

Tim Eichenborg, Chair
Linda Stover, Vice-Chair /
Asst. Secretary-Treasurer
Ronald D. Brown, Secretary-Treasurer
Daniel Hernandez, Director
Daniel Lyon, Director

John P. Kelly, P.E.
Executive Engineer



**Albuquerque
Metropolitan
Arroyo
Flood
Control
Authority**

2600 PROSPECT N.E. - ALBUQUERQUE, NM 87107
TELEPHONE (505) 884-2215 FAX (505) 884-0214

July 28, 2004

Mr. Wilfred Gallegos, P.E.
City of Albuquerque
Development & Building Services Division
Transportation Development Section
600 2nd Street NW
Albuquerque, NM 87102

Re: Access Easement on AMAFCA Tract B as related to Parkway, Unit 10
City Project No. 627481

Dear Mr. Gallegos:

By this letter, AMAFCA agrees to grant an access easement to the New Mexico Department of Transportation (NMDOT) within AMAFCA rights-of-way on Tract "B", as shown on the Plat for Parkway Subdivision, Unit 10. The easement will be granted at such time as it may be needed.

If you have any questions, please call me at 884-2215.

Sincerely,
AMAFCA

John P. Kelly, P.E.
Executive Engineer

Cc: Brad Bingham, Hydrology Section
Doug Hughes, Mark Goodwin & Assoc.

File
J9/D17

Tom Goodwin, Chief
 1811 5th St, NW, Suite 1
 NW & Sustainability
 1811 5th St, NW, Suite 1
 Council Bluffs, IA 51501
 Council Bluffs, IA 51501

John H. Feltz, PE
 Executive Engineer



Doug D. Hughes, PE
 Mark Goodwin & Associates, P.A.
 P.O. Box 90606
 Albuquerque, NM, 87199

Albuquerque Metropolitan Arroyo Flood Control Authority

2807 PROSPECT N.E. • ALBUQUERQUE, NM 87107
 TELEPHONE (505) 884-2215 FAX (505) 884-0214

Post-It® Fax Note 7671

Date	12-29	# of pages	1
To	Brad Bingham		
From	Lynn Mazur		
Co./Dept.	Hydrology		
Co.	AMAFCA		
Phone #			
Fax #			

December 27, 2004

Re: Parkway Subdivision Unit 10
 AMAFCA Field Visit

File 59/D17

AMAFCA made a field visit to the above referenced project on December 21, 2004. During the site visit the following items were observed.

1. The 60-inch storm drain outlet
 - a. The stilling basin was not constructed per the plans and profiles
 - b. The unprotected 0.5:1 slopes around the 60-inch pipe is unacceptable.
 - c. The type "M" riprap was not constructed per the plans and profiles.
2. Check Dams
 - a. The check dams were not constructed per the plans and profiles.
 - b. Check dams do not extend to existing banks
3. The 30-inch storm drain outlet
 - a. The stilling basin was not constructed per the plans and profiles
 - b. The unprotected 0.5:1 slopes around the 30-inch pipe is unacceptable.
 - c. The type "M" riprap was not constructed per the plans and profiles.
 - d. The earthen channel is not graded to drain.
 - e. The earthen at Unser needs to be re-worked.

The drainage portion of the project that will be maintained by AMAFCA is unacceptable at this time.

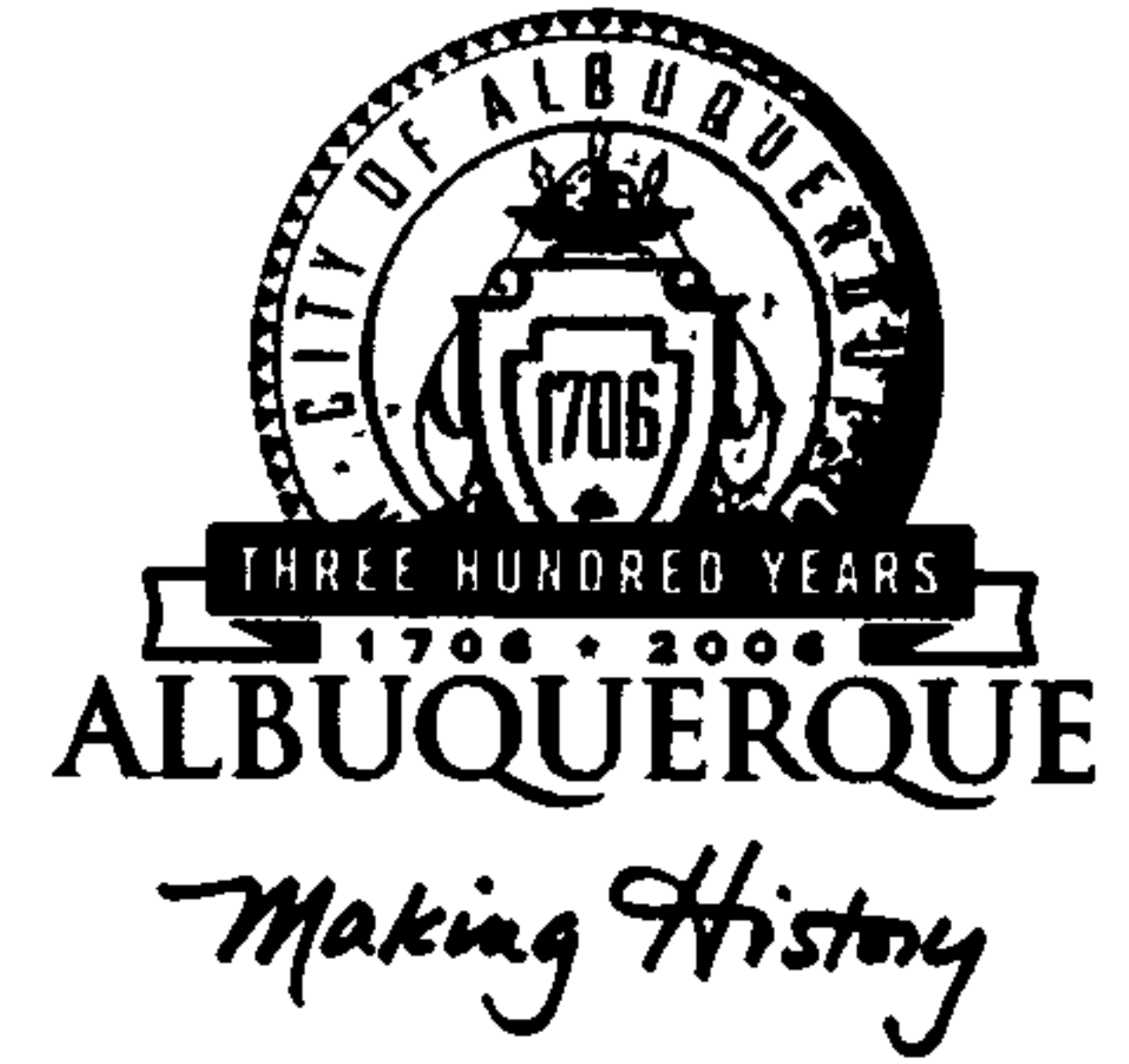
If you have any questions please call me at 884-2215.

Sincerely,
 AMAFCA

Jerry Lovato, PE
 Field Engineer, AMAFCA

Cc: Lynn Mazur PE, Development Review Engineer, AMAFCA
 Steve Moya, Mark Goodwin & Associates
 Fred Salls, Salls Brothers Construction

CITY OF ALBUQUERQUE



April 25, 2005

Mr. Doug Hughes, PE
MARK GOODWIN & ASSOCIATES
P.O. Box 90606
Albuquerque, NM 87119

RE: PARKWAY SUBDIVISION, UNIT 10 (J-9/D17)
Engineers Certification for Release of Financial Guaranty
Engineers Stamp dated 10/19/2004
Engineers Certification dated 04/19/2005

Dear Doug:

P.O. Box 1293
Albuquerque
New Mexico 87103
www.cabq.gov

Based upon the information provided in your Engineer's Certification Submittal dated 04/20/2005, the above referenced plan is adequate to satisfy the Grading and Drainage Certification for Release of Financial Guaranty.

Please submit a re-certification of Lots 4-7, when the wall is complete.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Arlene V. Portillo

Arlene V. Portillo
Plan Checker, Planning Dept.- Hydrology
Development and Building Services
843

C: Marilyn Maldonado, COA# 627481
Leroy Chavez, Westland Development
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: Parkway 10 Engineers Cert
DRB #: 1000570 EPC#: _____

ZONE MAP/DRG. FILE # M-23 ^{5-9/17}
WORK ORDER#: 627481

LEGAL DESCRIPTION: Parkway Subdivision Unit 10
CITY ADDRESS: Sandy Drive & Amy Ave.

ENGINEERING FIRM: Mark Goodwin & Associates, PA
ADDRESS: PO Box 90606
CITY, STATE: Albuquerque, NM

CONTACT: James D. Hughes, PE
PHONE: 828-2200
ZIP CODE: 87199

OWNER: Westland Development Co. Inc
ADDRESS: 401 Coors NE
CITY, STATE: Albuquerque, NM

CONTACT: Leroy Chavez
PHONE: 831-9600
ZIP CODE: 87121

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: Precision Surveys
ADDRESS: 8414-D Jefferson St. NE
CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano
PHONE: 856-5700
ZIP CODE: 87113

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

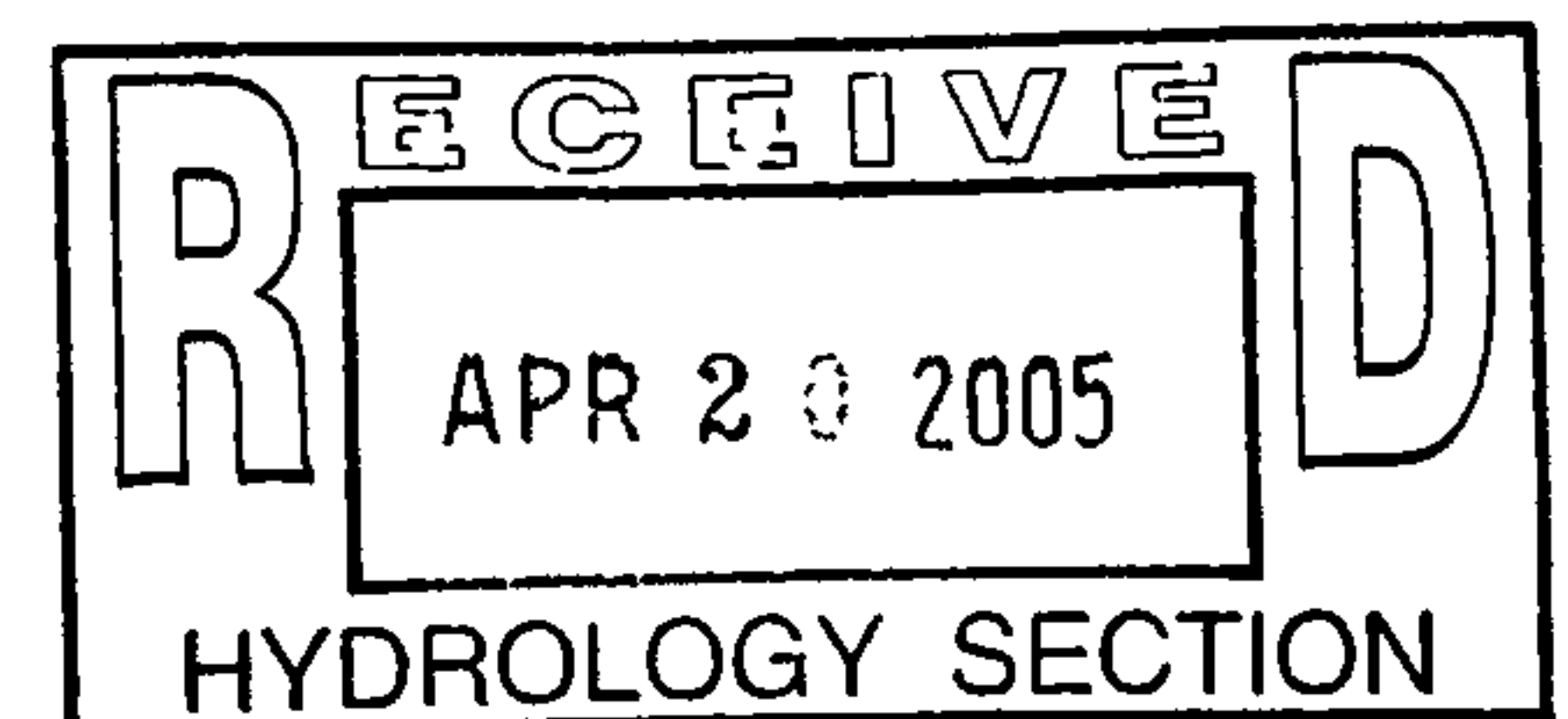
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☒ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

- ☒ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED



DATE SUBMITTED: _____

BY: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

MARK GOODWIN & ASSOCIATES, PA

LETTER OF TRANSMITTAL

TO: Brad Bingham - COA

DATE: April 20, 2005

Deliver

RE: Parkway Subdivision Unit 10

ITEMS BEING TRANSMITTED

1	Parkway 10 Engineers Cert
1	Drainage Info Sheet

☐ FOR YOUR USE

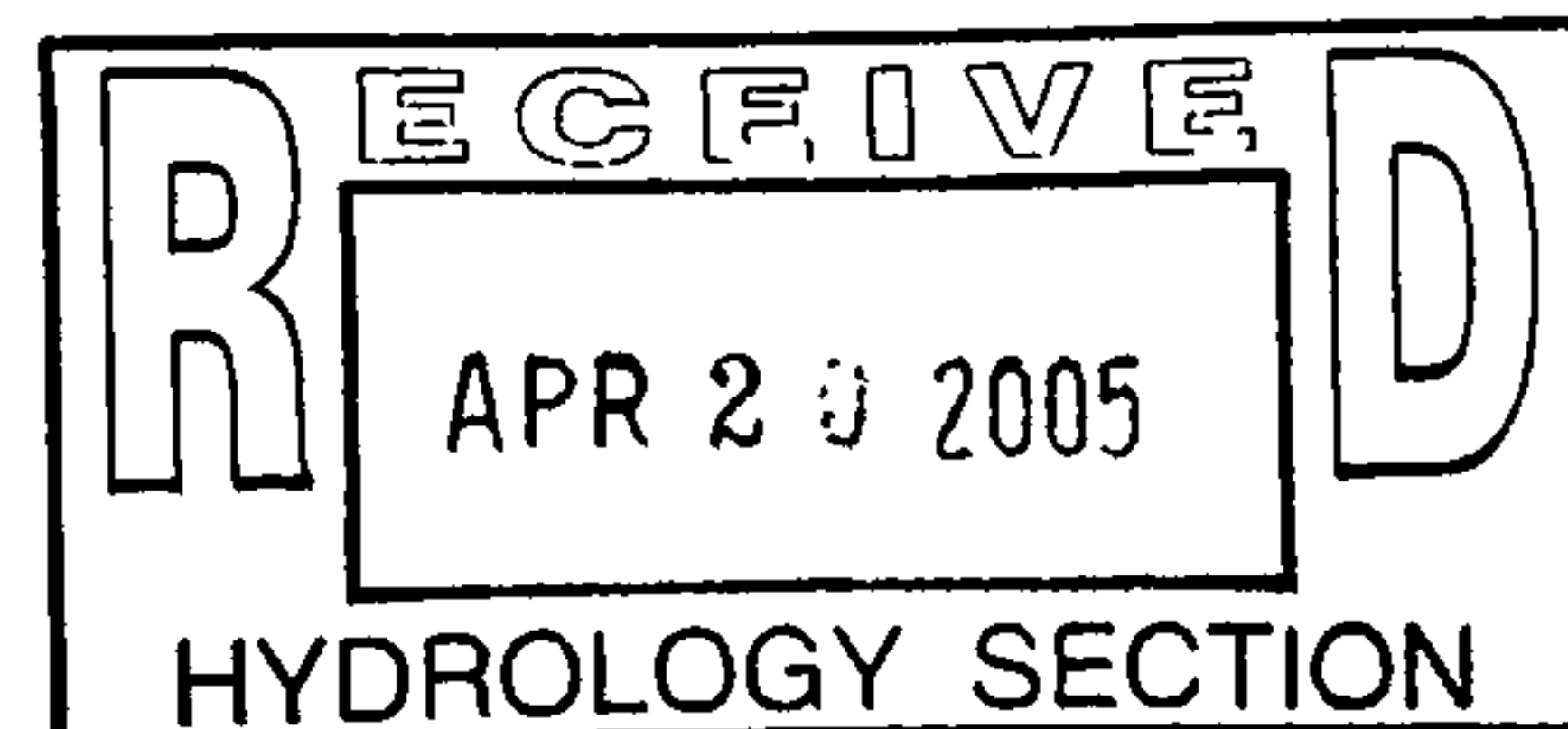
☐ FOR YOUR RECORDS

☐ AS YOU REQUESTED

☐ FOR YOUR COMMENTS

Notes:

