

OPEN SPACE AND LOT LANSCAPING WILL BE COMPLETED PER ATTACHED LANDSCAPE PLAN.

ANY DISTURBED AREAS WITHIN PUBLIC RIGHT-OF-WAY AND PUBLIC EASEMENTS WILL BE STABILIZED WITH NATIVE SEED AND AGGREGATE MULCH PER CITY STD. SPEC. 1012.

POND SLOPES WILL BE STABILIZED PER CITY OF ALBUQUERQUE SPECIFICATION 1013.

BMP MAP LEGEND

- LIMITS OF DISTURBANCE
- PERIMETER BMP (SILT FENCE)
- CUT BACK CURB
- INLET PROTECTION
- SHEET FLOW
- CONCENTRATED FLOW
- CHECK DAM
- PORTABLE TOILETS
- WASTE CONTAINER
- CONCRETE WASHOUT



OPERATOR: PULTE HOMES OF NEW MEXICO

TOTAL SITE AREA: 108.25 ACRES
TOTAL DISTURBED AREA: 108.13

RECEIVING WATERS: ON-SITE PONDING

REFER TO THE ESC BMP DETAILS (ESC-2) FOR INSTALLATION, INSPECTION AND MAINTENANCE REQUIREMENTS.

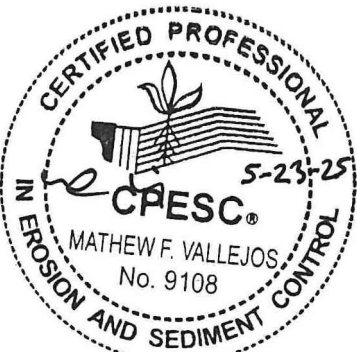
GRADING PLAN BY OTHERS

SAVIO RIDGE

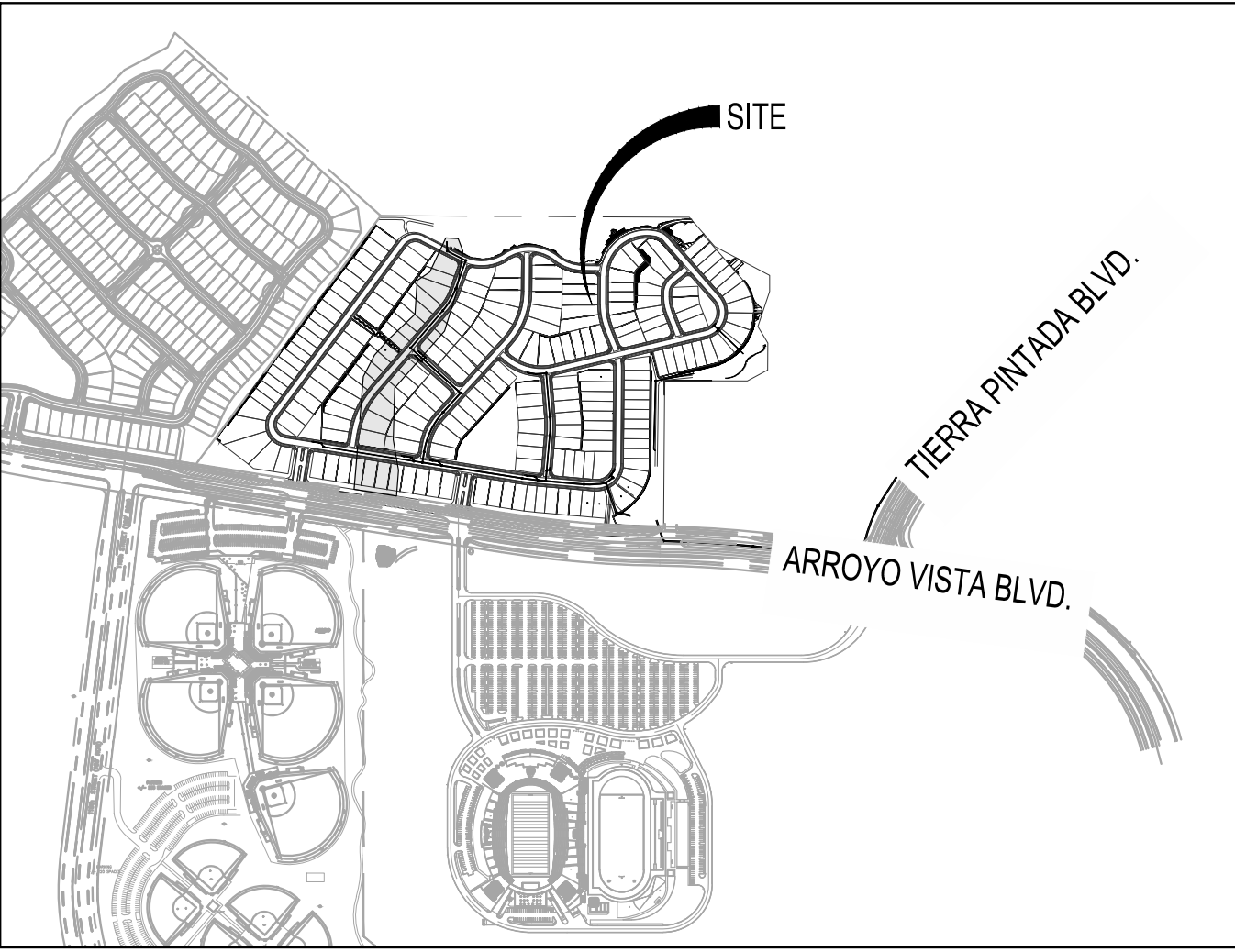
TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

