Dear Mr. Hickman,

The TCL submittal received 12-16-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to any certificate of occupancy approval, the following item must be completed:

- **Provide a recorded copy of the cross access easement between lot 1A and lot 2A.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

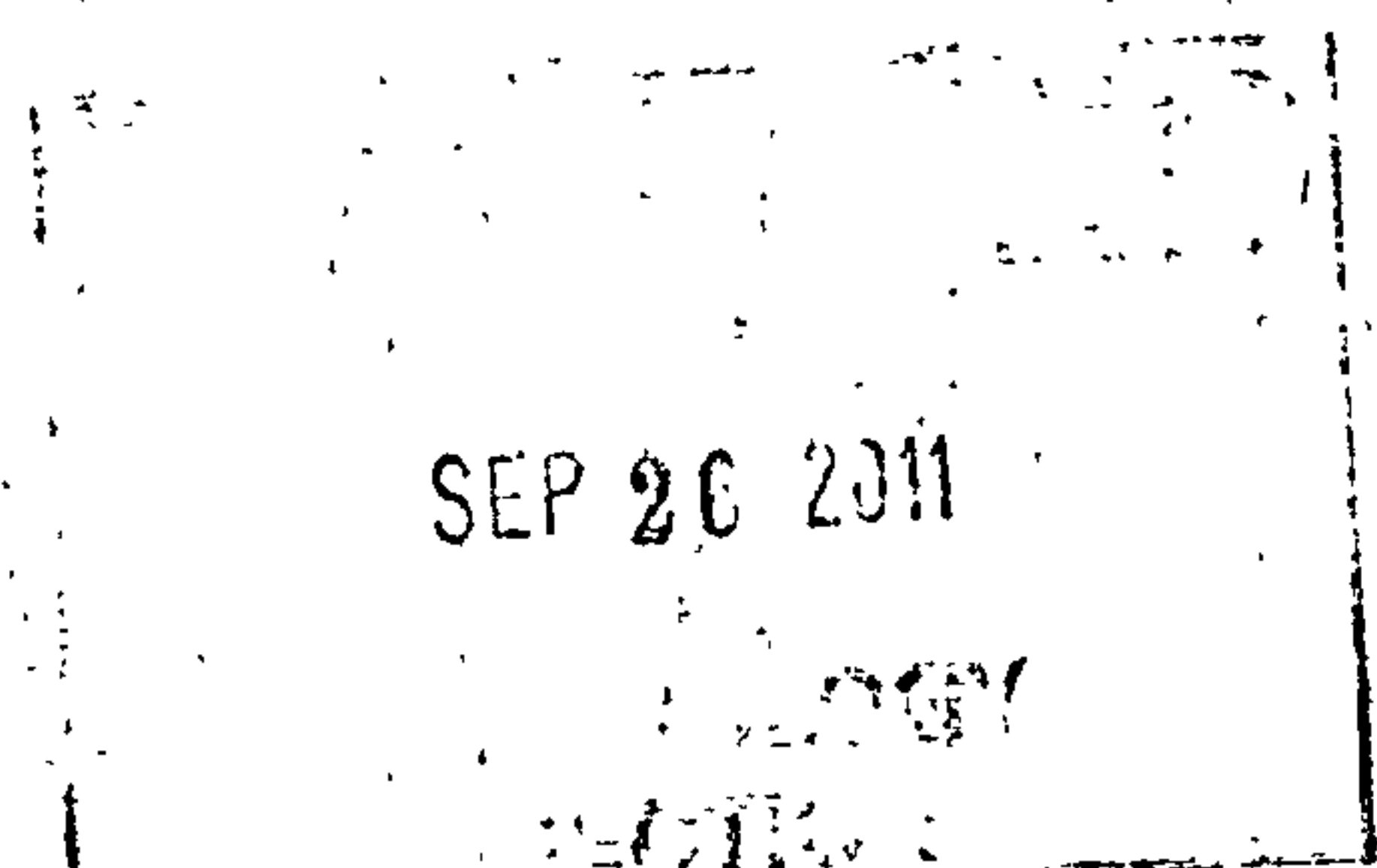
When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

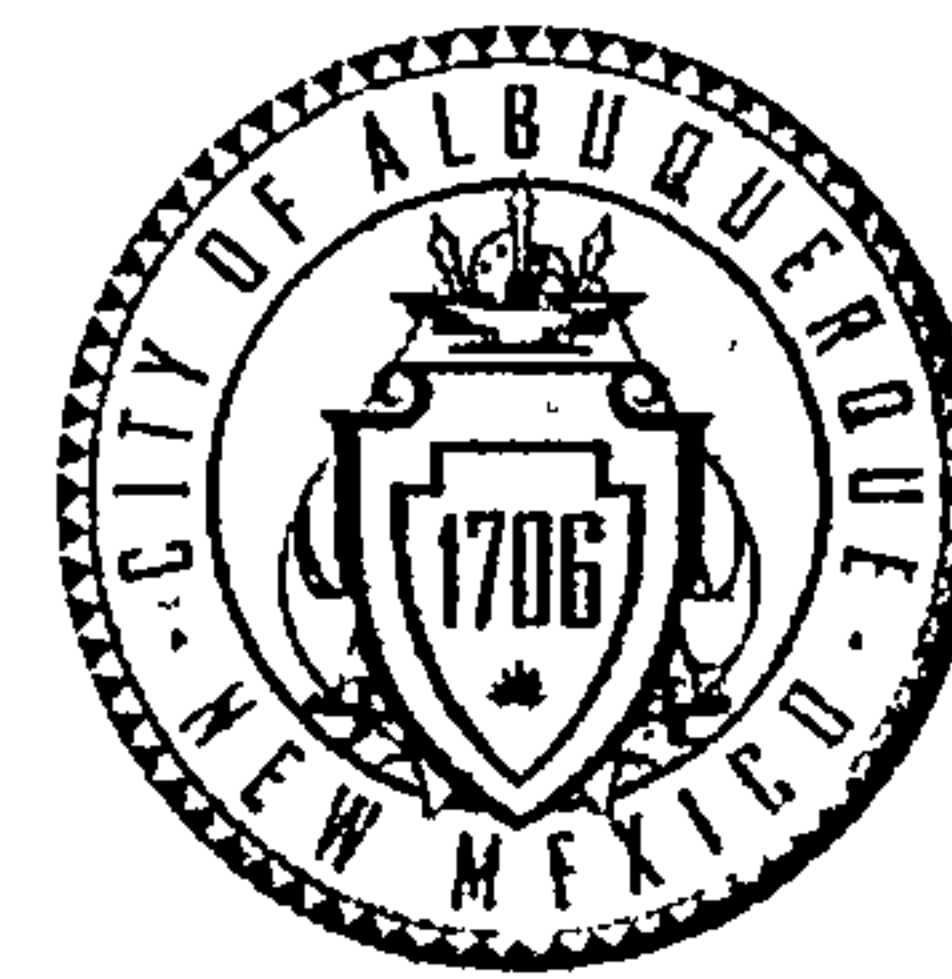
Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File



CITY OF ALBUQUERQUE



August 30, 2011

Scott M. McGee, P.E.
Scott M. McGee PE
9700 Tanoan Dr NE
Albuquerque, NM 87112

**Re: Designed Power Associates Office, 12514 Menaul NE,
Request for Permanent C.O. - Approved**

Engineer's Stamp dated: 03-04-10 (H-22/D077)

Certification dated: 08-231-11

Dear Mr. McGee,

Based upon the information provided in the Certification received 08-24-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Sincerely,

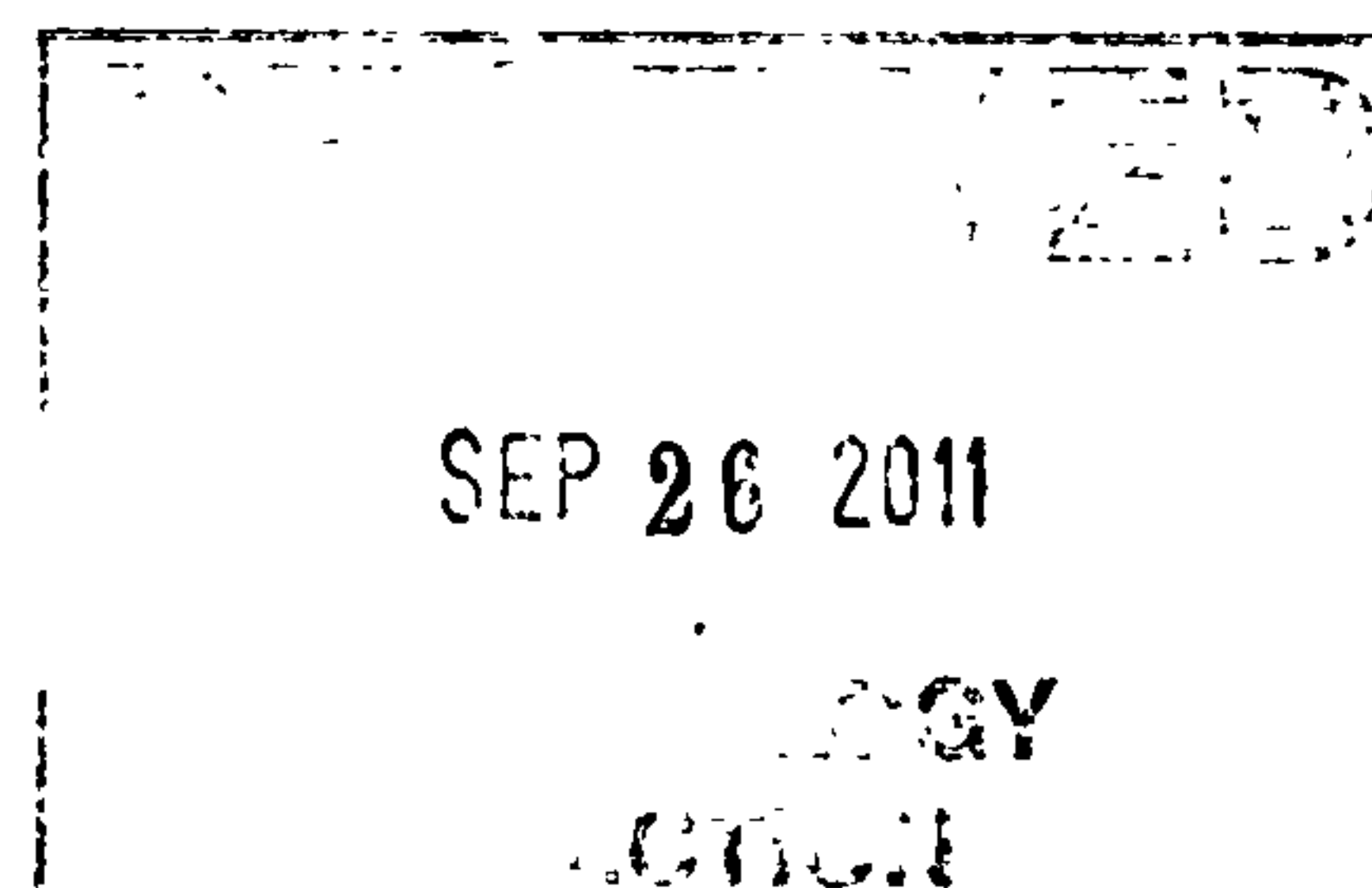
Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

Albuquerque

NM 87103

www.cabq.gov

C: CO Clerk—Katrina Sigala
File



CITY OF ALBUQUERQUE



March 23, 2010

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Designed Power Offices
Grading and Drainage Plan
Engineer's Stamp dated 3-4-10 (H22/D077)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 03-04-2010, the above referenced plan is approved for Building Permit and SO19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit.