PROJECT ENGINEER: Doug Hughes, PE



Tim Eichenberg, Chair
Linda Stover, Vice-Chair /
Asst. Secretary-Treasurer
Ronald D. Brown, Secretary-Treasurer
Daniel Hernandez, Director
Daniel Lyon, Director

John P. Kelly, P.E.
Executive Engineer



**Albuquerque
Metropolitan
Arroyo
Flood
Control
Authority**

2600 PROSPECT N.E. • ALBUQUERQUE, NM 87107
TELEPHONE (505) 884-2215 FAX (505) 884-0214

Post-it® Fax Note	7671	Date	2-3	# of pages	1
To	BRAD BINGHAM	From	LYNN MAZUR		
Co./Dept.	HYDROLOGY	Co.	AMAFCA		
Phone #		Phone #			
Fax #		Fax #			

February 3, 2004

Mr. Tony Abo, P.E.
New Mexico Department of Transportation
P.O. Box 91750
Albuquerque, NM 87199-1750

Re: West I-40 Channel – Interim Grading & Drainage Plan at I-40 and Unser Blvd.
for Parkway, Unit 10 Subdivision, ZAP J-9

Dear Mr. Abo:

File

Thank you for taking the time to meet with AMAFCA, Westland Development Company (Westland), and their consultant, Mark Goodwin & Associates, to discuss the referenced project. We explained that the AMAFCA project for the West I-40 Channel (AMAFCA Project) originally included a dam at the northwest corner of I-40 and Unser Boulevard within the existing New Mexico Department of Transportation (NMDOT) right-of-way. AMAFCA obtained an easement from the NMDOT for the AMAFCA Project, including the area between the access control fence and the Unser and I-40 improvements, where the dam will ultimately be constructed. The AMAFCA Project has been bid; however, the referenced dam will not be constructed with the current AMAFCA Project.

Westland wishes to proceed with construction of the Parkway, Unit 10 Subdivision adjacent to the NMDOT access control and AMAFCA easement area. The work will include two storm drain outfalls discharging a total of 220 cfs into the AMAFCA easement. Since the dam will not be constructed with the current AMAFCA Project, Westland is proposing to construct interim improvements within the AMAFCA easement to convey storm water discharge to the existing box culverts under Unser. Construction will include riprap pads at the storm drain outfalls, swales to the existing ditch, and rock check dams in the existing ditch to Unser. AMAFCA approves this construction and agrees to maintain it along with the improvements AMAFCA will construct with the AMAFCA Project.

If you have any questions, please call me at 884-2215.

Sincerely,
AMAFCA

Lynn M. Mazur

Lynn M. Mazur, P.E., C.F.M.
Development Review Engineer

Cc: Brad Bingham, City Hydrology
Doug Hughes, Mark Goodwin & Assoc.

J-9/D17

Tim Eichenberg, Chair
Linda Sloner, Vice-Chair /
Asst. Secretary-Treasurer
Ronald D. Brown, Secretary-Treasurer
Daniel Hernandez, Director
Daniel Lyon, Director

John P. Kully, P.E.
Executive Engineer



January 26, 2004

**Albuquerque
Metropolitan
Arroyo
Flood
Control
Authority**

2600 PROSPECT N.E. • ALBUQUERQUE, NM 87107
TELEPHONE (505) 884-2215 FAX (505) 884-0214

Post-it* Fax Note	7871	Date	1-26	# of pages	1
To	BRAD BINGHAM		From	LYNN MAZUR	
Co./Dept.	HYDROLOGY		Co.	AMAFCA	
Phone #			Phone #		
Fax #			Fax #		

J-9/D17

File

Mr. Doug Hughes, P.E.
D. Mark Goodwin & Associates, P.A.
P.O. Box 90606
Albuquerque, New Mexico 87199

Re: Grading & Drainage Plan for Parkway, Unit 10 Subdivision, ZAP J-9
Engineer's Stamp Dated January 19, 2004

Dear Mr. Hughes:

AMAFCA has reviewed the referenced Grading & Drainage Plan and approves the grading concept. However, we cannot approve issuance of a Grading Permit until we have received confirmation that the New Mexico Department of Transportation (NMDOT) concurs, since the proposed grading will occur on NMDOT property.

The following comments should be addressed prior to work order approval:

1. Provide a detail of the riprap at the pipe outlets. It should be a depressed stilling basin like the ones used for the Ladera Industrial Park.
2. Install riprap on the outer curve bank (south side) of the graded channel outlet for the 60-inch pipe. Extend riprap 2 feet below the channel flowline and up to superelevation height on the slope.
3. Smooth out the curve on the outlet channel on the 30-inch pipe. Will a berm be required to direct flow to the existing concrete rundown? See attached.
4. Make the center of the check dams a minimum of 18 inches below the outer edges instead of 6 inches as shown on the detail.
5. In which direction does the pipe under the I-40 ramp flow? A berm may be required to prevent flow in the channel from trying to go in that direction. See attached.

If you have any questions, please call me at 884-2215.

Sincerely,
AMAFCA

Lynn M. Mazur, P.E., C.F.M.
Development Review Engineer

Cc: Brad Bingham, City Hydrology



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 8, 2002

James D. Hughes, P.E.
D. Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

Re: Parkway Unit 10 Grading & Drainage Plan, Engineer's stamp dated 6-25-02 (J9/D17)

Dear Mr. Hughes,

Based on the information provided in your submittal dated June 26, 2002, the above referenced plan is rejected for Grading Permit and Preliminary Plat action by the Development Review Board.

I have the following comments and questions regarding this plan:

- 1) Your Proposed Management Plan on Sheet 1 of 2 states that the AMAFCA channel, which is required to accommodate this project's developed runoff, will be built below Unser Boulevard this year. This simply is not true. The AMAFCA Board has not yet approved the channel construction; therefore, the completion date for the channel is at least one year off. Until the completed channel is accepted by AMAFCA, Hydrology cannot approve the Preliminary Plat or any grading on this site.
- 2) At both the 30-inch and the 60-inch discharge points for the storm drain, the water is supposed to make a 45-degree turn after it outfalls to daylight. This design is prone to erosion, because the concentrated runoff will scour the sandy soils upon exiting the pipe. Please re-design.
- 3) Eventually the I-40 Channel will be extended upstream of Unser. The 60-inch pipe must discharge into the channel at a 45-degree angle, not a 90-degree as you show.
- 4) Sheet 2 of 2 shows the future 60-inch pipe discharging to Station 16+45 (+-) at invert of 84.94(+-.). Reference the plan that this comes from.
- 5) Show more spot elevations (top of wall/bottom of wall) on all the proposed retaining walls, especially the wall between Lots 3 and 4, Block 2.
- 6) On Sheet 2 of 2, note 3 says "Extra width is provided on the high side of Lots 8-17, Block 1 . . ." Where are Lots 8-17? I could not find them on the sheets.
- 7) AMAFCA concurrence on this plan is required for Grading and Preliminary Plat approval.

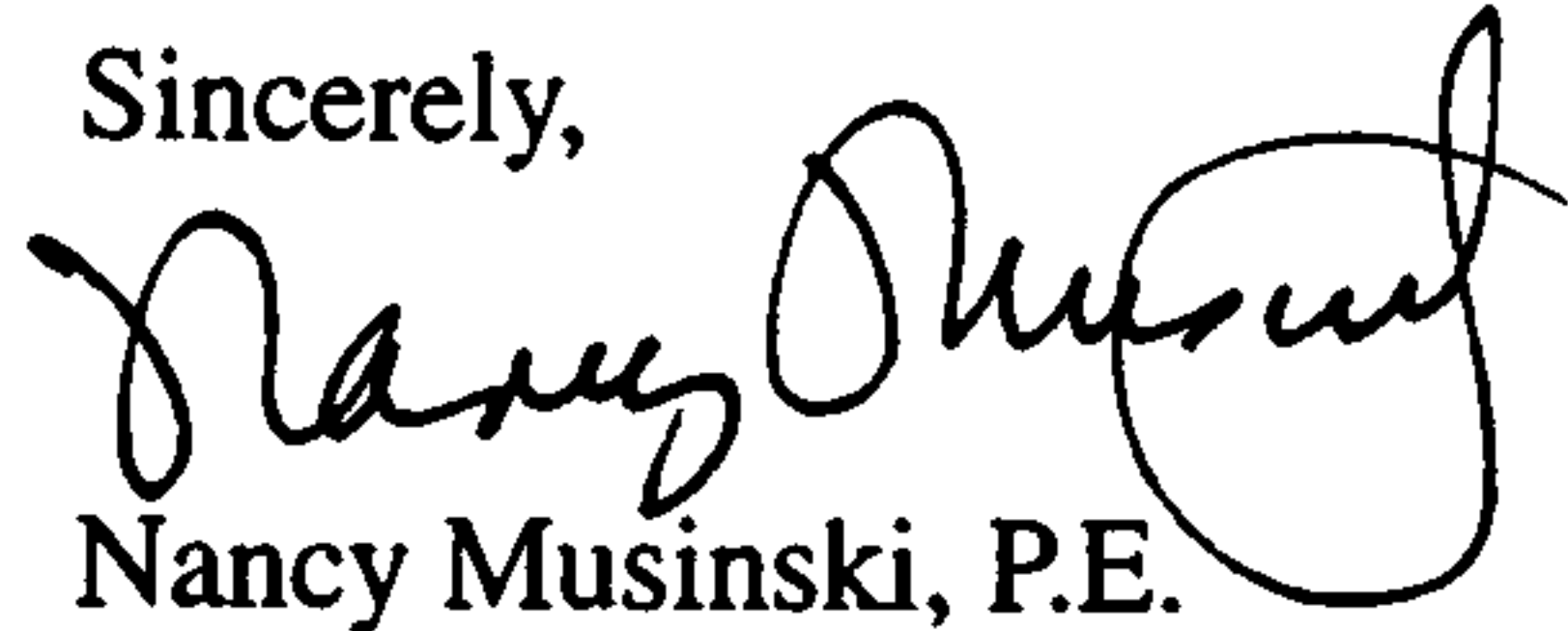
If you have any questions, please call me at 924-3988.

James D. Hughes, P.E.

July 8, 2002

Page 2 of 2

Sincerely,

A handwritten signature in black ink, appearing to read "Nancy Musinski". The signature is fluid and cursive, with the first name "Nancy" written in a larger, more prominent script than the last name "Musinski".

Nancy Musinski, P.E.

Hydrology/Utility Development

City of Albuquerque Public Works

xc: Lynn Mazur, AMAFCA (by FAX)
Terri Martin, COA Hydrology
File

*** TX REPORT ***

TRANSMISSION OK

TX/RX NO 2469
CONNECTION TEL 9 884 0214
SUBADDRESS
CONNECTION ID A M A F C A
ST. TIME 07/08 15:59
USAGE T 00'48
PGS. 2
RESULT OK



City of Albi

P.O. BOX 1293 ALBUQUERQUE

July 8, 2002

To:
LYNN MAZUR, PE
AMAFCA

James D. Hughes, P.E.
D. Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199

From:
NANCY MUSINSKI
COA-924-3988

Re: Parkway Unit 10 Grading & Drainage Plan, Engineer's stamp dated 6-25-02 (J9/D17)

Dear Mr. Hughes,

Based on the information provided in your submittal dated June 26, 2002, the above referenced plan is rejected for Grading Permit and Preliminary Plat action by the Development Review Board.

I have the following comments and questions regarding this plan:

- 1) Your Proposed Management Plan on Sheet 1 of 2 states that the AMAFCA channel, which is required to accommodate this project's developed runoff, will be built below Unser Boulevard this year. This simply is not true. The AMAFCA Board has not yet approved the channel construction; therefore, the completion date for the channel is at least one year off. Until the completed channel is accepted by AMAFCA, Hydrology cannot approve the Preliminary Plat or any grading on this site.
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- 3) Eventually the I-40 Channel will be extended upstream of Unser. The 60-inch pipe must discharge into the channel at a 45-degree angle, not a 90-degree as you show.

