

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

October 30, 2020

Yolanda Padilla Moyer, PE
Bohannon-Huston
7500 Jefferson St NE Courtyard I
Albuquerque, NM 87109

RE: Inspiration Subdivision
Request for Partial Pad Certification Lots 81-83, 154-158, and 182-203 - Approved
Grading Plan Stamp Date: 8/6/19
Certification Dated: 10/28/20
Drainage File: J08D005

Dear Ms. Padilla Moyer:

PO Box 1293

Based on the submittal received on 10/28/20, this certification is approved for Building Permit for the lots listed above.

Albuquerque

Please note, Certificate of Occupancy will be held until Infrastructure improvements are complete.

NM 87103

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Hydrology
Planning Department
Development Review Services



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: INSPIRATION SUBDIVISION **Building Permit #:** _____ **Hydrology File #:** J08D101
DRB#: PR-2018-01759 **EPC#:** _____ **Work Order#:** _____
Legal Description: TRACT A & B INSPIRATION SUBDIVISION
City Address: _____

Applicant: Bohannon Huston Inc. **Contact:** Yolanda Moyer
Address: 7500 Jefferson St NE CY2 Albuquerque, NM, 87109
Phone#: 505-798-7945 **Fax#:** _____ **E-mail:** ypadilla@bhinc.com
Owner: PULTE **Contact:** KEVIN PATTON
Address: 7601 JEFFERSON STREET NE SUITE 310 ALBUQ. NM 87109
Phone#: 505-341-8591 **Fax#:** _____ **E-mail:** kevin.patton@pultegroup.com

TYPE OF SUBMITTAL: ☒ PLAT (³⁰# OF LOTS) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes _____ No

DEPARTMENT: _____ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

☒ ENGINEER/ARCHITECT CERTIFICATION
☒ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR
____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)
____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☒ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY
____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL
____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
☒ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: 10-28-2020 **By:** Yolanda Padilla Moyer, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

October 28, 2020

Mr. Ernest Armijo, P.E.
Hydrology Section
City of Albuquerque
600 2nd Street NW
Albuquerque, NM 87102

Re: Partial Grading and Drainage Certification (Lots 81-83, 154-158, 182-203) Inspiration Subdivision); DRB Case No. PR- 2018-001759; Hydrology File J08D101

Dear Ernest,

We are submitting a partial grading and drainage certification for Inspiration Subdivision. The partial certification includes Lots 81-83, 154-158, 182-203. Enclosed for your review is the approved grading and drainage plan dated 06/06/19. These lots have been graded; retaining walls and curb and gutter and asphalt have been constructed.

After reviewing these as-built elevations and visiting the site on 10-21-2020 it is my belief that the above lots have been graded in substantial compliance with the approved grading and drainage plan and that the interim drainage improvements allow runoff to be managed in the interim condition.

Your review and approval is requested for Building Permit Approval for the above listed buildings. I appreciate your time and consideration. If you have questions or require additional information, please contact me at 823-1000.

