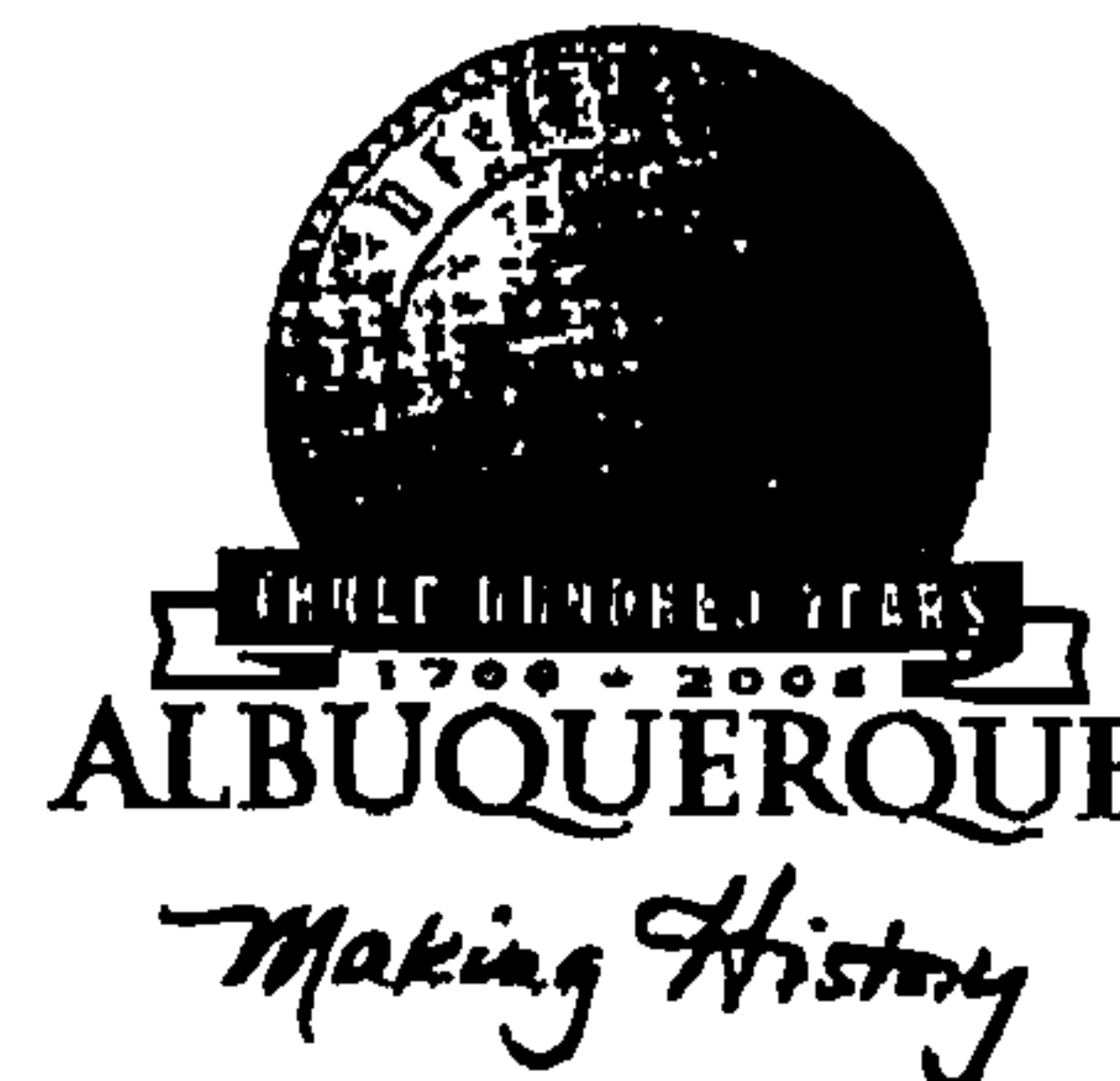


CITY OF ALBUQUERQUE



November 8, 2004

Dennis Lorenz, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Villas Tuscano Grading and Drainage Plan
Engineer's Stamp dated 9-27-04 (H23/D18)

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 8-10-04, the above referenced plan is approved for Work Order requirements (which including grading). Please include a copy in the DRC set of drawings.

If you have any questions, you can contact me at 924-3986.

P.O. Box 1293

Albuquerque

New Mexico 87103

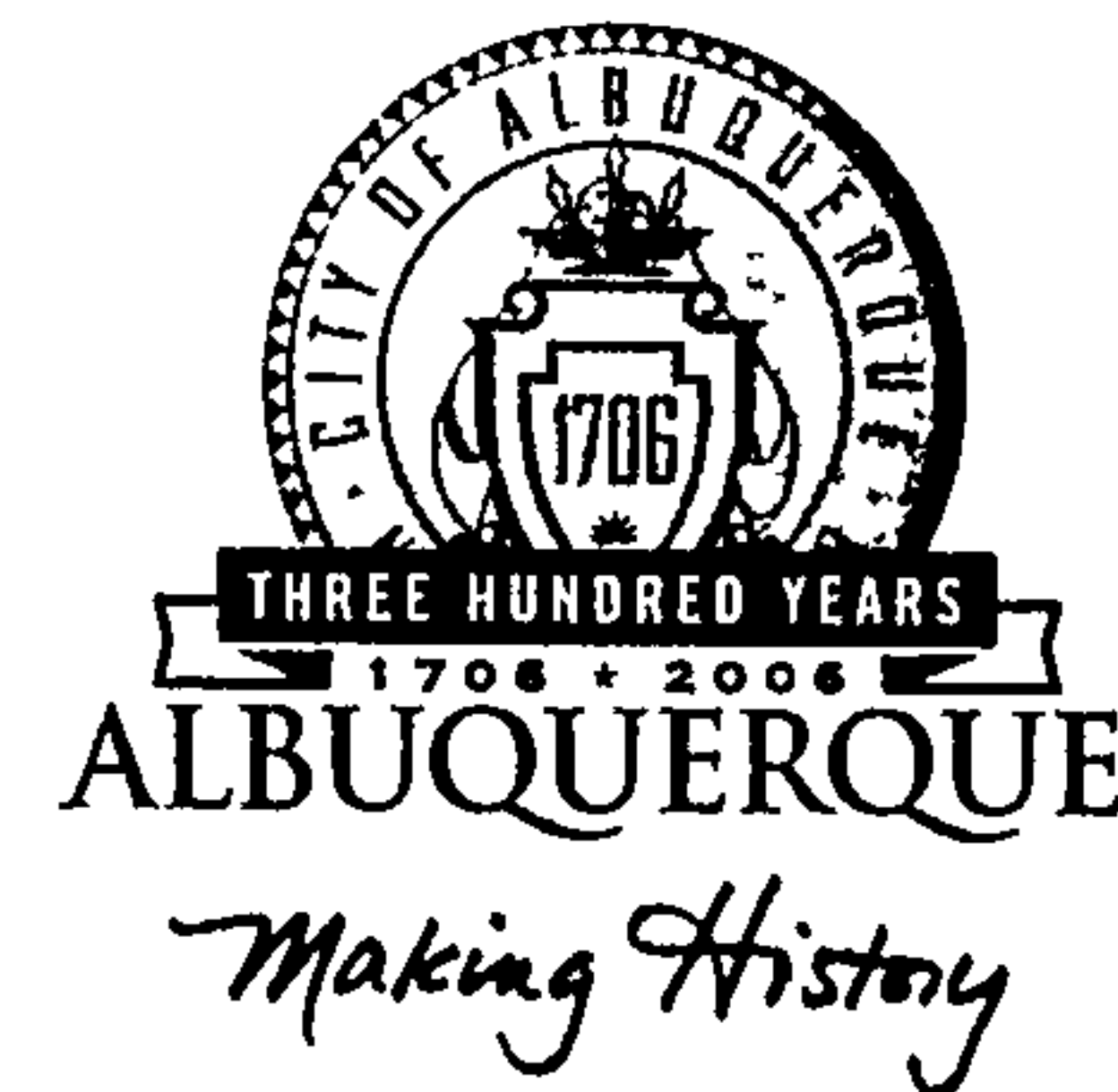
www.cabq.gov

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

CITY OF ALBUQUERQUE



August 15, 2005

Mr. Steve Morrow, P.E.
BRASHER & LORENZ, LLC
2201 San Pedro Dr. NE
Albuquerque, NM 87110

RE: VILLAS TUSCANO SUBDIVISION (H-23/D18)
Engineers Certification for Release of Financial Guaranty
Approved Engineers Stamp dated 08/06/2004
Submitted Engineers Stamp dated 11/15/2004
Engineers Certification dated 08/12/2005

Dear Steve:

P.O. Box 1293

Based upon the information provided in your Engineer's Certification submittal dated 08/12/2005, the above referenced plan cannot be approved for Grading and Drainage Certification for Release of Financial Guaranty.

Albuquerque

The Approved Grading and Drainage (G/D) Plan has an Engineer Stamp date of 08/06/2004 not 11/15/2004 as indicated in your submittal. (See attached copy of G/D Plan approval letter).