Drawn By:
M. VALLEJOS, CPESC, CISEC

05/23/2025



ESC-1



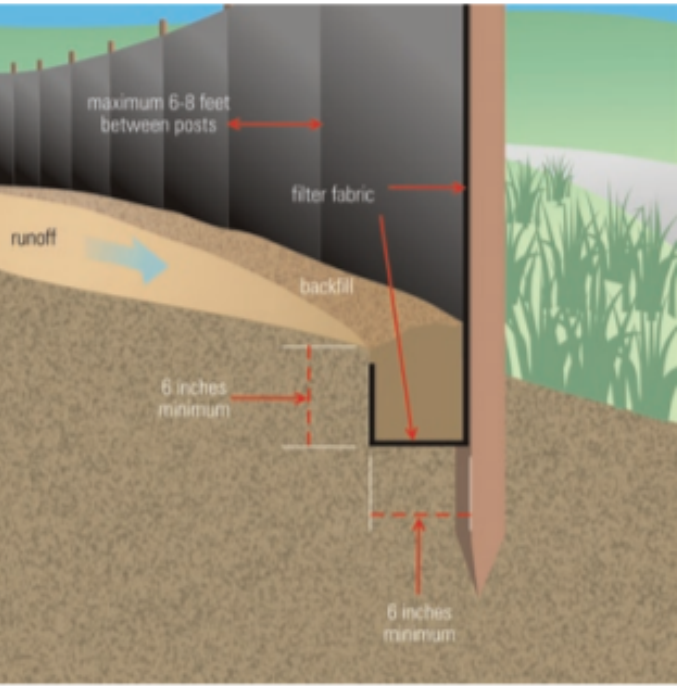
Non-woven Silt Fence
A silt fence is a temporary sediment barrier consisting of a geotextile attached to supporting posts and trenched into the ground. Intended to retain sediment that has been dislodged by stormwater.

Use silt fence as a perimeter control particularly at lower or down slope edge of a disturbed area. Leave space for maintenance between slope and silt fence or roll. Trench in the silt fence on the uphill side (6 in deep by 6 in wide). Install stakes on the downhill side of the fence. Curve silt fence up-gradient to help it contain runoff.

To maintain remove sediment when it reaches one-third of the height of the fence. Replace the silt fence where it is worn, torn, or otherwise damaged. Retrench or replace any silt fence that is not properly anchored to the ground. If the silt fence cannot be toed in properly due to existing hard surface, place mulch filter sock at base to prevent sediment from leaving site.

