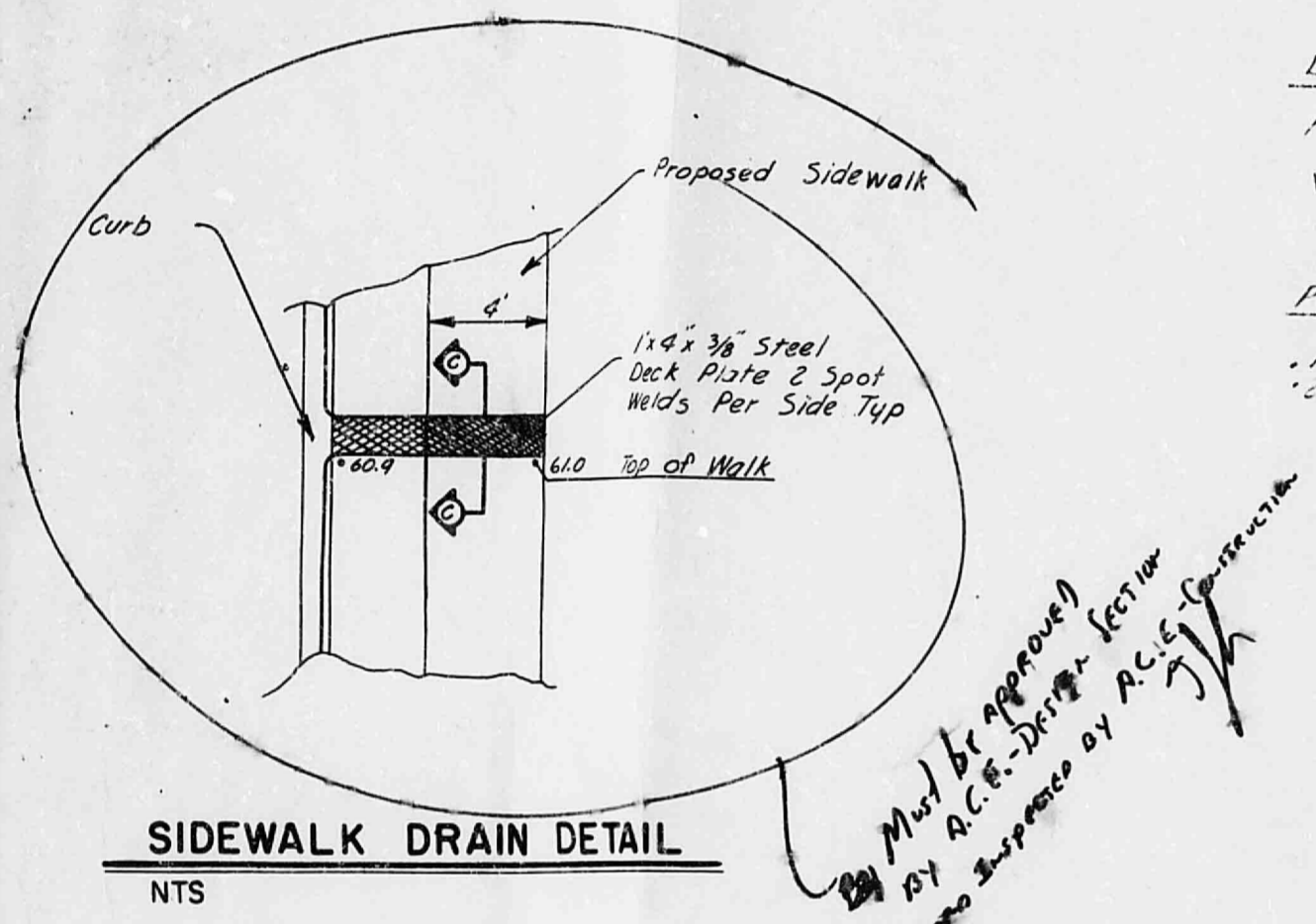
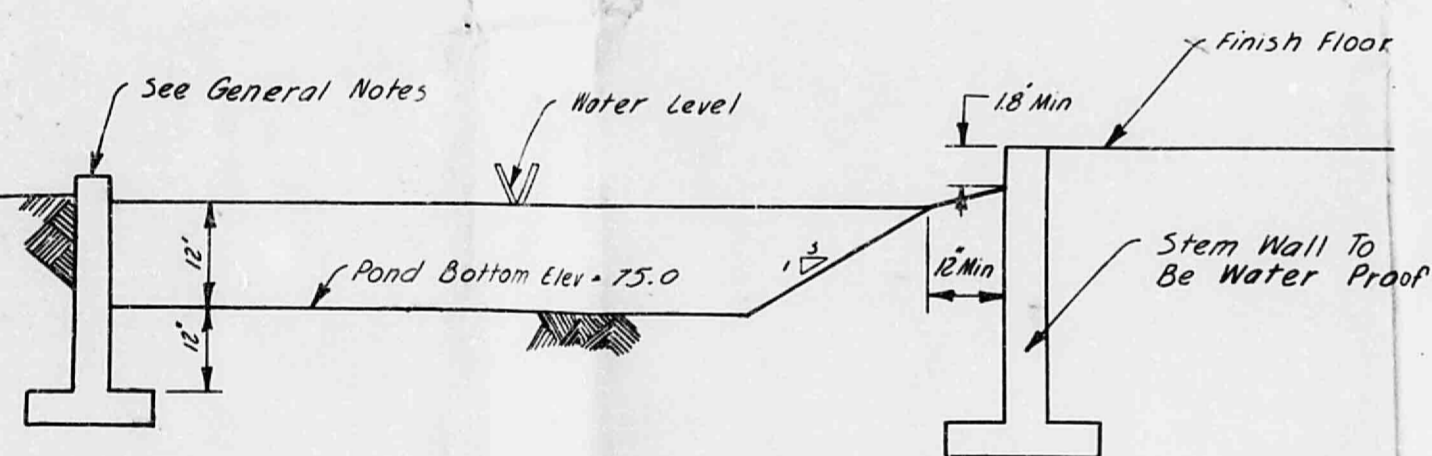


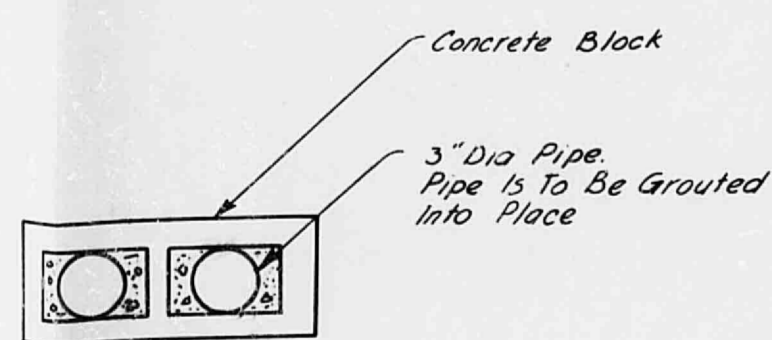
SECTION C-C
NTS



SIDEWALK DRAIN DETAIL
NTS



POND DETAIL
NTS



ORIFICE DETAIL
NTS

LEGEND

- EXISTING CONTOUR PRIOR TO CONSTRUCTION
- PROPOSED SPOT ELEVATION
- SWALE & DRAINAGE DIRECTION
- ROOF DRAINAGE DIRECTION
- DRAINAGE FLOW
- 3:1 SLOPE
- RETAINING WALL