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

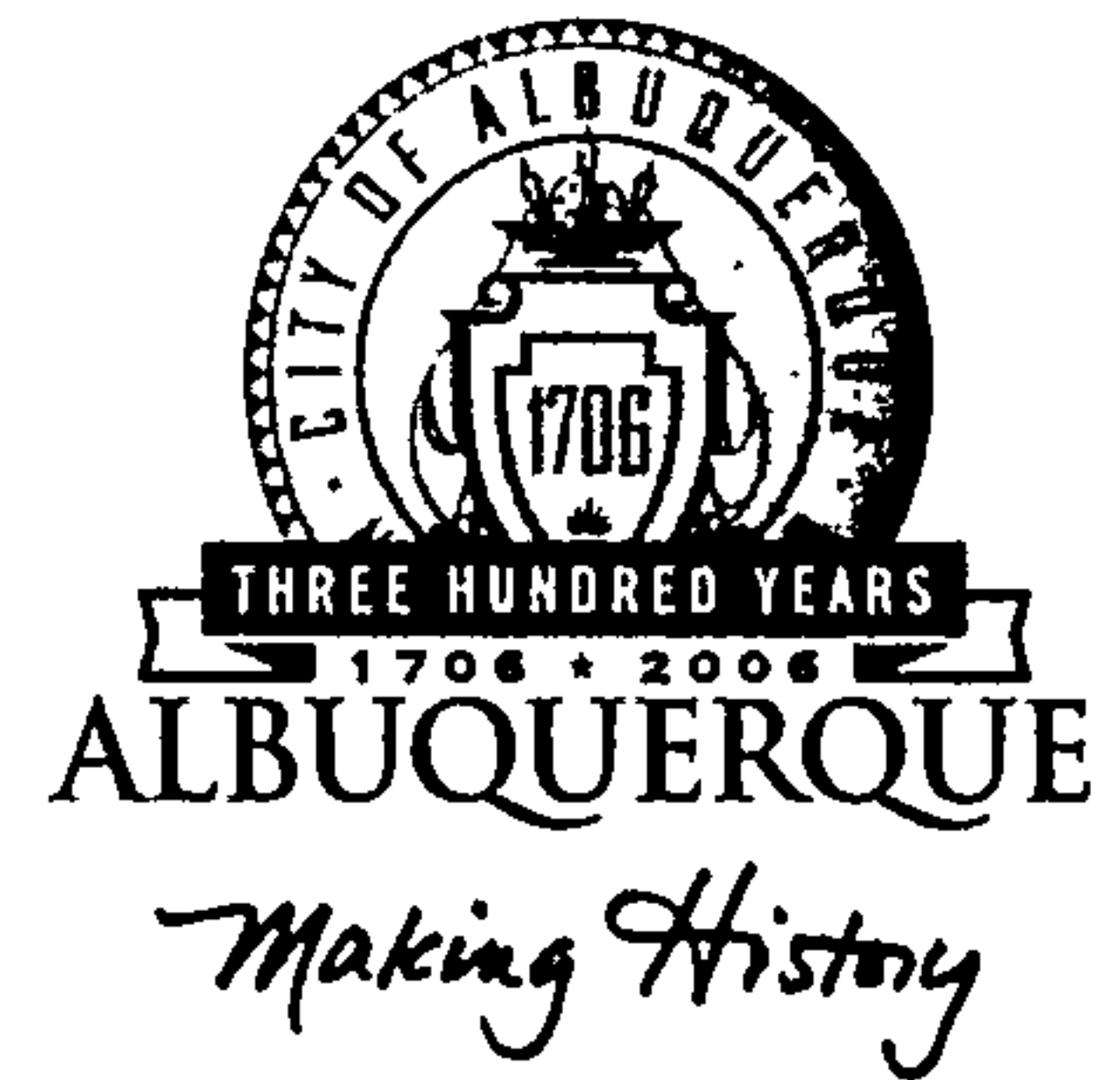
Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

Attachment: Copy of G/D Approval Letter

C: File

CITY OF ALBUQUERQUE



August 17, 2004

Dennis Lorenz, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Villas Tuscano Grading and Drainage Plan
Engineer's Stamp dated 8-6-04 (H23/D18)

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 8-10-04, the above referenced plan is approved for Preliminary Plat action by the DRB. It appears that you will not adversely impact the ponding situation in La Villita and anything you do to improve the outlet is a bonus. Once that board approves the plan, please submit a mylar copy for my signature in order to obtain a Rough Grading Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: VILLAS TUSCANO

DRB #: 04DRB-00248

EPC#: 04EPC10018

ZONE MAP/DRG. FILE #: H23-D18

WORK ORDER#: 748881

LEGAL DESCRIPTION: TRACT 7, LAS VILLITA

CITY ADDRESS: 13200 LA VILLITA ROAD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC

ADDRESS: 2201 SAN PEDRO NE BUILDING 1, SUITE 1200

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: DENNIS LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: TIPTON & ASSOCIATES

ADDRESS: 10901 ACADEMY RIDGE ROAD NE

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GARY TIPTON

PHONE: 228-8836

ZIP CODE: 87111

ARCHITECT: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: HARRIS SURVEYING

ADDRESS: 2412-D MONROE NE

CITY, STATE: ALBQ, NM

CONTACT: T. HARRIS

PHONE: 889-8056

ZIP CODE: 87110

CONTRACTOR: HYDRO-SYSTEMS

ADDRESS: 3811 ATRISCO NW

CITY, STATE: ALBUQUERQUE, NM

CONTACT: MIKE SMITH

PHONE: 839-1000

ZIP CODE: 87120

CHECK TYPE OF SUBMITTAL:

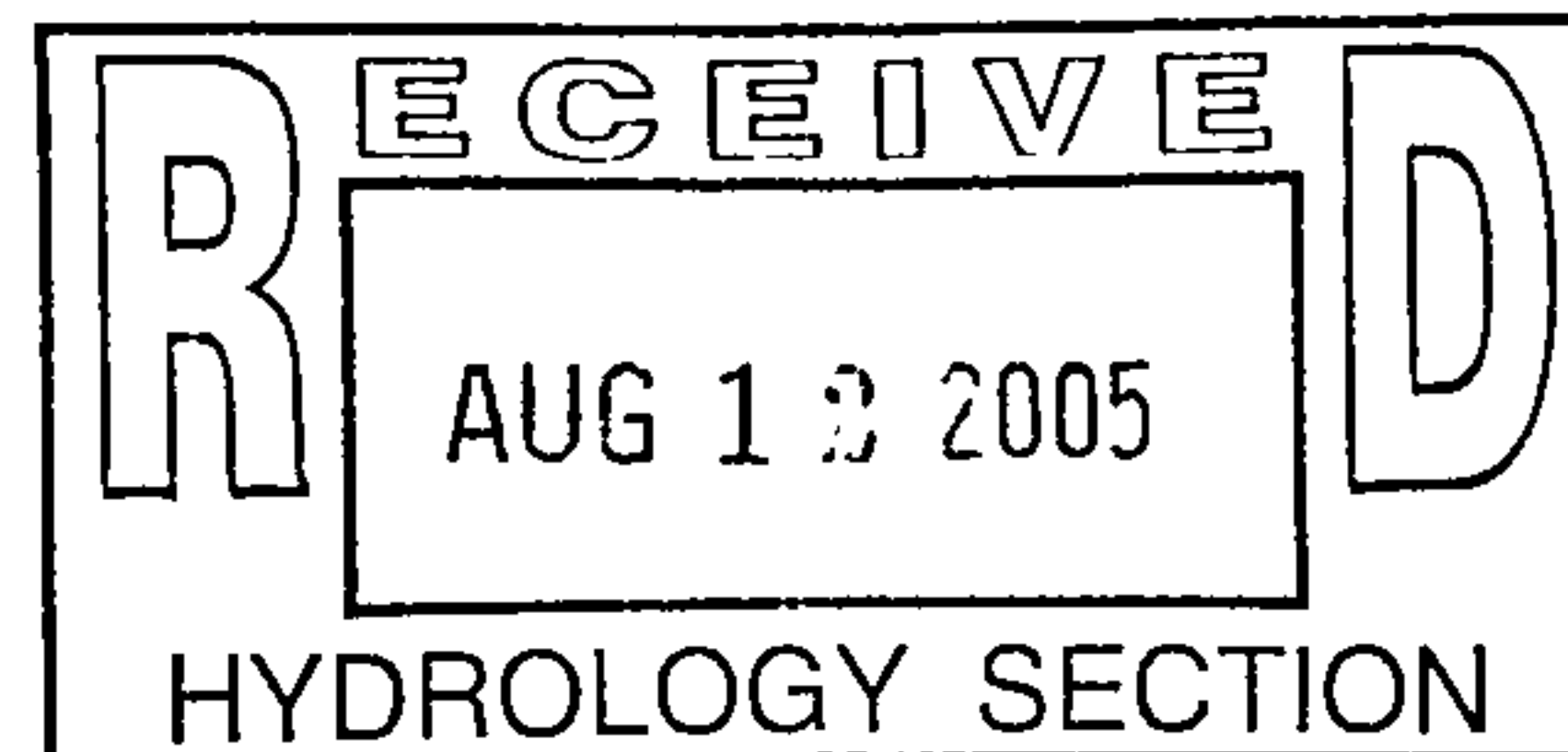
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