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV.1/11/2002)

J9/017

PROJECT TITLE: Parkway Unit 10

ZONE MAP/DRB.FILE#: J-9

DRB#: 100570

EPC#

WORK ORDER#:

LEGAL DESCRIPTION: Parcel A Painted Sky Unit 1, Tract 95 Town of Atrisco Grant and Tract A Parkway Unit 7

CITY ADDRESS: (Sandy Drive from Amy Ave. to Vinemont Place)

ENGINEERING FIRM: Mark Goodwin & Associates, PA

ADDRESS: P.O. Box 90606 Albuquerque NM 87119

CITY, STATE: Albuquerque NM

CONTACT:

PHONE: 828-2200

ZIP CODE: 87119

OWNER: Westland Development

ADDRESS: 401 Coors NW

CITY, STATE: Albuquerque NM

CONTACT:

PHONE:

ZIP CODE: 87121

ARCHITECT:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

SURVEYOR: Precision Survey

ADDRESS: 8414-D Jefferson

CITY, STATE: Albuquerque NM

CONTACT:

PHONE:

ZIP CODE: 87113

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT
- ☒ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

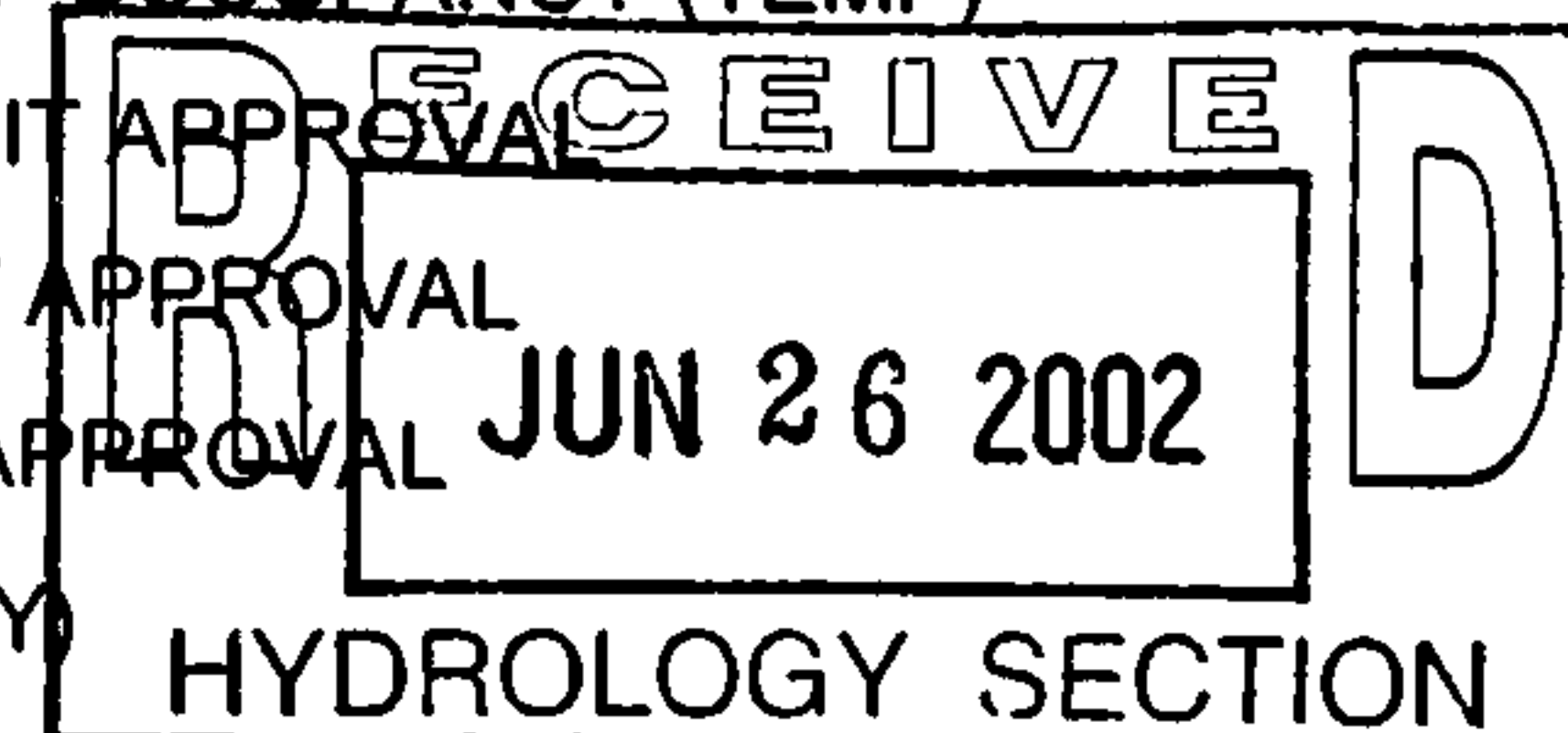
☒ NO

☐ COPY PROVIDED

DATE SUBMITTED: 6-26-02

CHECK TYPE OF APPROVAL SOUGHT:

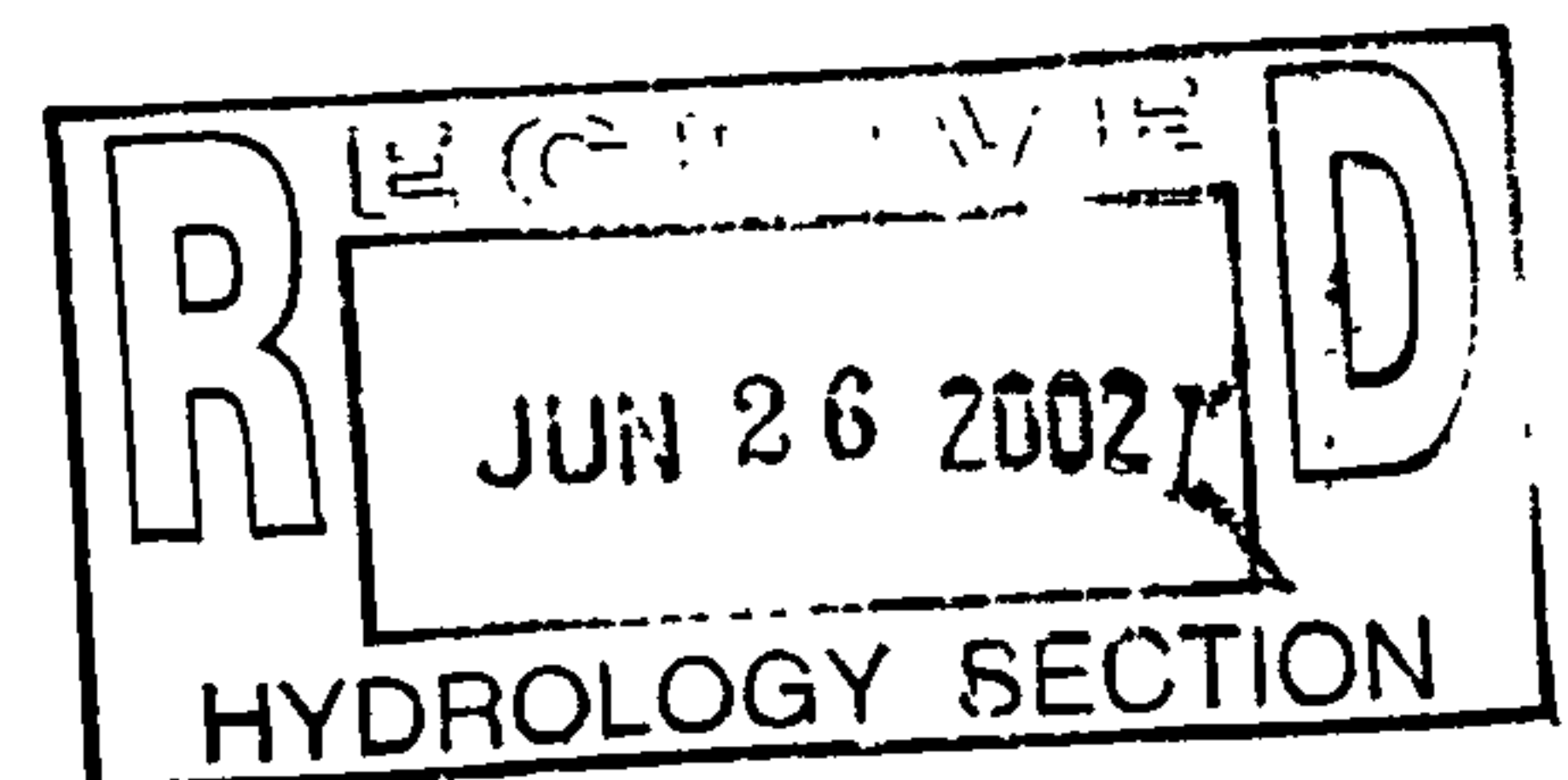
- ☐ SIA / FINANCIAL GUARANTY RELEASE
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)



James D. Hughes, PE

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1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5).
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MARK GOODWIN

& ASSOCIATES

dmg

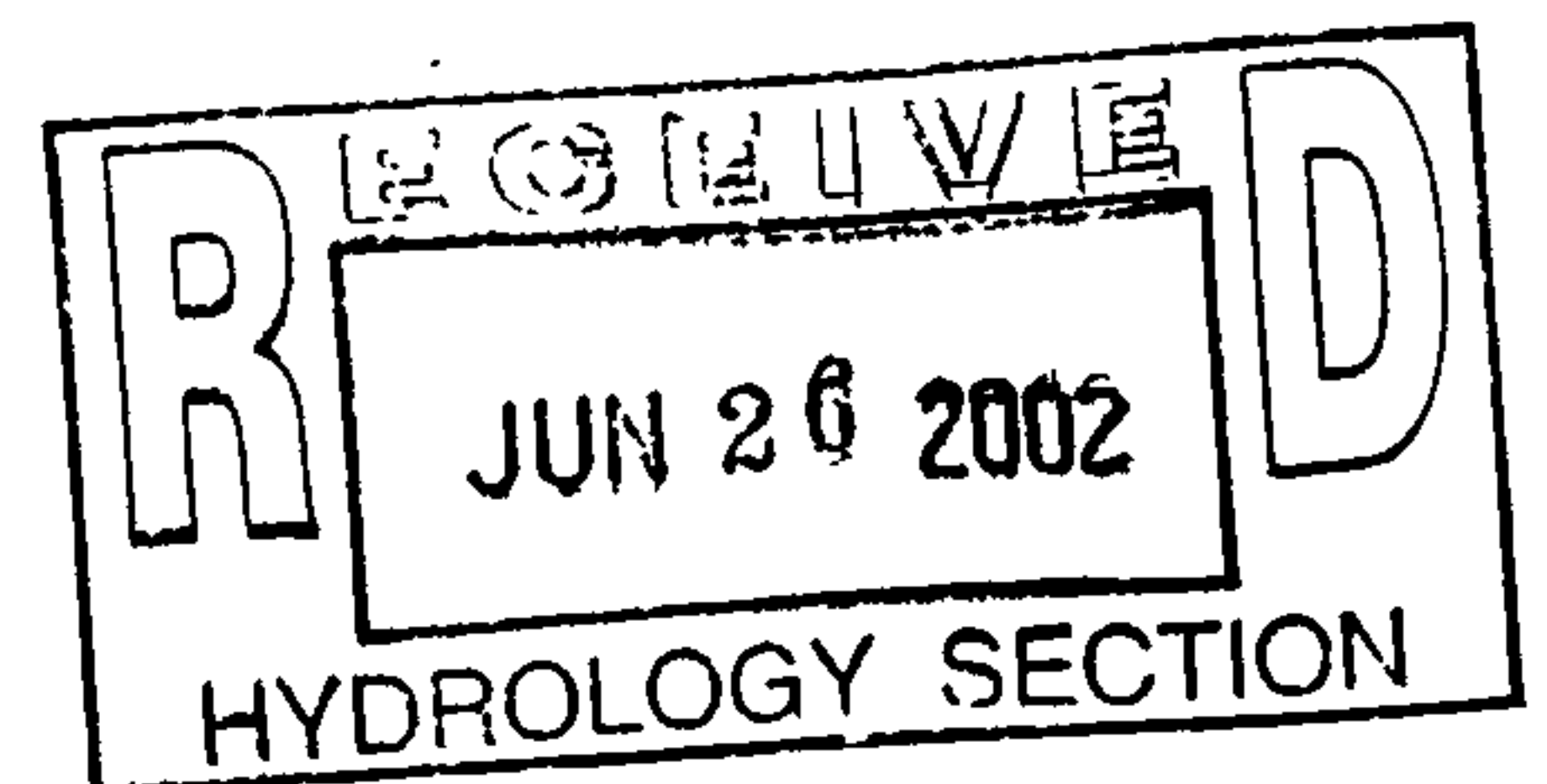
DRAINAGE REPORT

FOR

PARKWAY UNIT 10

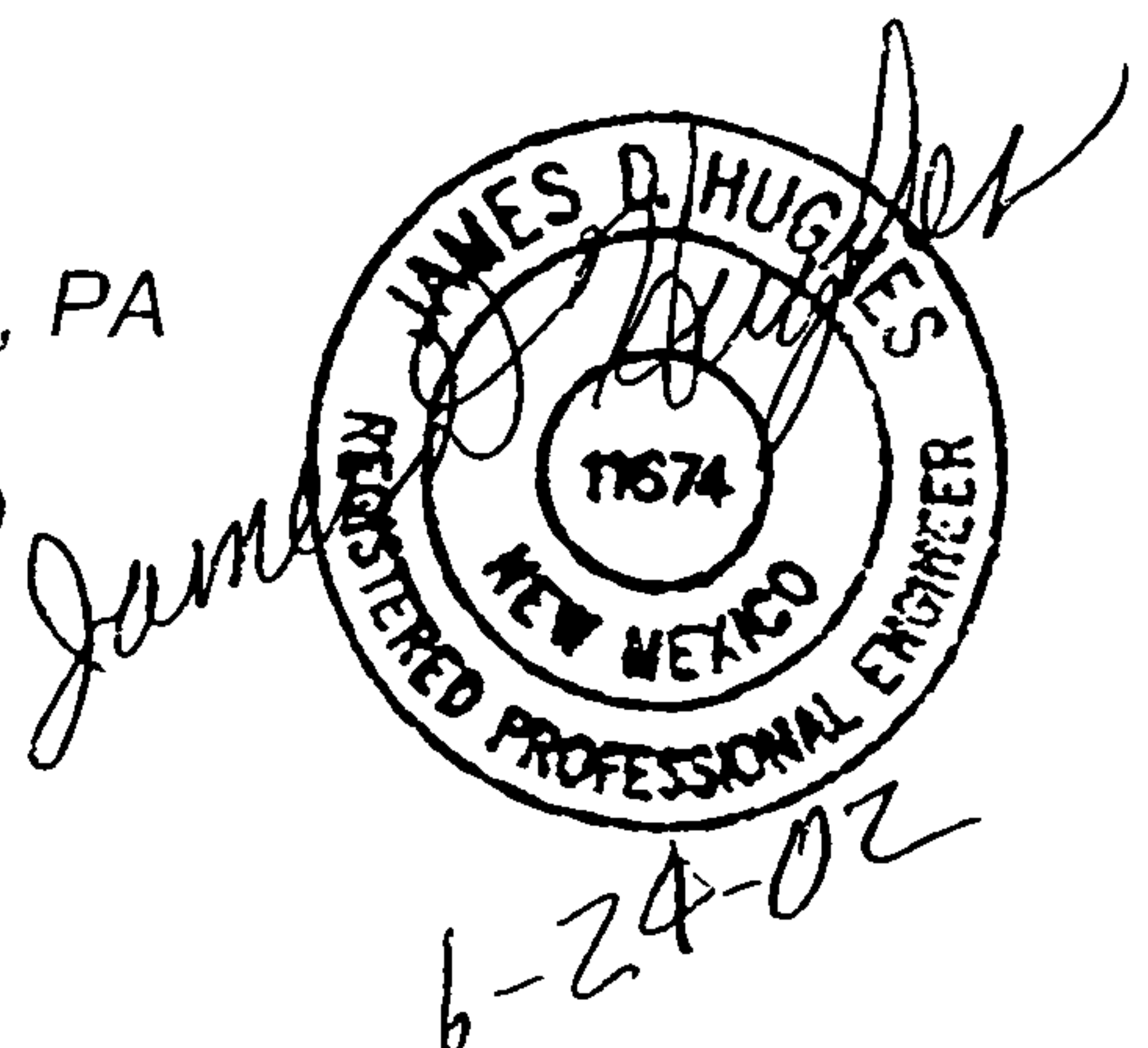
Prepared for

*Westland Development Co.
401 Coors NW
Albuquerque, NM 87121*



Prepared by

*Mark Goodwin & Associates, PA
P.O. Box 90606
Albuquerque, NM 87199*



June 2002

TABLE OF CONTENTS

Report

- *Cover Page*
- *Drainage Information Sheet*
- *Vicinity Map (J-9)*
- *Purpose*
- *Existing Conditions*
- *Proposed Management Plan*