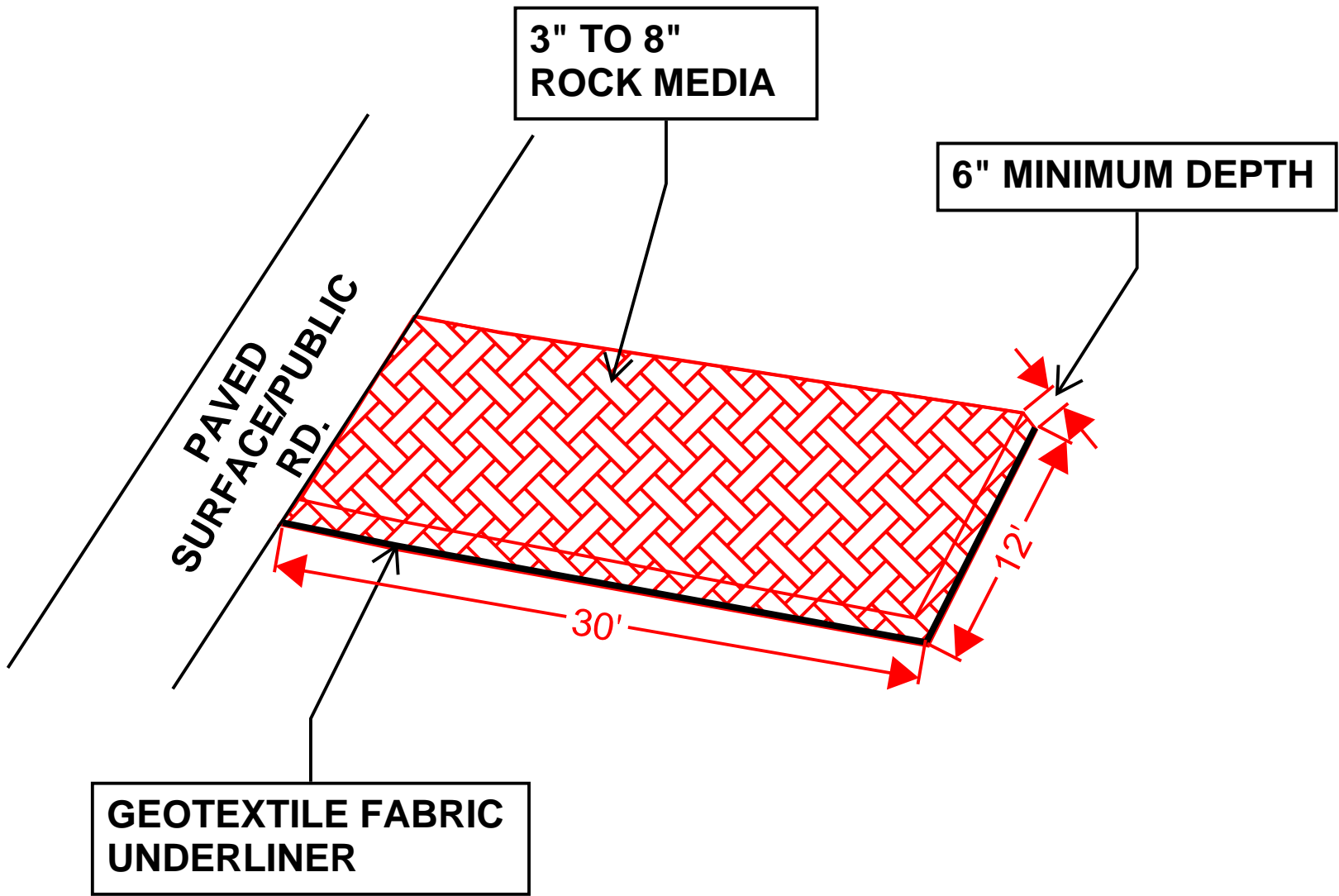
8’ max wood stake spacing and 10’ max spacing for steel T-post.

Silt Fence Installation



Source: USEPA Guide for Construction Site

VEHICLE TRACK-OUT CONTROL



NOT TO SCALE

- DIMENSIONS NOTED CAN BE SITE RESTRICTIVE.