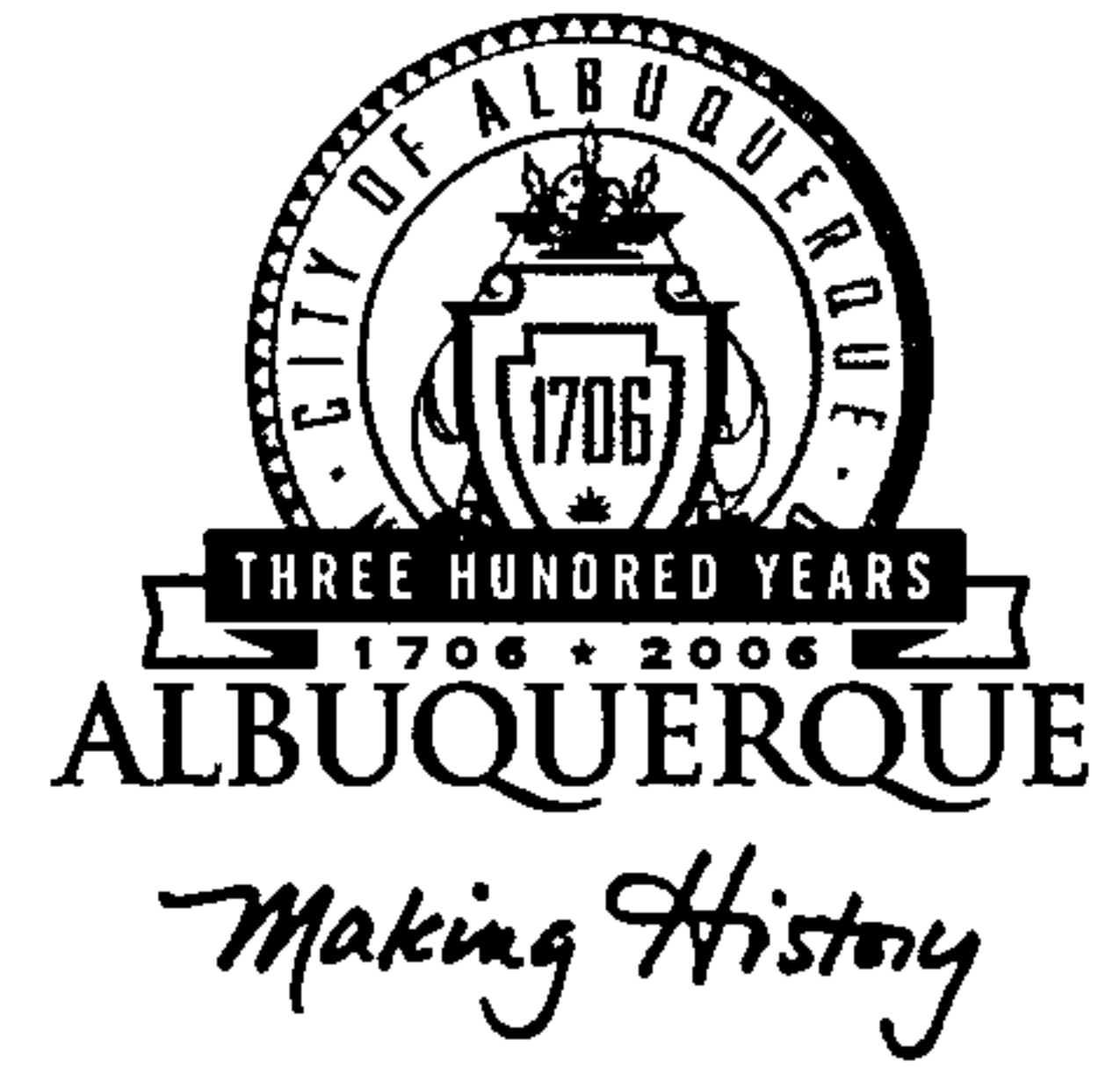
DATE SUBMITTED: AUGUST 12, 2005

BY: STEVE MORROW

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 17, 2004

Dennis Lorenz, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Villas Tuscano Grading and Drainage Plan
Engineer's Stamp dated 8-6-04 (H23/D18)

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 8-10-04, the above referenced plan is approved for Preliminary Plat action by the DRB. It appears that you will not adversely impact the ponding situation in La Villita and anything you do to improve the outlet is a bonus. Once that board approves the plan, please submit a mylar copy for my signature in order to obtain a Rough Grading Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham
Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

*Printed out by
Copy
K. D. King*

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: VILLAS TUSCANO

DRB #: 04DRB-00248

EPC#: 04EPC10018

ZONE MAP/DRG. FILE #: H23-D18

WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 7, LAS VILLITA

CITY ADDRESS: 13200 LA VILLITA ROAD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC

ADDRESS: 2201 SAN PEDRO NE BUILDING 1, SUITE 1200

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: DENNIS LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: TIPTON & ASSOCIATES

ADDRESS: 10901 ACADEMY RIDGE ROAD NE

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GARY TIPTON

PHONE: 228-8836

ZIP CODE: 87111

ARCHITECT: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: HARRIS SURVEYING

ADDRESS: 2412-D MONROE NE

CITY, STATE: ALBQ, NM

CONTACT: T. HARRIS

PHONE: 889-8056

ZIP CODE: 87110

CONTRACTOR: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

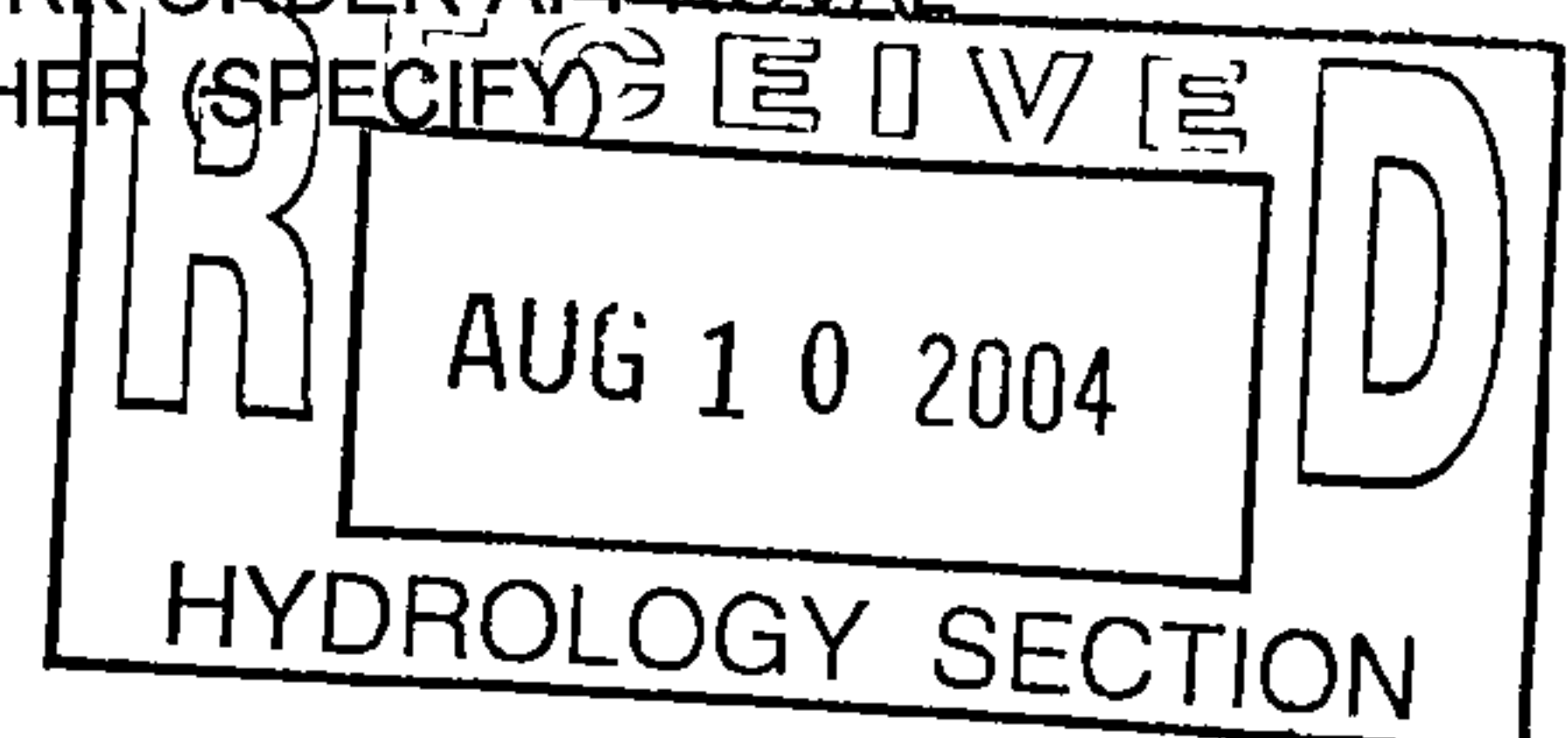
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☒ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) E I V E

