

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

January 22, 2026

Joshua Lutz, P.E.
Bohannon Huston, Inc.
7500 Jefferson St. NE
Albuquerque, NM 87109

**RE: High Mesa Trail Phase 2 Subdivision
Arroyo Vista Blvd
Grading & Drainage Plan
Engineer's Stamp Date: 12/19/25
Hydrology File: J07D002
Case # HYDR-2025-00265**

Dear Mr. Lutz:

Based upon the information provided in your submittal received 01/14/2026, the Grading & Drainage Plan is approved for Grading Permit and Work Order. Please attach a copy of this approved plan in the construction sets for Grading Permit / Work Order Permit processing along with a copy of this letter.

PO Box 1293

PRIOR TO BUILDING PERMIT:

Albuquerque

1. An Engineer's Certification of the compacted pad and grading (Pad Certification), per the DPM Chapter 22.7: *Engineer's Certification Checklist for Non-Subdivision*, is required prior to issuing Building Permit.

NM 87103

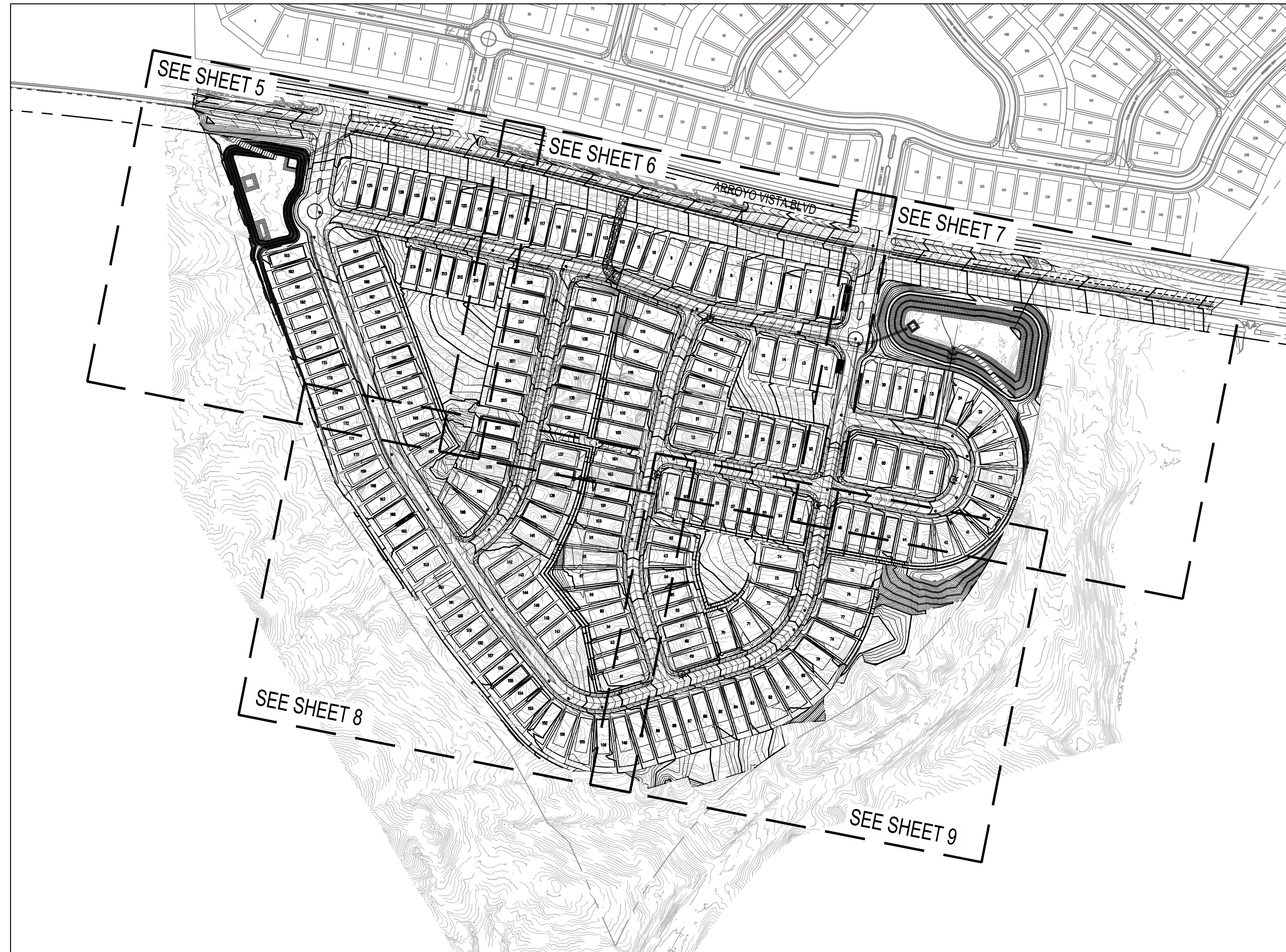
As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Dough Hughes, PE, jhughes@cabq.gov, 505-924-3420) 14 days prior to any earth disturbance.

www.cabq.gov

If you have any questions, please contact me at 505-924-3314 or amontoya@cabq.gov.