- NOTES:
1. ALL STEM WALLS, RETAINING AND GARDEN WALLS ADJACENT TO THE PONDING AREAS SHALL BE MADE WATER PROOF.
 2. ALL GARDEN WALLS SHALL BE REINFORCED W/ STEEL AND CONCRETE IF ADJACENT TO THE PONDING AREAS.
 3. THE PORTION OF GARDEN WALL TO BE REINFORCED SHALL BE 2' ABOVE POND BOTTOM MINIMUM.
 4. POSITIVE DRAINAGE DISCHARGE WILL BE ALLOWED FROM THE PONDING AREA ONTO KACHINA PLACE STREET AT A 65' PER THE INTERIM DRAINAGE GUIDELINE.

Drainage Area Computations
Peak Runoff

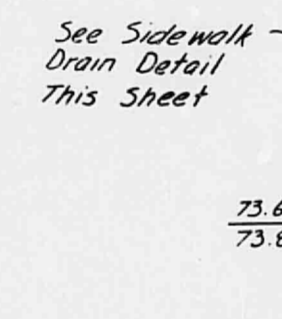
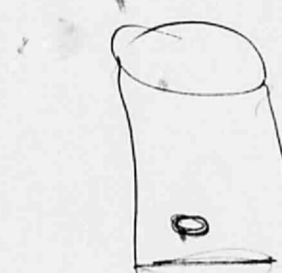
$$V = \left(\frac{1.5}{1.5}\right) (416) = 514.5 \text{ CUFT}$$

Ponding Area Capacity

$$.125 \times 20 \times 10^2 \times 1.2 = 300$$

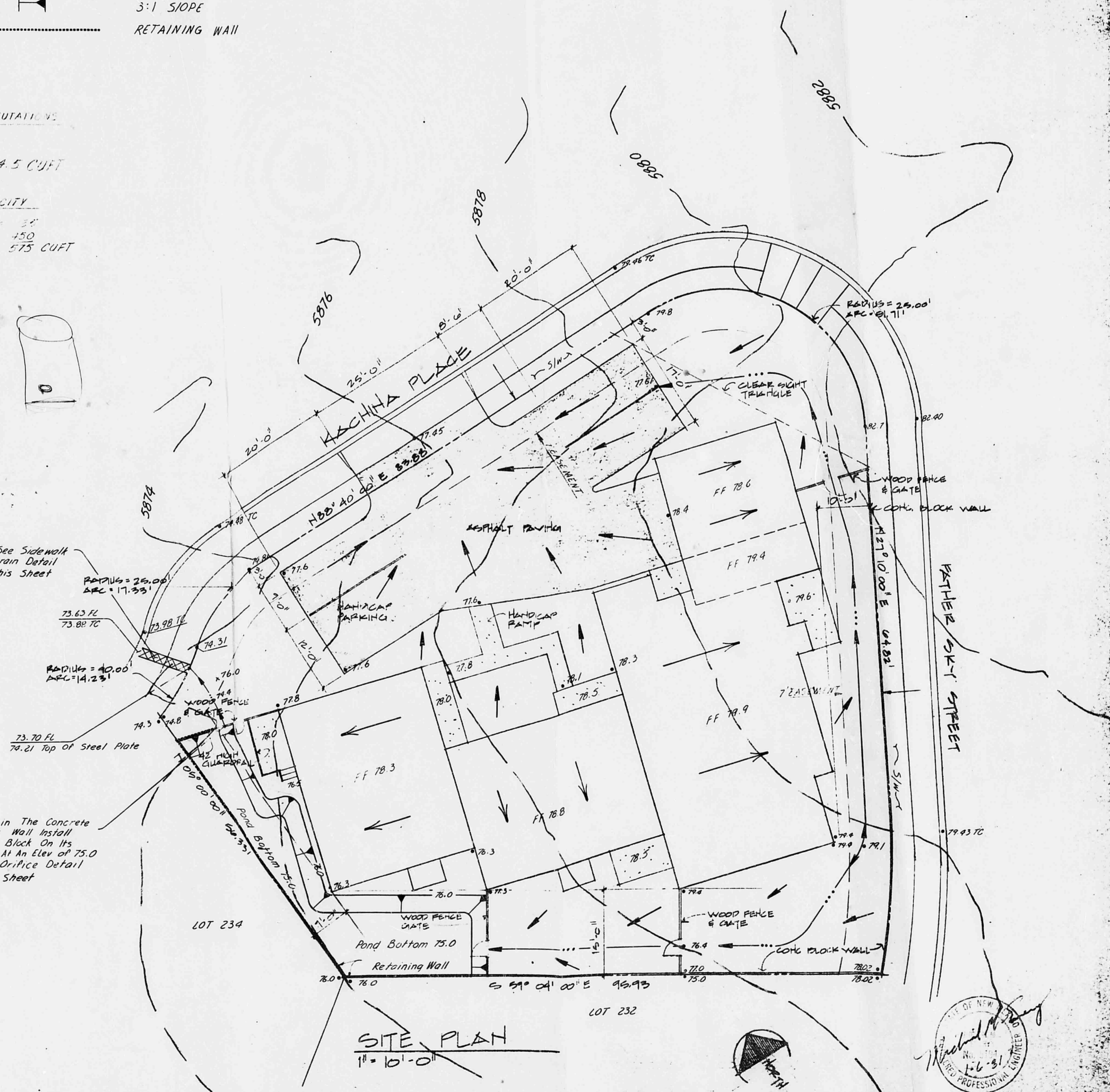
$$.225 \times 20 \times 10^2 \times 1 = 450$$

$$= 750 \text{ CUFT}$$



Within The Concrete Block Wall Install One Block On Its Side At An Elev. of 75.0 See Orifice Detail This Sheet

SITE PLAN
1" = 10'-0"