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



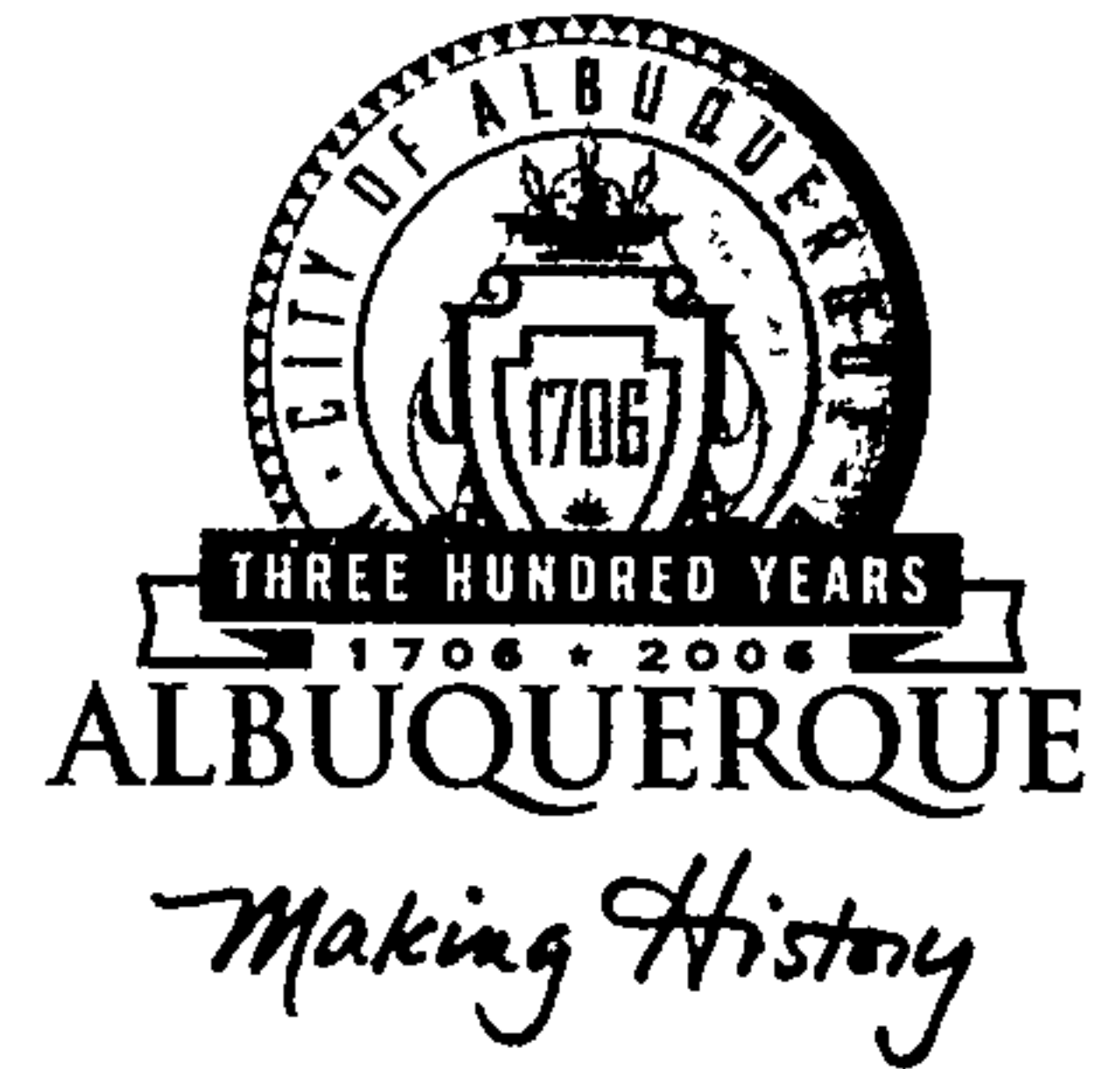
DATE SUBMITTED: AUGUST 10, 2004

BY: DENNIS A. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

CITY OF ALBUQUERQUE



August 18, 2005

Mr. Dennis Lorenz, PE
BRASHER & LORENZ, LLC
2201 San Pedro Dr. NE
Albuquerque, NM 87110

RE: VILLAS TUSCANO SUBDIVISION (H-23/D18)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 09/27/2004
Engineers Certification dated 08/18/2005

Dear Dennis:

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

Based upon the information provided in your Engineer's Certification Submittal dated 08/18/2005, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services

C: Marilyn Maldonado, COA# 748881
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET
(Rev. 06/22/2005)

PROJECT TITLE: VILLAS TUSCANO ZONE MAP/DRG. FILE # H23. D18
DRB#: 04 DPB01239 EPC#: _____ WORK ORDER#: 748881

LEGAL DESCRIPTION: VILLAS TUSCANO
CITY ADDRESS: STRADA TUSCANO NE

ENGINEERING FIRM: BRASHER + LORENZ CONTACT: D. LORENZ
ADDRESS: 2201 SAN PEDRO NE PHONE: 888-6088
CITY, STATE: MTD NM ZIP CODE: 87116

OWNER: GARY TIPTON CONTACT: G. TIPTON
ADDRESS: 8856 DESERT FOX WAY NE PHONE: 238 8836
CITY, STATE: MTD NM ZIP CODE: 87122

ARCHITECT: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

SURVEYOR: NA CONTACT: _____
ADDRESS: _____ PHONE: _____
CITY, STATE: _____ ZIP CODE: _____

CONTRACTOR: HYDRO SYSTEMS CONTACT: M. SMITH
ADDRESS: 3811 ATRISCO NW PHONE: 839-1800
CITY, STATE: MTD NM ZIP CODE: 87120

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1st SUBMITTAL
☐ DRAINAGE PLAN RESUBMITTAL
☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERT (HYDROLOGY)
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT
☐ ENGINEER'S CERT (TCL)
☐ ENGINEER'S CERT (DRB SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA/FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM)
☐ CERTIFICATE OF OCCUPANCY (TEMP)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY) _____

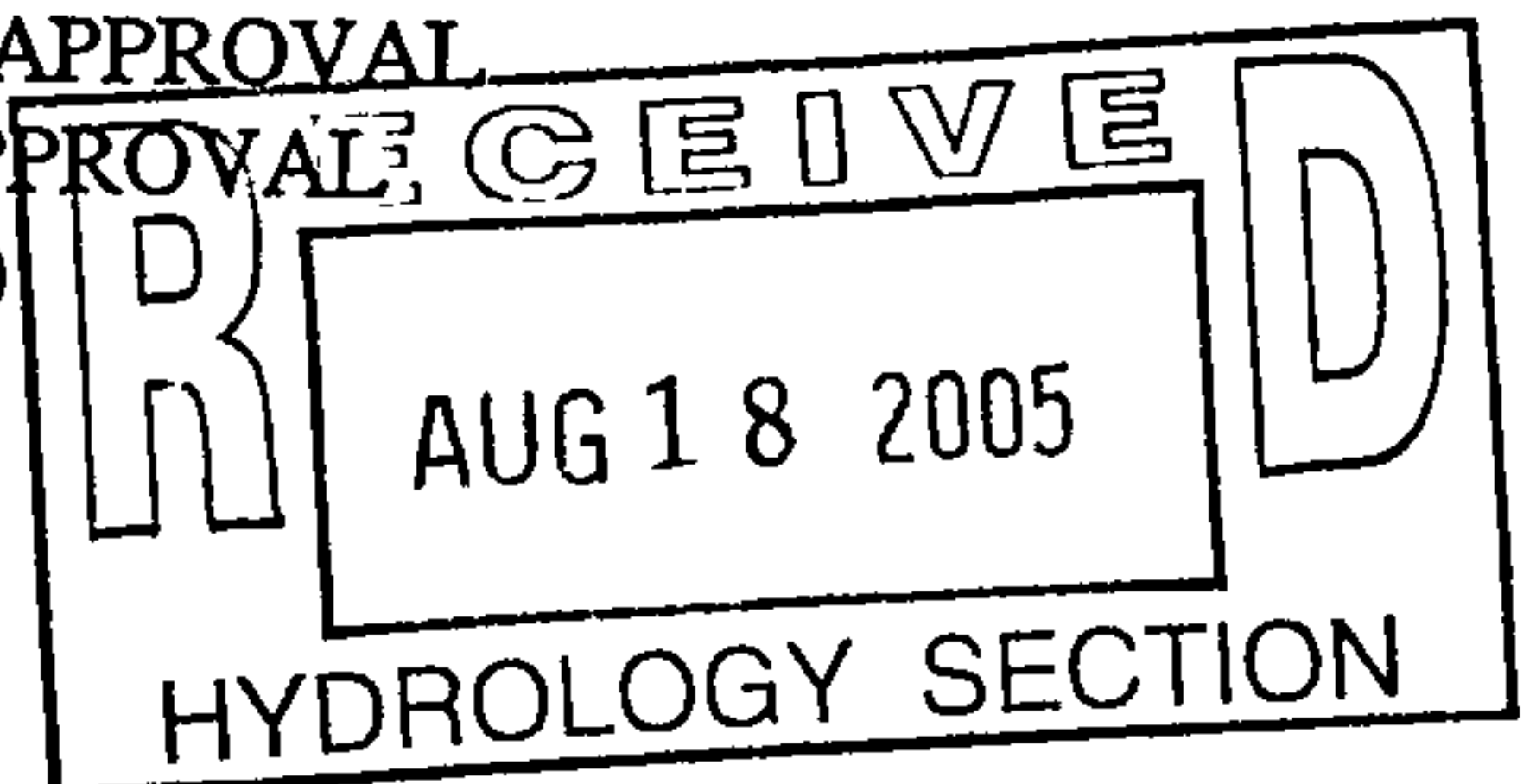
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
☐ NO
☐ COPY PROVIDED

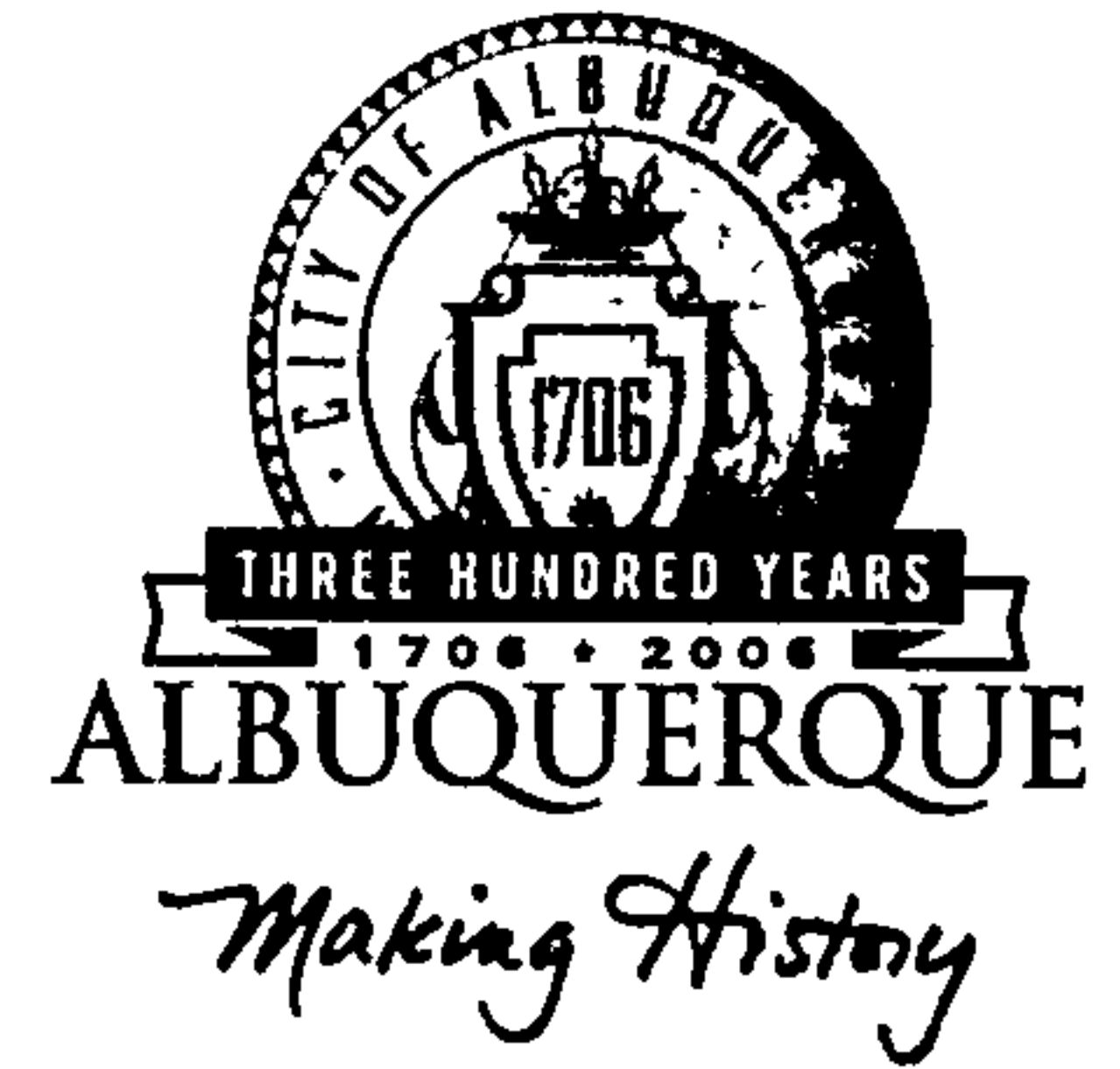
SUBMITTED BY: DENNIS LORENZ DATE: 8.18.05