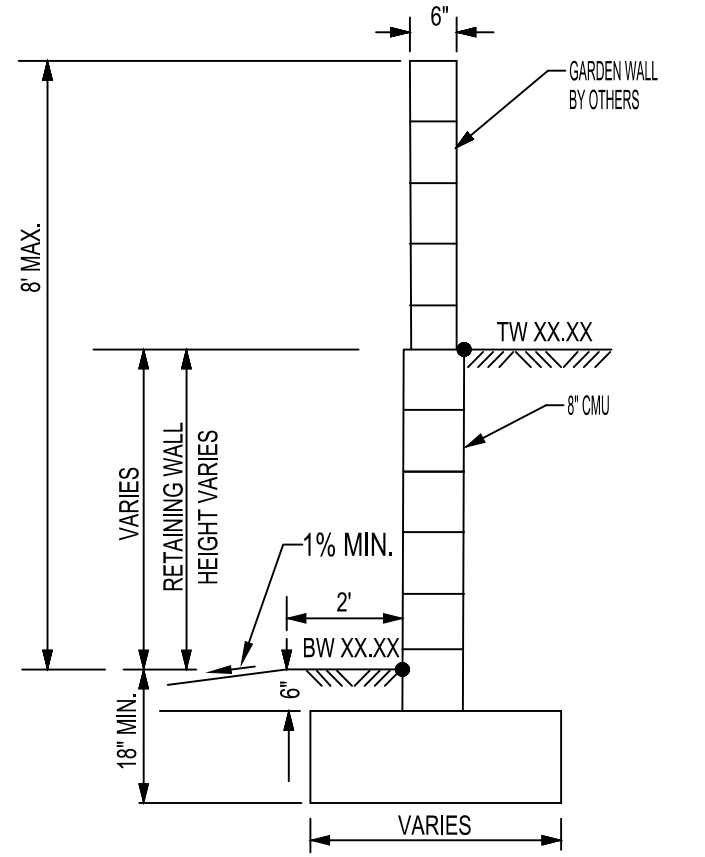
Sincerely,

Anthony Montoya, Jr., P.E., CFM
Senior Engineer, Hydrology
Planning Department, Development Review Services



LEGEND

PROPOSED SPOT ELEVATION	● 5235.25
EXISTING SPOT ELEVATION	● EX 5235.25
PROPOSED CONTOUR	— 5025
EXISTING STORM DRAIN LINE	---
PROPOSED STORM DRAIN INLET	⊕
PROPOSED STORM DRAIN LINE	====
PROPOSED STORM DRAIN MANHOLE	⊙
PERIMETER WALL	— · — · — ·
RETAINING WALL	— — — — —
GARDEN WALL	— · — · — ·
PAD	10 P=5300.00
TURNED BLOCK	TB
STREET SLOPE	XX
DIRECTION OF FLOW	→