GARNER/HICKS ARCHITECTS
The Sunshine Building
Albuquerque, N.M. 87102
243-7492

MULTIPLXES KACHINA HILLS UNIT 1

12912 KACHINA PLACE, HE LOT 233
SITE PLAN FOR DRAINAGE
JOB NO. 00540

JOB NO. 00540
DATE: 11-6-51
SHEET: 1

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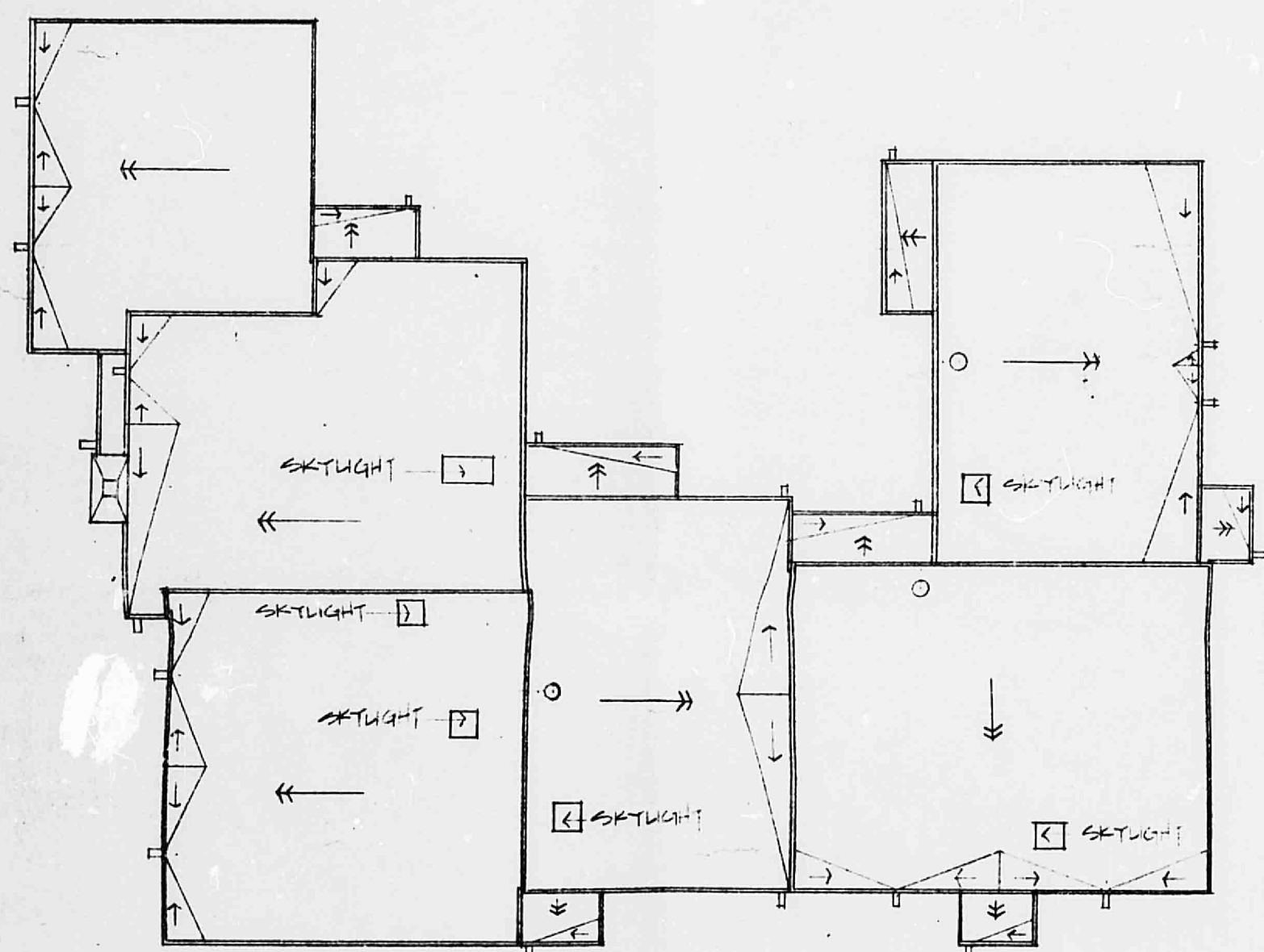
LEGEND

- EXISTING CONTOUR (PRIOR TO CONSTRUCTION)
- SWALE & DRAINAGE DIRECTION
- OVERLAND DRAINAGE FLOW
- ROOF DRAINAGE DIRECTION
- 73.0 PROPOSED SPOT ELEVATION
- PROPOSED SANITARY SEWER SERVICE LINE
- W PROPOSED WATER SERVICE LINE

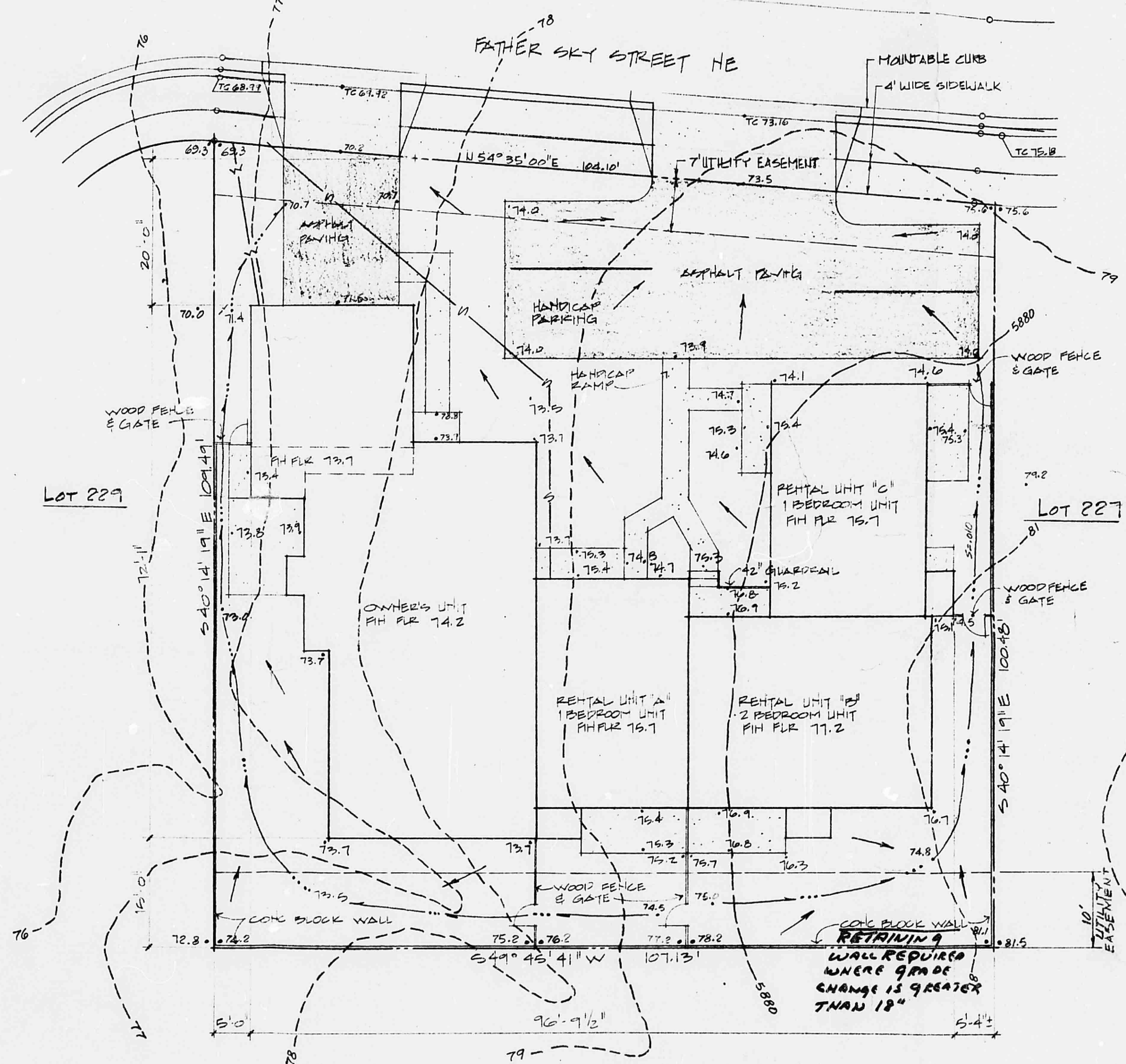
NOTE: LOT 228 IS LOCATED IN DRAINAGE BASIN. THEREFORE ALL DRAINAGE WITHIN LOT 228 WILL BE ALLOWED TO FLOW ONTO FATHER SKY STREET N.E. THE DRAINAGE FLOWS WILL BE PICKED UP BY A DOUBLE 12" INLET LOCATED WITHIN A CUL-DE-SAC ON FATHER SKY STREET N.E. WHICH WILL CONVEY THE FLOWS TO THE EMBUDO ABOVE BY AN 18" RCP.