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- *Table 1 — Street Drainage Capacities*
 - Table 1 — from Parkway Unit 7*
 - Table 1 from Parkway Unit 8 & 9*
- *Off-Site Basin Maps (from Units 7 , 8 & 9)*
- *Sump Inlet Capacities*
- *Street Capacity Plate 22.3 D-1*

Pockets

- *Grading and Drainage Plan, Sheets 1 & 2*

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV.1/11/2002)

PROJECT TITLE:	<u>Parkway Unit 10</u>	ZONE MAP/DRB.FILE#:	<u>J-9</u>
DRB#:	<u>100570</u>	EPC#	<u></u>
LEGAL DESCRIPTION:	<u>Parcel A Painted Sky Unit 1, Tract 95 Town of Atrisco Grant and Tract A Parkway Unit 7</u>		
CITY ADDRESS:	<u>(Sandy Drive from Amy Ave. to Vinemont Place)</u>		
ENGINEERING FIRM:	<u>Mark Goodwin & Associates, PA</u>	CONTACT:	<u></u>
ADDRESS:	<u>P.O. Box 90606 Albuquerque NM 87119</u>	PHONE:	<u>828-2200</u>
CITY, STATE:	<u>Albuquerque NM</u>	ZIP CODE:	<u>87119</u>
OWNER:	<u>Westland Development</u>	CONTACT:	<u></u>
ADDRESS:	<u>401 Coors NW</u>	PHONE:	<u></u>
CITY, STATE:	<u>Albuquerque NM</u>	ZIP CODE:	<u>87121</u>
ARCHITECT:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>
CITY, STATE:	<u></u>	ZIP CODE:	<u></u>
SURVEYOR:	<u>Precision Survey</u>	CONTACT:	<u></u>
ADDRESS:	<u>8414-D Jefferson</u>	PHONE:	<u></u>
CITY, STATE:	<u>Albuquerque NM</u>	ZIP CODE:	<u>87113</u>
CONTRACTOR:	<u></u>	CONTACT:	<u></u>
ADDRESS:	<u></u>	PHONE:	<u></u>
CITY, STATE:	<u></u>	ZIP CODE:	<u></u>

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- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEER'S CERTIFICATION (TCL)
- ☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 6-26-02

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTY RELEASE
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- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

BY: James D. Hughes, PE

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5).
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

PURPOSE

The purpose of this report is to demonstrate the adequacy of the proposed drainage to allow this site 6.8 to be subdivided into about 39 single-family, detached residential lots (Zoned RLT), and so associated public drainage infrastructure can be constructed and turned over to the City of Albuquerque for maintenance.

EXISTING CONDITIONS

This site has two large temporary retention ponds on it, that receive off-site drainage from Parkway Unit 7 and 8 which bound this site on the west. This site is bounded on the North by Parkway Unit 6 with no drainage crossing that boundary. This site is bounded on the east by the I-40/Unser Blvd. Right-of-Way where this site naturally drained before the ponds were constructed. This site is bound on the south by Painted Sky Unit 1 which constructed one block of Sandy Drive between Gavin Rd. and Amy Ave. including the sump inlets there.

PROPOSED MANAGEMENT PLAN

The temporary retention ponds on this site are to be completely filled in and this site will be allowed free discharge of all on-site and off-site developed runoff into the I-40 diversion channel below Unser Blvd. To be constructed by AMAFCA this year. Two new sump inlets will be constructed at the end of Vienmont Place and pipes will be constructed to take drainage from both that sump and the existing Sandy Drive Sump into the Highway right-of-way east of this site. A future pond is to be constructed in the North west corner of the Unser / I-40 intersection, but for now the pipes will drain into dirt ditches which will convey run-off to the existing concrete box culverts under Unser Blvd. The pipes will match grade with both the future pond and with the temporary ditch.

SANDY DRIVE SUMP INLET CAPACITIES

INLETS #20, 21, 22 & 23

Capacity is measured by the weir equation at the lip of the gutter assuming an allowable ponding elevation equal to the lowest adjacent right-of-way elevation. The length of the double grate facing the street is 6.5' ± and the depth is 0.875'* at the lip of the gutter. The sides are each 2' long (4' total) and the average depth is 1.042'*. From the weir equation:

$$\begin{aligned} \text{(Front)} Q_{cap} &= 3.0 \times 6.5' \times 0.875'^{1.5} = 15.96 \text{ cfs} \\ \text{(Sides)} Q_{cap} &= 3.0 \times 4.0' \times 1.042'^{1.5} = 12.76 \text{ cfs} \\ \text{(Total)} Q_{cap} &= 15.96 \text{ cfs} + 12.76 \text{ cfs} = 28.72 \text{ cfs} \end{aligned}$$

* Note: These depths assume standard 8" curb with the right-of-way 9' behind the curb and 0.33' above the top of the curb.

The 100-year flow to the sump inlets 20 thru 23 is 40.01 cfs by-pass from inlets 24 & 25 plus 6.44 cfs from the lower portion of Basin #100.4 plus 47.38 cfs from on Sandy Drive for a total of 93.83 cfs. There are four sump inlets (inlets #20, 21, 22 & 23) with a combined capacity of 114.88 cfs thus providing a safety factor that would allow 18% of the inlets to clog without exceeding the normal design criteria. For HGL calculations, each inlet is assumed to take one fourth of the 100-year flow (23.46 cfs each).

W00

SANDY DRIVE SUMP EMERGENCY OVERFLOW SWALE

This sump has a 40' wide emergency overflow spillway designed to handle the 100-year flow (180.43 cfs) in the event that the storm sewer system failed completely. The depth of flow in the emergency overflow spillway is given by the broad crested weir equation as:

$$\begin{aligned} \text{Emergency overflow } Q &= 180.43 \text{ cfs} = 2.7 \times 40' (\text{depth})^{1.5} \\ \text{depth} &= 1.41' \end{aligned}$$

This depth is measured above the right-of-way elevation. The pads in the sump area are set 1' 7" above the right-of-way, thus allowing 0.30' for construction tolerances. The emergency overflow swale is at a 0.5% slope, 40' wide, and has the following capacity at a 1.41 depth:

$$\begin{aligned} \text{(from Manning's)} Q_{cap} &= (1.486/0.03) \times (40' \times 1.41') \times (1.41')^{0.67} \times (0.005)^{0.5} = 248.68 \text{ cfs} > 180.43 \text{ cfs} \\ \text{(OK)} \end{aligned}$$

Note: This swale will not be constructed with this project. The sump will overflow directly into the adjacent temporary retention pond in the event that the inlets fail.

TABLE 1 — STREET DRAINAGE CAPACITIES

Basin #	Contributing Basins	Area Ac.	100 Year Flow (cfs)		Curb Type/Slope	Flow Depth ft ⁽¹⁾	Velocity fps	Energy Depth ft ⁽²⁾	Location
			Inc.	Cumm.					
100.6	100.4 + 100.5 + 100.6			32.84	Std/5.84%	0.39'	6.2fps	0.99'	Vienmont Place
100.7	100.4 + 100.5 100.6 + 100.7	2.0	7.08	39.92	Std/1.48%	0.52'	4.4fps	0.82'	Vinemount Place
100.8	100.8			13.00	Std/0.5%	0.43'	2.0	0.49'	Sandy Drive
100.9	100.8 + 100.9			25.11	Std/0.5%	0.53'	2.7	0.64'	Sandy Drive
100.10	100.8 - 100.10			36.78	std/0.5%	0.61'	3.0	0.75'	Sandy Drive
100.11	100.8 - 100.11			47.38	std/0.93%	0.61'	4.0	0.85	Sandy Drive

- (1) Flow depths are taken from Plate 22.3 D-1 of the DPM and reduced by 3/4" for roll curb types to account for the difference in gutter depression.
Allowable depths may not exceed curb heights which are 0.33' for roll curb and gutter and 0.67' for standard curb and gutter.
Energy depth is calculated as flow depth plus energy head. Allowable depths are 0.20' above top of curb,
- (2)

- (3) **100 YEAR PRECIPITATION** (From Figures D, E and F, and Eq. 28 of DPM 22.2) $P_{60} = 1.89"$, $P_{360} = 2.20"$,
 $P_{1440} = 2.66"$, $P_{10 \text{ days}} = 10.0 - [24.9 / (2.66)^{1.4}] = 3.67"$ THE VOLUME LISTED IN THIS TABLE IS 100-YR, 10-DAY VOLUME

TABLE 1
(From Parkway Unit 7 Drainage Report)
HYDROLOGIC FLOW PARAMETERS

EXISTING DEVELOPMENT CONDITIONS

					LAND TREATMENT				INCREMENTAL		FUTURE TOTAL	
Basin I.D.	Area (Sq.Mi.)	Contr. Basin	Sum Area (Sq.Mi.)	T _c (Min.)	A	B	C	D	Q ₁₀₀ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	Q ₁₀ (cfs)
101	0.0498	--	--	14.4	95	0	5	0	--	--	36.90	7.58

FUTURE DEVELOPMENT CONDITIONS

					LAND TREATMENT				INCREMENTAL		FUTURE TOTAL	
Basin I.D.	Area (Sq.Mi.)	Contr. Basin	Sum Area (Sq.Mi.)	T _c (Min.)	A	B	C	D	Q ₁₀₀ (cfs)	Q ₁₀ (cfs)	Q ₁₀₀ (cfs)	Q ₁₀ (cfs)
101.3	0.0070	—	0.0070	12	0	22	21	57	15.85	9.46	15.85	9.46
101.4	0.0060	.3	0.0130	12	0	22	21	57	13.59	8.11	29.44	17.57
101.5	0.0061	.3.4	0.0191	12	0	22	21	57	13.81	8.24	43.25	25.81
101.6	0.0024	.3.4.5	0.0215	12	0	22	21	57	5.44	3.25	48.69	29.06
101.7	0.0044	.3.4.5.6	0.0255	12	10	40	50	0	6.02	2.64	54.71	31.63

PHASED DEVELOPMENT OF LADERA DRIVE

[illegible]

TABLE 1

FULLY DEVELOPED CONDITIONS
PARKWAY UNITS 8 & 9

Basin I.D.	Area (Sq.Mi.)	Contr. Basin	Sum Area (Sq.Mi.)	Tc (Min.)	LAND TREATMENT				INCREMENTAL		TOTALS	
					A	B	C	D	Q100 (cfs)	Q10 (cfs)	Q100 (cfs)	Q10 (cfs)
100.1	0.01270			12	0	30	15	55	27.95	16.44	27.91	16.44
100.2	0.00380			12	-	-	-	-	8.37	4.92	8.37	4.92
100.3	0.00590			12	-	-	-	-	13.00	7.64	13.00	7.64
120.1		100.1, 2	0.01650								36.32	21.36
120.2		120.1, 100.3	0.02240								49.31	29.00
100.4	0.00620			12	0	10	0	90	16.42	10.65	16.42	10.65
120.3		120.2, 100.4	0.02860								65.73	39.63
100.5	0.00470			12	0	30	15	55	10.35	6.09	10.35	6.09
100.6	0.00330			12	-	-	-	-	7.27	4.28	7.27	4.28
100.7	0.00490			12	0	93	0	7	6.86	2.84	6.86	2.84
100.7A	0.00102			12	0	30	15	55	2.25	1.32	2.25	1.32
130.1		100.5, 6	0.00960								17.63	10.37
130.2		130.1, 100.7									24.49	13.16
130.2A		130.2, 100.7A	0.01062								26.74	14.49
100.8	0.00590			12	0	30	15	55	13.00	7.64	13.00	7.64
100.9	0.00550			12	-	-	-	-	12.11	7.12	12.11	7.12
100.10	0.00530			12	-	-	-	-	11.67	6.86	11.67	6.86
100.11	0.00480			12	-	-	-	-	10.57	6.22	10.57	6.22
100.12	0.01910			12	0	35	15	50	40.58	23.39	40.58	23.39
140.1		100.8, 100.9	0.01140								25.10	14.76
140.2		140.1, 100.10	0.01670								36.77	21.63
140.3		140.2, 100.11	0.02150								47.35	27.85
130.3		130.2A, 100.12	0.02972								67.31	37.87
150.1		130.3, 120.3	0.05832								133.00	77.50
150.2		150.1, 140.3	0.07982								180.39	105.35
300.0	0.00650			12	0	10	0	90	17.21	11.15	17.21	11.15