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



CITY OF ALBUQUERQUE



November 8, 2004

Dennis Lorenz, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

Re: Villas Tuscano Grading and Drainage Plan
Engineer's Stamp dated 9-27-04 (H23/D18)

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 8-10-04, the above referenced plan is approved for Work Order requirements (which including grading). Please include a copy in the DRC set of drawings.

If you have any questions, you can contact me at 924-3986.

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: VILLAS TUSCANO

DRB #: 04DRB-00248

EPC#: 04EPC10018

ZONE MAP/DRG. FILE #: H23-D18

WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 7, LAS VILLITA

CITY ADDRESS: 13200 LA VILLITA ROAD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC

ADDRESS: 2201 SAN PEDRO NE BUILDING 1, SUITE 1200

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: DENNIS LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: TIPTON & ASSOCIATES

ADDRESS: 10901 ACADEMY RIDGE ROAD NE

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GARY TIPTON

PHONE: 228-8836

ZIP CODE: 87111

ARCHITECT: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: HARRIS SURVEYING

ADDRESS: 2412-D MONROE NE

CITY, STATE: ALBQ, NM

CONTACT: T. HARRIS

PHONE: 889-8056

ZIP CODE: 87110

CONTRACTOR: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

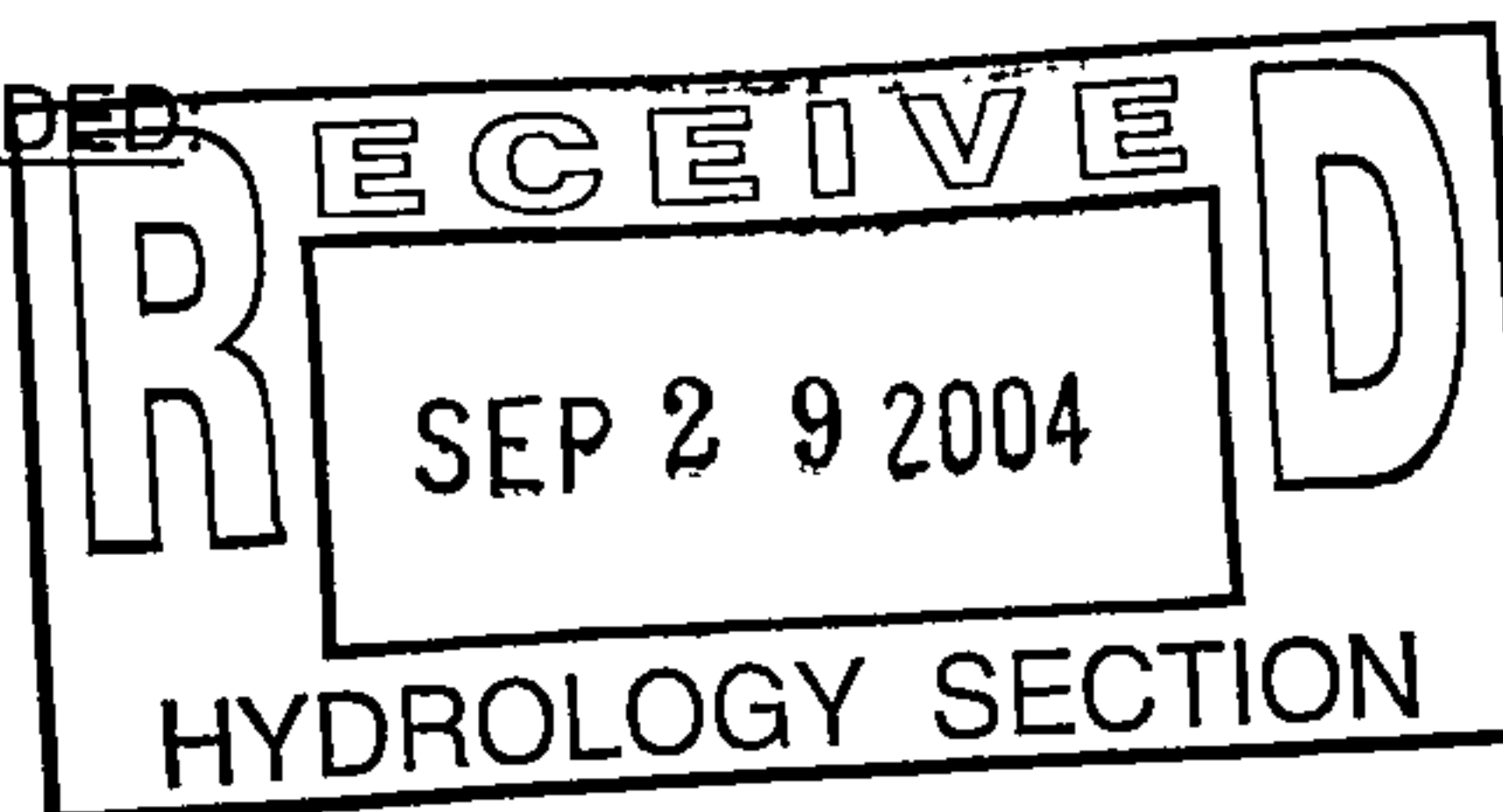
- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☒ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



no fee per KM
PK

DATE SUBMITTED: SEPTEMBER 28, 2004

BY: DENNIS A. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 29, 2004

Dennis Lorenz, PE
Brasher & Lorenz, Inc.
2201 San Pedro NE, Bldg. 1
Albuquerque, NM 87110

**Re: Las Villitas Nuevas Conceptual Grading and Drainage Plan
Engineer's Stamp dated 4-13-04 (H23/D18)**

Dear Mr. Lorenz,

Based upon the information provided in your submittal dated 4-13-04, the above referenced plan is approved for Site Development Plan action by EPC. Prior to DRB approval, please identify and size all infrastructure required for this development. The accompanying easement appears to be adequate and should be recorded prior to DRB approval.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: LAS VILLITAS NUEVAS

DRB #: 04DRB-00248

EPC#: _____

ZONE MAP/DRG. FILE #: H23-D18

WORK ORDER#: _____

LEGAL DESCRIPTION: TRACT 7, LAS VILLITA

CITY ADDRESS: 13200 LA VILLITA ROAD NE

ENGINEERING FIRM: BRASHER & LORENZ, INC

ADDRESS: 2201 SAN PEDRO NE BUILDING 1, SUITE 1200

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: DENNIS LORENZ

PHONE: 888-6088

ZIP CODE: 87110

OWNER: TIPTON & ASSOCIATES

ADDRESS: 10901 ACADEMY RIDGE ROAD NE

CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: GARY TIPTON

PHONE: 228-8836

ZIP CODE: 87111

ARCHITECT: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: NA

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

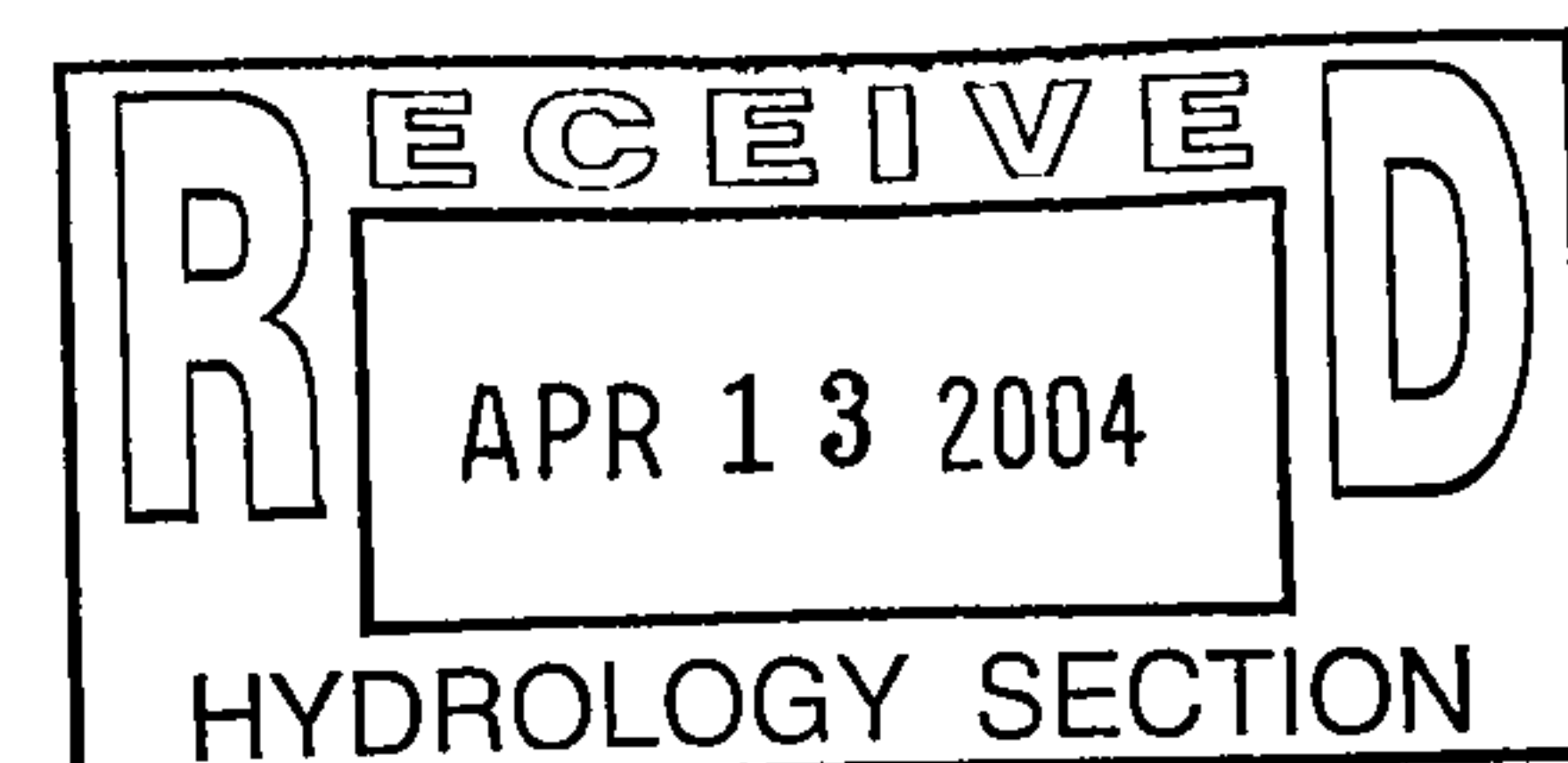
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, *REQUIRES TCL or equal*
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☒ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: APRIL 13, 2004