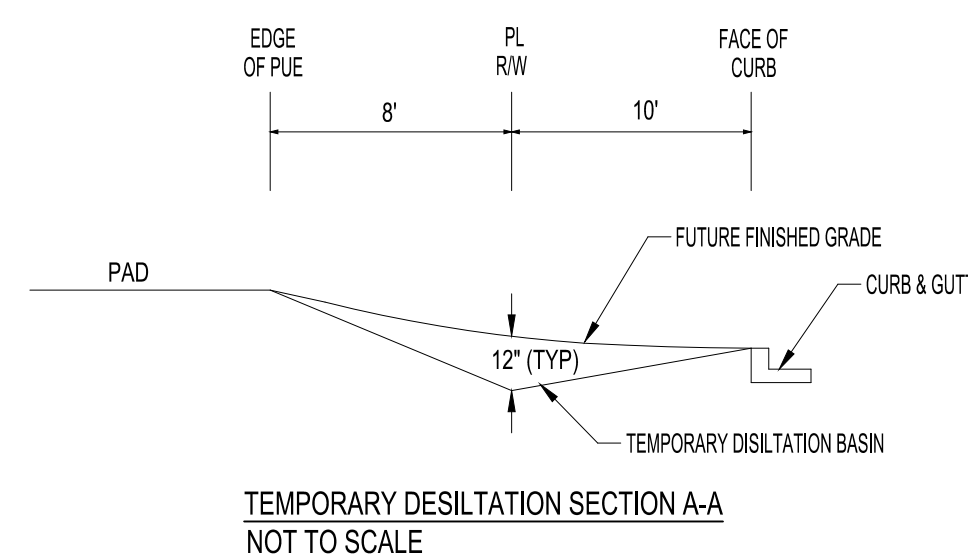
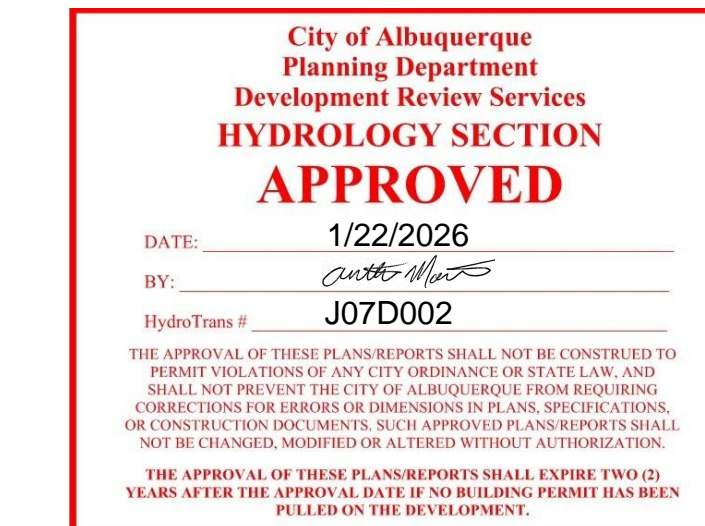


TW=FINISHED GRADE ELEVATION AT TOP OF RETAINING WALL
 BW=FINISHED GRADE ELEVATION AT BOTTOM OF RETAINING WALL

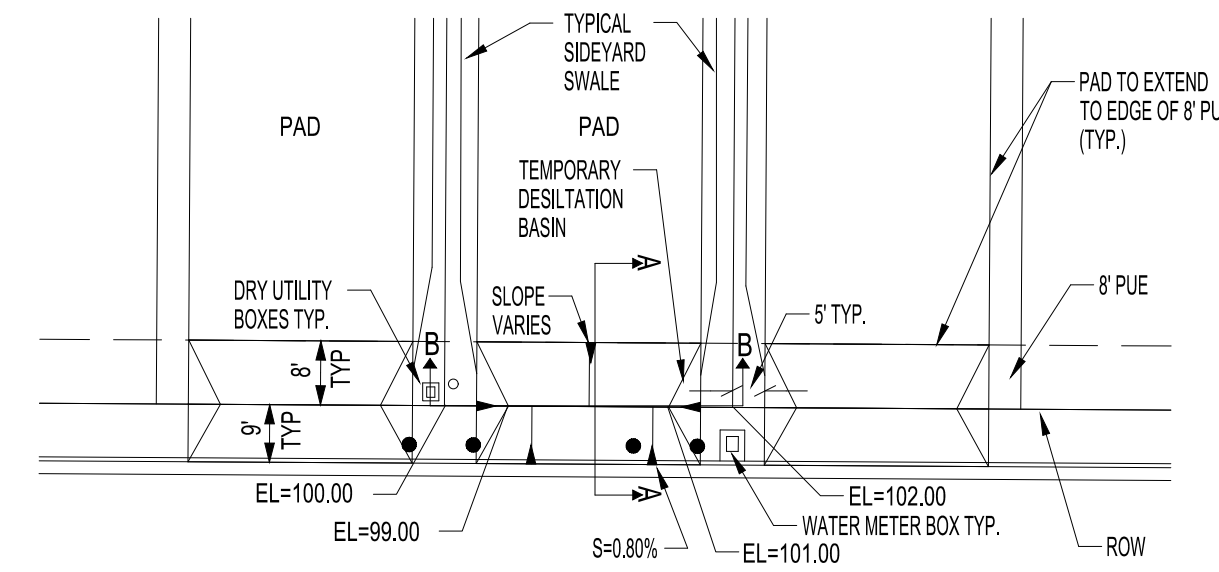
TYPICAL RETAINING WALL NOMENCLATURE
 NOT TO SCALE

(RETAINING HEIGHT IS TAKEN TO BE DIFFERENCE IN FINISHED GRADES ON LEFT AND RIGHT SIDE OF WALL.)

HEIGHT IS IN ACCORDANCE WITH CITY COMPREHENSIVE ZONING CODE, SECTION 14-16-3-19, GENERAL HEIGHT AND DESIGN REGULATIONS FOR WALLS, FENCES, AND RETAINING WALLS.