NOTICE

ALL COMMERCIAL BUILDINGS ARE REQUIRED TO HAVE A FINAL INSPECTION BY THE FIRE DEPT. BEFORE A CERTIFICATE OF OCCUPANCY IS ISSUED. THE BUILDING(S) OR SPACE(S) SHALL BE COMPLETE AND READY TO OCCUPY. PHONE 766-7537



ROOF DRAINAGE PLAN
1" = 10'-0"



SITE DRAINAGE PLAN
1" = 10'-0"

These premises shall not be occupied until a Certificate of Occupancy has been issued, in accordance with Sec. 306, Albuquerque Building Code.



ALBUQUERQUE
CODE ADMIN.
DEC 22 1990
U.S.C.
PLAN CHECK
SECTION



GARNER/HICKS ARCHITECTS
The Sunshine Building
112 Second St. S.W.
Albuquerque, N. M. 87102
243-7492

**MULTIPLEXES
KACHINA HILLS
UNIT 1**

1808 FATHER SKY, NE LOT 228
SITE DRAINAGE PLAN
JOB NO. 00540 DATE 12-4-80

JOB NO. 00540
DATE 12-21-80
SHEET 1
OF 14

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Job No. 00540

GRAPHIC SCALE

NOTE: TOP OF CURB ELEVATIONS ARE IN 10' ROUND CONTOURS.

NOTE: INSTALL ONE CONCRETE BLOCK ON ITS SIDE AT AN INTERVAL WITHIN THE BLOCK WALL TO PROVIDE DRAINAGE TO THE STREET. SEE OFFICE DETAIL SHEET 2.

SEE SHEET 2 FOR SIDEWALK DRAIN DETAIL. THE ELEVATIONS ON THE DETAIL DO NOT APPLY TO THIS SIDEWALK DRAIN LOCATION.



- LEGEND**
- EXISTING CONTOUR PRIOR TO CONSTRUCTION
 - SWALE & DRAINAGE DIRECTION
 - 07.8 PROPOSED SPOT ELEVATION
 - ROOF DRAINAGE DIRECTION
 - ← DRAINAGE FLOW
 - 3:1 SLOPE
 - RETAINING WALL

- NOTES:**
1. ALL STEMS, RETAINING WALLS AND GARDEN WALLS ADJACENT TO THE PAVING AREAS SHALL BE MADE WATER PROOF.
 2. ALL GARDEN WALLS SHALL BE REINFORCED WITH STEEL AND CONCRETE IF ADJACENT TO THE PAVING AREAS.
 3. THE PORTION OF GARDEN WALL TO BE REINFORCED SHALL BE ABOVE POND BOTTOM MINIMUM.
4. THE EXISTING ELEVATIONS ON RIVER AVE. WILL BE CHANGED IN THE FUTURE BY THE NEW CONSTRUCTION OF TRAMWAY BLVD. THE EXISTING TOP OF CURB ELEVATION ON RIVER AVE. IS 60.7. THE ULTIMATE PROPOSED TOP OF CURB ELEVATION AFTER RECONSTRUCTION ON RIVER AVE. WILL BE 59.48.

APPROVED FOR DRAINAGE

1-27-81

REMARKS: THIS PLAN IS APPROVED FOR DRAINAGE PURPOSES ONLY. ALL OTHERS WILL BE INCORPORATED ON THE ORIGINALLY APPROVED GRADING PLAN FOR KACHINA HILLS V. 1 & 2. SEE SHEET 2 FOR ALL THE LOTS ARE DEVELOPED.

RECEIVED
DEC 30 1980
RECEIVED

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		REFERENCES		REVISIONS	
CONTRACTOR	DATE	BRASS CAP STAMPED "ROVER"	DATE	MAP NO.	W.O. NO.	MAP NO.	W.O. NO.	NO.	DATE
BY	DATE	Approximately 1100' East of the Intersection of Tramway Blvd. and Rover Ave. Station is located Northeast of a Steel Power Pole, Elev. 5914.25	BY						
ACCEPTED BY	DATE								
REVISIONS	DATE								
DESIGNED BY	DATE								
DRAWN BY	DATE								
CHECKED BY	DATE								

See 2' x 2' Concrete Box Detail on Sheet 2.

See Splash Pad & Office Detail on Sheet 2.

THE TOPO SHOWN ON THIS GRADING PLAN WAS DONE IN THE EARLY PART OF 1978, SINCE THEN CONSTRUCTION OF RIVER AVE. AND KACHINA HILLS SUBDIVISION HAS TAKEN PLACE. THEREFORE SOME OF THE EXISTING CONTOUR LINES ARE NOT A TRUE REPRESENTATIVE OF THE EXISTING GROUND AS IT EXISTS TODAY.

See Splash Pad & Office Detail on Sheet 2.

See Splash Pad & Office Detail on Sheet 2.

See Lot 231, Drain Inlet Detail on Sheet 2.