BY: DENNIS A. LORENZ

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.



BRASHER & LORENZ, INC.
CONSULTING ENGINEERS

2201 San Pedro NE Bldg 1 Suite 1200 • Albuquerque, NM 87110 • Phone (505) 888-6068 • Fax (505) 888-6188 • www.brasherlorenz.com

April 13, 2004

Bradley L. Bingham PE
Hydrology Review Engineer
City of Albuquerque
PO Box 1293
Albuquerque, New Mexico 87102

SUBJECT: Tract 7, La Villita (H23/D18)
13200 La Villita Road NE
Project 1003268
04DRB-00248

Dear Brad:

Submitted herewith for review and approval is one copy of the Conceptual Grading and Drainage Plan and one copy of the downstream Grant of Drainage Easement for the subject project. The Conceptual Plan is prepared to support an SU-1 Site Plan review by EPC. The Plan proposes 8 residential lots on approximately 1.00 acres. All on-site runoff drains to an existing landscaped swale located west of La Villita Road. The swale drains to a public inlet and storm drain. A complete downstream analysis is provided for your review.

As stated above, we are requesting approval of the Conceptual Grading & Drainage Plan to support Site Plan review by EPC. We also are requesting a detailed review of the Drainage Easement as soon as possible. My Client wishes to record the document prior to closing the land transaction.

I will be calling soon to discuss the details of the easement. If you need additional information, or if I can be of any assistance, please feel free to call.

Sincerely,

BRASHER & LORENZ, INC.



Dennis A. Lorenz, PE
Principal

/dl/04506
encl

DRAINAGE EASEMENT

This Drainage Easement ("Easement") is granted as of this ____ day of April, 2004, by the **La Villita Homeowners' Association, a New Mexico non-profit corporation** (the "Association") to **Alex M. Argeanas, a single man** ("Argeanas").

WHEREAS, Argeanas is the owner of the following described property (the "Argeanas Property"):

Tract 7 of the La Villita Planned Urban Development as shown and designated on the plat thereof, filed in the office of the Bernalillo County, New Mexico Clerk in Volume C8, Folio 123;

WHEREAS, the Association is the owner of the following described property (the "Association Property"):

Tract 2A La Villita Planned Urban Development as shown on the plat thereof filed in the Bernalillo County, New Mexico real estate records on June 202, 1972 in Volume D5, Page 28.

and

Tract 2B La Villita Planned Urban Development as shown on the plat thereof filed in the Bernalillo County, New Mexico real estate records on June 13, 1973 in Volume D5, Page 254.

WHEREAS, a private drainage swale and storm water inlet structure have been constructed across the Association Property, which carries storm drainage waters from La Villita Road to a twenty foot (20') public drainage right-of-way located west of the La Villita Property (the "Association Drainage Improvements"), which Association Drainage Improvements are shown on Exhibit "A" attached hereto and incorporated herein;

WHEREAS, Argeanas, or Argeanas' successor owners of the Argeanas Property, intend to develop the Argeanas Property and to construct a storm drainage pipe from the Argeanas Property under La Villita Road to discharge storm drainage waters from the Argeanas Property into the Association Drainage Improvements, as shown on Exhibit "A" attached hereto (the "Argeanas Drainage Improvements");

WHEREAS, the Association has agreed to grant to Argeanas, an easement for the construction of the portion of the Argeanas Drainage Improvements located on the Association Property, and for the passage of storm drainage waters in the Association Drainage Improvements (the "Drainage Easement").

NOW, THEREFORE, for good and valuable consideration the Association grants to Argeanas a perpetual easement for the construction of the Argeanas Drainage Improvements and for the passage of storm drainage waters over and across the

Association Property using the Association Drainage Improvements pursuant to the following terms and conditions:

1. Cost of Construction. The construction of the Argeanas Drainage Improvements shall be at Argeanas' sole cost and expense.

2. Maintenance. The Association shall maintain, at its expense, the Association Drainage Improvements. Argeanas shall maintain, at his expense, the Argeanas Drainage Improvements.

3. Appurtenant. This Easement shall be appurtenant to, run with, and benefit the Argeanas Property and shall run with and burden the La Villita Property.

4. Governing Laws. Except as otherwise specifically provided herein, this Easement shall be governed by, construed and enforced in accordance with the laws of the State of New Mexico.

5. Notices. All notices with respect to this Easement shall be in writing and shall be delivered personally, sent via confirmed facsimile, or sent postage prepaid by United States Mail, certified mail, return receipt requested, to the addresses set forth below or such other addresses as hereafter specified in writing by one party to the other:

Income Property Services Agent for
La Villita Homeowners' Association
Po Box 27099
Albuquerque, New Mexico 87125-7099

Alex M. Argeanas
4607 Huntington NE
Albuquerque, NM 87122

In the event such notice is given or delivered by messenger delivery, the date of actual delivery will fix the time thereof. In the event notice is given or delivered by certified mail, such Notice will be deemed given or delivered five (5) business days after the date on which the sealed envelope containing the Notice is deposited in the United States mail, properly addressed and with proper postage prepaid.

6. Entire Agreement. This Easement contains the entire agreement between the parties hereto and all prior understandings, oral or in writing, by the parties hereto with respect to this agreement. No variations, modifications, supplements, waivers or changes herein or hereof shall be binding upon any party hereto unless set forth in a document duly executed by or on behalf of such party.

7. Severability. If any provision of this Easement or the application thereof to any person or circumstance shall be invalid or unenforceable to any extent, the

remainder of this Easement and the application of such provisions to other persons or circumstance shall not be affected thereby and such provisions shall be enforced to the greatest extent permitted by law.

8. Attorneys' Fees. In the event any action is instituted by any party for the purpose of enforcing or interpreting any provision of this Easement, the prevailing party in such action shall be entitled to its reasonable attorneys' fees and costs.

9. Binding Agreement. This Easement shall inure to the benefit of and be binding upon the undersigned parties and their respective successors and assigns. Whenever in this Easement a reference to any party is made, such reference shall be deemed to include a reference to the successors and permitted assigns of such party.

10. Authority. Each individual signing for each of the parties hereunder, warrants and represents that he/she is an authorized agent of such party, on whose benefit he/she is executing this Easement, and is authorized to execute the same.

11. Further Assurances. Each party agrees to execute such other and further instruments and documents as may be necessary or proper in order to complete the transactions contemplated by this Easement.

12. Counterparts. This Easement may be executed in one or more counterparts, each of which shall be deemed an original, and said counterparts shall constitute but one and the same instrument which may sufficiently be evidenced by one counterpart.

La Villita Homeowners' Association, a
New Mexico non-profit corporation

By: _____
Its: _____

ACKNOWLEDGMENT

STATE OF NEW MEXICO)
)ss.
COUNTY OF BERNALILLO)

This instrument was acknowledged before me on the ____ day of _____, 2004, by _____ of La Villita Homeowners' Association, a New Mexico non-profit corporation.