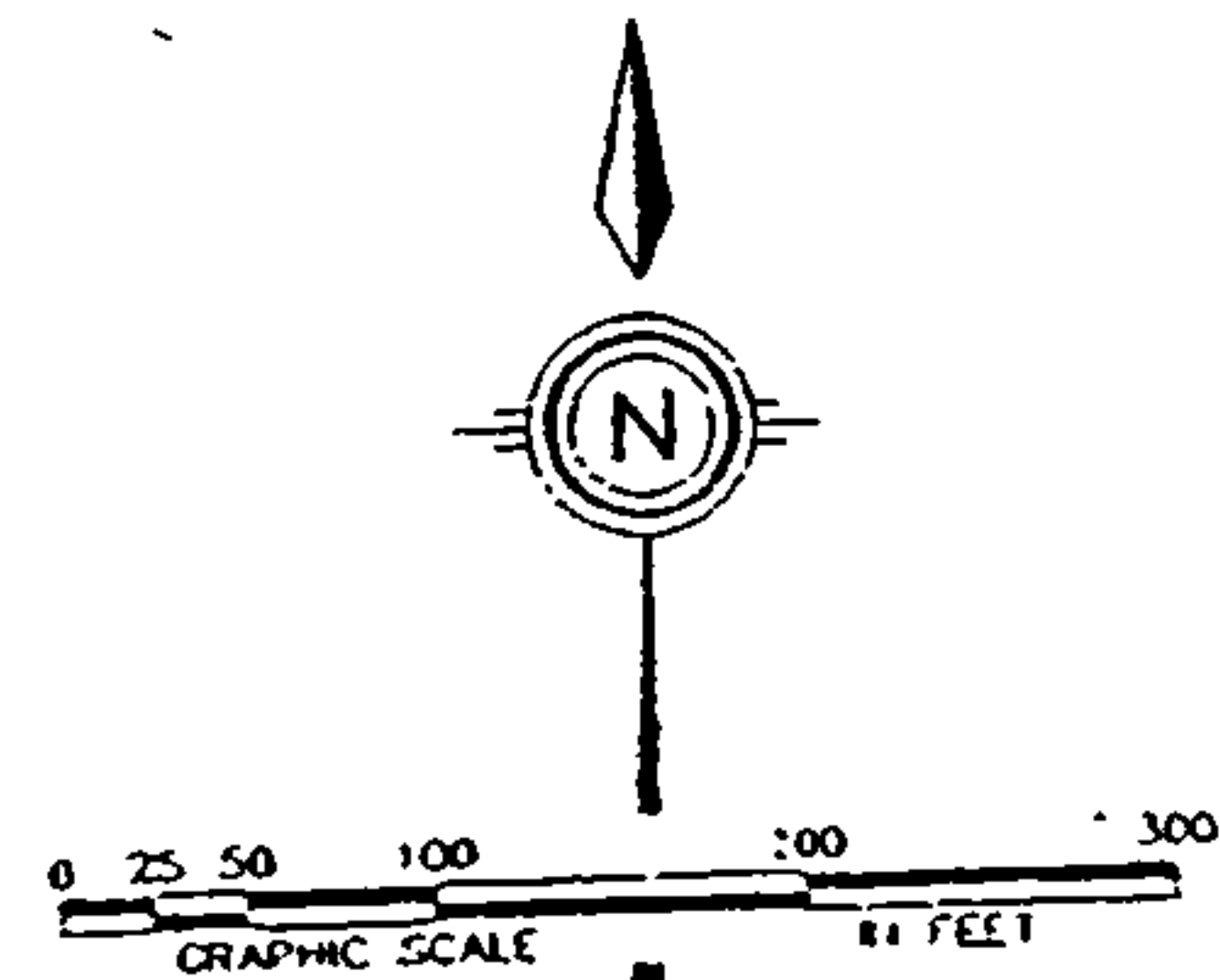
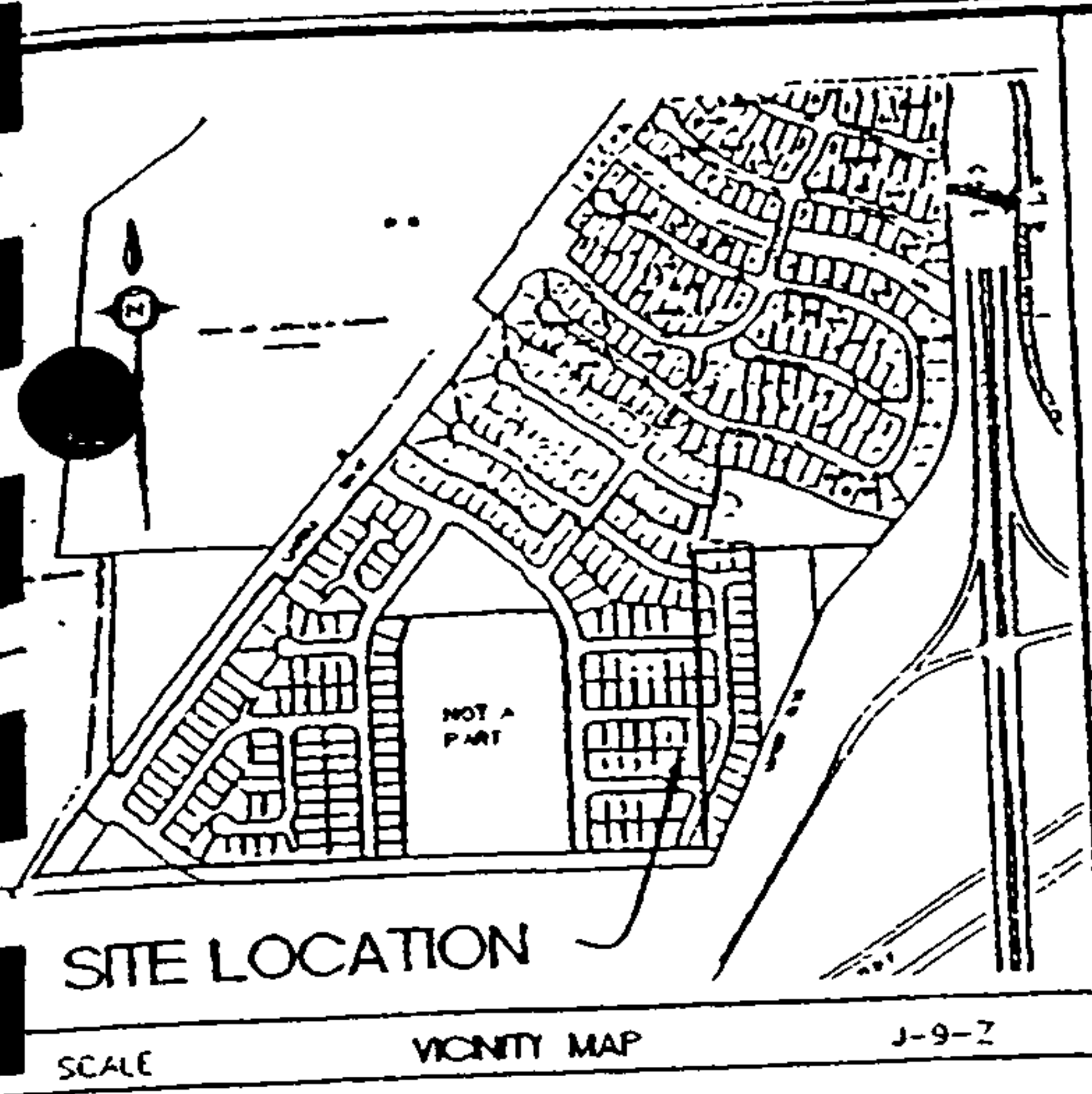
Unit 10

INTERIM CONDITIONS
PARKWAY UNIT 8 DEVELOPED WITH OFF-SITE BASINS

102.3*	0.05190			13	100	0	0	0	38.45	7.89	38.45	7.89
102.4*	0.03670			14	100	0	0	0	30.79	6.38	30.79	6.38
101.1	0.05140			12	100	0	0	0	42.65	8.09	42.65	8.09
101.2	0.02190			12	0	35	15	55	47.22	27.47	47.22	27.47

*FROM PARKWAY UNIT 7 DRAINAGE REPORT

PRELIMINARY GRADING AND DRAINAGE PLAN
 ONSITE DRAINAGE BASIN MAP
 FOR
PARKWAY UNITS 8 AND 9
 COMPRISED OF
 TRACTS B AND D PARKWAY SUBDIVISION
 SITUATE WITHIN
 TOWN OF ATRISCO GRANT
 PROJECTED SECTION 16, T10N, R3E, NMPM
 CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
 JULY 1995
 DRB-94-591



- LEGEND**
- PROPERTY
 - DRAINAGE BASIN DIVIDE
 - FLOW ARROW
 - WATER BLOCK
 - EXISTING STORM DRAIN MANHOLE
 - EXISTING INLET
 - EXISTING CONTOUR W/ INDEX ELEVATION
 - PROPOSED DRAINAGE BASIN
 - EXISTING STORM DRAIN LINE
 - UNIT BOUNDARY



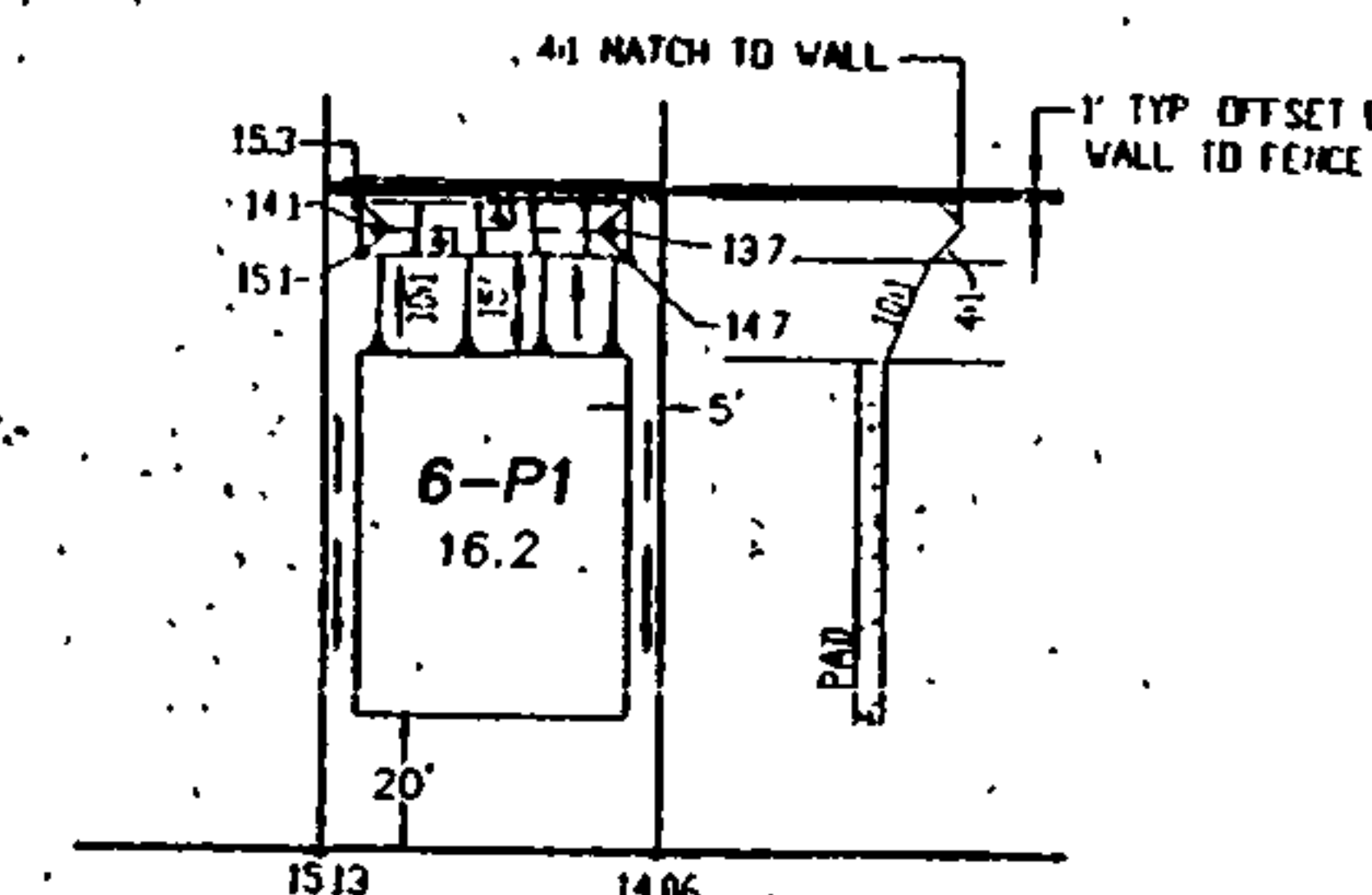
PLATE 1 PRELIMINARY GRADING AND DRAINAGE PLAN FOR PARKWAY UNIT 7 COMPRISED OF UNPLATTED LANDS OF WESTLAND DEVELOPMENT CO., INC.

SITUATE WITHIN
TOWN OF ATRISCO GRANT
PROJECTED SECTION 16, T10N, R3E, NMPM
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO
JULY, 1994

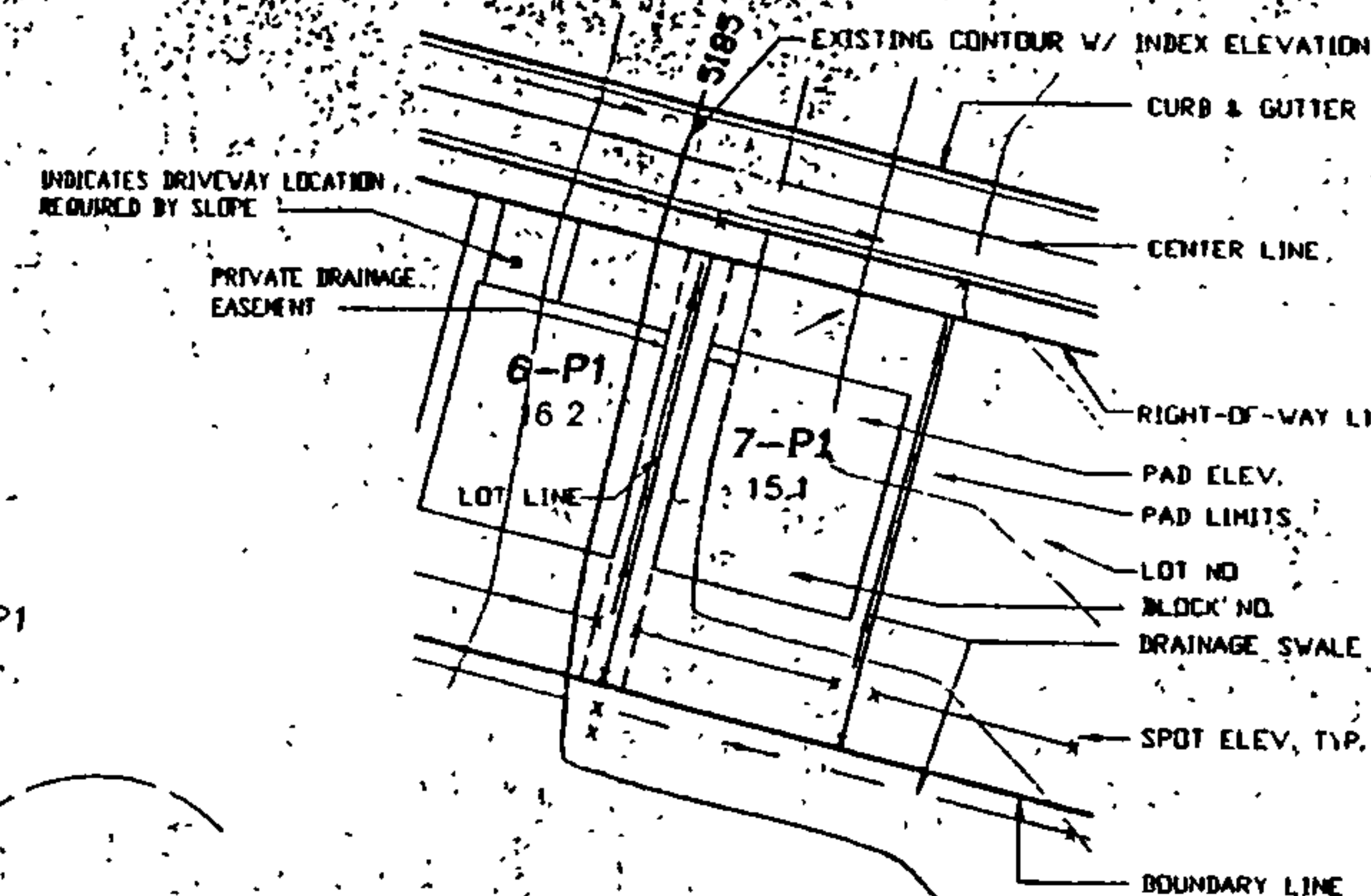
BENCHMARK FOR THIS PLAT IS IN THE CITY OF ALBUQUERQUE
ACS MONUMENT "3-H10" ELEVATION = 5193.38 LOCATED
386± EAST OF THE CENTERLINE OF UNSER BOULEVARD.

DRB-94-304

TYPICAL BACKYARD FOR NORTHSIDE LOTS
ON WESTOVER PL. AND VINEMONT PL.