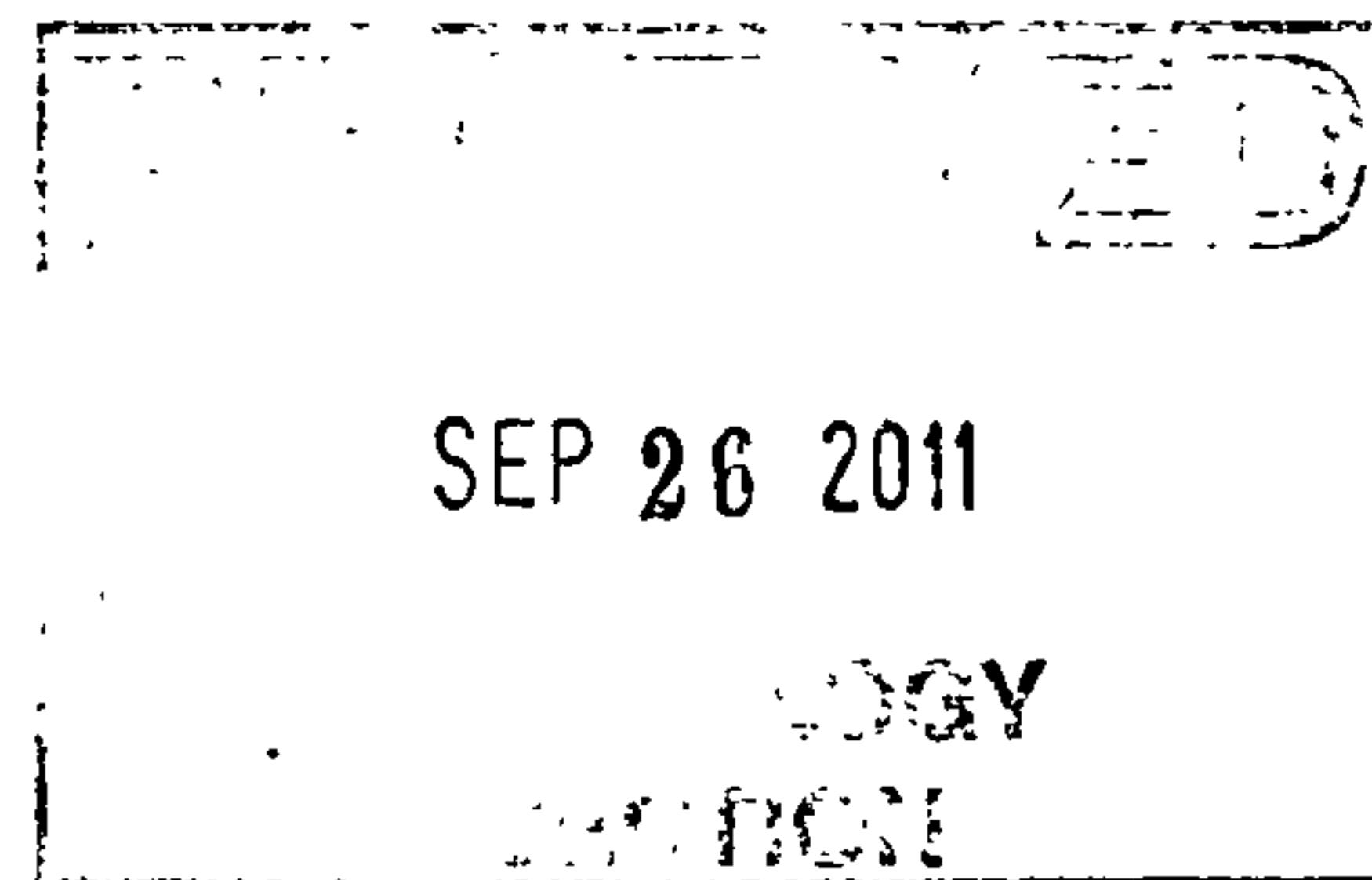
Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

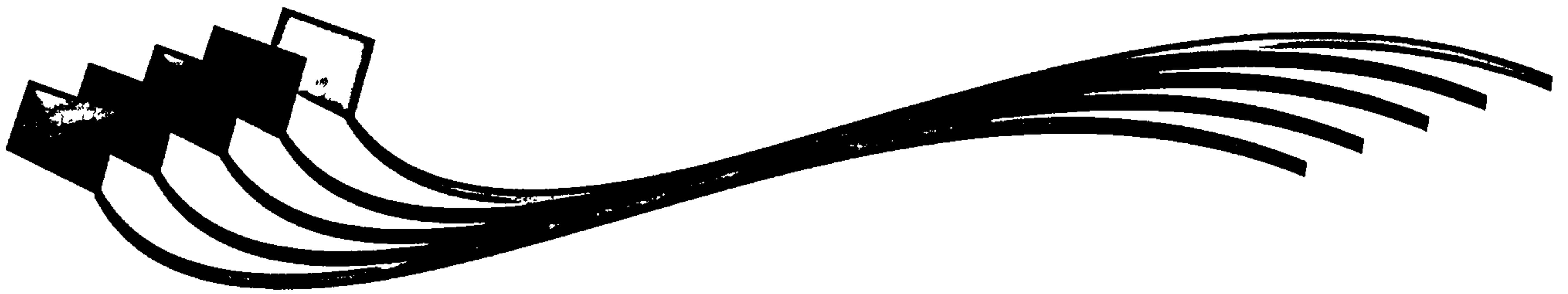
Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

Copy to:
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance



CORE Architecture Inc



September 23, 2011

Kristal D. Metro, P.E
Traffic Engineer
Development and Building Services
Planning Department
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

RE: Certification Package for
Design Powere Office Building [H22/D077]
12514 Menaul Blvd. NE, Albuquerque
Architect's Stamp Dated 12/14/10

Dear Ms. Metro,

I am pleased to report to you that the work required by the approved TCL and as described in the TCL approval letter dated December 16, 2010 has been fully completed for the above referenced project.

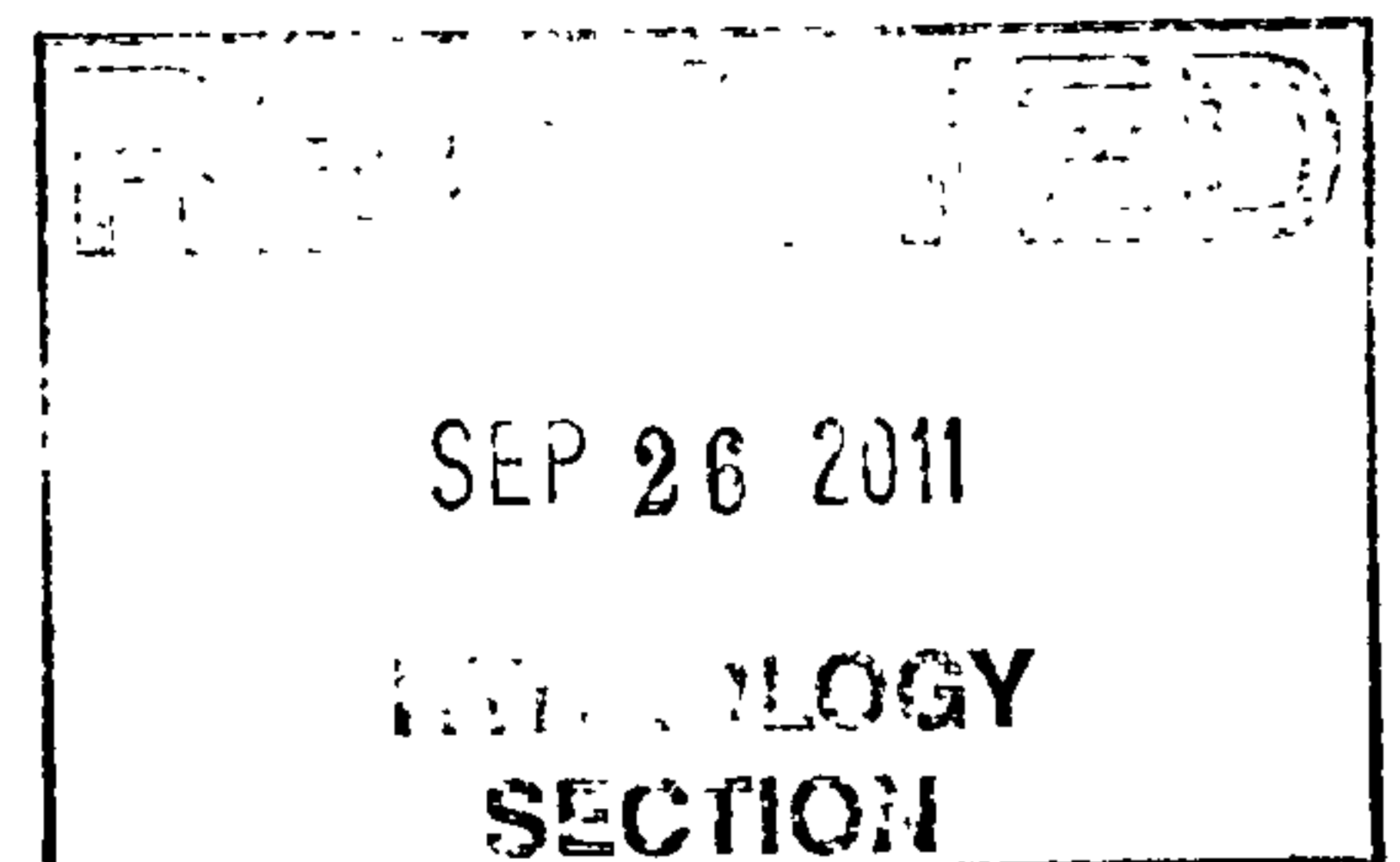
I have reviewed the work on September 21, 2010 and have found it to be in full compliance with the TCL.

I do hereby certify that the project meets and conforms to these requirements and the design provided in the approved TCL. I am including with this package a formal Traffic Certification, the approved TCL, a copy of the Drainage Information Sheet, and a copy of the original approval letter dated 12/16/10.

We appreciate your assistance in the completion of this project, and formally request that a final Certificate of Occupancy be issued for this project.