Notary Public

My Commission Expires: _____

Alex M. Argeanas

ACKNOWLEDGMENT

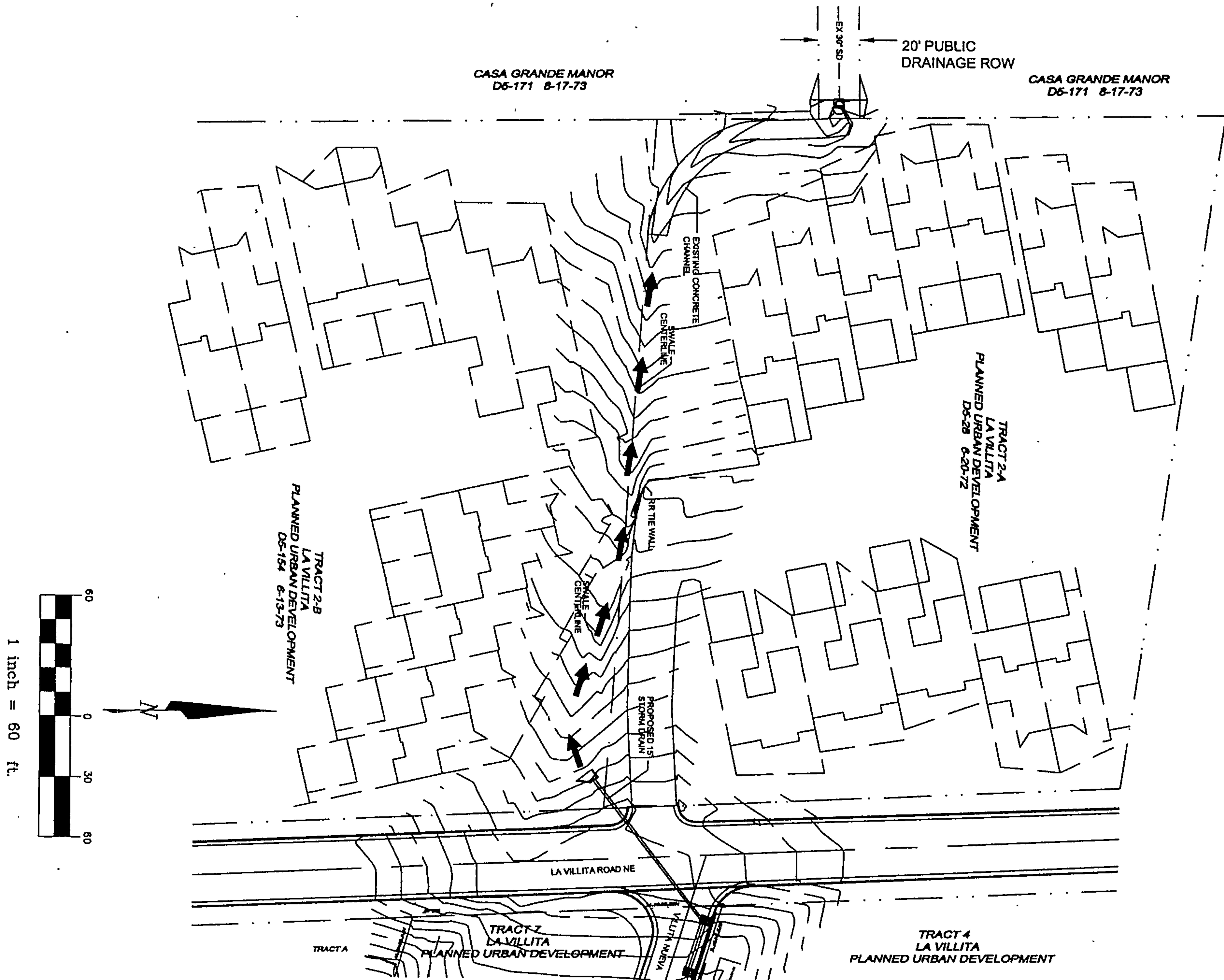
STATE OF NEW MEXICO)
)ss.
COUNTY OF BERNALILLO)

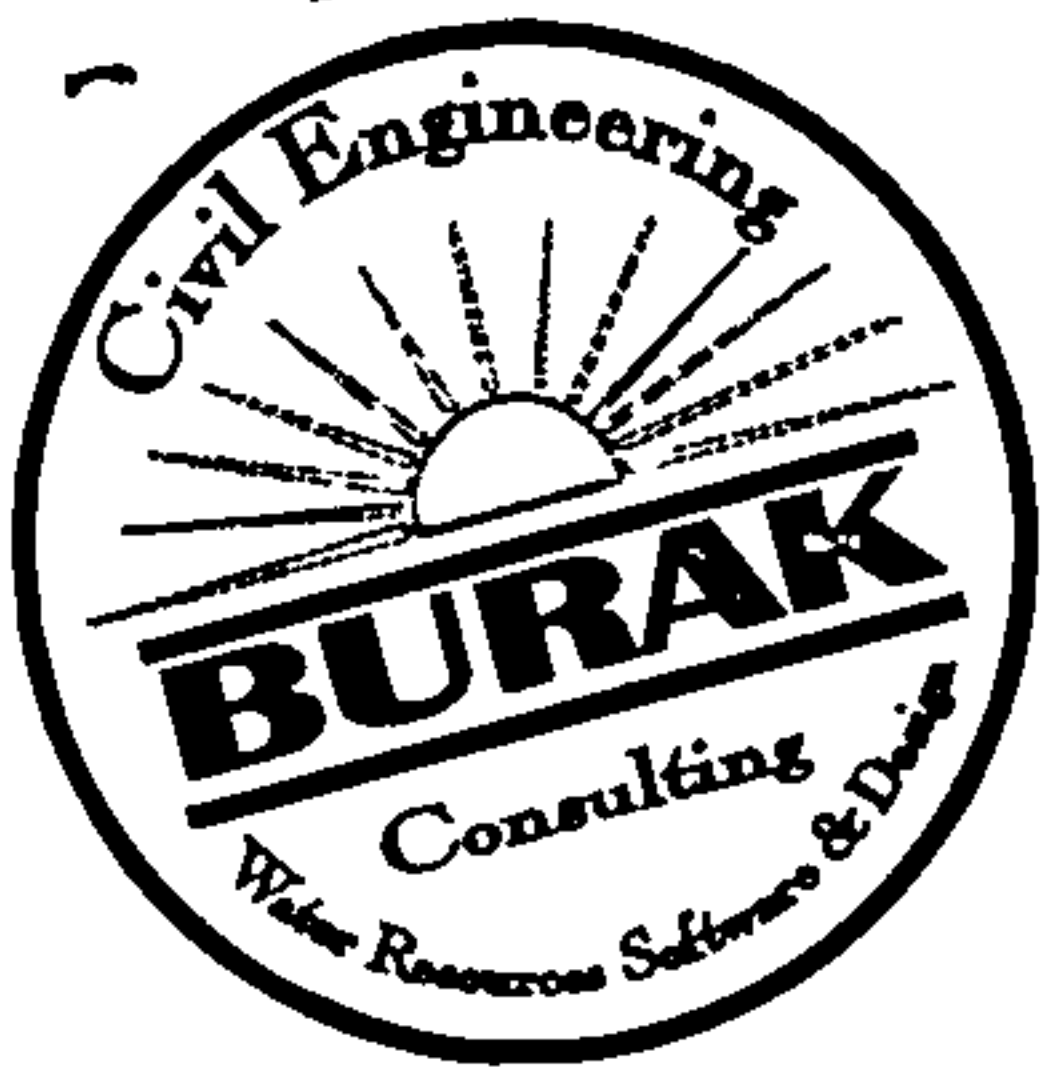
This instrument was acknowledged before me on the ____ day of _____, 2004, by Alex M. Argeanas.

Notary Public

My Commission Expires: _____

EXHIBIT 'A'





Mark H. Burak, P.E.

1512 Sagebrush Trail SE Albuquerque, NM 87123

(505) 296-0461

235-2256 cell

296-0467 fax

August 16, 1999

Fred J. Aguirre, P.E., City Engineer
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

- **Case No:** H23 / D018
- **Submittal dated:** July 29, 1999
- **Engineer:** Paul Brasher, P.E.
- **Firm:** Brasher & Lorenz, Inc
- **Project Title:** La Villita Tract 7
- **Location:** La Villita Rd south of Candelaria east of Tramway
- **Approval Type:** site development plan for subdivision approval

- **Note:** *This submittal concerns the development of a seven lot subdivision on a one acre site.*

Dear Mr. Aguirre:

Based on BLI's submittal dated July 29, 1999, the proposed drainage plan can not be approved for site development plan for subdivision approval at this time.

The following clarifications are requested for subsequent submittals:

- The proposed conditions show 55% type D land treatment. The DPM 22.2 states that subdivisions with a density of 7 du per acre will require at least 70% type D treatment.
 - A drainage basin map showing the drainage areas impacting the downstream facilities must be included in the plan and in the calculations if these downstream facilities are to be utilized by the proposed improvements.
 - Free discharge into public facilities can be allowed only if there exists adequate downstream capacity. As stated under "Existing Conditions", the 24-inch rcp storm drain pipe will only carry 70% of the developed runoff peak rate. Adequate capacity must exist from one end of the project to the outfall point. Please address.
 - What is the capacity of the street in front of the subdivision. Flow depth and velocity is required input for drop inlet capacity. What is the name of this street?
 - The proposed street cul-de-sac needs to have a minimum 35-foot radius to the face of the curbs. Also, the curbs must be roll-over type.
 - The proposed storm drainage pipe network must show HGL calculations. Minimum storm drainage pipe size is 18-inches in diameter. Is La Villita Road public or private? How is this storm drain intended to remain private?
-

Fred J. Aguirre
August 16, 1999

Page 2

- What type of catch basins are proposed? The Blow-Up Detail seems to show a Type C and the notes call out a Type A? Please include capacity calculations for drop inlets on grade.
- Are retaining walls proposed for the south property line? If so, a detail is required on the plan and top of wall elevations should be indicated. Also, is a retaining wall proposed for the property line north of the proposed roadway?

If you have any questions regarding this letter or need any clarification concerning the above project, please feel free to call me at 296-0461.

Sincerely,

A handwritten signature in black ink, reading "Mark Burak". The signature is written in a cursive, flowing style.

Mark H. Burak, P.E.

MYERS, OLIVER & PRICE, P.C.
1401 Central Ave. NW
Albuquerque, New Mexico 87104
(505) 247-9080
e-mail: jmyers@moplav.com

TELECOPY COVER SHEET

DATE SENT: September 10, 1999

TO: Fred Aguirre, City Engineer TELECOPIER NUMBER: 924-3864

FROM: John A. Myers

TELECOPY NO: (505) 247-9109 CLIENT/MATTER NO.

ENCLOSURE: Letter to Janet Stephens of this date re Lot 7,
La Villita

TOTAL NUMBER OF PAGES SENT INCLUDING COVER SHEET: 3

COMMENTS:

NOTICE OF CONFIDENTIALITY

This facsimile transmission and any documents or other instruments accompanying it may contain confidential information belonging to Myers, Oliver & Price, or any of its clients, all of which are protected by the attorney-client privilege. The information is intended only for the use of the individual or entity named above. If you have inadvertently received this transmission in error, or otherwise, and are not the intended recipient, please take notice that any disclosure, copying, distributing, communicating or other action on your part in reliance upon, or otherwise involving any party of this transmission, is strictly prohibited. If you have received this transmission in error, please immediately notify Myers, Oliver & Price by telephone to arrange for the return of all documents and other instruments accompanying this transmission.