Top of Gate 21 = 60.00

GRADE WALL PER ROADWAY 1-2-81

SCALE: AS SHOWN

00540

PREPARED UNDER THE DIRECTION OF

CITY OF ALBUQUERQUE MUNICIPAL DEVELOPMENT DEPARTMENT ENGINEERING DIVISION

TITLE: KACHINA HILLS UNIT I - LOT 126 A
REGRADE OF LOTS 232 THRU 236

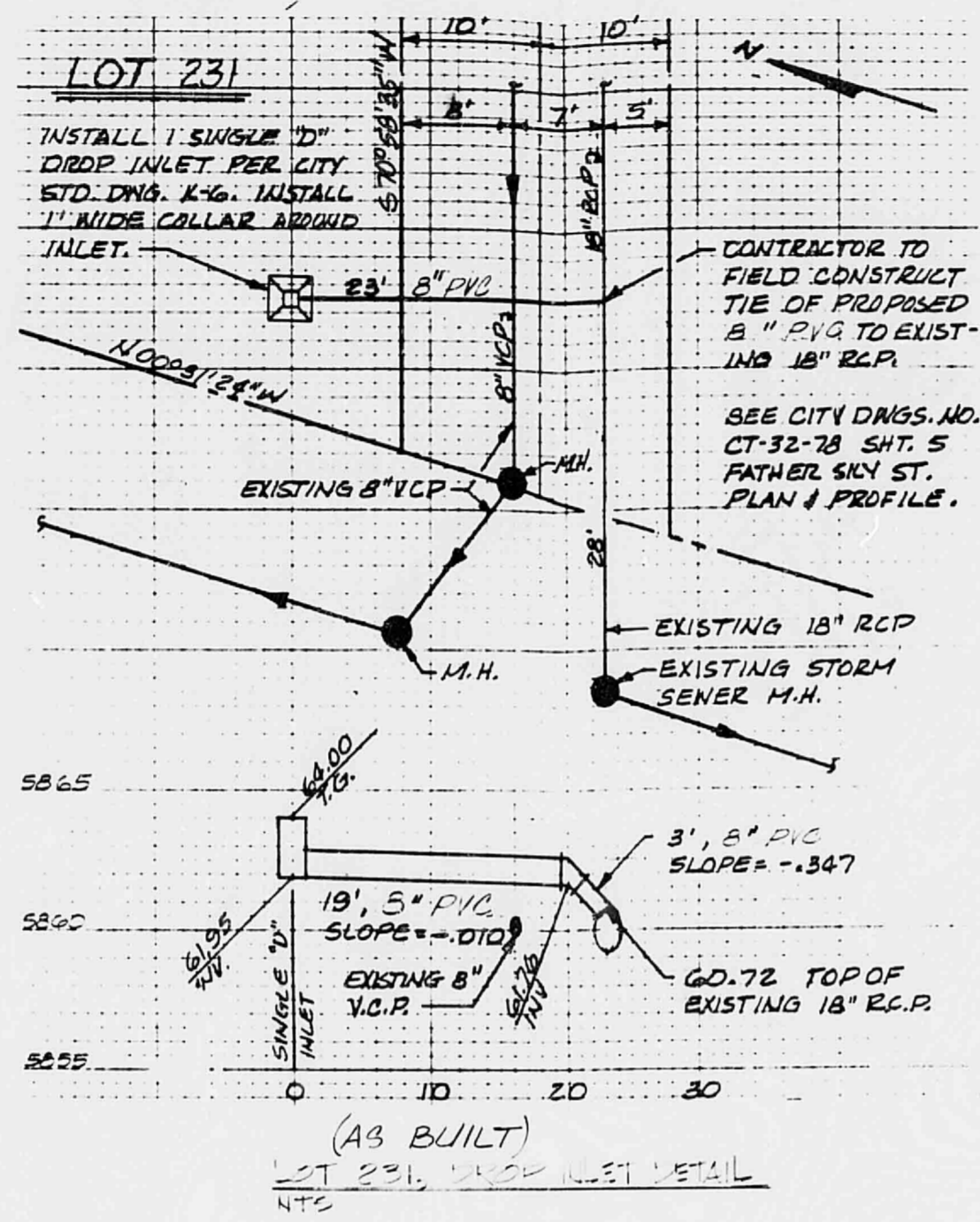
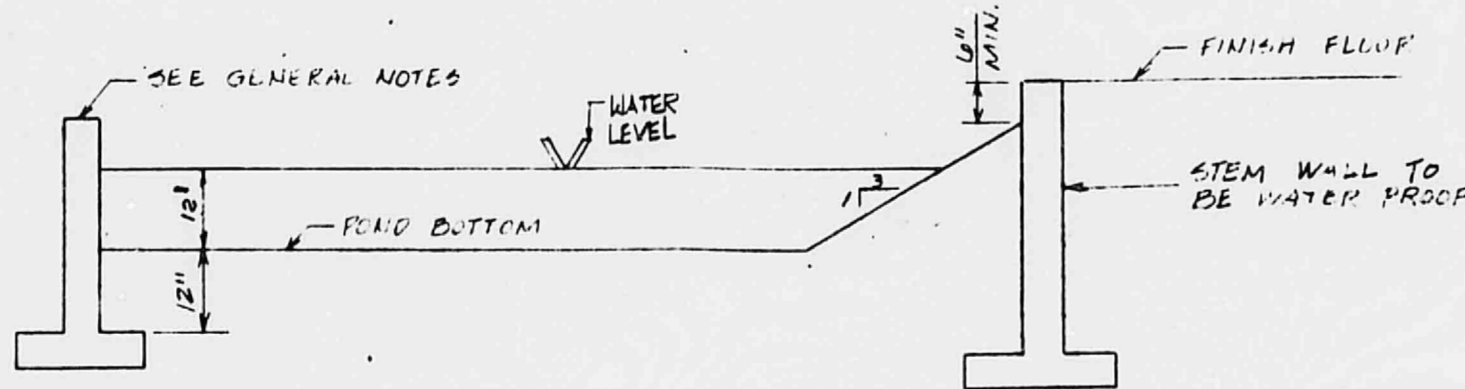
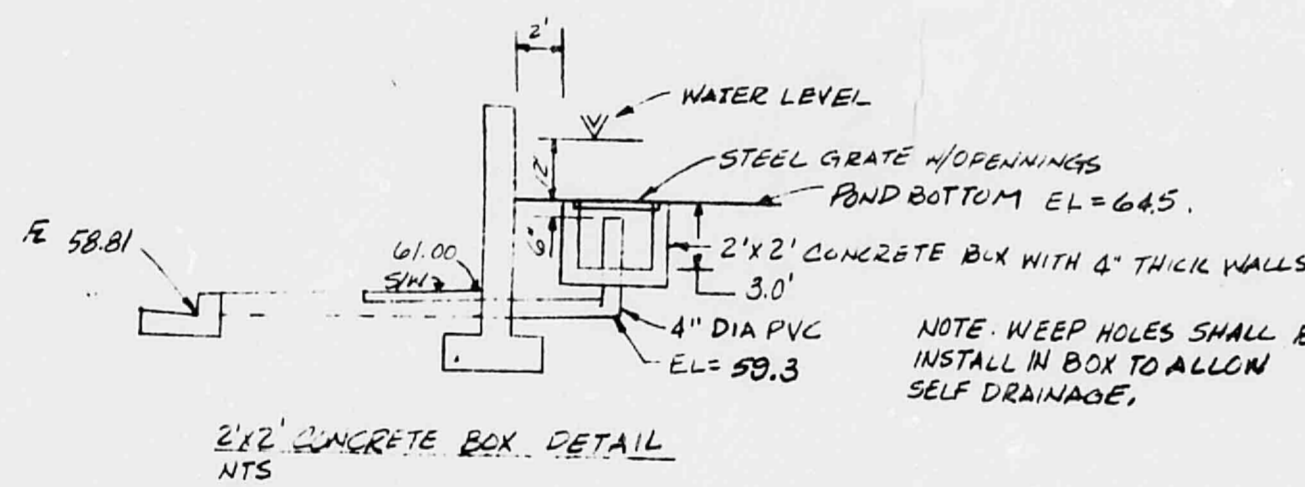
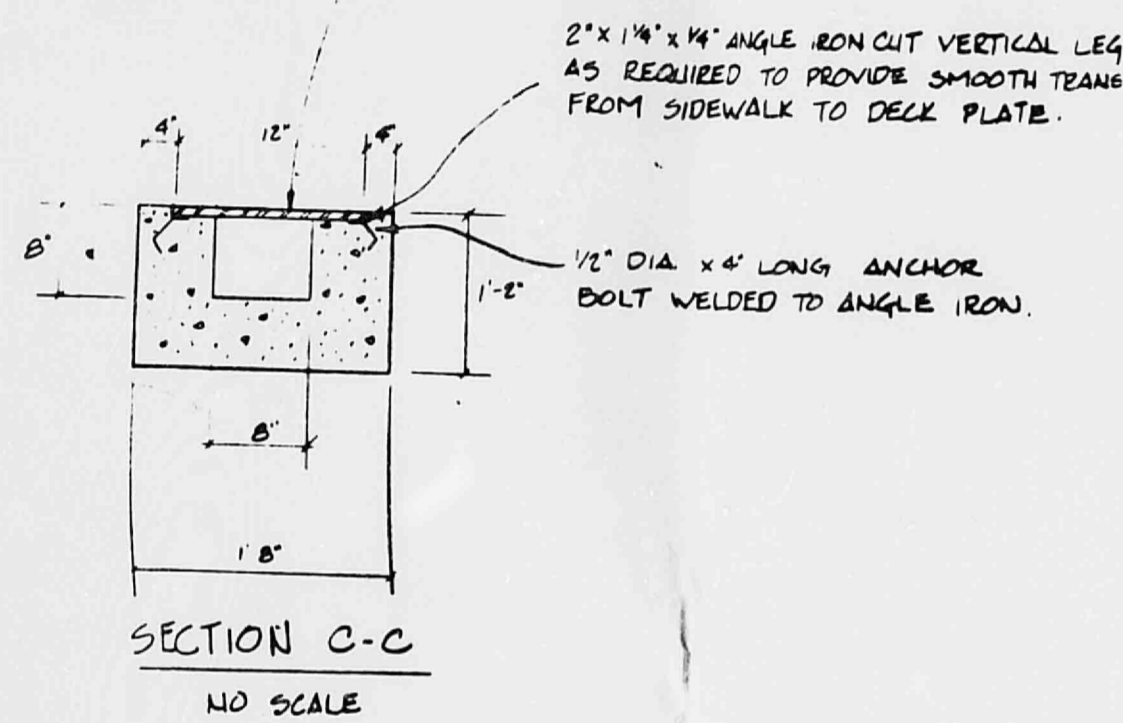
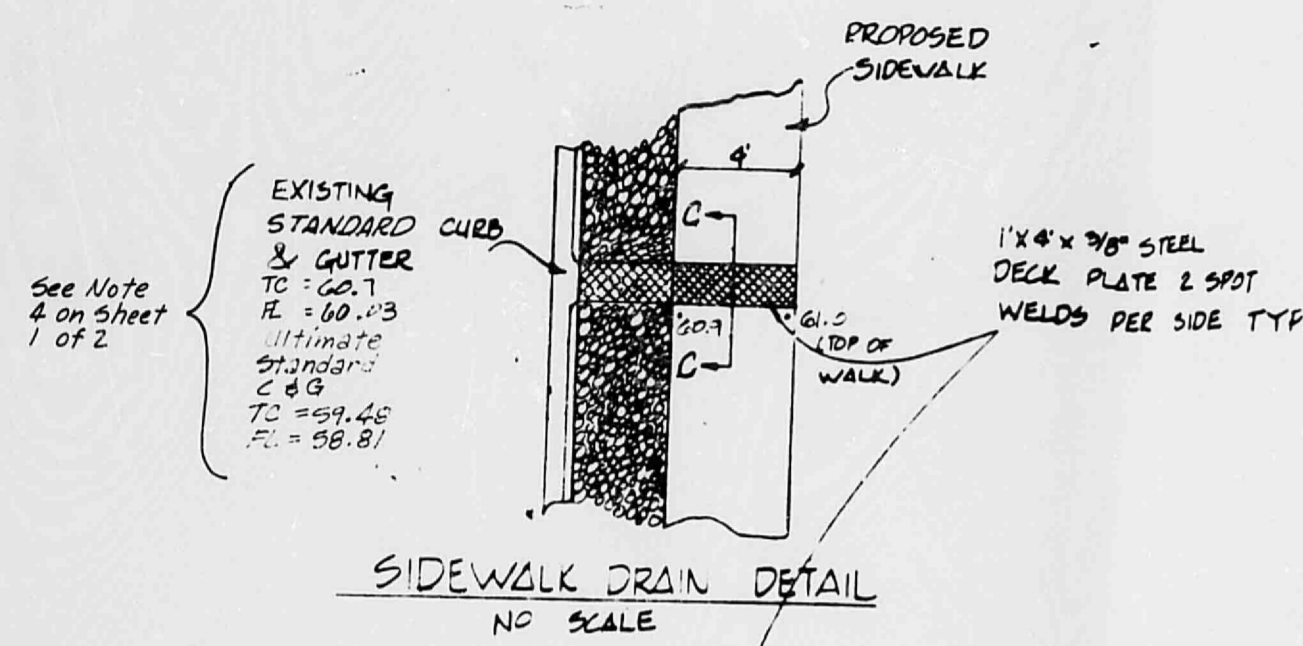
APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE