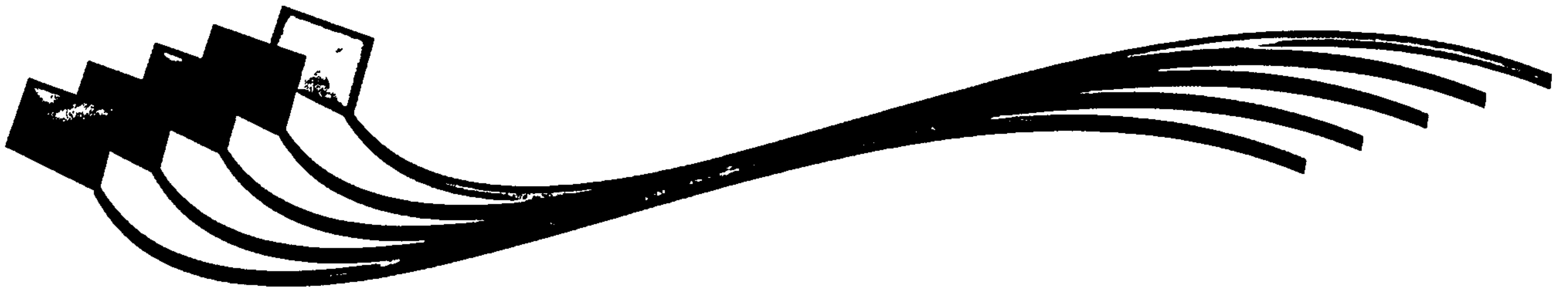
Sincerely,

J. David Hickman, AIA
Architect

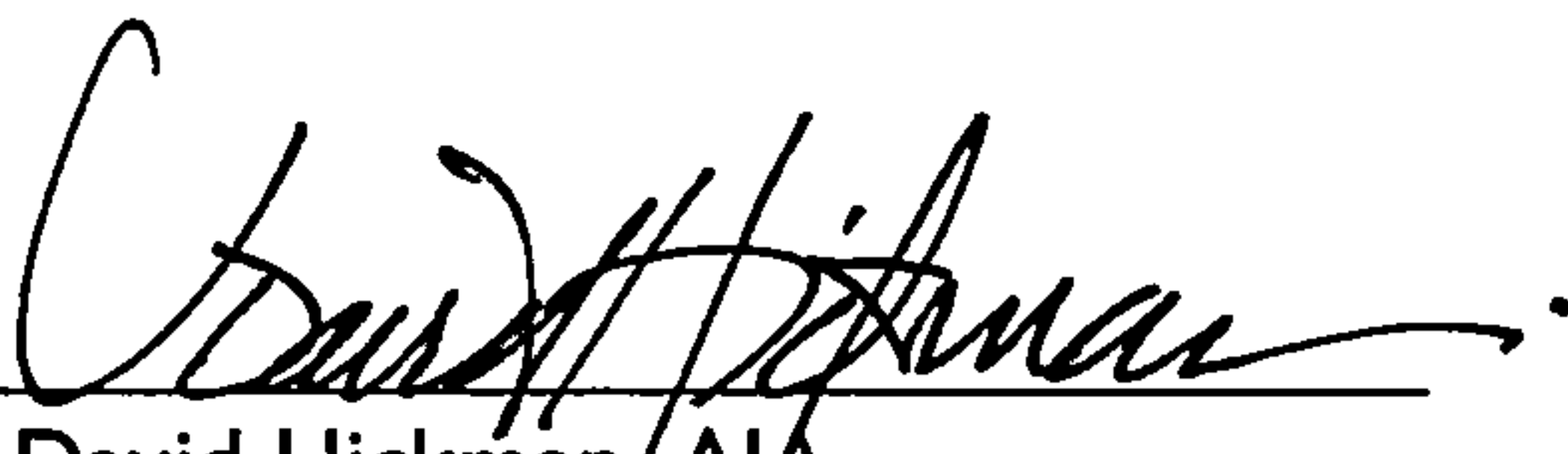


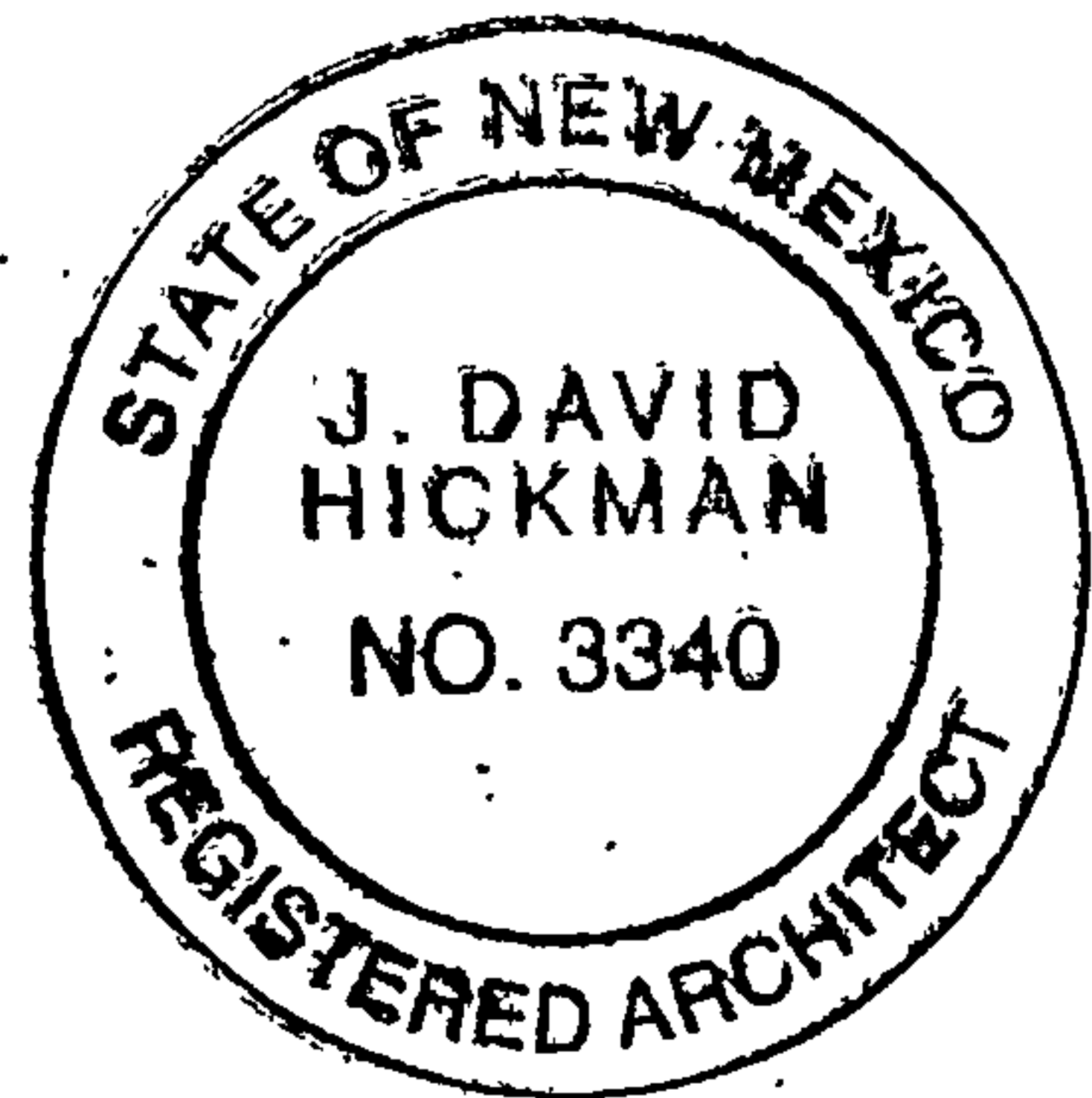
"Let's Make It Fun"

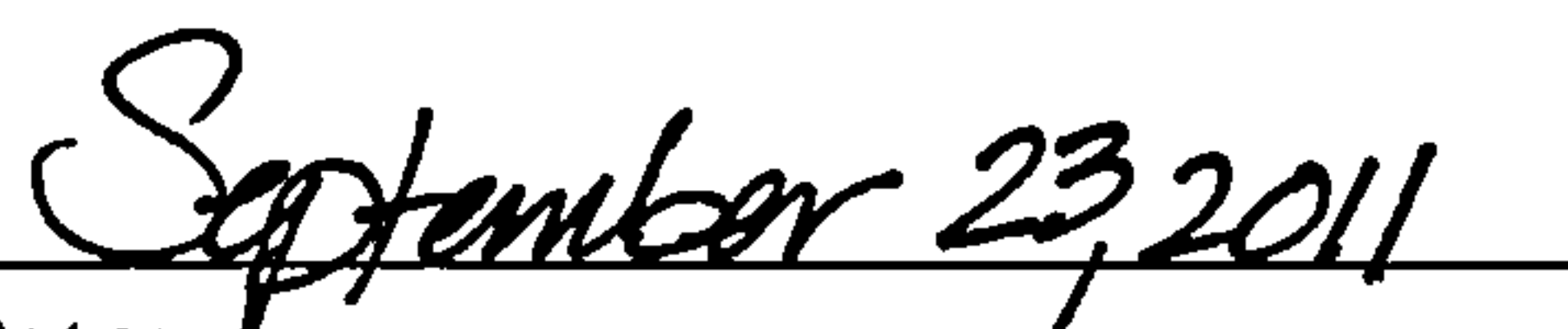
5924 ANAHEIM AVE NE, SUITE A ALBUQUERQUE, NM 87113 P(505) 796-0894 F(505) 796-0896