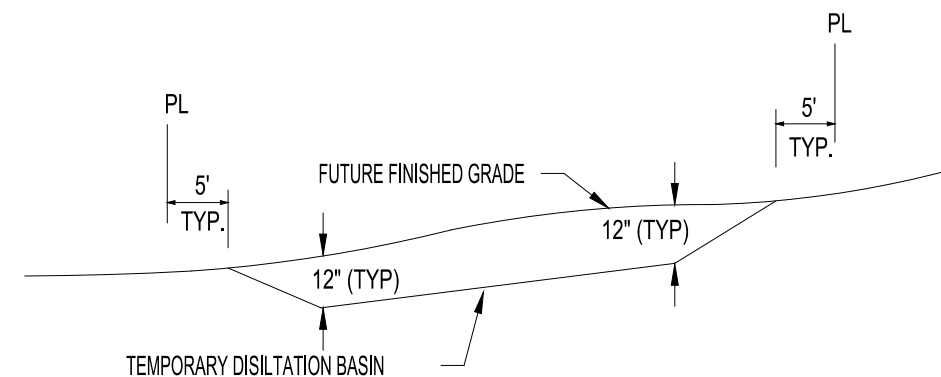


TEMPORARY DESILTATION SECTION A-A
 NOT TO SCALE



TEMPORARY DESILTATION BASIN
 NOT TO SCALE

** BOTTOM OF BASIN IS 1' BELOW PROPERTY LINE ELEVATION SEE GRADING PLANS FOR EXACT ELEVATIONS



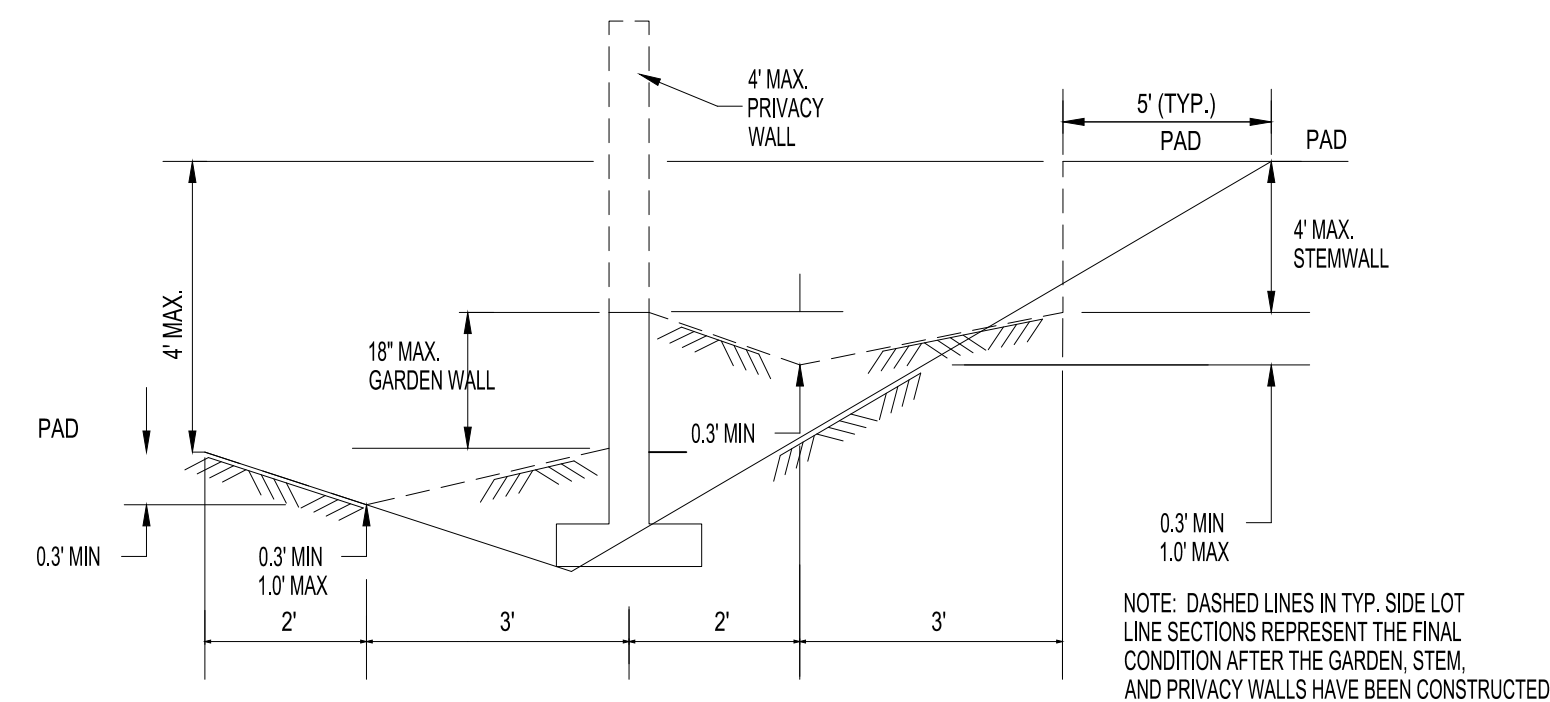
TEMPORARY DESILTATION SECTION B-B
 NOT TO SCALE

GENERAL NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT, WHERE APPLICABLE, BERNALILLO COUNTY PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E. BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC CONTROL AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE CITY OF ALBUQUERQUE, TRAFFIC ENGINEERING DEPARTMENT, PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES REQUIREMENTS.