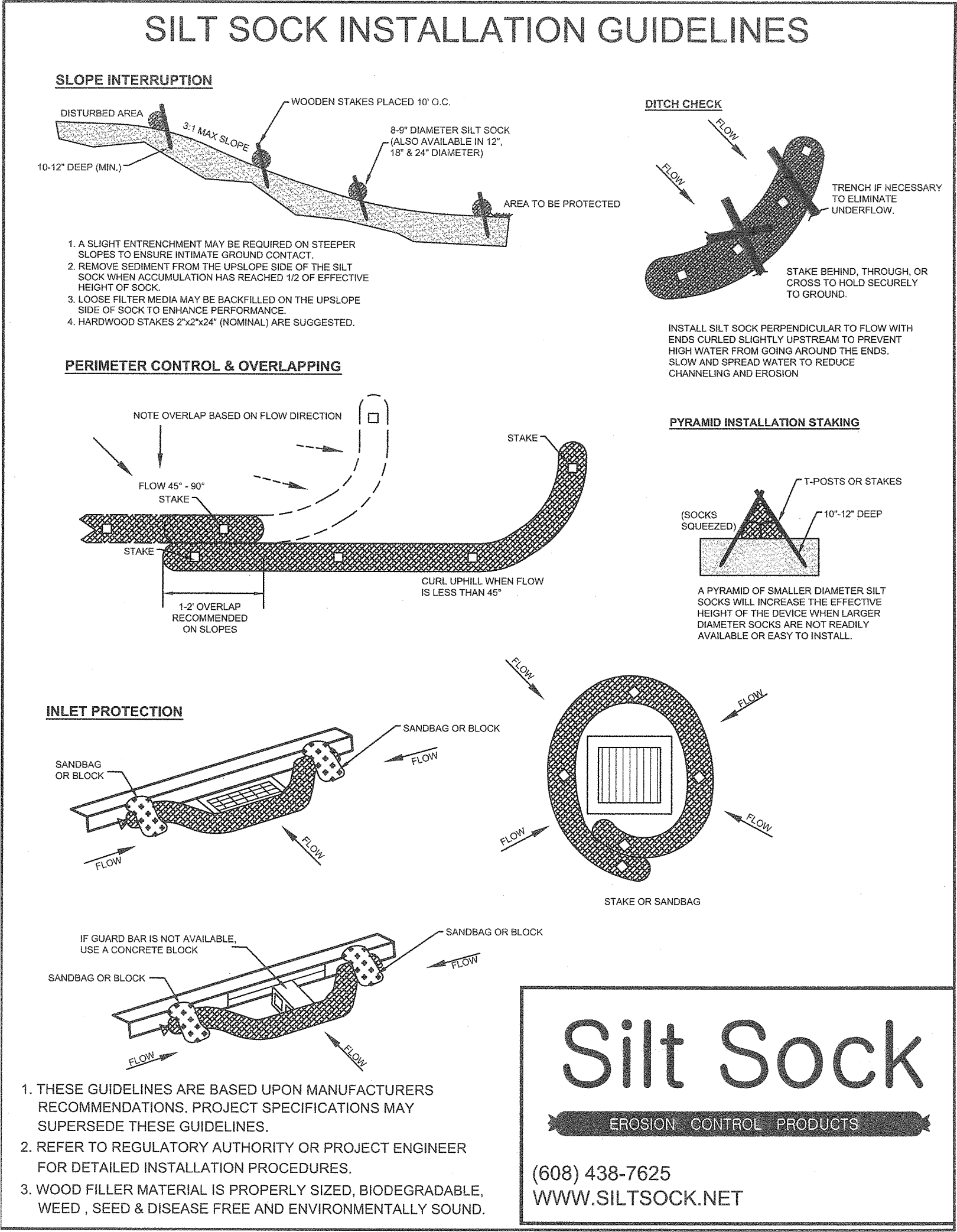
TYPICAL CONCRETE WASHOUT-BELOW GRADE



- Install appropriate signage to inform concrete equipment operators of the proper washout location.
- An appropriate stabilized entrance shall be installed where applicable. The length and width of the stabilized entrance may vary based on size and location of the washout.
- Washout facilities must be sized to contain washout water and solids.
- Typical dimensions are 10 feet long by 10 feet wide but may vary upon site limitations.
- Pit shall be delineated with Orange Filter Sock and A-Framed staked.
- The pit shall be lined with 10mil (minimum) polyethylene impermeable liner on the bottom and sides overlapping the top edges completing a leak-proof container.

