

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

10/06/2025

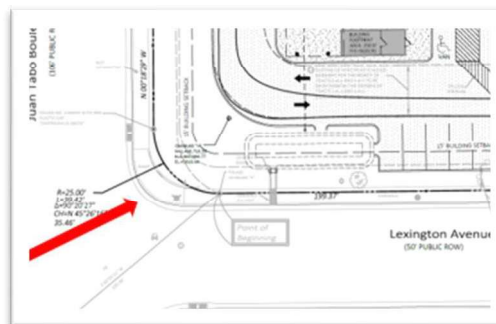
Jeffrey D. Geurian, PE
DWL Architects & Planners, Inc of NM
202 Central Ave SE
Albuquerque, NM 87102

Re: Seven Brew Juan Tabo
2600 Juan Tabo Blvd. NE Albuquerque, NM 87112
Traffic Circulation Layout
Engineer's Stamp 08-27-25 (H22-D080)

Dear Mr. Geurian,

Based upon the information provided in your submittal received 09-25-25, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. A Traffic Impact Study (TIS) is required. Please contact Ernest Armijo, Principal Engineer, at earmijo@cabq.gov, to schedule a scoping meeting.
2. Please provide approve plat showing shared access and cross-lot access agreements.
3. Clarify the extents of the current phase. Provide a phasing plan.
4. Provide existing site conditions, reflecting neighboring site building and parking along with any medians, including parking and channelizing islands, and anything else that may influence proposed parking and site circulation.
5. Specify the City standard drawing and number for all proposed activities when applicable.
6. Label width, stem length, and radii for shared driveway access located on Juan Tabo Blvd. NE.
7. Curb ramp located at the intersection of Juan Tabo Blvd. and Lexington Ave. must be updated to current standards and have truncated domes installed. Provide details.



8. All accessways to the site from the adjacent roadway shall be ADA-compliant.
9. Proposed accessways must be set back from the property line such that the top landing for the ramp built as part of these accessway does not encroach in the area immediately

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in front of the adjacent property. Also, the end of the curb radius for these accessways shall not extend to this area.

10. Provide parking calculations along with the number of parking spaces required by the IDO including ADA, motorcycle, and bicycle parking.
11. List dimensions for all parking spaces including ADA parking, motorcycle, and bicycle parking.
 - Provide width, length, grades, and slopes for the parking area and/or the ADA accessible parking areas.

The minimum parking stall dimensions are:

Type of parking	Min. Width	Min. Length	Min. Overhang
Standard	8.5'	18'	2'
Compact	7.5'	15'	1.5'
Motorcycle	4'	8'	N/A
ADA	8.5'	18'	2'

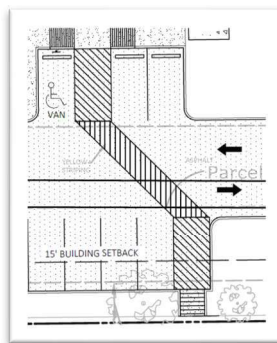
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12. ADA curb ramps must meet current standards and have truncated domes installed.
13. Provide design details and City standard drawings for proposed ADA ramps.
14. Provide additional details, including pavement markings detail, for proposed ADA access aisle. Van accessible aisles should be 8ft wide; all others should be 5ft wide.



15. The ADA access aisles shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
16. Provide ADA parking signage. The ADA accessible parking sign must have the required language per 66-7-352.4C NMSA 1978 **"Violators Are Subject to a Fine and/or Towing."** Please call out location and details/drawings of signage.

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17. Per the DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
18. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.
19. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
20. Parking spaces cannot be bisected by lot lines.
21. Label the compact parking spaces by placing the words "**COMPACT**" on the pavement of each space if applicable.
22. Motorcycle parking spaces must be designated with a posted upright sign, either free-standing or wall mounted per the zoning code.
23. Bicycle parking spaces shall be located, sized, and constructed as required by the DPM and IDO.
24. All bicycle racks shall be designed according to the following guidelines:
 - The rack shall be a minimum 30 inches tall and 18 inches wide.
 - The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
 - The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
 - The rack allows varying bicycle frame sizes and styles to be attached.
 - The user is not required to lift the bicycle onto the bicycle rack.
 - Each bicycle parking space is accessible without moving another bicycle.
25. Bicycle racks shall be sturdy and anchored to a concrete pad.
26. A 1-foot clear zone around the bicycle parking stall shall be provided.
27. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.
28. Show all drive aisle widths and radii.

The minimum drive aisle dimensions are shown below

	Minimum Drive Aisle Width
Two Way Traffic	22'
Main Circulation Road	24'
Fire Lane	20'

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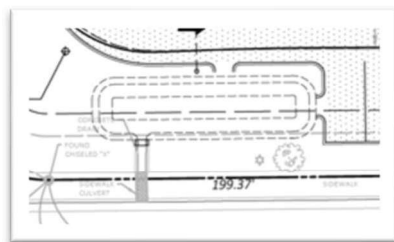
29. List radii for all curves shown for passenger vehicles. Where the aisles will function for deliveries by larger trucks, refuse, and/or fire vehicles, etc., a 25 foot radius or larger is to be used.
30. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.
31. Provide a copy of refuse and fire approvals.
32. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
33. Parking areas shall have barriers to prevent vehicles from extending over public sidewalk, public right-of-way, or abutting lots.
34. It is not apparent what type of pavement surface is being proposed. Please provide design details. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
35. All one-way drives shall have "One Way" and "Do Not Enter" signage and pavement markings. Please show detail and location of posted signs and striping.
36. The minimum drive-through lane width is 12 feet with a 25 foot minimum radius (inside edge) for all turns. (A 15 foot radius can be used with an increase in lane width to 14 feet). Label drive-through lane widths and radii.
37. Is the intention to install a storefront sign or monument? If so, call out location.
38. Shared site access driveways that straddle property lines, or are entirely on one property but are to be used by another property, shall have an access easement. Please include a copy of your shared access agreement with the adjacent property owner.
39. Unused curb cuts must be replaced with sidewalk and curb & gutter. A build note must be provided referring to the appropriate City Standard drawing.
40. Label structure.

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41. Is it the intention to close the existing driveway on Lexington Ave. NE?
 - If not, reevaluate drawing detail and show existing driveways serving properties across the street.

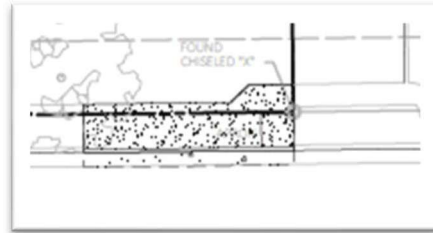
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- If the intent is to close the access, label and provide proposed work, details, drawings, and pavement design reflecting appropriate City sidewalk standards DWG 2430.



42. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
43. Show all private infrastructure outside of public right-of-way and all public infrastructure within public right-of-way. Any private infrastructure that is allowed by the City of Albuquerque to be kept within right-of-way shall require a revocable permit.
44. Show location of overhead utility lines in relationship to the buildings.

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Once corrections are complete, resubmit the following for evaluation by Transportation:

Albuquerque

1. The Traffic Circulation Layout
2. A Drainage Transportation Information Sheet (DTIS)
3. Send an electronic copy of your submittal to ABQ-plan.
4. Pay the re-submittal fee.

NM 87103

If you have any questions, please contact me at (505) 924-3880.

www.cabq.gov

Sincerely,

Tasha Felton

Tasha Felton
Assistant Engineer, Planning Dept.
Development Review Services

\tf via: email
C: CO Clerk, File