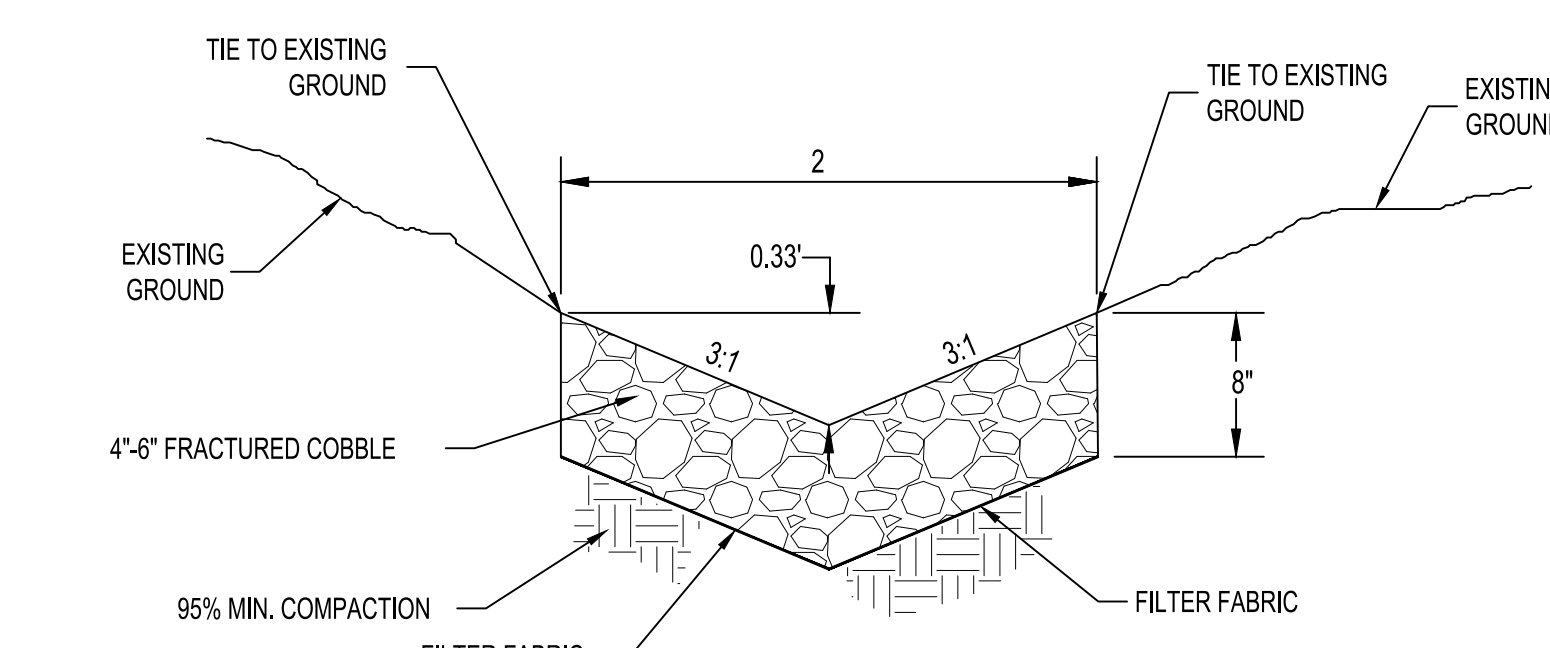
GRADING NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- CONTRACTOR SHALL OBTAIN AND ABIDE BY A TOPSOIL DISTURBANCE PERMIT FROM THE CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DIVISION, PRIOR TO CONSTRUCTION. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST. THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST CONTROL MEASURES AND REQUIREMENTS AND WILL BE RESPONSIBLE FOR PREPARING AND OBTAINING ALL NECESSARY APPLICATIONS AND APPROVALS.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SOILS REPORT. ALL OTHER WORK, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS (FIRST PRIORITY), AND/OR THE BERNALILLO COUNTY STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
- TWO WORKING DAYS PRIOR TO EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO GRADING, ALL VEGETATION DEBRIS, AND NEAR SURFACE ORGANICALLY CONTAMINATED SOIL SHALL BE STRIPPED FROM ALL AREAS TO BE GRADED. VEGETATION AND DEBRIS SHALL BE DISPOSED OF OFF-SITE OR STOCK-PILED FOR USE IN PLANTERS AND NON-STRUCTURAL FILLS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY, THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERMS AT THE PROPERTY LINES WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
- A DISPOSAL SITE FOR ALL EXCESS EXCAVATION AND UNSUITABLE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL SITE AND HAUL THERE TO SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT, AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
- PAVING AND ROADWAY GRADES SHALL BE +1.0' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +1.00' FROM BUILDING PLAN ELEVATIONS.
- ALL SPOT ELEVATIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED. VALLEY GUTTER ELEVATIONS ARE SHOWN AT FLOWLINE ELEVATION.
- GRADING SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.