ESC Plan Standard Notes (2023-06-16)

1. All Erosion and Sediment Control (ESC) work on these plans, except as otherwise stated or provided hereon shall be permitted, constructed, inspected, and maintained in accordance with:
 - a. The City Ordinance § 14-5-2-11, the ESC Ordinance,
 - b. The EPA’s 2022 Construction General Permit (CGP), and
 - c. The City of Albuquerque Construction BMP Manual.
2. All BMP’s must be installed prior to beginning any earth moving activities except as specified hereon in the Phasing Plan. Construction of earthen BMP’s such as sediment traps, sediment basins, and diversion berms shall be completed and inspected prior to any other construction or earthwork. Self-inspection is required after installation of the BMPs and prior to beginning construction.
3. Self-inspections - In accordance with City Ordinance § 14-5-2-11(C)(1), “at a minimum a routine self-inspection is required to review the project for compliance with the Construction General Permit once every 14 days and after any precipitation event of 1/4 inch or greater until the site construction has been completed and the site determined as stabilized by the city. Reports of these inspections shall be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
4. Corrective action reports must be kept by the person or entity authorized to direct the construction activities on the site and made available upon request.
5. Final Stabilization and Notice of Termination (NOT) - In accordance with City Ordinance § 14-5-2-11(C)(1), self-inspections must continue until the site is “determined as stabilized by the city.” The property owner/operator is responsible for determining when the “Conditions for Terminating CGP Coverage” per CGP Part 8.2 are satisfied and then for filing their Notice of Termination (NOT) with the EPA. Each operator may terminate CGP coverage only if one or more of the conditions in Part 8.2.1, 8.2.2, or 8.2.3 has occurred. After filing the NOT with the EPA, the property owner is responsible for requesting a Determination of Stabilization from the City.
6. When doing work in the City right-of-way (e.g. sidewalk, drive pads, utilities, etc.) prevent dirt from getting into the street. If dirt is present in the street, the street should be swept daily or prior to a rain event or contractor induced water event (e.g. curb cut or water test).
7. When installing utilities behind the curb, the excavated dirt should not be placed in the street.
8. When cutting the street for utilities the dirt shall be placed on the uphill side of the street cut and the area swept after the work is complete. A wattle or mulch sock may be placed at the toe of the excavated dirt pile if site constraints do not allow placing the excavated dirt on the uphill side of the street cut.
9. ESC Plans must show longitudinal street slope and street names. On streets where the longitudinal slope is steeper than 2.5%, wattles/mulch socks or j-hood silt fence shall be shown in the front yard swale or on the side of the street.



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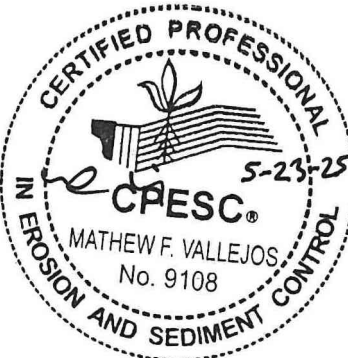
REFER TO THE ESC BMP DETAILS (ESC-2) FOR INSTALLATION, INSPECTION AND MAINTENANCE REQUIREMENTS.

SAVIO RIDGE

TEMPORARY EROSION AND SEDIMENT CONTROL PLAN

Drawn By:
M. VALLEJOS, CPESC, CISEC

05/23/2025



ESC-2

Project/Site Name: Savio Ridge Project Street/Location: Arroyo Vista Blvd. and Savio Ridge Way
City: Albuquerque State: NM ZIP Code: 87120
County or Similar Subdivision: Bernalillo County
Acquired: ☒ Raw Land ☐ Finished Lots

Latitude/Longitude (Use one of three possible formats, and specify method)
Latitude: 35.09881 Longitude: -106.76085