APPROVED FOR CONSTRUCTION

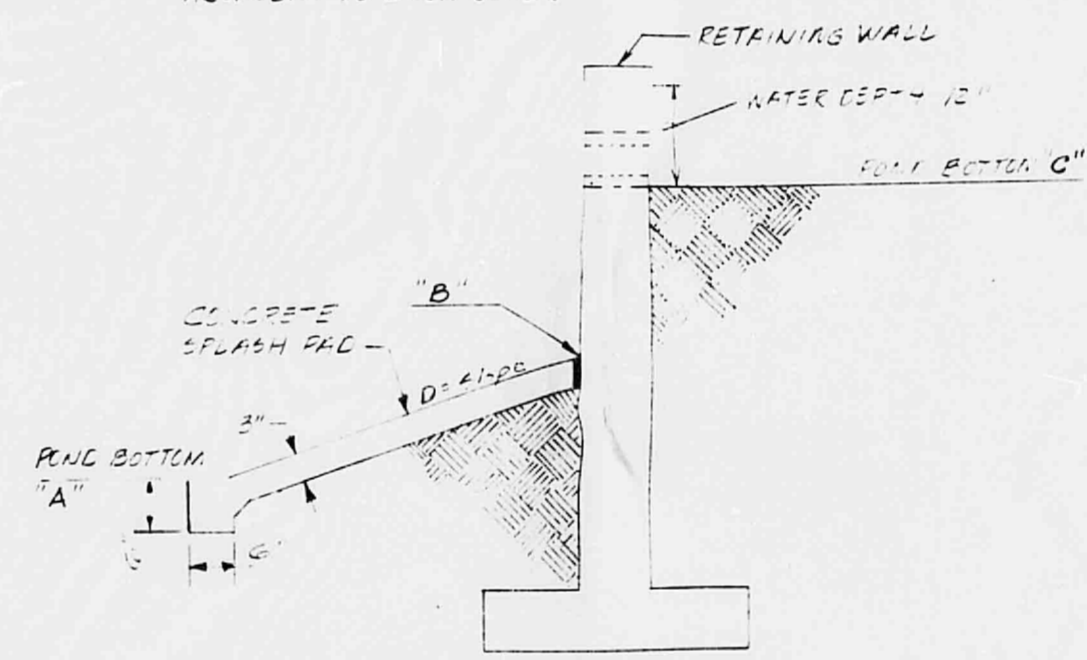
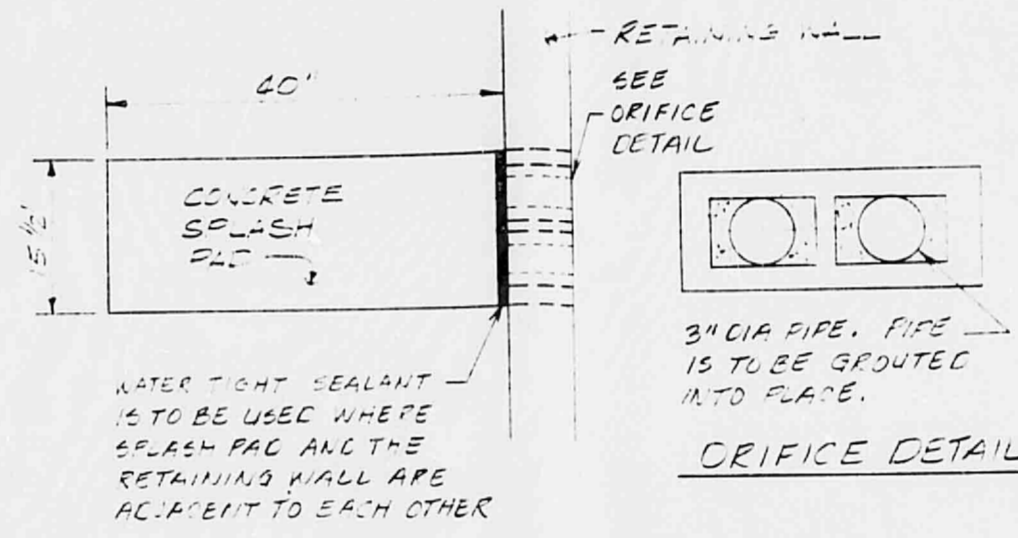
DRAWING NO. SHEET 1 OF 2

City Engineer Date

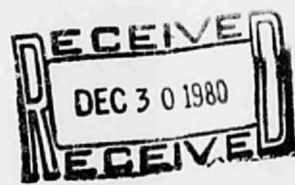
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	ELEVATION B	ELEVATION C	ELEVATION A	SLOPE D
RETAINING WALL BETWEEN LOTS 231 AND 232	64.5	67.0	64.5	9.11
RETAINING WALL BETWEEN LOTS 232 AND 233	64.5	68.0	64.5	9.17
RETAINING WALL BETWEEN LOTS 234 AND 235	64.5	67.4	64.5	9.00



APPROVED FOR DRAINAGE
1-21-81
[Signature]
ENGINEER
ADVISE PLUMBER OF ANY CHANGES WHEN GRADING EXISTING



AS-BUILT INFORMATION		SURVEY INFORMATION		REFERENCES		REVISIONS	
NO.	DATE	NO.	BY	NO.	DATE	NO.	DATE

PREPARED UNDER THE DIRECTION OF

CITY OF ALBUQUERQUE
MUNICIPAL DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION