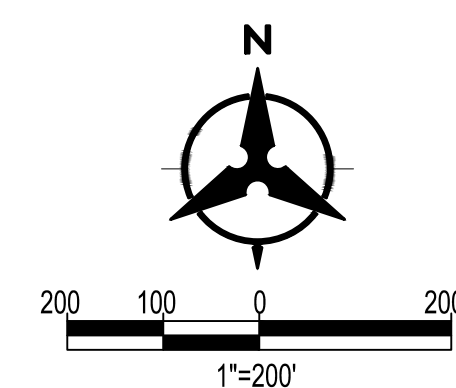



TYPICAL SIDE LOT LINE SECTION
 NOT TO SCALE

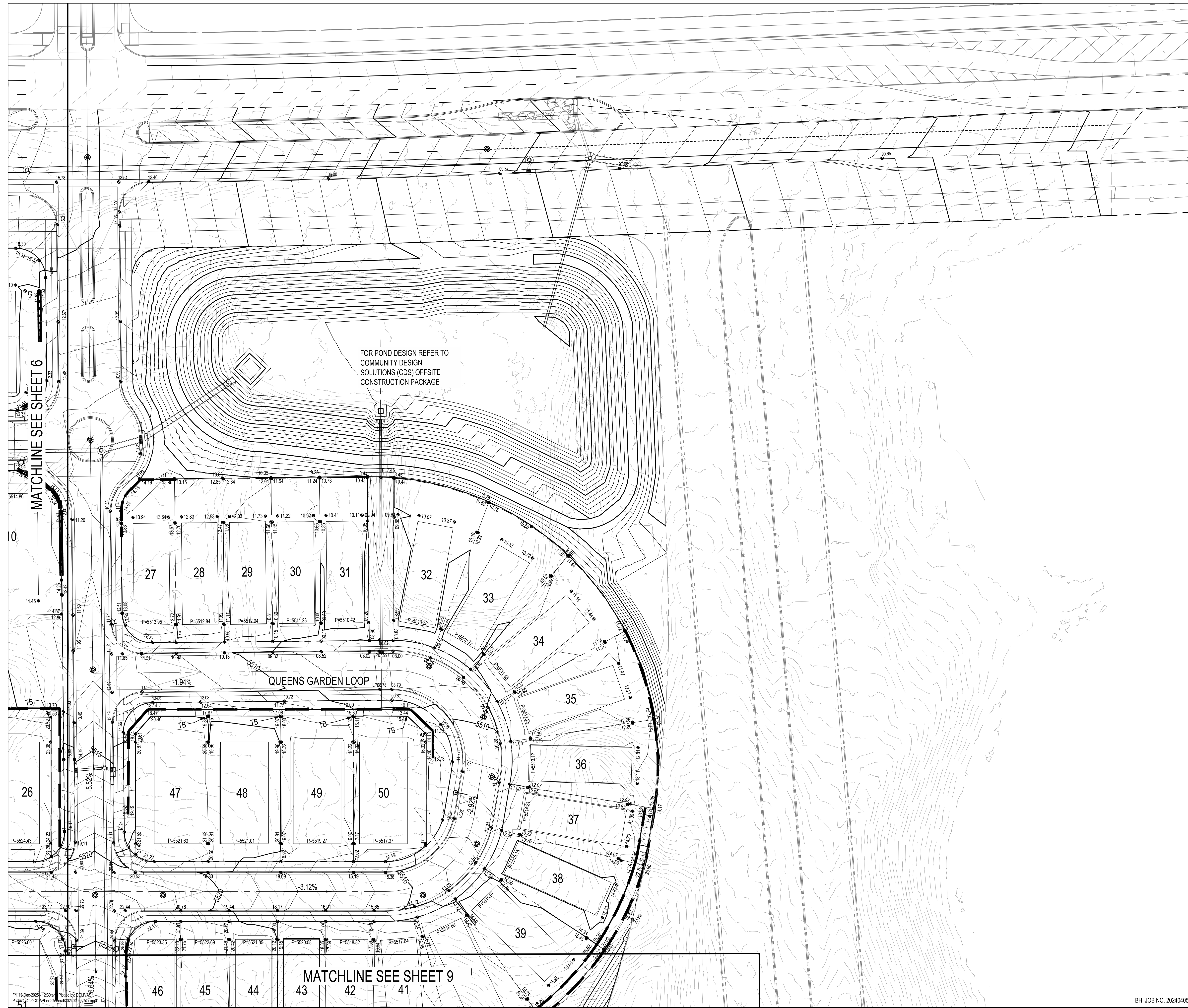
NOTE: DASHED LINES IN TYP. SIDE LOT LINE SECTIONS REPRESENT THE FINAL CONDITION AFTER THE GARDEN, STEM, AND PRIVACY WALLS HAVE BEEN CONSTRUCTED. THE INTERIM CONDITION, WHICH IS TO BE CONSTRUCTED BY THE GRADING CONTRACTOR AND CERTIFIED BY THE ENGINEER, IS REPRESENTED BY THE SOLID LINES. RETAINING WALLS WILL BE CONSTRUCTED PRIOR TO GRADING CERTIFICATION.