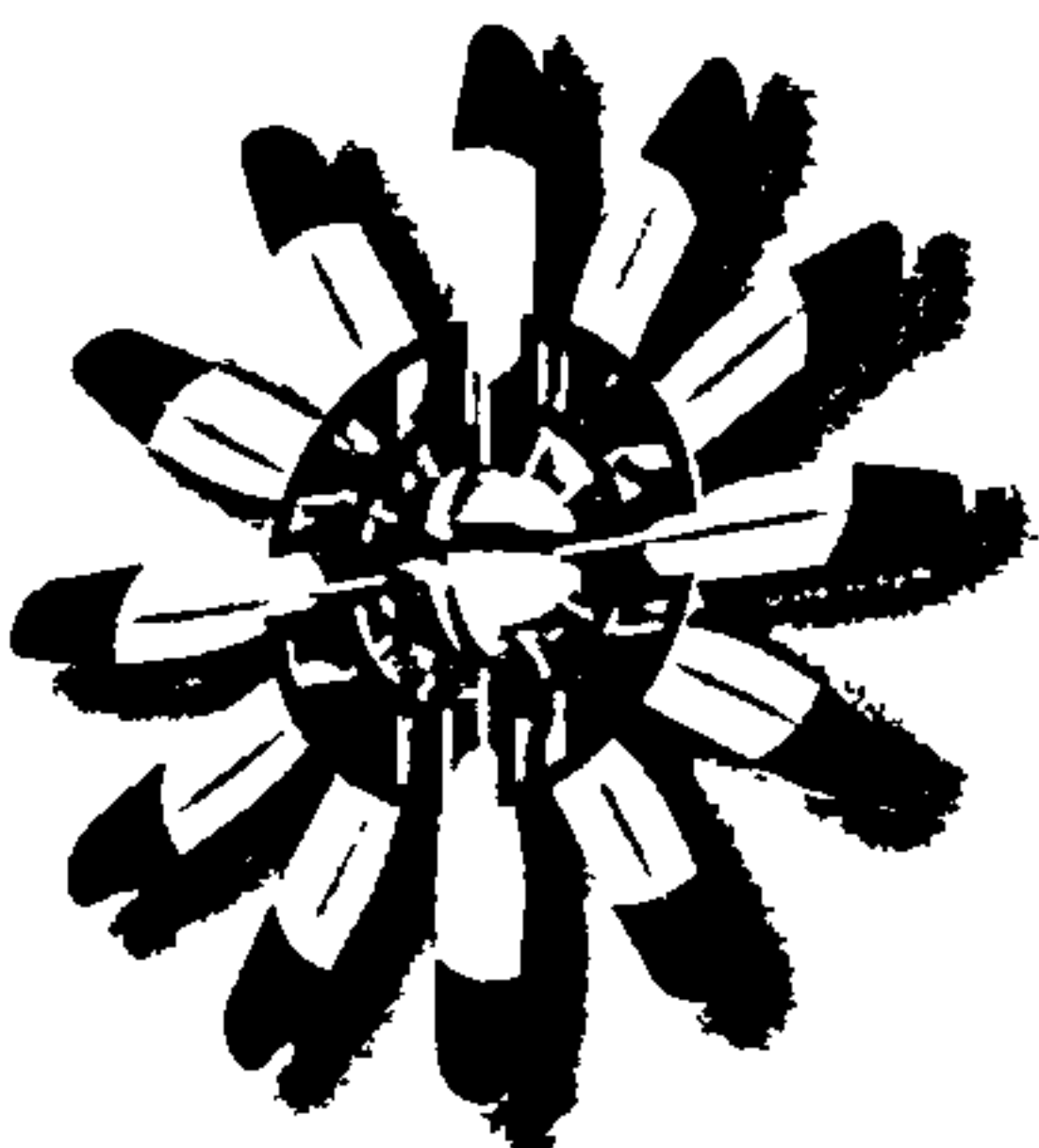
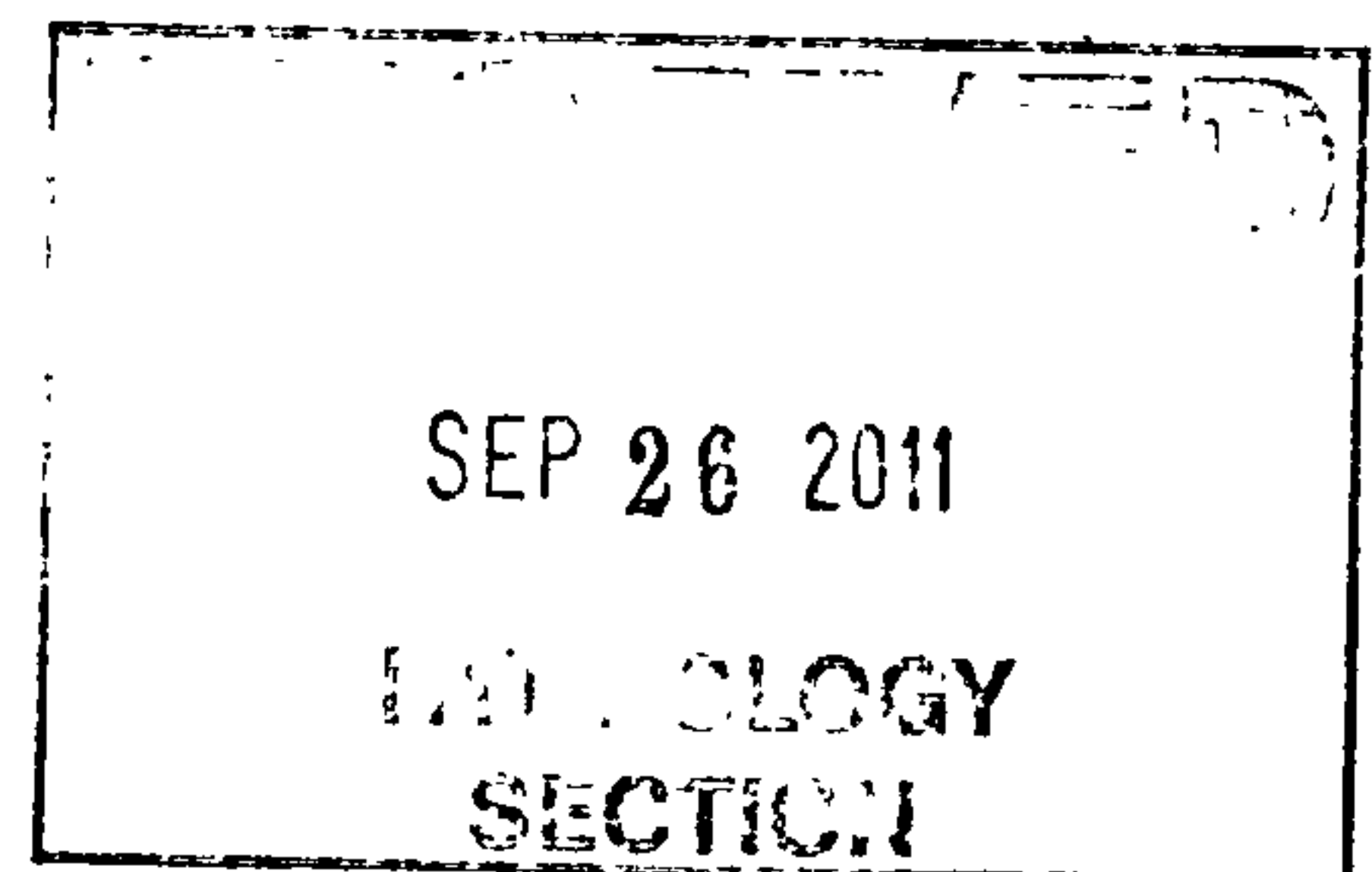


I, J. DAVID HICKMAN, A REGISTERED ARCHITECT IN THE STATE OF NEW MEXICO, OF THE FIRM CORE, ARCHITECTURE, LLC., HEREBY CERTIFY THAT THIS PROJECT IS IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE DRB, AA OR TCL APPROVED PLAN DATED 12/16/10. THE RECORD INFORMATION EDITED ON THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY SCOTT MCGEE, A REGISTERED PROFESSIONAL ENGINEER WITH THE STATE OF NEW MEXICO. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON SEPTEMBER 21, 2011 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.


J. David Hickman, AIA
Architect




Date:



"Let's Make It Fun"

5924 ANAHEIM AVE NE, SUITE A ALBUQUERQUE, NM 87113 P(505) 796-0894 F(505) 796-0896

H-22/0577

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 12/2005)

PROJECT TITLE: Design Power Offices ZONE MAP: H-22
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: lots 1-A & 2-A, Tract A, Block 4, Brentwood Hills Sub.
CITY ADDRESS: 12514 MENAUL BLVD NE

ENGINEERING FIRM: SCOTT MCGEE P.E. CONTACT: SCOTT
ADDRESS: 9700 JANDAN DR NE PHONE: 263-2905
CITY, STATE: Albuquerque NM ZIP CODE: 87112

OWNER: Paul Drøge CONTACT: PAUL
ADDRESS: 12514 Menaul Blvd NE PHONE: 260-2556
CITY, STATE: Albuquerque ZIP CODE: 87112

ARCHITECT: CORE ARCHITECTURE LLC CONTACT: DAVE
ADDRESS: 5924 Anaheim Ave NE #A PHONE: 796-0894
CITY, STATE: Albuquerque, NM ZIP CODE: 87113

SURVEYOR: Ollason Construction CONTACT: Larry
ADDRESS: 10811 San Antonio Dr NE PHONE: 321-5299
CITY, STATE: Albuquerque, NM ZIP CODE: 87122

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☒ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
☐ NO
☐ COPY PROVIDED

SEP 26 2011

HYDROLOGY
SECTION

DATE SUBMITTED: Sept. 26, 2011 BY: David Hickman

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 30, 2011

Scott M. McGee, P.E.
Scott M. McGee PE
9700 Tanoan Dr NE
Albuquerque, NM 87112

**Re: Designed Power Associates Office, 12514 Menaul NE,
Request for Permanent C.O. - Approved
Engineer's Stamp dated: 03-04-10 (H-22/D077)
Certification dated: 08-231-11**

Dear Mr. McGee,

Based upon the information provided in the Certification received 08-24-11, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

PO Box 1293

If you have any questions, you can contact me at 924-3982.

Albuquerque

Sincerely,

NM 87103

Timothy E. Sims,
Plan Checker—Hydrology Section
Development and Building Services

www.cabq.gov

C: CO Clerk—Katrina Sigala
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Designed Power Assocs. Office ZONE MAP: H-22/2077
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1-A & 2-A Brentwood Hills
CITY ADDRESS: 12514 Menaul NE, ABQ, NM 87112

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: Designed Power Assocs. CONTACT: Paul Droege
ADDRESS: 12514 Menaul NE PHONE: 291-9900
CITY, STATE: ABQ, NM ZIP CODE: 87112

ARCHITECT: CORE Ltd CONTACT: David Hickman
ADDRESS: 5924 Anaheim NE, Ste A PHONE: 796-0894
CITY, STATE: ABQ, NM ZIP CODE: 87113

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
____ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
____ OTHER (SPECIFY) SO-19 _____