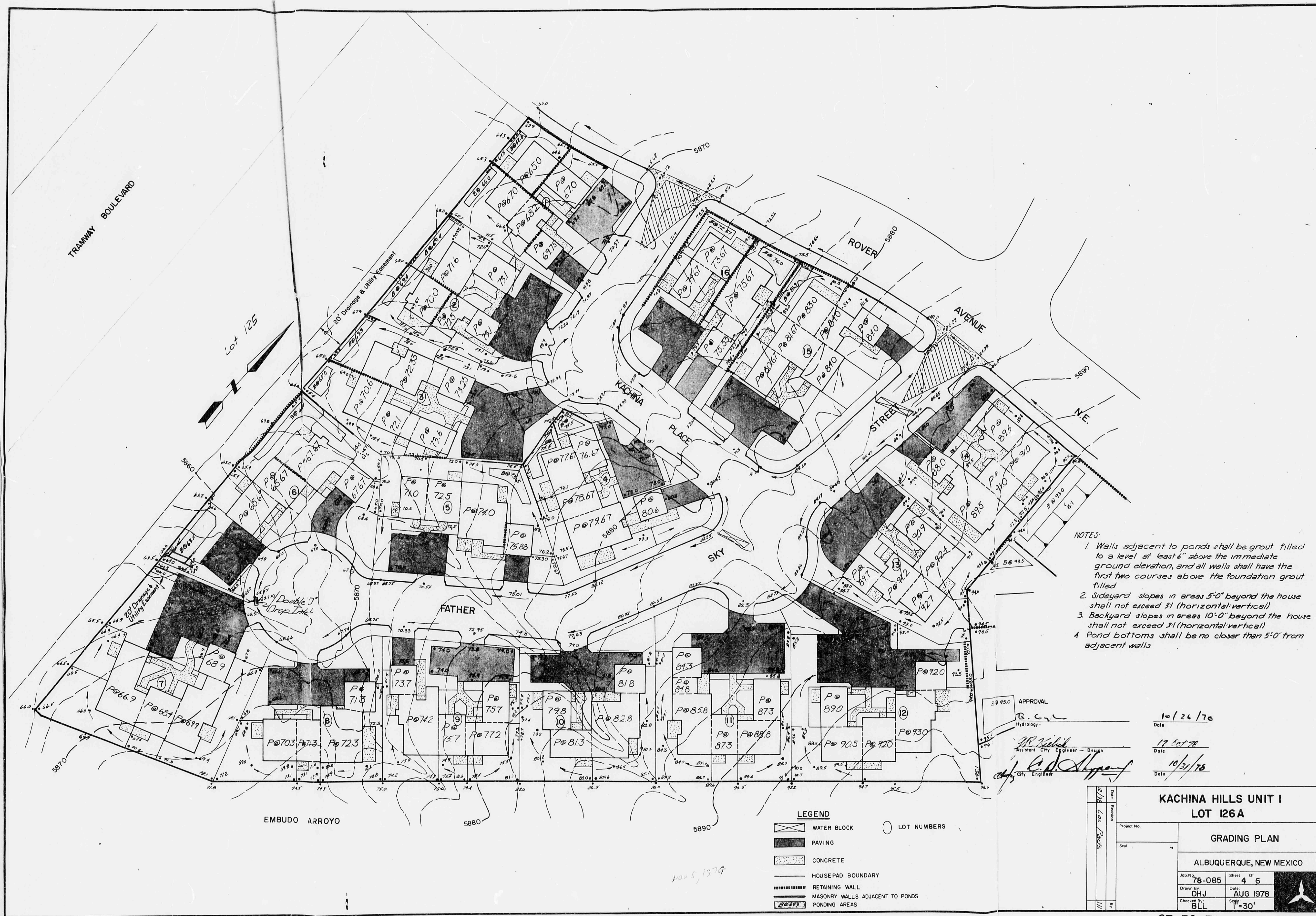
TITLE: KACHINA HILLS UNIT 1 - LOT 126 A
MISCELLANEOUS DETAILS

APPROVALS	ENGINEER	DATE	APPROVALS	ENGINEER	DATE

APPROVED FOR CONSTRUCTION

DRAWING NO. SHEET 2 OF 2

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- NOTES:
1. Walls adjacent to ponds shall be grout filled to a level of least 6" above the immediate ground elevation, and all walls shall have the first two courses above the foundation grout filled.
 2. Sideyard slopes in areas 5'-0" beyond the house shall not exceed 3:1 (horizontal/vertical).
 3. Backyard slopes in areas 10'-0" beyond the house shall not exceed 3:1 (horizontal/vertical).
 4. Pond bottoms shall be no closer than 5'-0" from adjacent walls.

APPROVAL
 R. C. [Signature]
 Assistant City Engineer - Design
 Date: 10/24/78
 [Signature]
 City Engineer
 Date: 10/31/78

LEGEND

[Symbol]	WATER BLOCK	[Symbol]	LOT NUMBERS
[Symbol]	PAVING		
[Symbol]	CONCRETE		
[Symbol]	HOUSEPAD BOUNDARY		
[Symbol]	RETAINING WALL		
[Symbol]	MASONRY WALLS ADJACENT TO PONDS		
[Symbol]	PONDING AREAS		

KACHINA HILLS UNIT I
LOT 126A

Project No. _____
 Date: _____

GRADING PLAN

ALBUQUERQUE, NEW MEXICO

Job No. 78-085 Sheet 4 of 6
 Drawn By: DHJ Date: AUG 1978
 Checked By: BLJ Sign: 1" = 30'

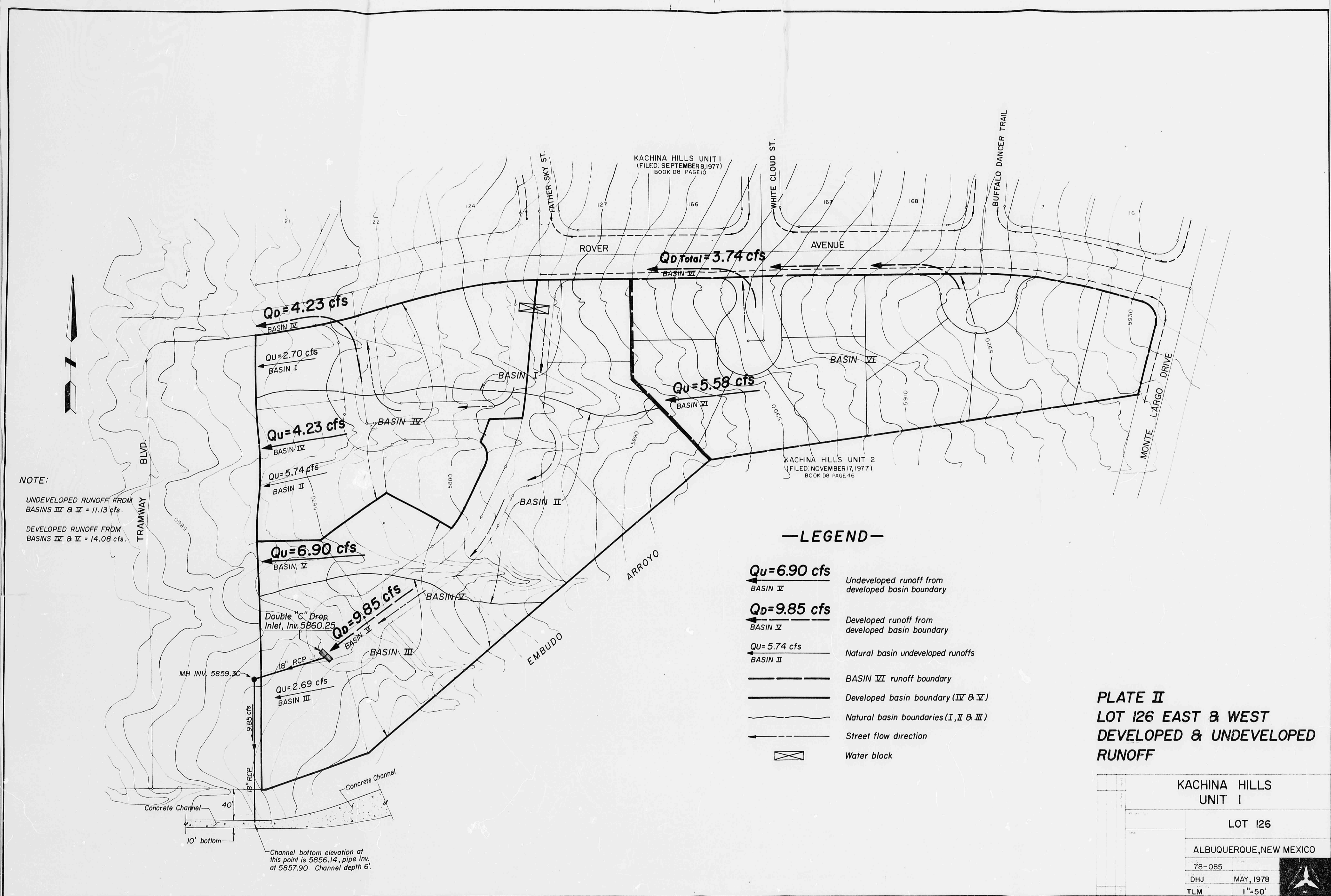
CT-32-78

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