TURN BLOCK COBBLE SWALE
 NOT TO SCALE



 BERNALILLO COUNTY PUBLIC WORKS DIVISION TECHNICAL SERVICES DEPARTMENT	
HIGH MESA TRAIL PHASE 2 SUBDIVISION OVERALL GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
MO./DAY/YR. MO./DAY/YR.	
LAST DESIGN UPDATE	
CITY PROJECT NO.	ZONE MAP NO.
PWDN2025-0110	J-7-Z
SHEET	OF
1	20
DESIGNED BY	CHECKED BY
JL	JL
DATE	DATE
XXXXXXXX	XXXXXXXX
DATE	DATE
XXXXXXXX	XXXXXXXX
DRAWN BY	DO
BHI JOB NO. 20240405	



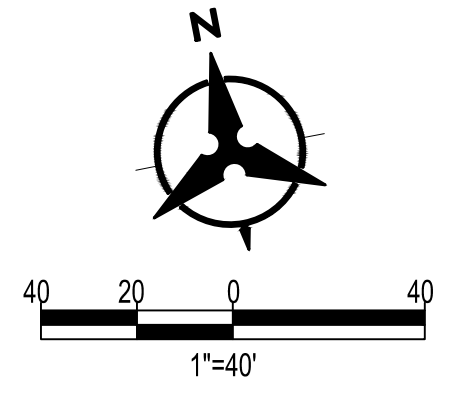
LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR — 5025
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN MANHOLE
- PERIMETER WALL
- RETAINING WALL
- GARDEN WALL
- PAD
- TURNED BLOCK
- STREET SLOPE
- DIRECTION OF FLOW

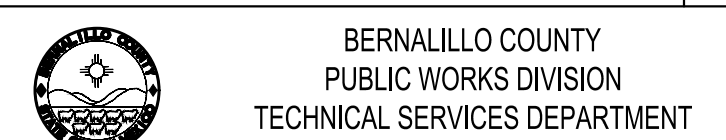
City of Albuquerque
Planning Department
Development Review Services
HYDROLOGY SECTION
APPROVED

DATE: 1/22/2026
BY: *Justin M. [Signature]*
HydroTeam #: J07D002

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT VIOLATIONS OF ANY CITY ORDINANCE OR STATE LAW, AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUESTING CORRECTIONS FOR ERRORS OR DIMENSIONS IN PLANS, SPECIFICATIONS, OR CONSTRUCTION DOCUMENTS. SUCH APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION. THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED ON THE DEVELOPMENT.



Bohannon & Huston
www.bhinc.com 800.877.5332



HIGH MESA TRAIL PHASE 1 SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO./DAY/YR.	MO./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT NO. PWDN2025-0110	ZONE MAP NO. J-7-Z	SHEET 7 OF	20

AS-BUILT INFORMATION		SURVEY INFORMATION		ENGINEER'S SEAL	
CONTRACTOR	DATE	ALBUQUERQUE GEODETIC REFERENCE	FIELD NOTES		NO. DATE BY
WORK STARTED BY	DATE	STATION "JAS 1985"	NO. BY DATE		
ACCEPTANCE BY	DATE	GEOGRAPHIC POSITION (NAD 1983)		REMARKS REVISIONS DESIGN	NO. DATE DESIGNED BY: JL CHECKED BY: JL DRAWN BY: DO
FIELD DRAWING BY	DATE	NM STATE PLANE COORDINATES			
DATE	DATE	(CENTRAL ZONE US SURVEY FOOT)			
DATE	DATE	N=1486,326.144 E=1473,343.688			
		GROUND-TD-GRID FACTOR = 0.99999205			
		DELTA ALPHA = -0° 19' 15.59"			
		NAVD 1988 ELEVATION= 5807.121			