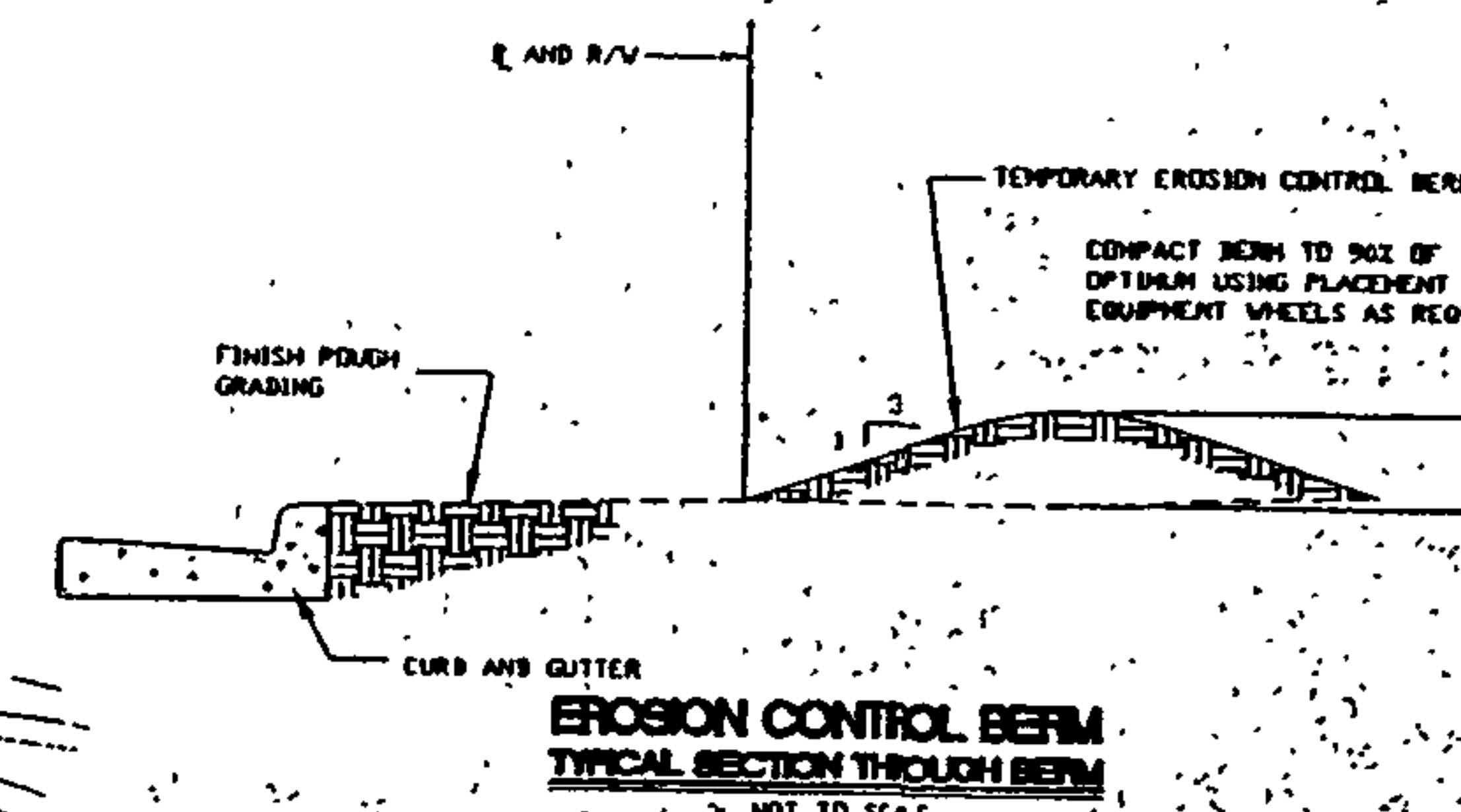
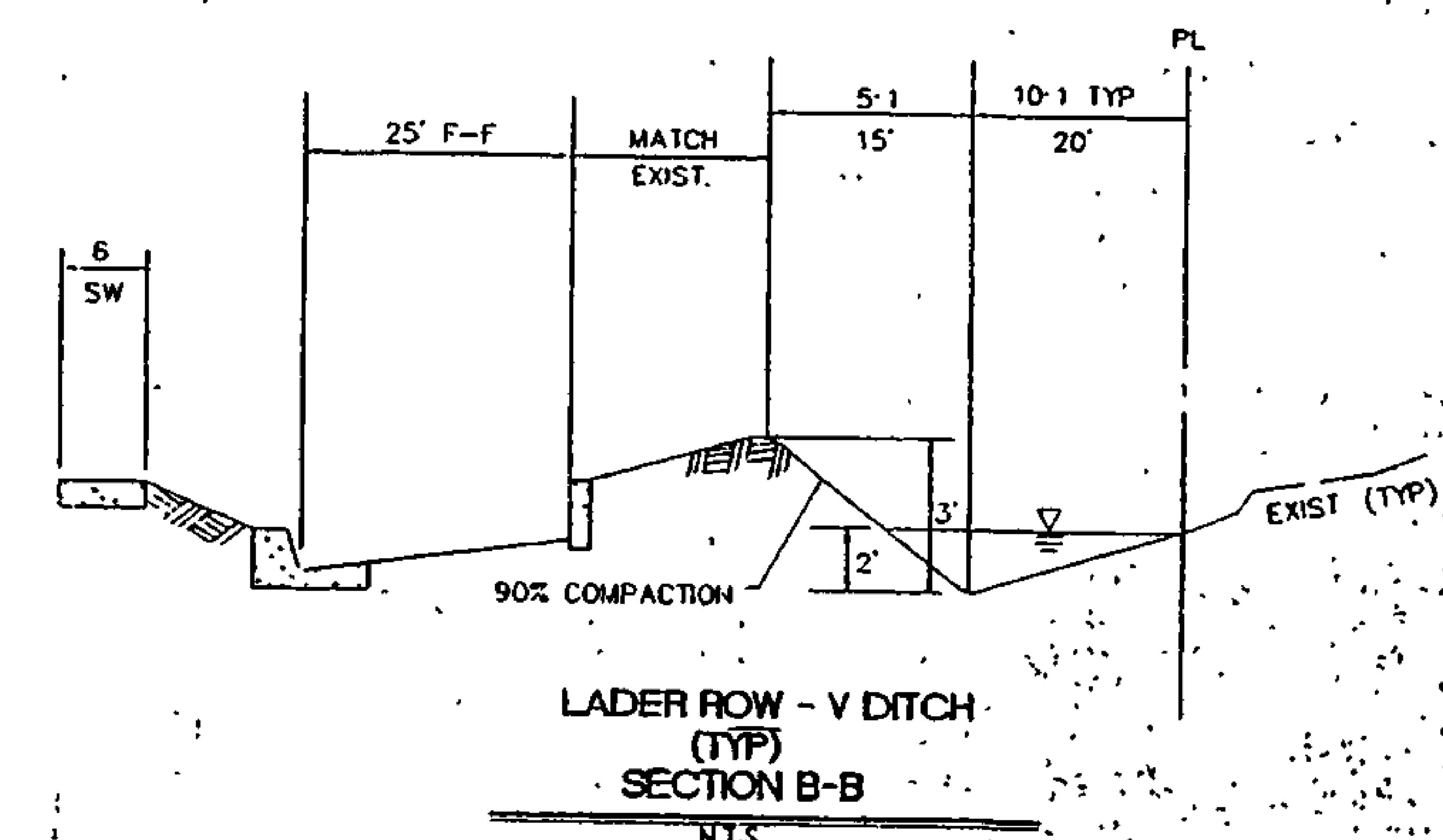


TYPICAL LOT DETAIL



LEGEND

● TC=90.43	PROPOSED TOP OF CURB ELEVATION	— SWALE
● 99.0	PROPOSED SPOT ELEVATION	— FLOW ARROW
● 09.0	EXISTING SPOT ELEVATION (GRID & TC)	— BASH BOUNDARY
—	EROSION CONTROL BERM	--- 30" SD --- EXISTING STORM DRAIN
—	PROPOSED CONCRETE VALLEY GUTTER	--- 30" SD --- PROPOSED STORM DRAIN
—	EXISTING CURB & GUTTER	— WATER BLOCK
—	PROPOSED MOUNTABLE CURB & GUTTER	— PROPOSED RETAINING
—	PROPOSED STANDARD CURB & GUTTER	— PROPOSED REAR-YARD POND
— 4973	EXISTING CONTOUR W/ INDEX ELEVATION	— PROPOSED SLOPE
— 102.4	PROPOSED DRAINAGE BASIN	



SEE SHEET 2 OF 3

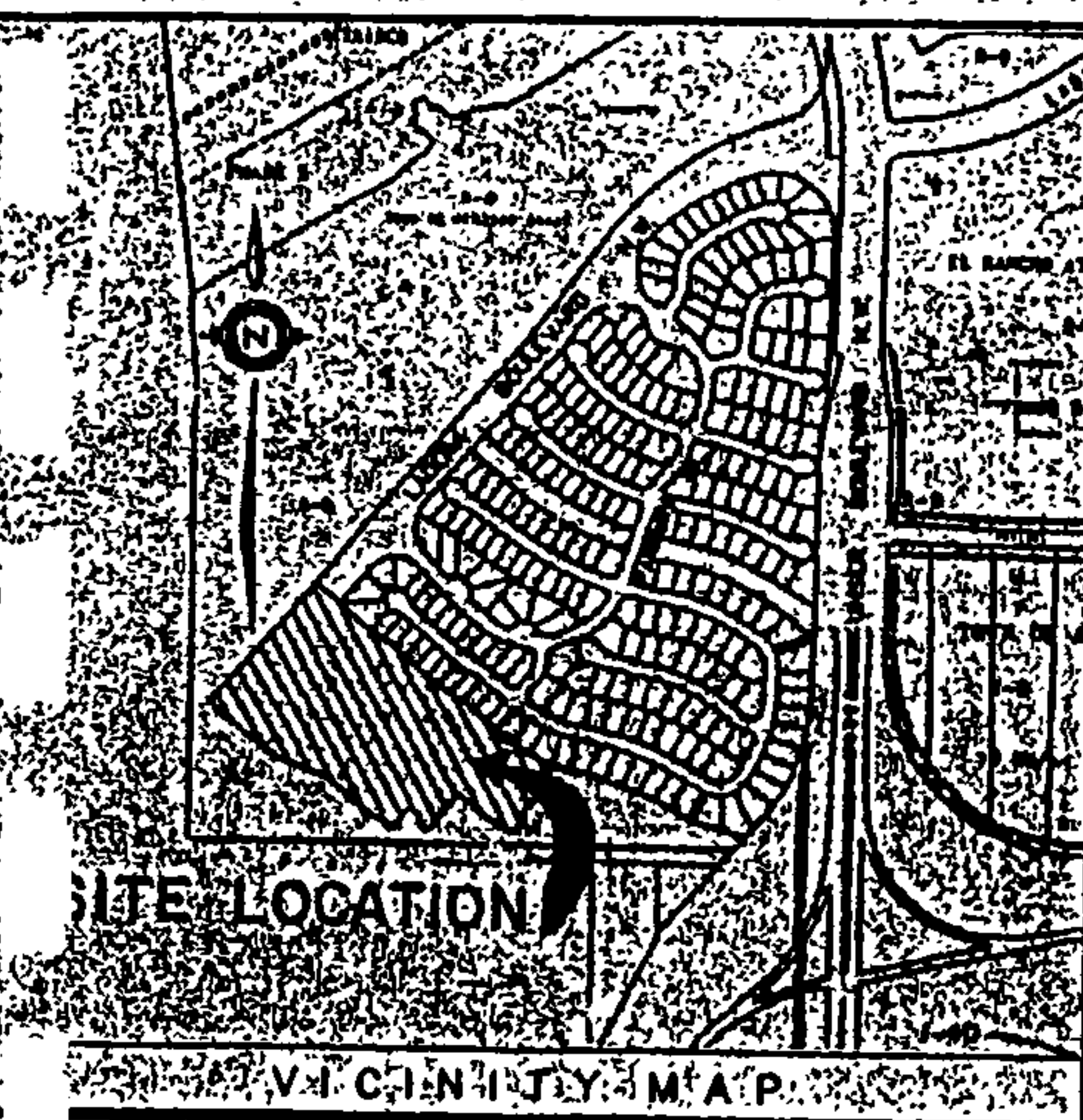
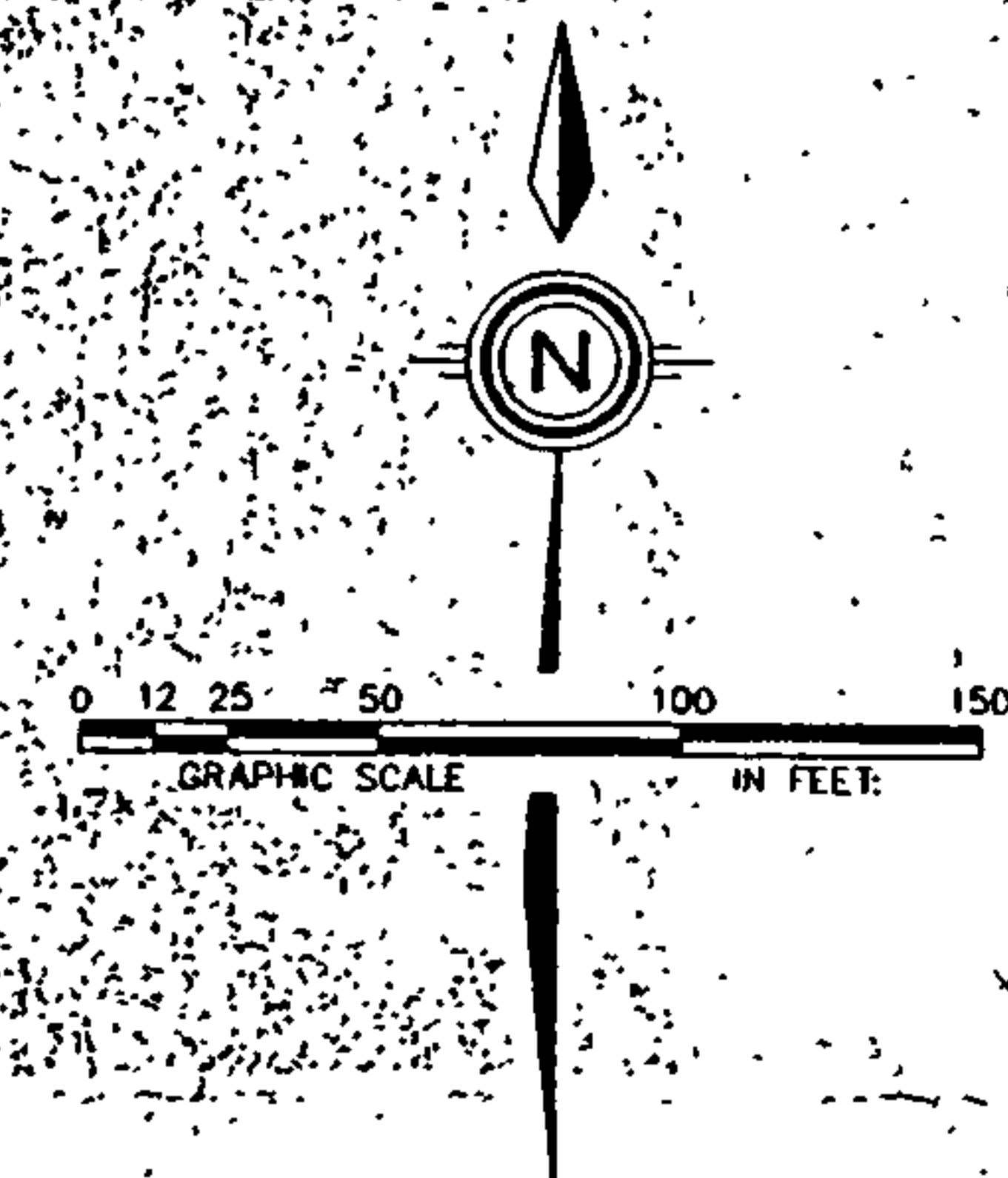