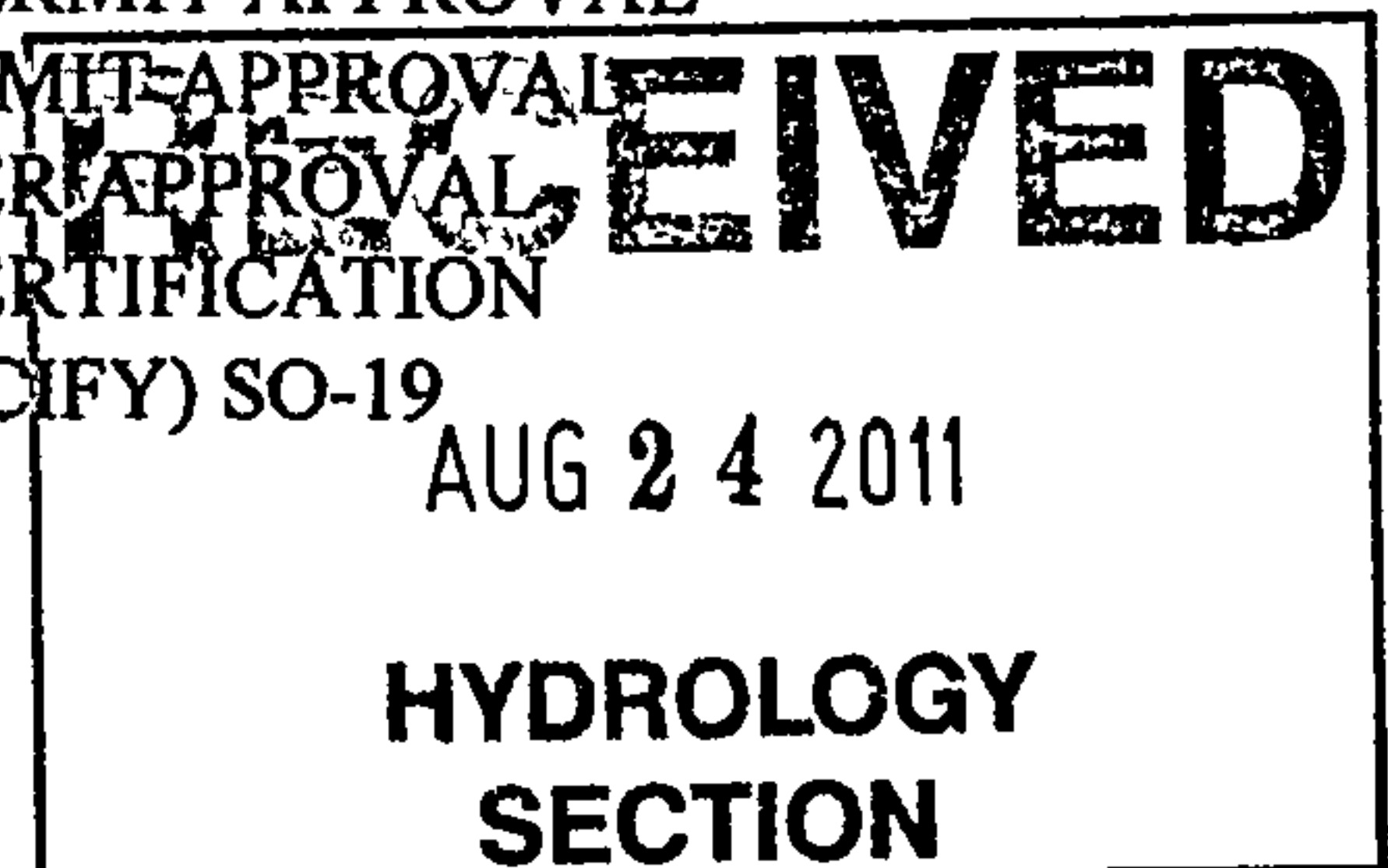
WAS A PRE-DESIGN CONFERENCE ATTENDED:

☒ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 8/24/11 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Sims, Timothy E.

From: Pacheco, Martin
Sent: Wednesday, August 31, 2011 9:53 AM
To: 'Bobby Trujillo'
Cc: Sims, Timothy E.; 'scottmmcgee@gmail.com'
Subject: RE: Inspection

Gentlemen,

I have met with Bobby to inspect the site mentioned below, and have found everything to be in compliance with the plans. It is a PASS.

Thank you,

*Martin Pacheco
DMD Storm/Arroyo Division
martinpacheco@cabq.gov
505-235-8016 cell
505-857-8201 office*

From: Bobby Trujillo [mailto:bobbyt@rtconstruction.org]
Sent: Tuesday, August 30, 2011 4:31 PM
To: Pacheco, Martin
Subject: Inspection

Hey
Martin,

Per our phone conversation, about 12514 Menaul blvd. N.E. 9:00 am, inspection
8/31/11 . 2" discharge line to exit curb, per city DWG No.2235

Thanks, Bobby

8/31/2011

CITY OF ALBUQUERQUE



March 23, 2010

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Designed Power Offices
 Grading and Drainage Plan
 Engineer's Stamp dated 3-4-10 (H22/D077)**

Dear Mr. McGee,

Based upon the information provided in your submittal dated 03-04-2010, the above referenced plan is approved for Building Permit and SO19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology. A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for this permit.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required. To obtain a Certificate of Occupancy, Engineer Certification of the Grading Plan per the DPM is required and the storm drain work in the City ROW must be inspected and accepted. Please contact Duane Schmitz, 235-8016, to schedule an inspection.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

Copy to:
Antoinette Baldonado, Excavation and Barricading
Duane Schmitz, Street/Storm Drain Maintenance

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

Cherne, Curtis

From: scott mcgee [scottmmcghee@gmail.com]
Sent: Friday, March 19, 2010 2:43 PM
To: Cherne, Curtis
Subject: Designed Power Offices (H22/D77)

Hi Curtis,

Thanks for your review comments of March 17. A couple of clarifications would help:

1) No problem adding pump invert elevation.

2) I can note the 1/4" per foot slope by modifying keyed note 2. The note requires the Contractor to install per City R/W construction notes and references the COA Std Dwg No. for pipe curb penetration. Do I also need to refer to an S. O. 19 permit in that note? The submittal requested approval for both building permit and S. O. 19.

3) In the drainage pre-design with Brad, he said that the existing discharge (through the lot to the west), would be considered historic and would be allowed to continue. The Owner wants to build a block wall along the portion of the west Property line where the discharge currently leaves the site. I propose to provide an opening at grade (block turned sideways or similar orifice), to restrict any overflow to the historic Q. Do you see any problem with this solution?

4) By setting the pump invert 18" below the pond bottom ($EI = 16.5 - 1.5 = 15.0$) the delta H is 8.0 feet to the cul-de-sac outlet. That allows for total pipe friction of up to 5.0 feet over the 26-foot discharge length based on a 13' TDH.

The 2" pipe would then discharge at: $V = Q/A = 0.3 \text{ cfs} / 0.022 \text{ s.f.} = 13.75 \text{ fps}$.

A 3" pipe would give: $V = 0.3 \text{ cfs} / 0.049 \text{ s.f.} = 6.11 \text{ fps}$.

The discharge piping can be increased to 3" diameter if you desire.

Let me know your thoughts--Thanks.

Scott McGee PE
 263-2905

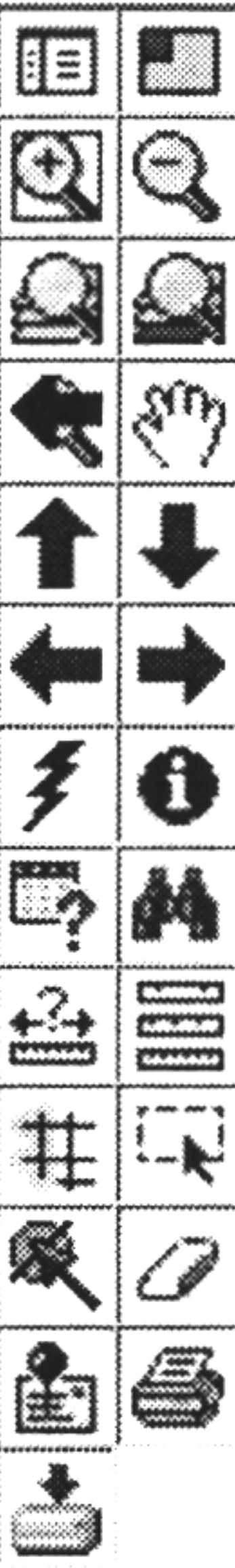
3/22/2010



CITY OF ALBUQUERQUE

www.cabq.gov

TEGIS WEB



LAYERS

- ☒ BASEMAP
- ☐ ☒ PARCELS
- ☐ ☐ METRO ADDRESS
- ☐ ☐ ZONING
- ☐ ☐ OWNERSHIP
- ☐ ☐ 10FT CONTOURS
- ☐ ☒ CONTOURS
- ☐ ☐ MAJOR STREETS
- ☐ ☒ FREEWAYS
- ☐ ☐ STREET NETWORK
- ☐ ☒ STREET NAMES
- ☐ ☒ INFRASTRUCTURE
- ☐ ☒ BOUNDARIES
- ☐ SITES
- ☐ DRC
- ☐ APS
- ☐ ☒ STREETS
- ☐ ☐ TRAFFIC ENG.
- ☐ ☐ TRANSIT
- ☐ ☒ AIR PHOTO
- ☐ ☒ 2008 AIR PHOTO
- ☐ ☐ 2006 AIR PHOTO
- ☐ ☐ 2004 AIR PHOTO
- ☐ ☐ 2002 AIR PHOTO
- ☐ ☐ 1999 AIR PHOTO
- ☐ ☐ STREETVIEW IMAGES

Refresh Map

☒ Auto Refresh

Help:

- Closed group, click to open.
- Open group, click to close.
- Map layer.
- Hidden group/layer, click for visible.
- Visible group/layer, click to hide.

[Zoom In](#)

[SEARCH](#)

[REFRESH](#)

[HELP](#)

[INDEX PAGE](#)

[CONTACT](#)

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

H-22 / 10077

PROJECT TITLE: DESIGN POWER OFFICES BUILDINGZONE MAP: H-22-7

DRB#:

EPC#:

WORK ORDER#:

LEGAL DESCRIPTION: LOTS 1-A and 2-A, BRENTWOOD HTS (0.424 ACRES)CITY ADDRESS: 12514 MENAUL BLVD. NEENGINEERING FIRM: SCOTT M. MCGEEADDRESS: 9700 TANDAN DR. NECITY, STATE: ALBUQUERQUE, NM 87111CONTACT: SCOTT MCGEEPHONE: (505) 263-2905ZIP CODE: 87111

OWNER:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

ARCHITECT: CORE ARCHITECTURE, LLC.ADDRESS: 5924 ANAHEIM AVE NE #ACITY, STATE: ALBUQUERQUE, NMCONTACT: DAVID HICKMANPHONE: (505) 796-0894ZIP CODE: 87113