File: 19-Dec-2025 12:30:00 Plot by: J07D002
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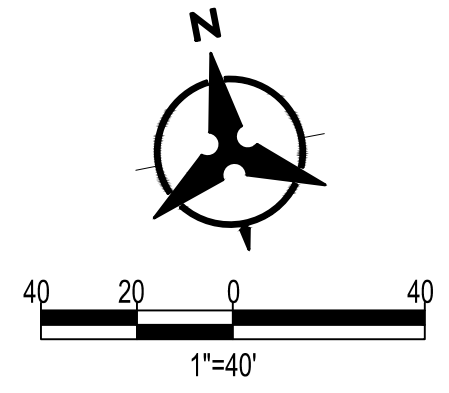
LEGEND

- PROPOSED SPOT ELEVATION: ● 5235.25
- EXISTING SPOT ELEVATION: ● EX 5235.25
- PROPOSED CONTOUR: — 5225 —
- EXISTING STORM DRAIN LINE: - - - - -
- PROPOSED STORM DRAIN INLET: [Symbol]
- PROPOSED STORM DRAIN LINE: [Symbol]
- PROPOSED STORM DRAIN MANHOLE: [Symbol]
- PERIMETER WALL: [Symbol]
- RETAINING WALL: [Symbol]
- GARDEN WALL: [Symbol]
- PAD: [Symbol]
- TURNED BLOCK: TB
- STREET SLOPE: XX
- DIRECTION OF FLOW: [Symbol]

City of Albuquerque
 Planning Department
 Development Review Services
HYDROLOGY SECTION
APPROVED
 DATE: 1/22/2026
 BY: [Signature]
 HydroTeam # J07D002

THE APPROVAL OF THESE PLANS/REPORTS SHALL NOT BE CONSTRUED TO PERMIT THE USER OR ANY CITY OFFICIALS OR THE STATE LAW AND SHALL NOT PREVENT THE CITY OF ALBUQUERQUE FROM REQUIRING OTHER STUDIES OR INVESTIGATIONS TO BE MADE, SPECIFICALLY ON CONSTRUCTION DOCUMENTS, SUCH AS APPROVED PLANS/REPORTS SHALL NOT BE CHANGED, MODIFIED OR ALTERED WITHOUT AUTHORIZATION.

THE APPROVAL OF THESE PLANS/REPORTS SHALL EXPIRE TWO (2) YEARS AFTER THE APPROVAL DATE IF NO BUILDING PERMIT HAS BEEN FILED BY THE DEVELOPER.



Bohannon & Huston
 www.bhinc.com 800.877.5332

BERNALILLO COUNTY
 PUBLIC WORKS DIVISION
 TECHNICAL SERVICES DEPARTMENT

HIGH MESA TRAIL PHASE 1 SUBDIVISION	
GRADING PLAN	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
	MO./DAY/YR. MO./DAY/YR.
LAST DESIGN UPDATE	
CITY PROJECT NO. PWDN2025-0110	ZONE MAP NO. J-7-Z
SHEET 8	OF 20

AS-BUILT INFORMATION	
CONTRACTOR	DATE
WORK STARTED BY	DATE
ACCEPTANCE BY	DATE
FIELD DRAWN BY	DATE
DESIGN CORRECTED BY	DATE
MICRO-FILM INFORMATION	
RECORDED BY	DATE
NO.	DATE

BENCH MARKS	
ALBUQUERQUE GEODETIC REFERENCE	
STATION "JAS 1985"	
GEOGRAPHIC POSITION (NAD 1983)	
NM STATE PLANE COORDINATES	
(CENTRAL ZONE US SURVEY FOOT)	
N=1486,326.14 E=173,343.688	
GROUND-TD-GRID FACTOR = 0.99999205	
DELTA ALPHA = -07' 19" 15.97"	
NAD 1983 ELEVATION= 5807.121	

SURVEY INFORMATION	
FIELD NOTES	DATE
BY	
NO.	

ENGINEER'S SEAL	
REMARKS	BY
REVISIONS	
DESIGN	
NO.	DATE
DESIGNED BY: JL	DATE: XXXXXXXX
CHECKED BY: JL	DATE: XXXXXXXX
DRAWN BY: DO	DATE: XXXXXXXX

Fl, 19-Dec-2025 - 12:30pm. Plotted by: DOJ/IAS
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