SHEET 1 OF 3

DATE: JULY 1994
SCALE: 1"=50'
DESIGNED: SMB
DRAWN: MCO
JOB NO.: 189-03-02

community
sciences
corporation

LAND PLANNING ENGINEERING SURVEYING
P.O. Box 1329 Corrales, N.M. 87048



ALBUQUERQUE, N.M. MAP

CAPACITIES OF INLETS ON GRADE

VINEMOUNT PLACE SUMP INLET CAPACITIES

INLETS 1 & 2

Capacity is measured by the weir equation at the lip of the gutter assuming an allowable ponding elevation equal to the lowest adjacent right-of-way elevation. The length of the double grate facing the street is 6.5' ± and the depth is 0.875'* at the lip of the gutter. The sides are each 2' long (4' total) and the average depth is 1.042'*. From the weir equation:

$$\text{(Front) } Q_{cap} = 3.0 \times 6.5' \times 0.875'^{1.5} = 15.96 \text{ cfs}$$

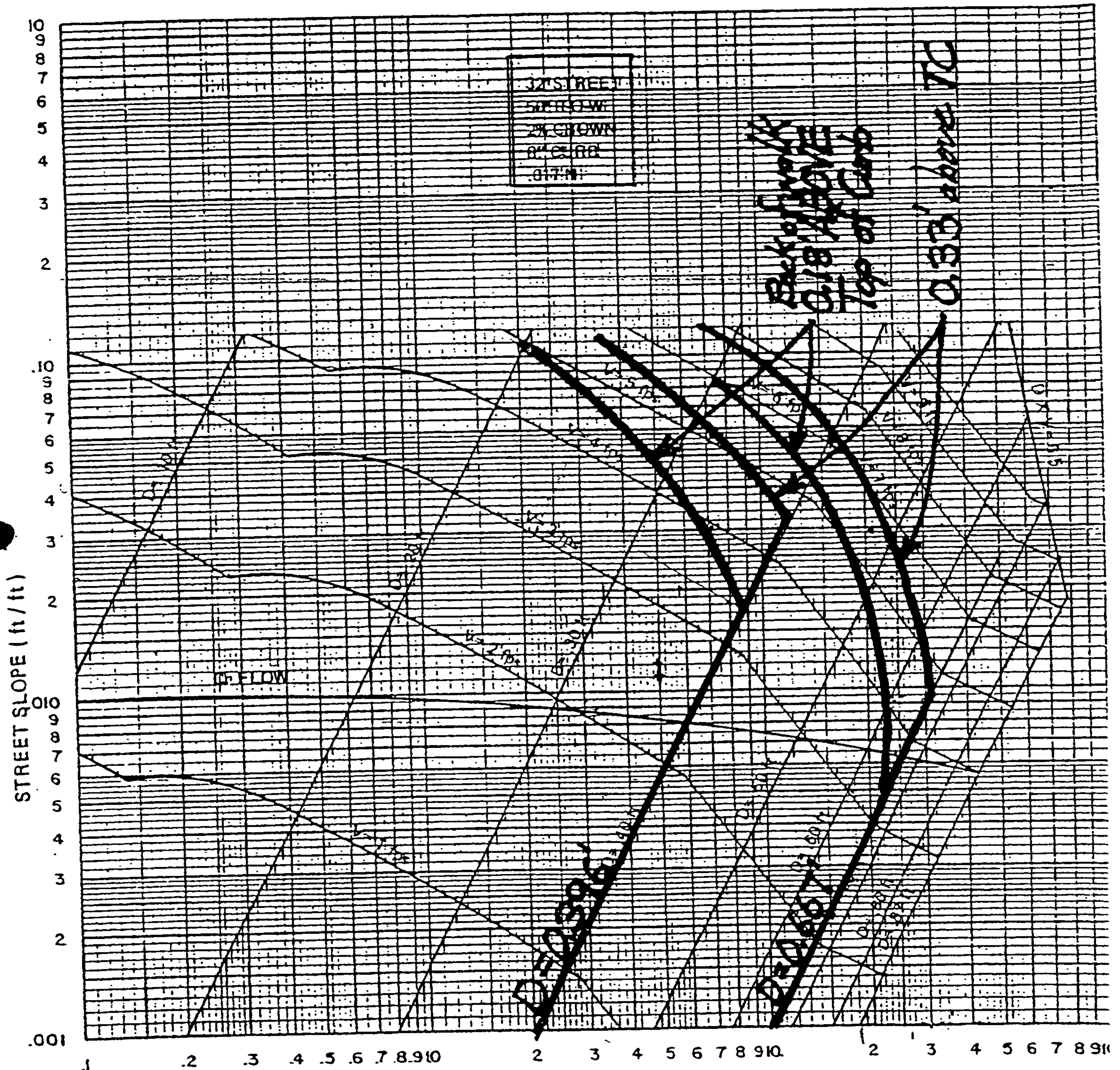
$$\text{(Sides) } Q_{cap} = 3.0 \times 4.0' \times 1.042'^{1.5} = 12.76 \text{ cfs}$$

$$\text{(Total) } Q_{cap} = 15.96 \text{ cfs} + 12.76 \text{ cfs} = 28.72 \text{ cfs}$$

* Note: These depths assume standard 8" curb with the right-of-way 9' behind the curb and 0.33' above the top of the curb.

The 100-year flow to the sump inlets # 1 & 2 is 39.92 cfs. There are two sump inlets (inlets #1 & 2) with a combined capacity of 57.44 cfs thus providing a safety factor that would allow 43% of the inlets to clog without exceeding the normal design criteria. For HGL calculations, each inlet is assumed to take one half of the 100-year flow (19.96cfs each).

STREET CAPACITY



Depth for roll C & G to be reduced
by $\frac{3}{4}$ " to account⁷⁰ for difference
in gutter depression.



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 5, 2004

James D Hughes, PE
Mark Goodwin & Associates
P.O. 90606
Albuquerque, NM 87199

**Re: Parkway Unit 10 Subdivision Drainage Report
Engineer's Stamp dated 1-19-04 (J9/D17)**

Dear Mr. Hughes,

Based upon the information provided in your submittal dated 1-20-04, the above referenced report is approved for Preliminary Plat action by the DRB. Once that board has approved the plan, please submit a mylar for my signature in order to obtain a Grading Permit.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso) or 768-3645 (Bryan Wolfe).

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
City Hydrologist

C: Chuck Caruso, CoA
file

J-9/D17

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV. 1/28/2003rd)

Parkway Subdivision Unit 10

PROJECT TITLE: Parkway, Unit 10

DRB #: 100570

EPC#: _____

ZONE MAP/DRG. FILE #: J-9

WORK ORDER#:

LEGAL DESCRIPTION: Parcel A Painted Sky Unt1 Tr 95 Town of Atrisco Grant & Tr A Parkway Unt 7

CITY ADDRESS: (Sandy Drive from Amy Avenue to Vinemont Place)

ENGINEERING FIRM: Mark Goodwin & Associates, PA

ADDRESS: PO Box 90606

CITY, STATE: Albuquerque, NM

CONTACT: James D. Hughes, PE

PHONE: 828-2200

ZIP CODE: 87199

OWNER: Westland Development

ADDRESS: 401 Coors NW

CITY, STATE: Albuquerque, NM

CONTACT: Leroy Chavez

PHONE: 831-9600

ZIP CODE: 87121

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: Precision Survey

ADDRESS: 8414-D Jefferson St. NE

CITY, STATE: Albuquerque, NM

CONTACT: Larry Medrano

PHONE: 856-5700

ZIP CODE: 87113

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1st SUBMITTAL, **REQUIRES TCL or equal**
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☐ OTHER

Resubmittal

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY)

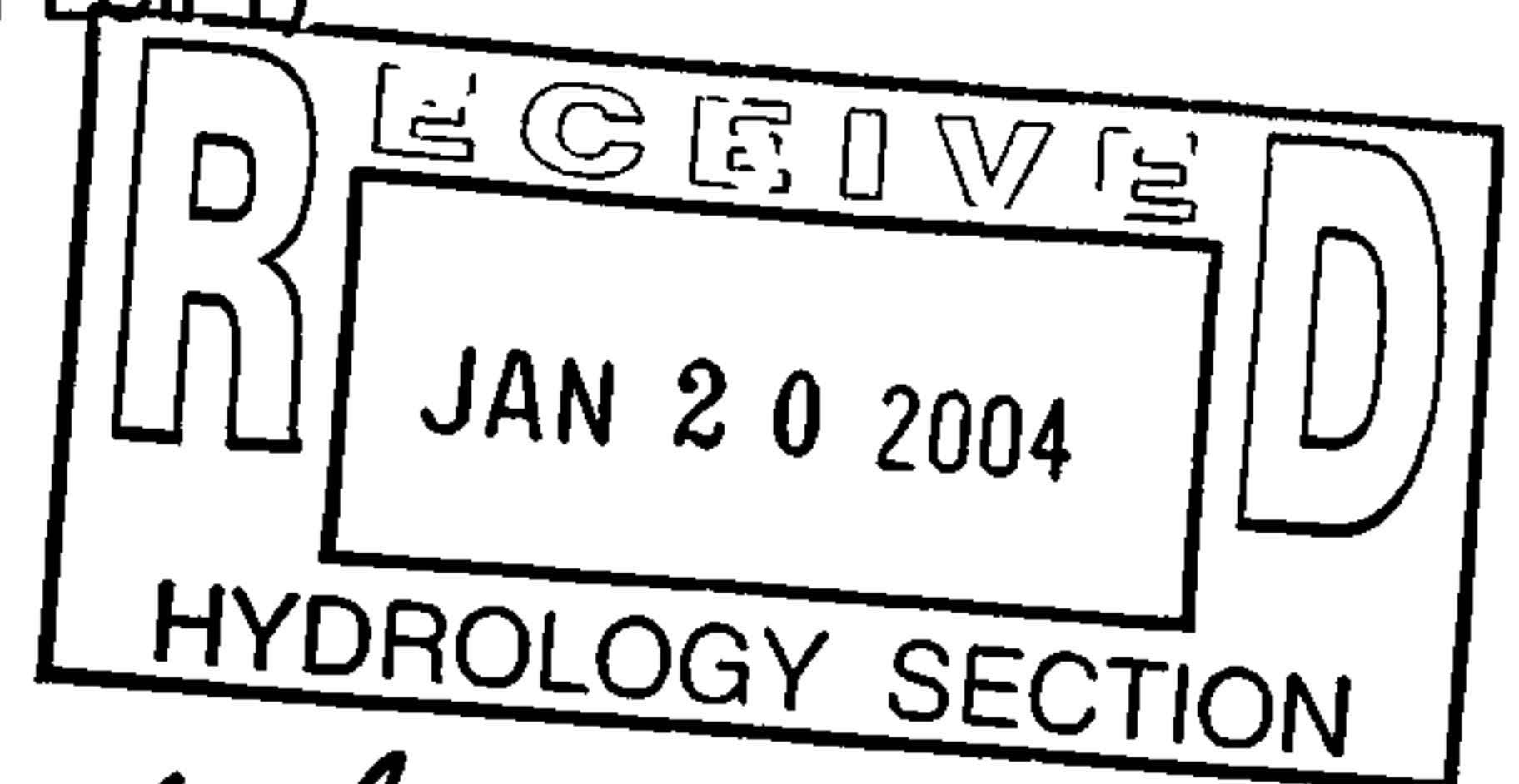
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 1-20-04

BY:

James D. Hughes



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or more.

D. Mark Goodwin and Associates, P.A.
Consulting Engineers

P.O. Box 90606 ♦ Albuquerque, NM 87199
(505) 828-2200 ♦ (505) 797-9539 fax
e-mail: dm@swcp.com

LETTER OF TRANSMITTAL

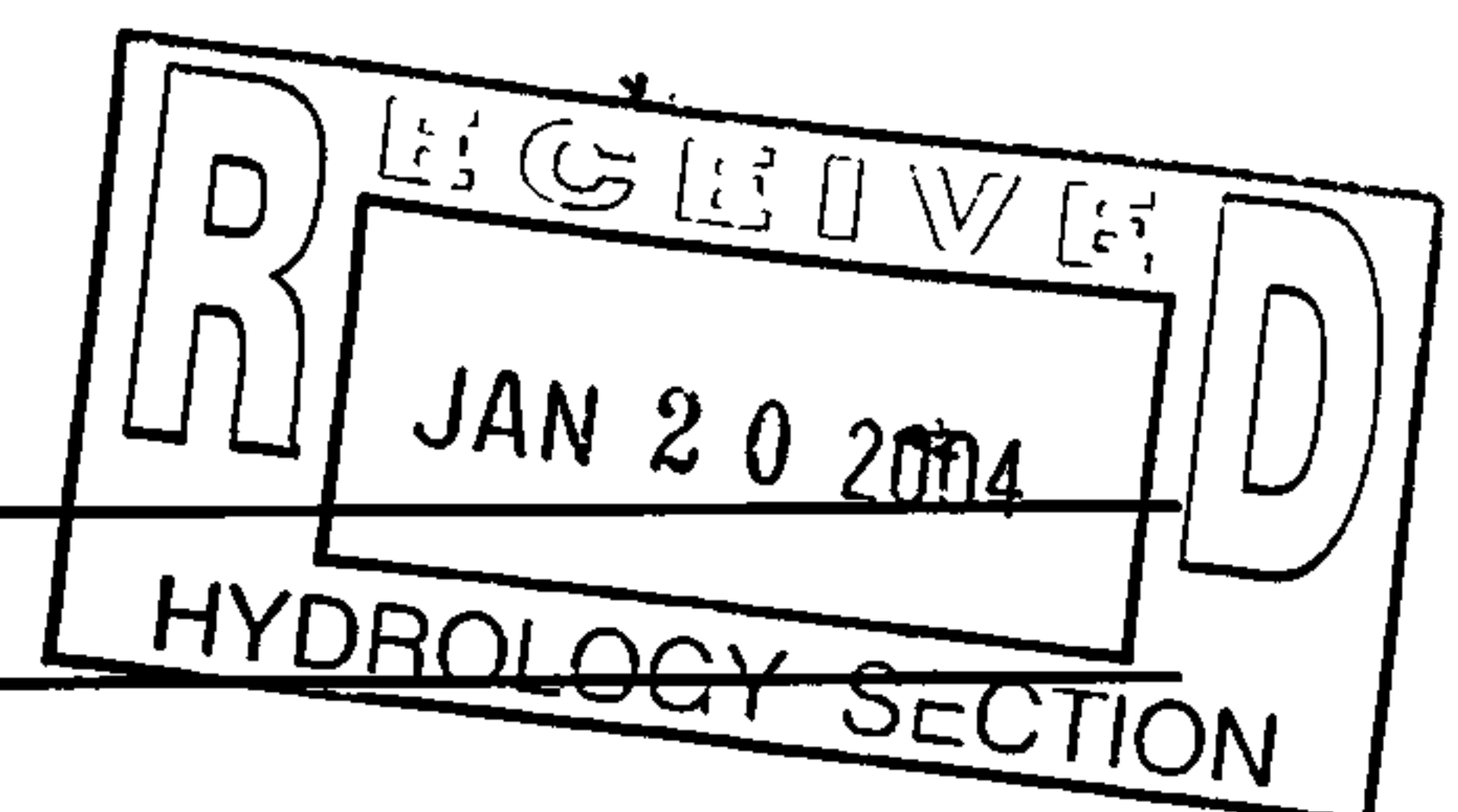
TO: Brad Bingham
City of Albuquerque
Engineering Dept