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL

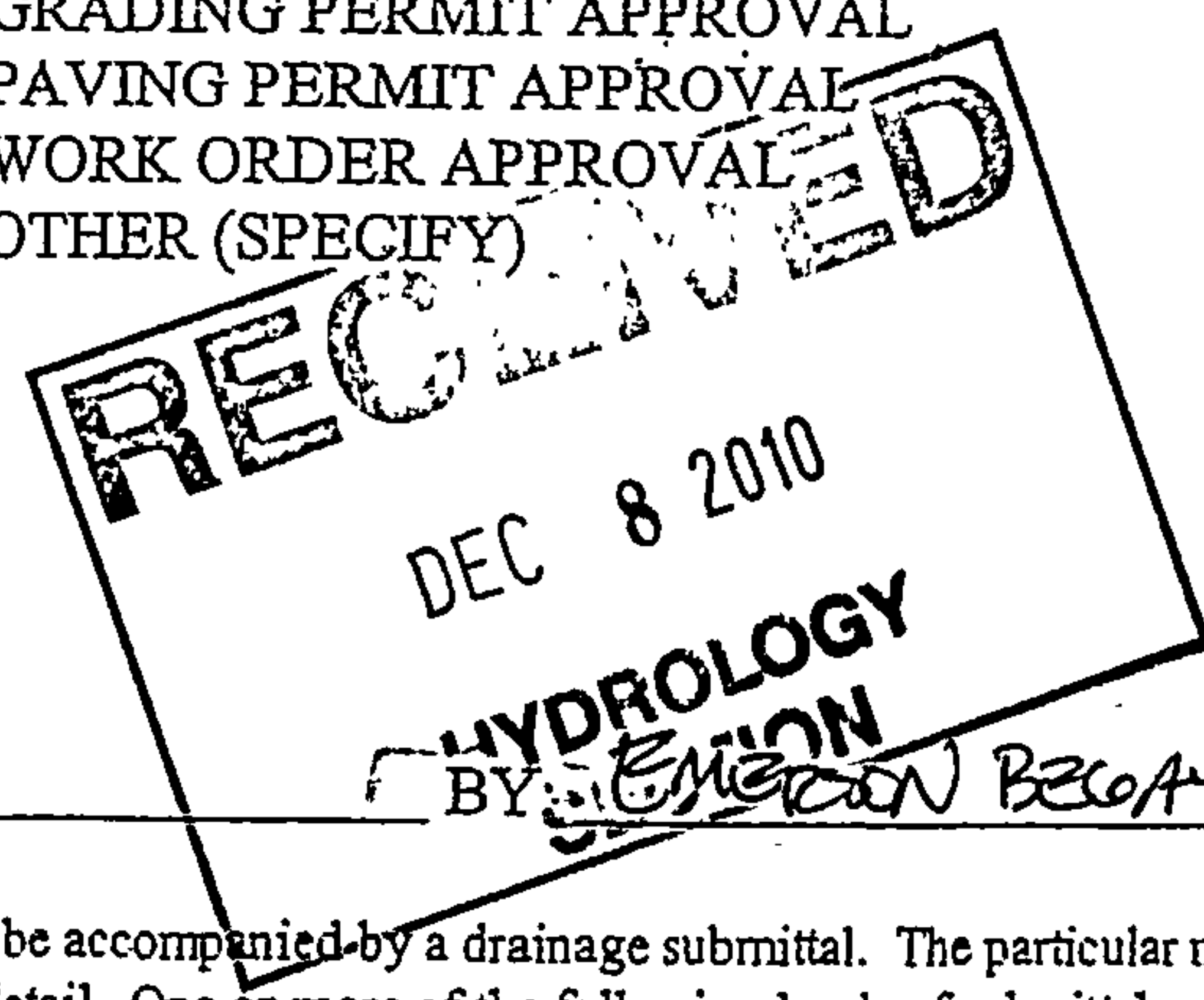
Comments Issued with

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☒ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER (SPECIFY)

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES☐ NO☐ COPY PROVIDEDDATE SUBMITTED: DEC. 08, 2010

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

- Vicinity Map
- Engineers Scale
- Call out width of all SW
- Call out width of existing entrance
- Define aisle width - 24' min
- Proposed parking stall to N of bldg interferes w/ min throat depth
- An existing utility post is shown within the ADA pathway as well as within the drive aisle
 - not acceptable

The premises must have more than 20 parking spaces to ~~be~~ utilize compact parking stalls - one compact OK

- Clearly define the 6' wide, ADA accessible pathway from

- Street to bldg

- HC parking stalls to bldg

- Show all ramps & provide details (exist & proposed)

- Define width of keyway - 5' req.

- Legal Desc.

- City mapping indicates this site consists of 2 lots - show lot lines on plan & provide cross access easement

~~Clarify parking count -~~

Define all linetypes & hatching

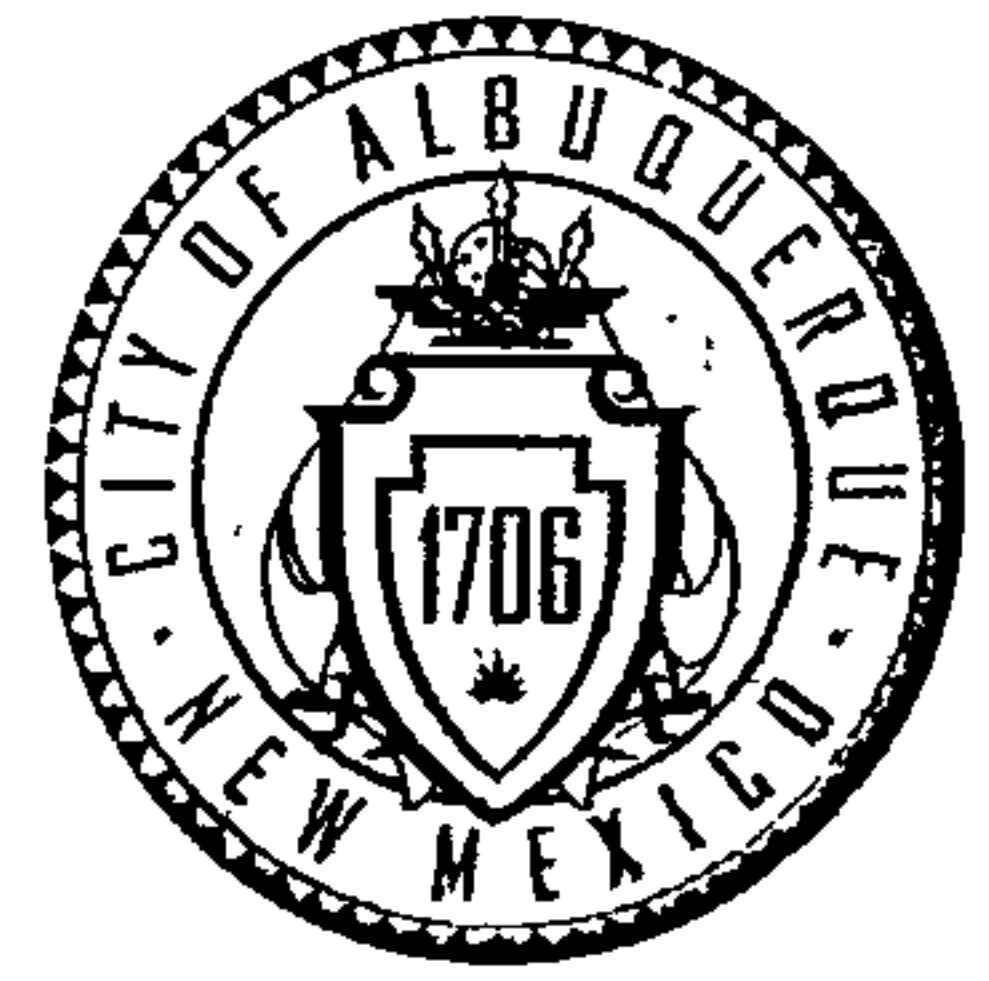
~~Parking spaces cannot intrude cross into City ROW~~

- existing

- small encroachment



CITY OF ALBUQUERQUE



December 16, 2010

J. David Hickman, R.A.
Core Ltd.
5924 Anaheim Avenue NE #A
Albuquerque, NM 87113

Re: Design Power Office Buildings, 12514 Menaul Blvd NE, Traffic Circulation Layout
Architect's Stamp dated 12-14-10 (H22-D077)

Dear Mr. Hickman,

The TCL submittal received 12-16-10 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.

Prior to any certificate of occupancy approval, the following item must be completed:

- **Provide a recorded copy of the cross access easement between lot 1A and lot 2A.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.
Traffic Engineer, Planning Dept.
Development and Building Services

C: File

CITY OF ALBUQUERQUE



March 17, 2010

Scott M. McGee, P.E.
9700 Tanoan Dr NE
Albuquerque, NM 87111

**Re: Designed Power Offices
 Grading and Drainage Plan
 Engineer's Stamp dated 3-4-10 (H22/D077)**

Dear Mr. McGee,

Based upon the information provided in your submittal received 3-4-2010, the above referenced plan can not be approved for Building Permit until the following comments are addressed:

- Provide the invert for the pump.
- ~~The~~ The discharge line should slope 1/4" per foot to prevent back flow from the curb. An SO 19 permit is required for this.
- How do you plan on preventing discharge into the abutting properties?
- Is the 2" line sufficient for the discharge of .3cfs.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

C: file
 Brad Bingham

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(REV 04/2009)

PROJECT TITLE: Designed Power Assocs. Office ZONE MAP: H-22/2077
DRB#: _____ EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1-A & 2-A Brentwood Hills
CITY ADDRESS: 12514 Menaul NE, ABQ, NM 87112

ENGINEERING FIRM: Scott M McGee PE CONTACT: Scott McGee
ADDRESS: 9700 Tanoan Drive NE PHONE: 263-2905
CITY, STATE: ABQ, NM ZIP CODE: 87111

OWNER: Designed Power Assocs. CONTACT: Paul Droege
ADDRESS: 12514 Menaul NE PHONE: 291-9900
CITY, STATE: ABQ, NM ZIP CODE: 87112

ARCHITECT: CORE Ltd CONTACT: David Hickman
ADDRESS: 5924 Anaheim NE, Ste A PHONE: 796-0894
CITY, STATE: ABQ, NM ZIP CODE: 87113

SURVEYOR: Harris Surveying CONTACT: Tony Harris
ADDRESS: 2412-D Monroe NE PHONE: 889-8056
CITY, STATE: ABQ, NM ZIP CODE: 87110

CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:
____ DRAINAGE REPORT
____ DRAINAGE PLAN 1st SUBMITTAL
____ DRAINAGE PLAN RESUBMITTAL
____ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
____ EROSION CONTROL PLAN
____ ENGINEER'S CERT (HYDROLOGY)
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT
____ ENGINEER'S CERT (TCL)
____ ENGINEER'S CERT (DRB SITE PLAN)
____ OTHER (SPECIFY) _____