Maximum Area to be Disturbed: 108.13 Acres

Method for determining latitude/longitude: Map

Is the project located in Indian country? ☐ Yes ☒ No

If yes, name of Reservation, or if not part of a Reservation, indicate "not applicable." Not Applicable

Is this project considered a federal facility? ☐ Yes ☒ No

Nature of Construction Activity

This project consists of new land development and residential home construction. This SWPPP covers nearly 108 acres of the Savio Ridge Project. Pulte Homes of New Mexico is responsible for land development and home building activities including earthwork, infrastructure, and vertical home building. The activities to occur onsite are consistent with residential home construction. If offsite soil borrow or waste areas are needed during construction, they will be identified in the field and are to be marked on the plan in the SWPPP. Refer to Appendix A for vicinity, site plan and BMP plan.

What is the function of the construction activity? ☒ Residential (home building)
☐ Commercial ☒ Land Development ☐ Industrial ☐ Road Construction ☐ Linear
☐ Utility ☐ Other (please specify):

Start Date-Finish Date (dates to be marked on site plan by operator)	Construction Activity, BMPs, and location
Initial Phase	Pre-Site Grading 1. Install perimeter BMPs (silt fence, erosion control logs, downstream inlet protection, etc.) 2. Install on-site ponds. 3. Construct VTC. 4. Set up construction barrier, material storage areas, etc. 5. Install sanitary facilities and dumpster 6. Implement stabilization procedures where work is complete or ceases for 14 days (per section 2.2.14, 2022 CGP). Refer to SWPPP section 3.2.6.
Interim Phase	Site Grading/ Building Construction 1. Mass grade site 2. Construct utilities, infrastructure 3. Building, pavement construction 4. Implement stabilization procedures where work is complete or ceases for 14 days (per section 2.2.14, 2022 CGP). Refer to SWPPP section 3.2.6.
Final Phase	Final Stabilization 1. Implement stabilization procedures where work is complete or ceases for 14 days (per section 2.2.14, 2022 CGP). Refer to SWPPP section 3.2.6. 2. Prepare final seeding and landscaping 3. Monitor stabilized areas until final stabilization is reached 4. Remove temporary control BMPs and stabilize any areas disturbed by theremoval



ROLE	COMPANY	REPRESENTATVIE NAME	PHONE	EMAIL
OPERATOR	PULTE HOMES OF NEW MEXICO	KEVIN PATTON	505-341-8591	KEVIN.PATTON@PULTEGROUP.COM
OWNER	PULTE HOMES OF NEW MEXICO	KEVIN PATTON	505-341-8591	KEVIN.PATTON@PULTEGROUP.COM
BMP MAINTENANCE	SUPERIOR STORMWATER SERVICES, LLC	TIM SLATUNAS	505-353-2558	TIM@SUPERIORSTORMWATER.COM
SWPPP INSPECTIONS	GREEN GLOBE ENVIRIONMENTAL, LLC	TIM SLATUNAS	505-353-2558	TIM@GREENGLOBENM.COM