H23/D18

MYERS, OLIVER & PRICE, P.C.

LAWYERS
1401 CENTRAL AVENUE, N.W.
ALBUQUERQUE, NEW MEXICO 87104

JOHN A. MYERS
SCOTT OLIVER*
CHARLES P. PRICE III

TELEPHONE
(505)247-9080

KEVIN J. McCREADY
HOPE MEAD WYNN

FACSIMILE
(505)247-9109

*ALSO LICENSED IN TEXAS

e-mail: jmyers@moplaw.com

September 10, 1999

VIA FACSIMILE: 924-3339

Ms. Janet Stevens
Chair, Development Review Board
City of Albuquerque Planning Department
Albuquerque, New Mexico

Re: DRB-99-233/Lot 7, La Villita

Dear Janet: .

This office represents the Executive Ridge Homeowners Association, an association of homeowners within the Executive Ridge Subdivision located immediately south of Lot 7, La Villita.

The Executive Ridge homeowners are concerned about the manner in which Lot 7 will be developed. Two of their principal concerns are the manner in which storm drainage waters are handled, as Lot 7 presently accepts storm drainage waters from the Executive Ridge project, and the concern about an extreme grade change between the Executive Ridge Development and Lot 7.

We are aware that a sketch plat for Lot 7 was submitted for review and comment by the DRB. It is our understanding that Lot 7 is zoned SU-1. As you are aware, Section 14-14-2-2(B)(2) of the Subdivision Ordinance requires that if a site development plan is required pursuant to the zoning of the property, then the site development plan must be approved prior to platting. Section 14-16-2-22(A)(1) of the Zoning Code provides that "A development within the SU-1 zone may only occur in conformance with an approved site development plan." It is our understanding that there is not an approved site development plan for this property, and therefore, an EPC approval of a site plan will be required prior to platting. If we are incorrect, please advise us.

With respect to our concern regarding the grade difference between the two subdivisions, as you are aware, the Subdivision Ordinance discourages severe grade

Ms. Janet Stephens
Page two
September 10, 1999


changes. Section 14-14-2-4(E) of the Subdivision Ordinance provides, in part, that "Grades set for new subdivisions must blend the plat's development into the adjacent environment with a minimum of certain grade change." We trust that the DRB will adhere to this policy when reviewing the grading plan for Lot 7.

We are optimistic that we will be able to work with the owner of Lot 7 to arrive at a development which will adequately address the Association's concerns. However, we wish to have the DRB alerted to our concerns as early as possible.

Thank you for your attention:

Sincerely,

MYERS, OLIVER & PRICE, P.C.



JOHN A. MYERS

JAM:eh

ccs: Richard Dineen, Planning Manager (via facsimile)
Bob Paulsen, Sr. Planner, EPC (via facsimile)
Mr. Alex Argeanas
Ms. Kathy Vincent, Executive Ridge Homeowners Assn. (via facsimile)
Fred Aguirre, City Engineer (via facsimile)

H:\Executive Ridge HAWAM\Letters\Letter to Janet Stephens.wpd

DRAINAGE INFORMATION SHEET

PROJECT TITLE: LA VILLITA TRACT 7 ZONE ATLAS/DRNG. FILE #: H-23/D018
DRB #: _____ EPC #: _____ WORK ORDER #: _____
LEGAL DESCRIPTION: TRACT 7 LA VILLITA
CITY ADDRESS: LA VILLITA RD ; SOUTH OF CANDELARIA
ENGINEERING FIRM: BRASHER & LORENZ, INC. CONTACT: PAUL BRASHER
ADDRESS: 2201 SAN PEDRO BLVD NE STE 210 PHONE: 888-6088 888-6188 (FAX)
OWNER: ALEX ARGEANAS CONTACT: _____
ADDRESS: 1547 LIBIA NE PHONE: 298-1809
ARCHITECT: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____
SURVEYOR: SURV-TEK CONTACT: R. HUGG
ADDRESS: 5643 PARADISE NW PHONE: 897-3366
CONTRACTOR: _____ CONTACT: _____
ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

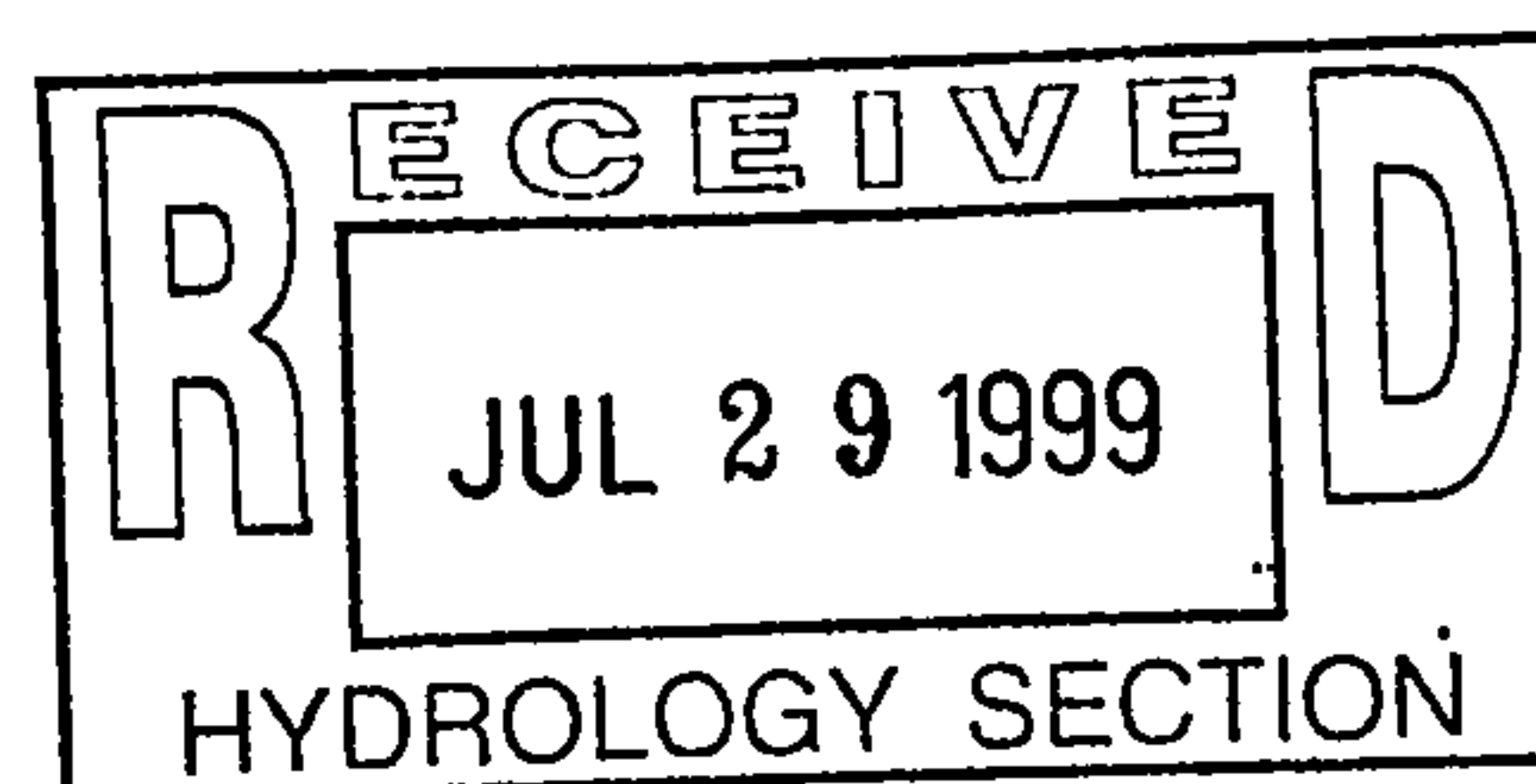
☐ DRAINAGE REPORT
☒ DRAINAGE PLAN
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☐ OTHER: _____

PRE-DESIGN MEETING:

☒ YES
☐ NO
☐ COPY PROVIDED

CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☒ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY APPROVAL
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☐ DRAINAGE REQUIREMENTS
☐ OTHER _____ (SPECIFY)

DATE SUBMITTED: 7.29.99BY: Paul Brasher
PAUL BRASHER



City of Albuquerque

September 8, 1999

Paul T. Brasher, P.E.
Brasher & Lorenz, Inc.
2201 San Pedro Blvd. NE, Suite 210
Albuquerque, New Mexico

RE: Grading and Drainage Plan for La Villita Tract 7, (H23/D18) Submitted for Site Development Plan for Subdivision Approval, Engineer's Stamp Dated 7/29/99.

Dear Mr. Brasher:

Prior to Site Development Plan approval for the above referenced subdivision, the following comments must be addressed:

1. The plan is not clear regarding the downstream drainage system. Please provide a layout of the system, identifying all existing and/or proposed drainage easements and rights-of-way. Address maintenance of the existing "sodded swale." Provide a map of the off-site drainage basins that contribute to this system. The plan states that there is a downstream capacity problem, therefore, the allowable discharge from each basin must be determined. Is detention ponding required on your site?
2. The plan must address La Villita Road. Is this public right-of-way? Provide the drainage basin for this road and address runoff capacity for this street. Are additional inlets needed to intercept the runoff within the existing "dip" in this road?
3. The plan states that no off-site flows enter the site, however, the plan does not provide enough elevations adjacent to the site to verify this. Please identify all existing retaining walls, with elevations, in the vicinity of the site.
4. Mark Burak reviewed the above referenced plan under contract with the City. Attached are his comments, which must also be addressed.

If you have any questions regarding these comments, please call me at 924-3982.

Sincerely,

Susan M. Calongne, P.E.
City/County Floodplain Administrator

C: File