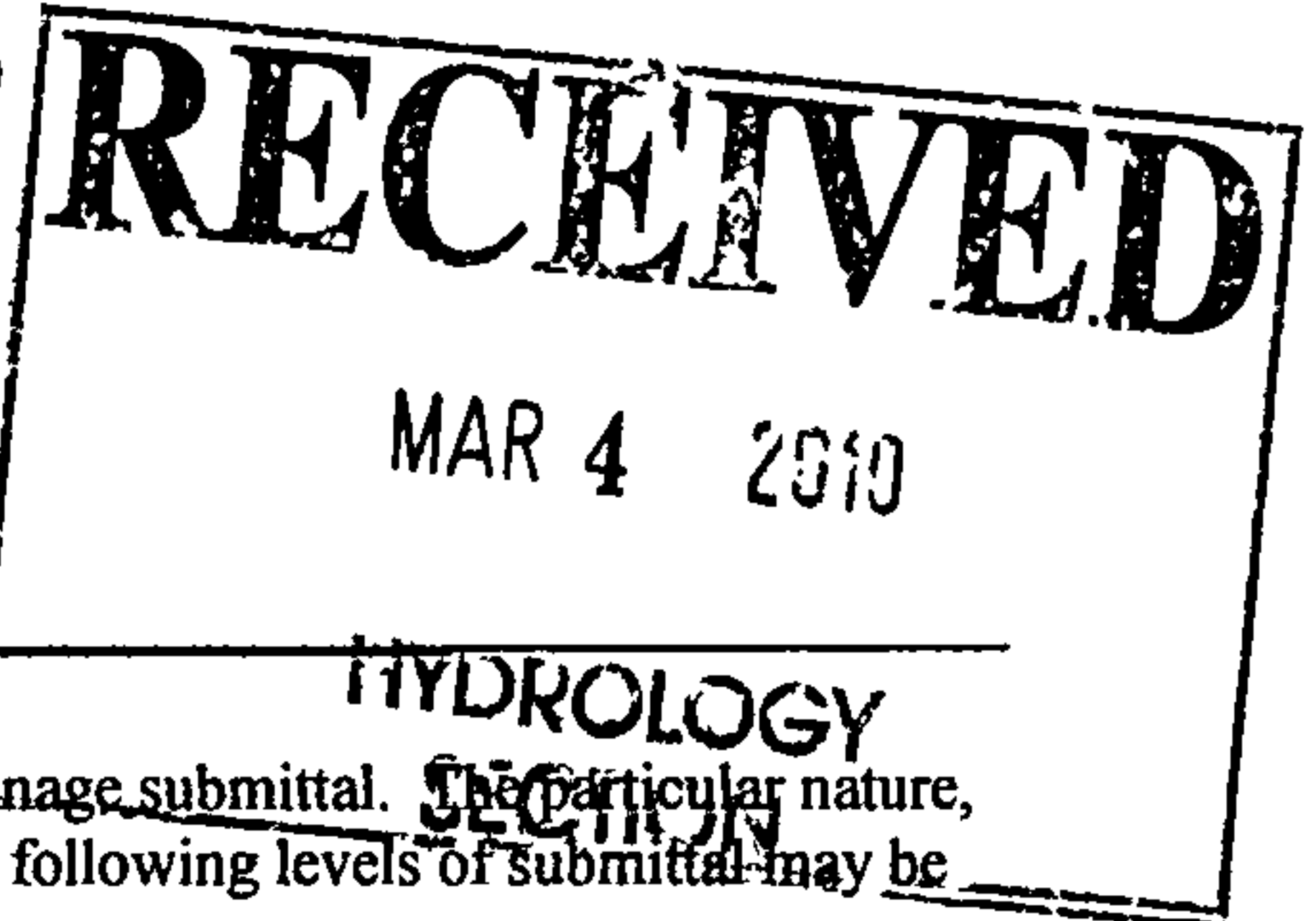
CHECK TYPE OF APPROVAL SOUGHT:
____ SIA/FINANCIAL GUARANTEE RELEASE
____ PRELIMINARY PLAT APPROVAL
____ S. DEV. PLAN FOR SUB'D APPROVAL
____ S. DEV. FOR BLDG. PERMIT APPROVAL
____ SECTOR PLAN APPROVAL
____ FINAL PLAT APPROVAL
____ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY (PERM)
____ CERTIFICATE OF OCCUPANCY (TEMP)
____ GRADING PERMIT APPROVAL
____ PAVING PERMIT APPROVAL
____ WORK ORDER APPROVAL
____ GRADING CERTIFICATION
☒ OTHER (SPECIFY) SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:
☒ YES
____ NO
____ COPY PROVIDED

DATE SUBMITTED: 03/03/2010 BY: SMM

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



Performance Data

SK75/100

RPM: **1750**

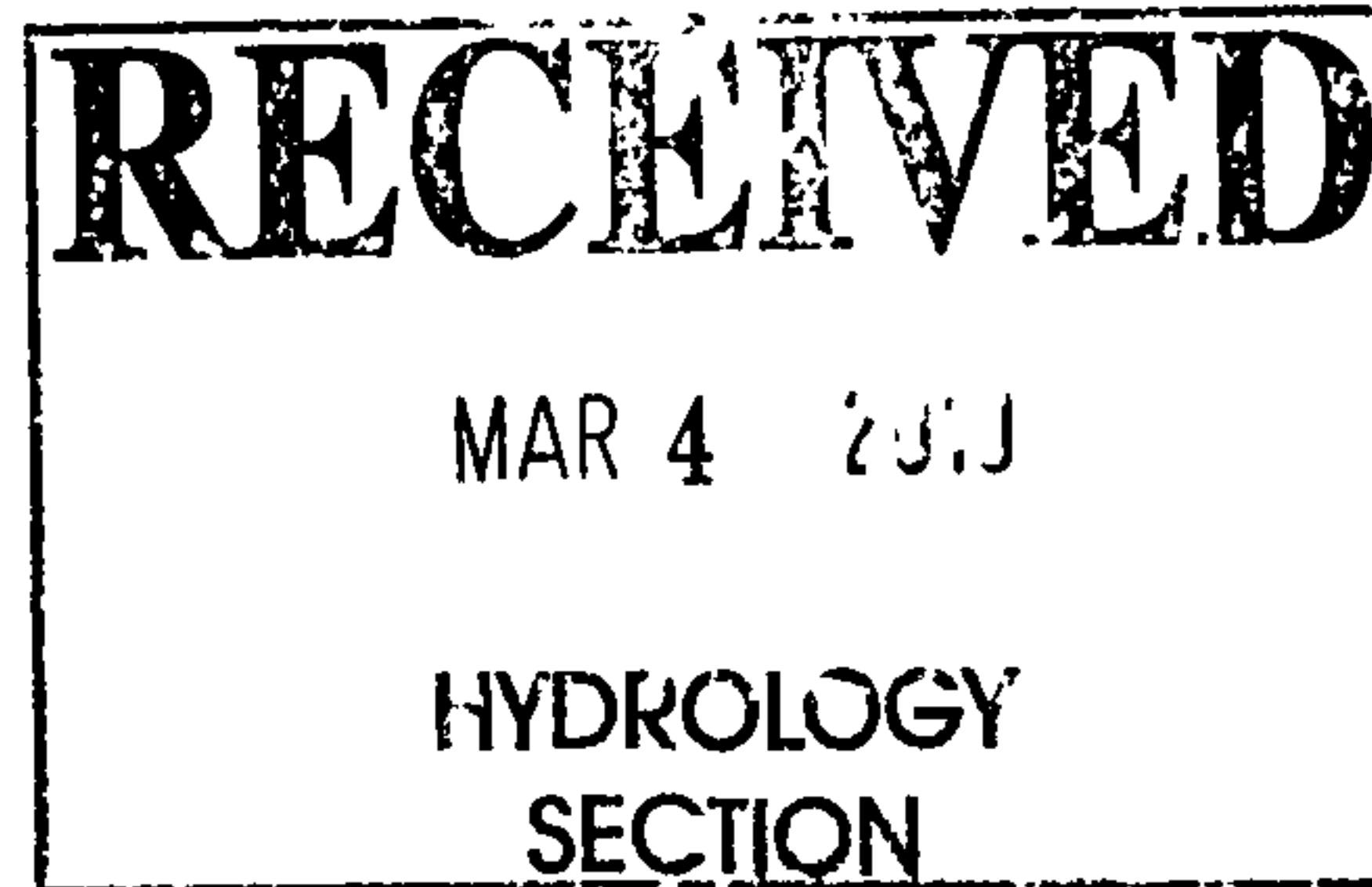
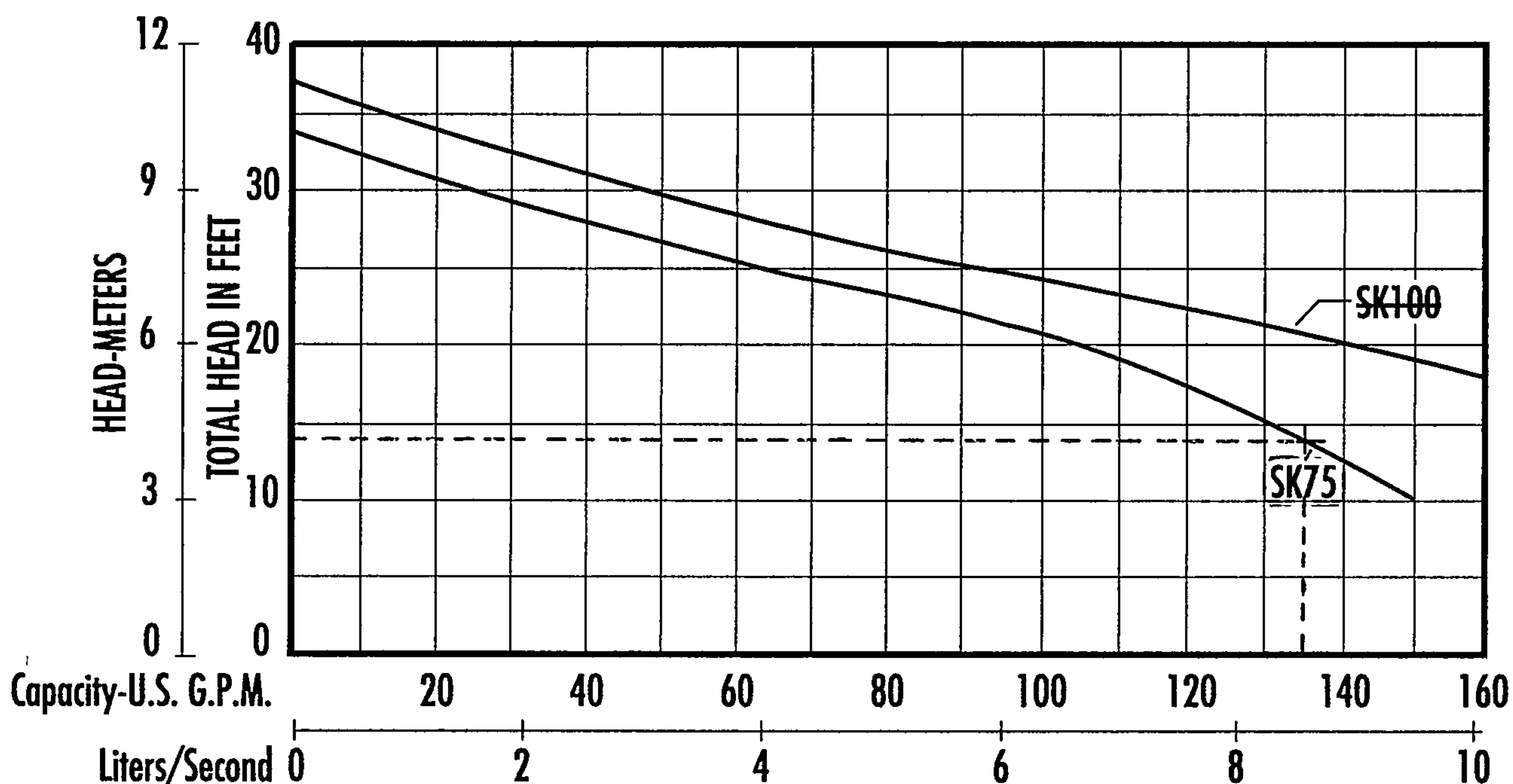
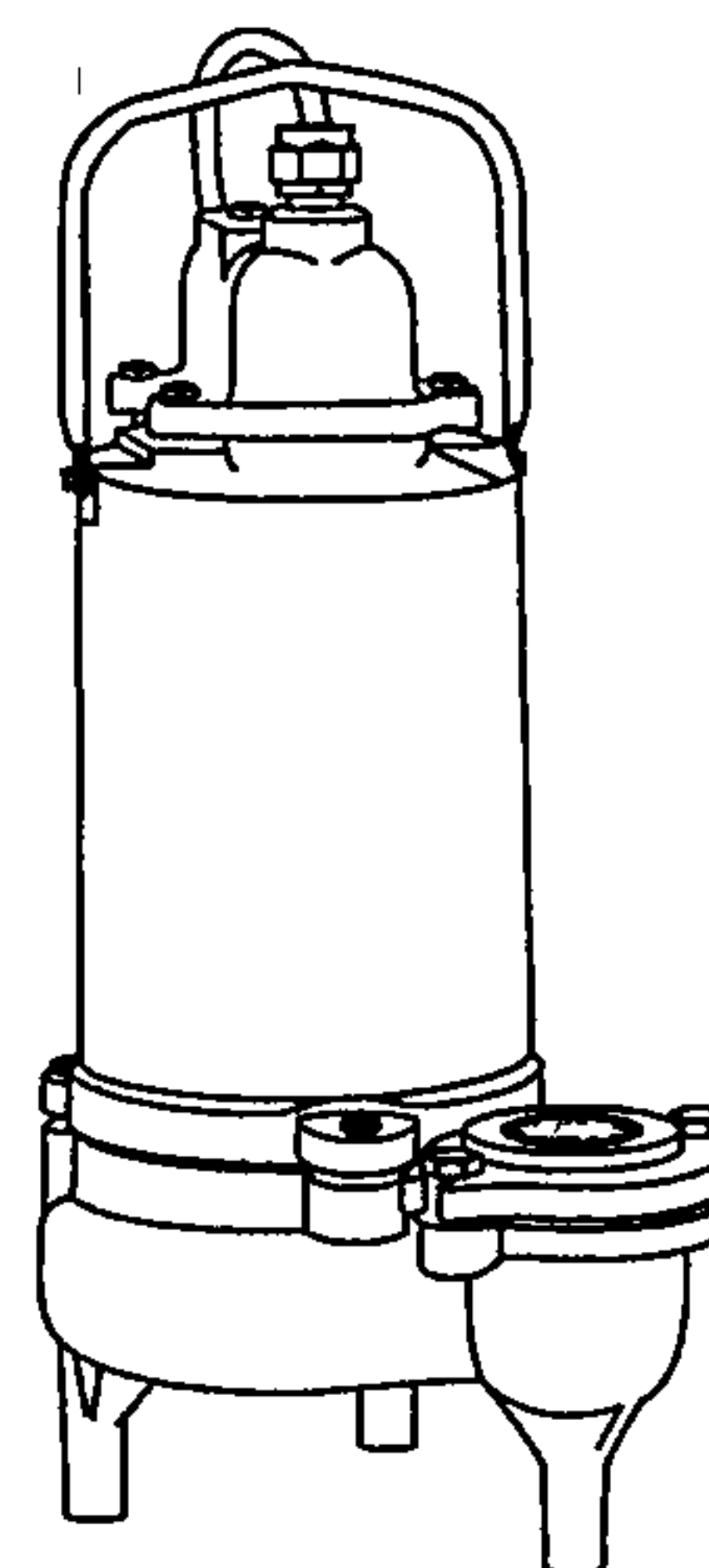
Discharge: **2"**