Sincerely,



Yolanda Padilla Moyer, P.E.
Vice President
Community Development & Planning

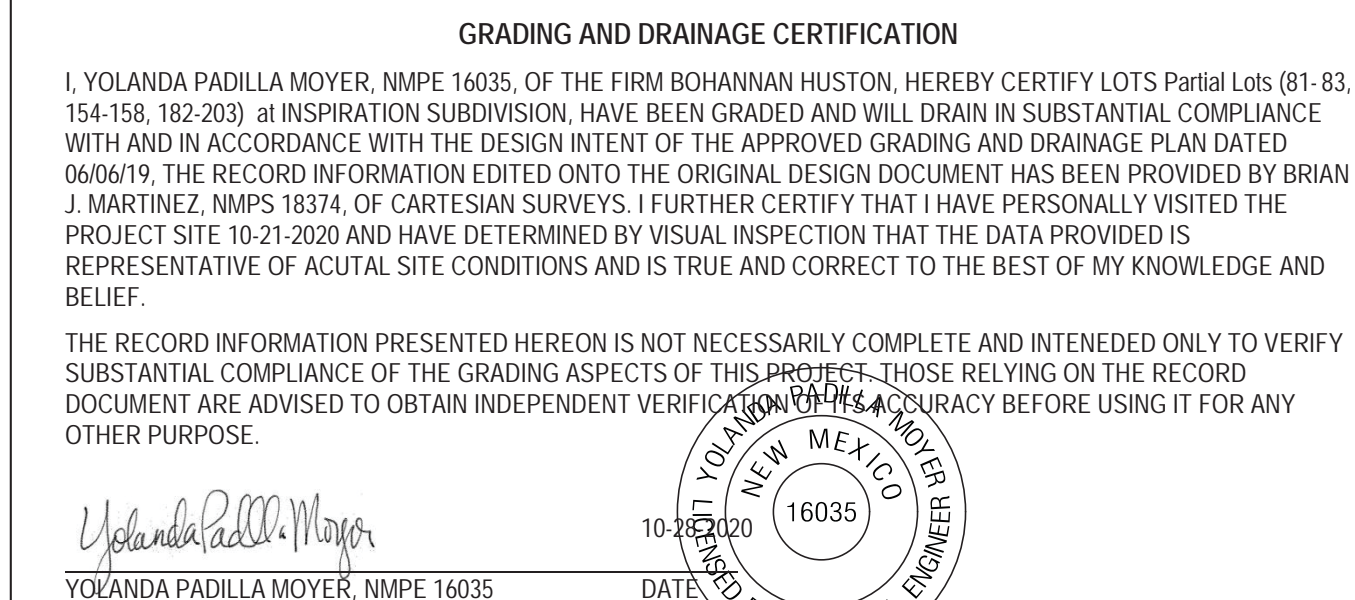
Enclosure

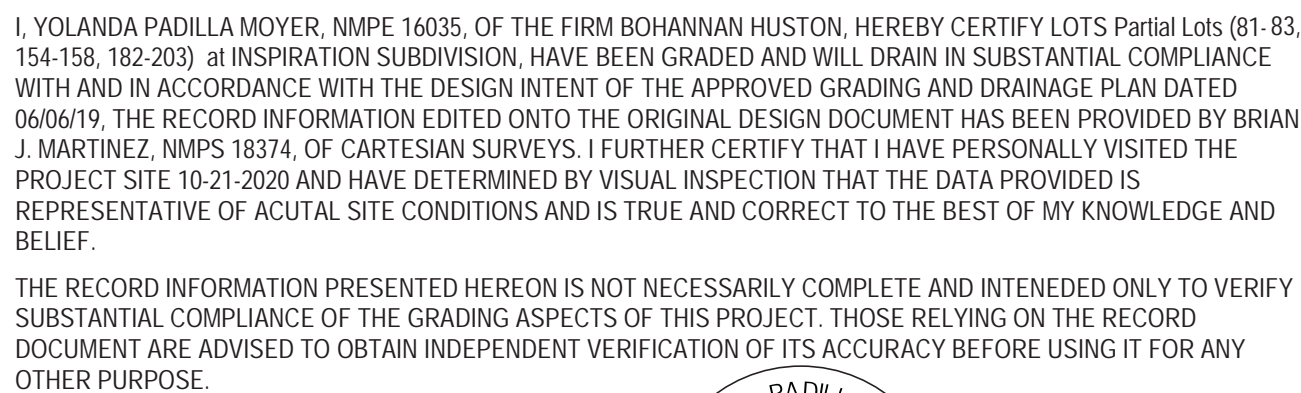
cc: Kevin Patton, Pulte Homes
Brian Anderson, Pulte Homes