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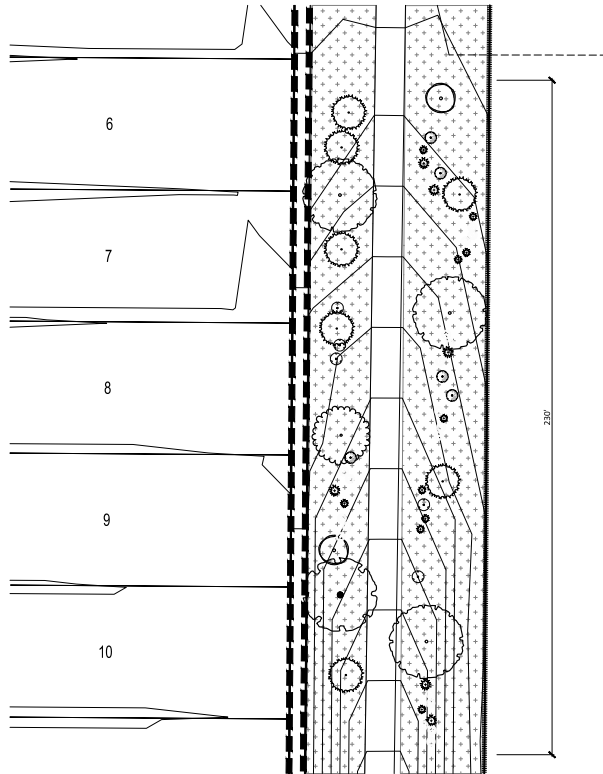
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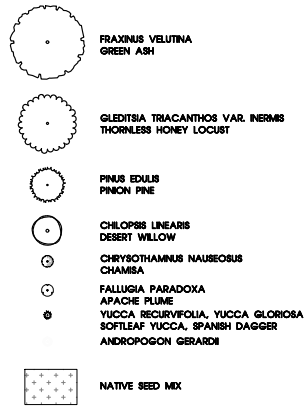
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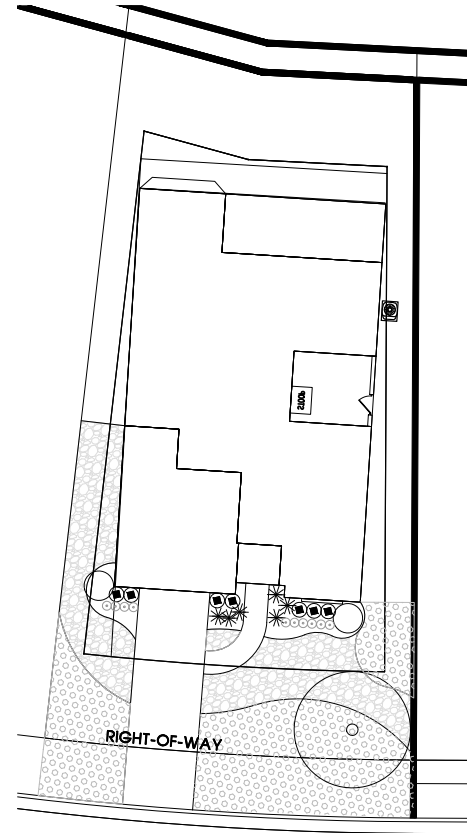
Drawn By: M. VALLEJOS, CPESC, CISEC	05/23/2025
	ESC-3



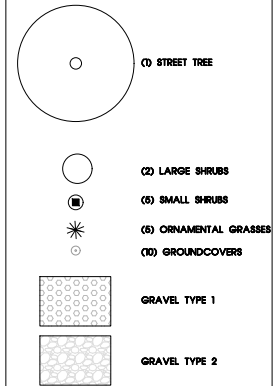
PLANT MATERIAL LEGEND



1 PROTOTYPICAL OPEN SPACE PLANTING
SCALE: T = 30'-0"



PLANT MATERIAL LEGEND



NOTE: ONE (1) STREET TREE
REQUIRED FOR EACH LOT
STREET FRONTAGE.

2 PROTOTYPICAL LOT PLANTING
SCALE: T = 30'-0"

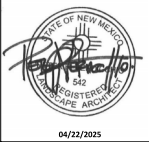


THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN FOR APPROXIMATION ONLY. CONTRACTOR SHALL DETERMINE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

SEC Planning, LLC
A T

LAND PLANNING
LANDSCAPE ARCHITECTURE
COMMUNITY BRANDING
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7601 JEFFERSON STREET NE
SUITE 300
ALBUQUERQUE, NEW MEXICO 87109



LANDSCAPE IMPROVEMENT PLAN
SAVIO RIDGE
ALBUQUERQUE, NEW MEXICO

Drawing File Name	
C:\Users\jgordon\Desktop\240031 - Landscape\240031-2.dwg	
Issued:	
1. LANDSCAPE COMPLIANCE	12/11/2024
2. LANDSCAPE COMPLIANCE	04/22/2025
3. LANDSCAPE COMPLIANCE	09/27/2025
4. LANDSCAPE COMPLIANCE	04/22/2025
Revisions:	
1.	
2.	
3.	
4.	
Issue Date: 04/22/2025	

Drawn By: LGV, JJ
Reviewed By: AD, PV

Project No.
240031-PUNNM

PROTOTYPICAL DETAILS

Sheet No.
LPD-2 11 of 11

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