Solids: **2"**

Wholesale Products Page: 6300-1

Section: Performance Data

Dated: January 2001



The curves reflect maximum performance characteristics without exceeding full load (Nameplate) horsepower. All pumps have a service factor of 1.2. Operation is recommended in the bounded area with operational point within the curve limit. Performance curves are based on actual tests with clear water at 70° F. and 1280 feet site elevation.

Conditions of Service:

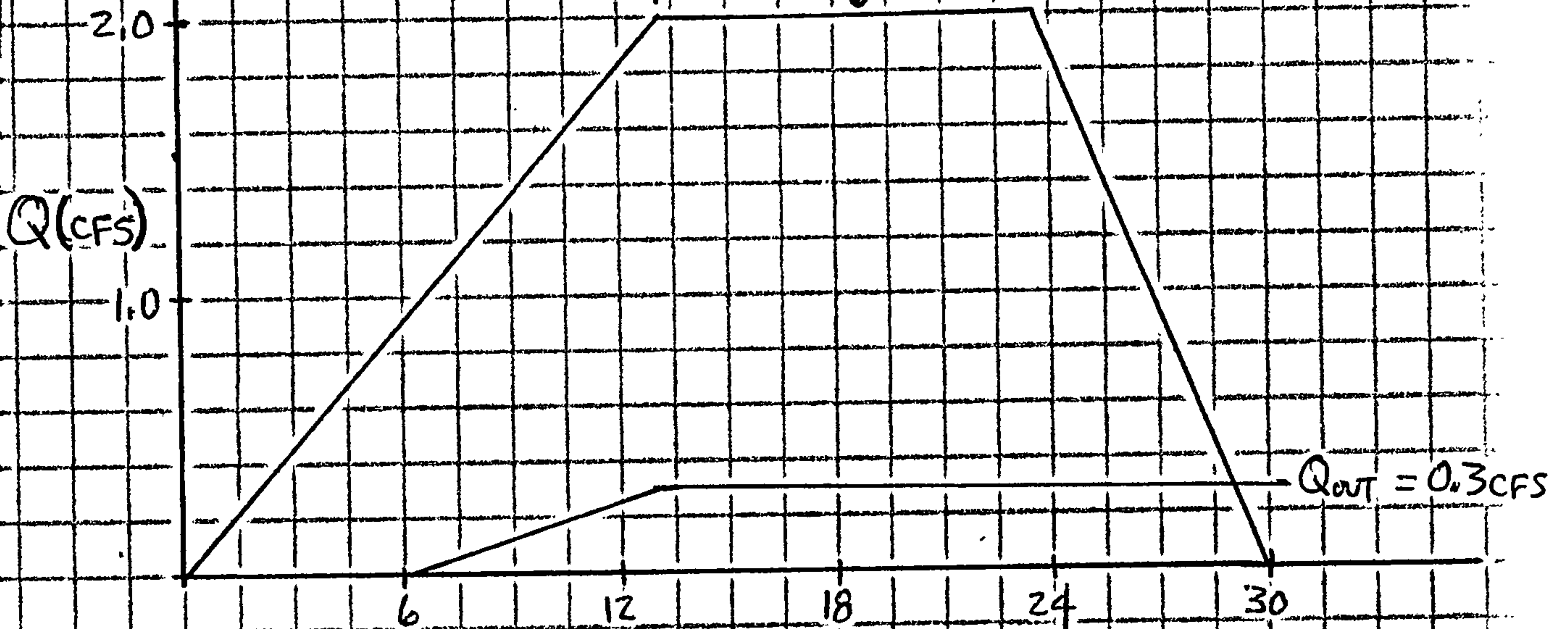
GPM: 135 TDH: 14'
(0.30 CFS)

HYDROMATIC®

$$t_p = (0.7 t_c) + 8 - 5 \left(\frac{A_D}{A_T} \right)$$

$$t_p = (0.7)(12) + 8 - (5)(.69) = 12.95 \text{ mins}$$

$$(12.95) \quad \downarrow \quad T = 15(.69) = 10.35 \text{ mins}$$



Time (mins)

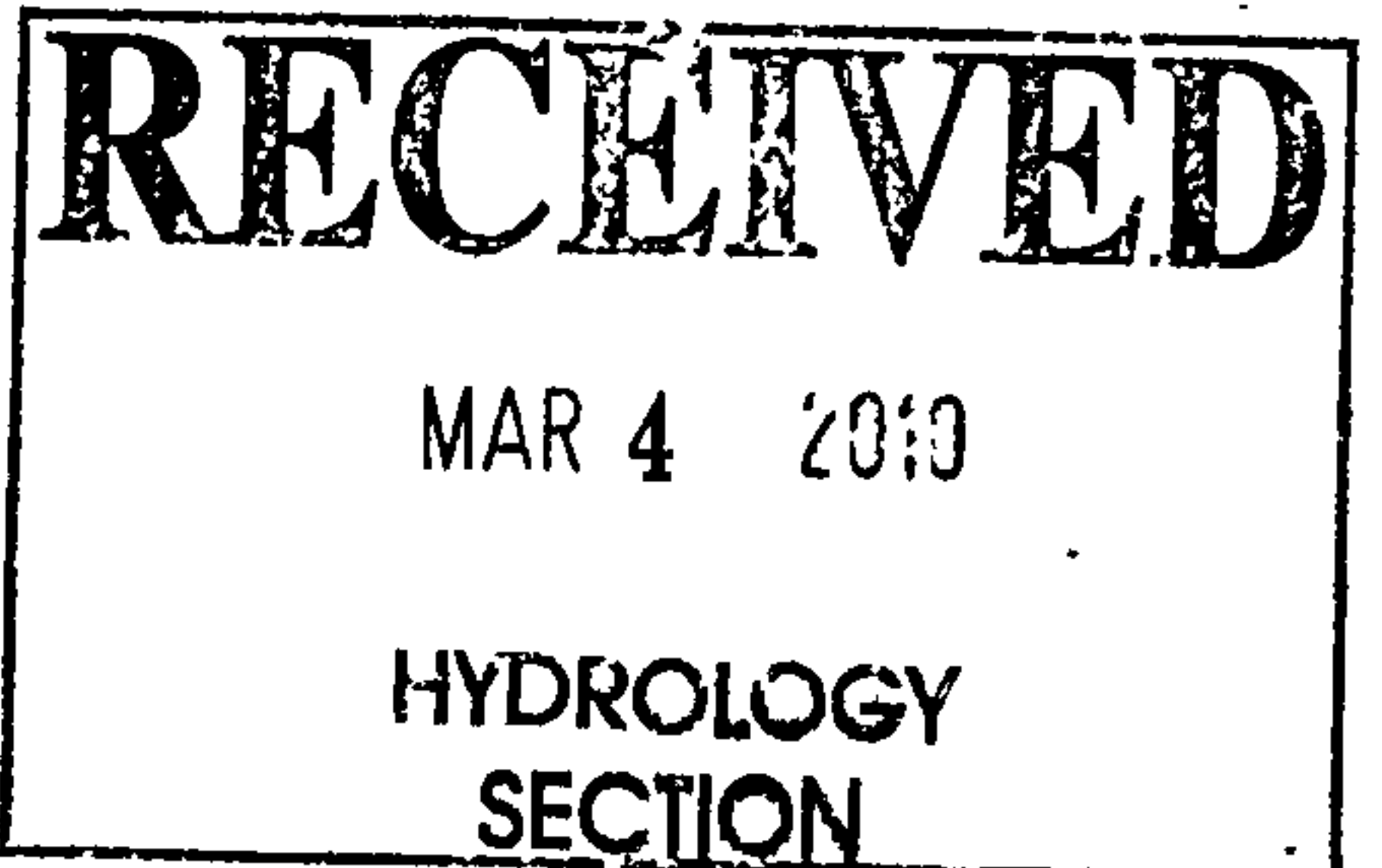
$$t_b = 121.5 \left(\frac{A_T}{Q_p} \right) = 15 \left(\frac{A_D}{A_T} \right)$$

$$t_b = 121 \left[(.0466)(1.08) + (.0846)(1.46) + (.2928)(2.64) \right] \left(\frac{.424}{2.0} \right) - 15(.69)$$

$$= 14.0 \quad (\text{USE } 30 \text{ MINS.})$$

$$V = (1.7 \text{ cfs})(60)(20) = 2,040 \text{ CF}$$

POND HYDROGRAPH



DESIGNED POWER ASSOCS.

03/10 SMM