Engineering ▲

Spatial Data ▲

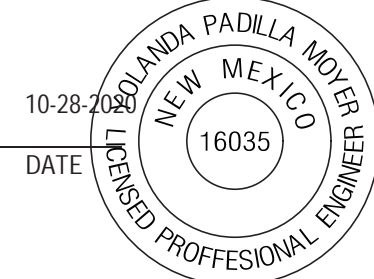
Advanced Technologies ▲











THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

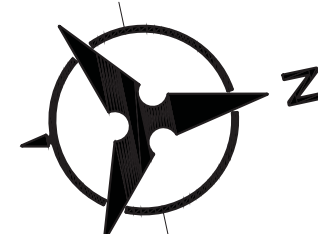
YOLANDA PADILLA MOYER, NMPE 16033




 COBBLE SWALE 6' WIDE x 1' DEEP,
 3:1 SIDE SLOPES SEE DETAIL SHEET 13
 COBBLE SWALE TO BE 7.5' WITH 3:1 SIDE
 SLOPES PER DETAIL SEE SHEET 13 BEHIND
 LOT 56-64

LEGEND

- PROPOSED SPOT ELEVATION ● 5235.25
- EXISTING SPOT ELEVATION ● EX 5235.25
- PROPOSED CONTOUR —5025—
- EXISTING STORM DRAIN LINE = = =
- PROPOSED STORM DRAIN INLET 
- PROPOSED STORM DRAIN LINE = = =
- PROPOSED STORM DRAIN MANHOLE 
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL 
- PAD 
- TURNED BLOCK TB
- STREET SLOPE 



40 20 0 4

1'' = 40'

Bohannon  **Huston**
www.bhinc.com 800.877.5332



CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

INSPIRATION SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	MO./DAY/YR.	MO./DAY/YR.

TY PROJECT NO.	ZONE MAP NO. H-7, J-7	SHEET 3	OF 13
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P:\20190120\CDP\Plans\General\20190120_GradingPlanCert.dwg
Mon, 26-Oct-2020 - 3:45:pm, Plotted by: AROMERO

BHI JOB NO. 20190120

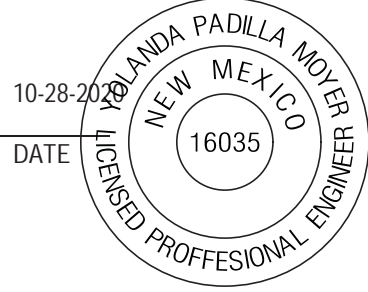


GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS (81-83, 154-156, 182-203) at INSPIRATION SUBDIVISION, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 06/04/19. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 10-21-2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACUTAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING ASPECTS OF THIS PROJECT. THOSE RELYING ON THE RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

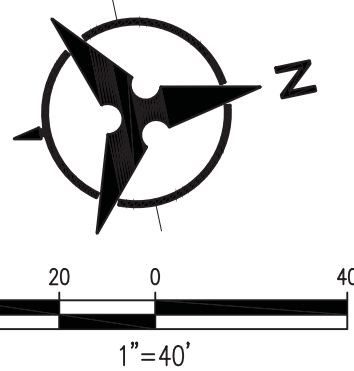
Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035



COBBLE SWALE 6' WIDE x 1' DEEP.
3:1 SIDE SLOPES SEE DETAIL SHEET 13
COBBLE SWALE TO BE 7.5' WITH 3:1 SIDE
SLOPES PER DETAIL SEE SHEET 13 BEHIND
LOT 56-64

LEGEND

- PROPOSED SPOT ELEVATION • 5235.25
- EXISTING SPOT ELEVATION • EX 5235.25
- PROPOSED CONTOUR — 5025 —
- EXISTING STORM DRAIN LINE - - - - -
- PROPOSED STORM DRAIN INLET □
- PROPOSED STORM DRAIN LINE |||
- PROPOSED STORM DRAIN MANHOLE ○
- PROPOSED WATER BLOCK ~~~~~
- RETAINING WALL [Symbol]
- PAD [Symbol]
- TURNED BLOCK [Symbol]
- STREET SLOPE XX



Bohannon & Huston
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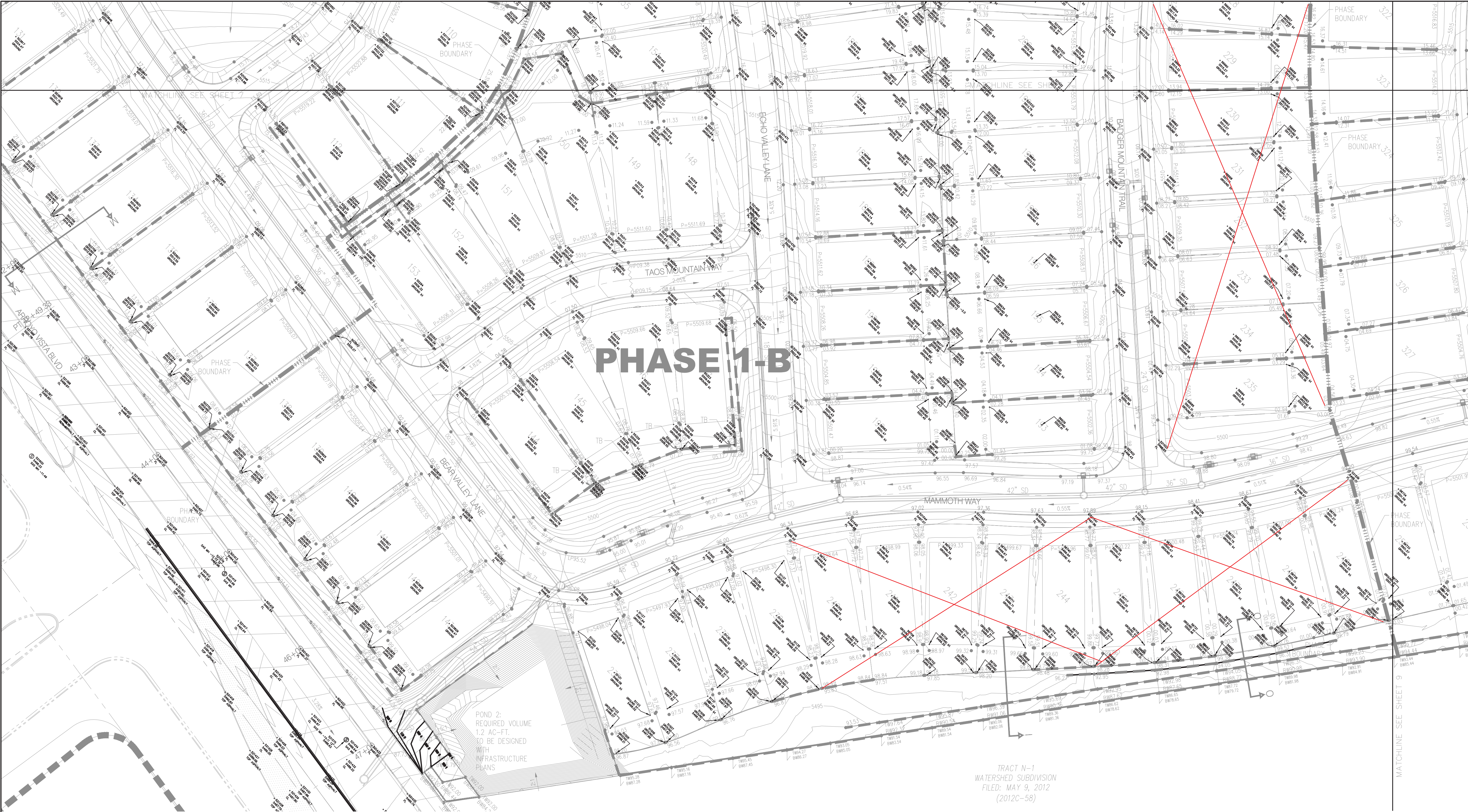


CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

INSPIRATION SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	MO, 7DAY, YR	MO, 7DAY, YR

CITY PROJECT NO.	ZONE MAP NO.	SHEET	OF
	H-7, J-7	4	13



GRADING AND DRAINAGE CERTIFICATION

I, YOLANDA PADILLA MOYER, NMPE 16035, OF THE FIRM BOHANNAN HUSTON, HEREBY CERTIFY LOTS Partial Lots (81-83, 154-158, 182-203) at INSPIRATION SUBDIVISION, HAVE BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN DATED 06/06/19, THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN PROVIDED BY BRIAN J. MARTINEZ, NMPS 18374, OF CARTESIAN SURVEYS. I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE 10-21-2020 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

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Yolanda Padilla Moyer
YOLANDA PADILLA MOYER, NMPE 16035
DATE 10-28-2020
PROFESSIONAL ENGINEER
NEW MEXICO
16035

COBBLE SWALE 6' WIDE x 1' DEEP,
3:1 SIDE SLOPES SEE DETAIL SHEET 13
COBBLE SWALE TO BE 7.5' WITH 3:1 SIDE
SLOPES PER DETAIL SEE SHEET 13 BEHIND
LOT 56-64

LEGEND

PROPOSED SPOT ELEVATION

EXISTING SPOT ELEVATION

PROPOSED CONTOUR

EXISTING STORM DRAIN LINE

PROPOSED STORM DRAIN INLET

PROPOSED STORM DRAIN LINE

PROPOSED STORM DRAIN MANHOLE

PROPOSED WATER BLOCK

RETAINING WALL

PAD

TURNED BLOCK

STREET SLOPE

- 5235.25
- EX 5235.25

— 5025 —

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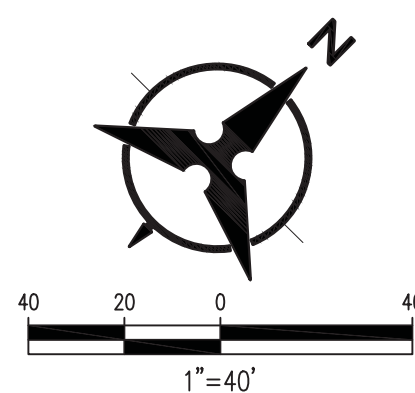
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□

□

TRACT N-1
WATERSHED SUBDIVISION
FILED: MAY 9, 2012
(2012C-58)



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CITY OF ALBUQUERQUE
DEPARTMENT OF
MUNICIPAL DEVELOPMENT

INSPIRATION SUBDIVISION
GRADING PLAN

DESIGN REVIEW COMMITTEE

CITY ENGINEER APPROVAL

LAST DESIGN UPDATE

CITY PROJECT NO.

ZONE MAP NO.
H-7, J-7

SHEET
5

OF
13

NO. DATE		REMARKS		BY	
			REVISIONS		
			DESIGN		
			DATE 11/18		
			DRAWN BY AR		
			CHECKED BY YPM		

ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
YOLANDA PADILLA MOYER NEW MEXICO PROFESSIONAL ENGINEER		FIELD NOTES		USC&GS BRASS DISC STAMPED "REWARD 1969"		CONTRACTOR	
		NO. BY DATE		GEOGRAPHIC POSITION (NAD 83)		DATE	
				N.M. STATE PLANE COORDINATES		DATE	
				(CENTRAL ZONE)		DATE	
				N=1487364.063 E=149190.819		DATE	
				GROUND TO GRID = 0.999675005		DATE	
				DELTA ALPHA = -00712.26"		DATE	
				NAVD 1988 ELEVATION = 5319.688		DATE	