DATE: January 9, 2004

RE: Parkway, Unit 10

We are sending:

Quantity	Description
1	Drainage Info Sheet
1	Grading & Drainage Plan
1	Preliminary Plat
1	Infrastructure List
1	Site Plan
1	Letter addressing comments



Project Engineer James D. Hughes, PE

SIGNED: _____

Beth Gonzales
Beth Gonzales



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

January 9, 2004

Mr. Brad Bingham
City of Albuquerque
Engineering Department
PO Box 1293
Albuquerque, NM 87103

Re: Parkway Unit 10 (J9/D17)

Dear Mr. Bingham:

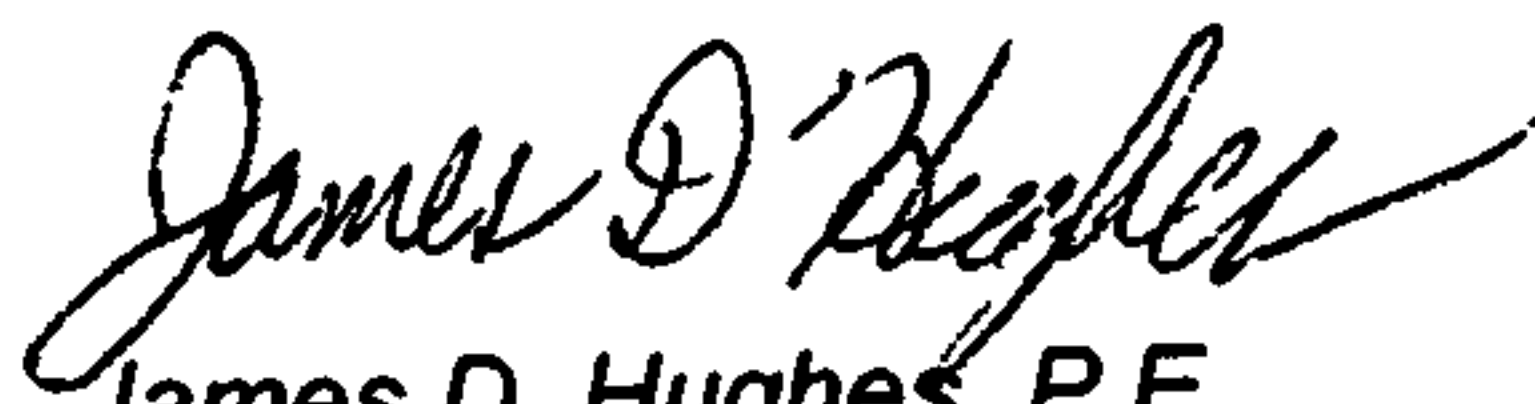
The Grading & Drainage plan has been revised as follows in response to the seven comments in your letter dated July 8, 2002.

1. The one year time frame was deleted from the Drainage Management Plan Note on Sheet 1 of 2.
2. The abrupt bends where the pipes enter the dirt channels were replaced with gradual curves and the riprap size was increased at the larger of the two pipes.
3. A future manhole was added to the 60" pipe so it will discharge at a 45° angle instead of a 90° angle into the channel.
4. The 60" pipe will connect to the future channel at station 15+16 per the channel profile approved with Painted Sky. The City project number is now referenced on the plan.
5. Spot elevations were added to rear yard walls. Side yard walls are per the typical lot grading detail. Pad elevations are used to determine wall elevations per that detail.
6. Note 3 on Sheet 2 was revised.
7. AMAFCA is expected to sign the infrastructure list for Preliminary Plat Approval..

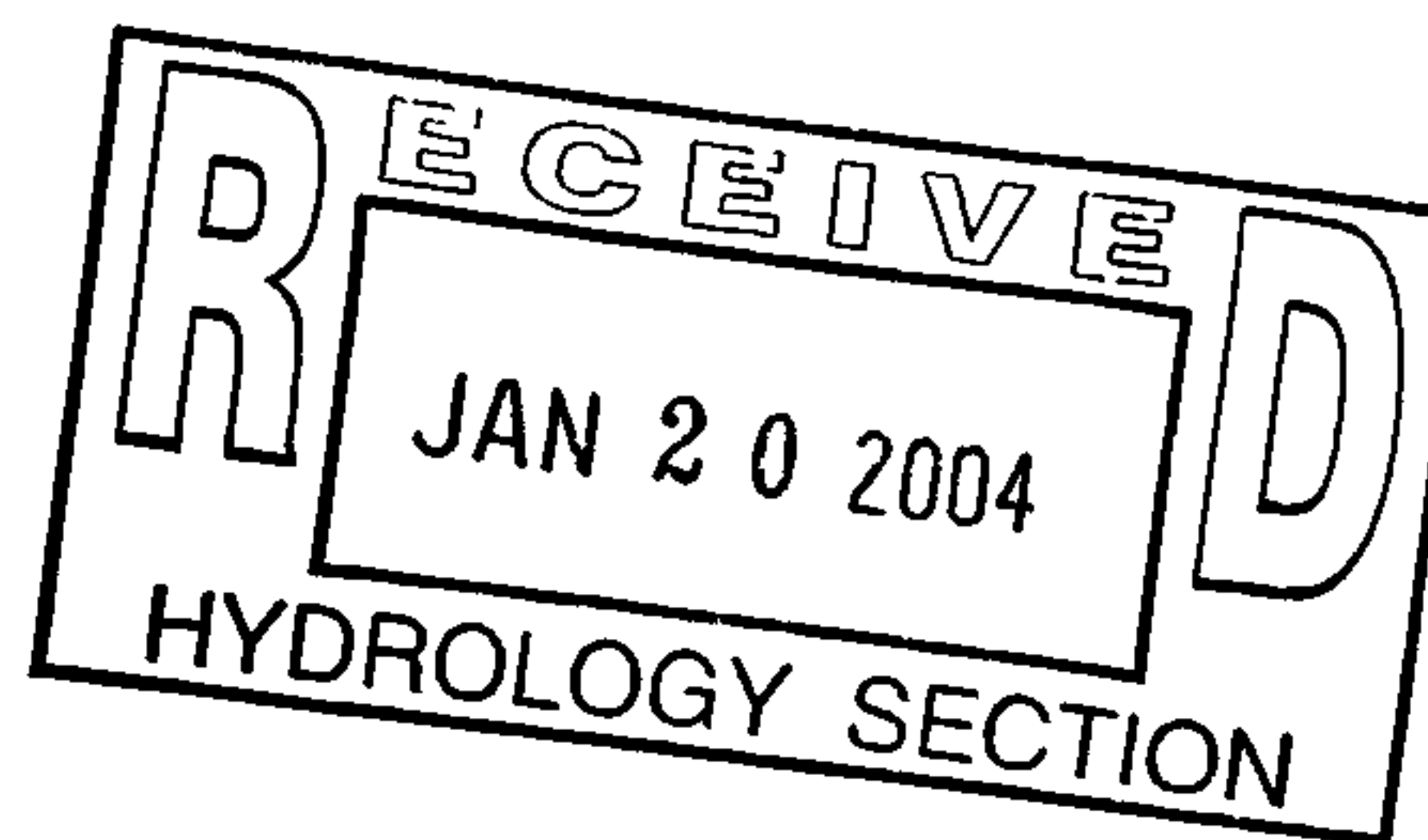
Please approve the grading plans for Preliminary Plat. Call with questions or comments.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA


James D. Hughes, P.E.
Senior Engineer

JDH/bg



cc: Fred Ambrogi, Westland Development Corp.
Lynn Mazur, AMAFCA



D. Mark Goodwin & Associates, P.A.
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199
(505) 828-2200 FAX 797-9539
e-mail: dmgs@swcp.com

January 6, 2004

Ms. Sheran Matson
DRB Chair
City of Albuquerque
P.O. Box 1293
Albuquerque, NM 87103

Re: Parkway. Unit 10 (DRB # 1000570)

Dear Ms. Matson:

Attached please find the revised Preliminary Plat, Site Plan, Grading Plan, and Infrastructure List for the above referenced project. Changes include:

1. The Drainage Plan was revised to improve efficiency of pipe outfalls per the letter from the City of Albuquerque Hydrology Department dated July 8, 2002.
2. The Sheffield Place Right of Way width was changed to 46' on sheet 3 of the Preliminary Plat so that it matches all other sheets per Transportation comments.
3. An SAS easement was added on Lot 3 Block 2 per Utility comments and foot notes 3 & 4 were added to the Infrastructure List.

This plan is still waiting on AMAFCA's I-40 diversion project.

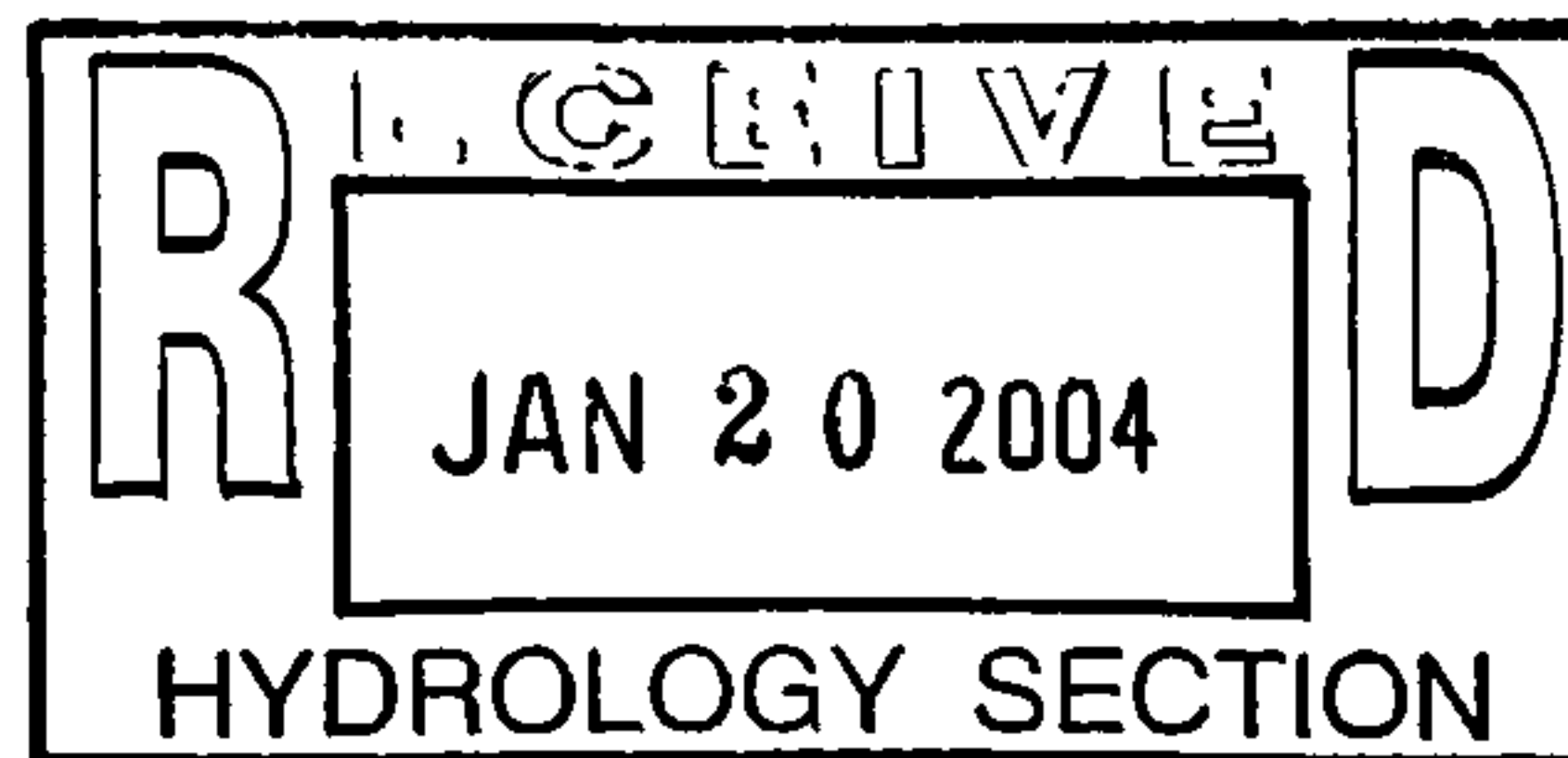
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

James D. Hughes, P.E.
Senior Engineer

JDH/bg

cc: Christine Sandoval, City of Albuquerque, Parks & Recreation Department
Brad Bingham, City of Albuquerque, Hydrology Department
Wilfred Gallegos, City of Albuquerque, Transportation Department
Roger Green, City of Albuquerque, Utility Department



INFRASTRUCTURE LIST

EXHIBIT "A"
TO SUBDIVISION IMPROVEMENTS AGREEMENT
DEVELOPMENT REVIEW BOARD (D.R.B.) REQUIRED INFRASTRUCTURE LIST

Date Submitted: 1-14-04
Date Site Plan Approved: n/a
Date Preliminary Plat Approved: _____
Date Preliminary Plat Expires: _____
DRB Project No.: 1000570
DRB Application No: _____

PARKWAY UNIT 10 SUBDIVISION

PROPOSED NAME OF PLAT AND/OR SITE DEVELOPMENT PLAN

A Portion of Tract 95, Town Of Atrisco Grant, & A Portion of Parcel "A", Parkway Unit 8, & All of Tract "A" Painted Sky Unit 1
EXISTING LEGAL DESCRIPTION PRIOR TO PLATTING ACTION

Following is a summary of PUBLIC/PRIVATE Infrastructure required to be constructed or financially guaranteed for the above development. This Listing is not necessarily a complete listing. During the SIA process and/or in the review of the construction drawings, if the DRC Chair determines that appurtenant items and/or unforeseen items have not been included in the infrastructure listing, the DRC Chair may include those items in the listing and related financial guarantee. Likewise, if the DRC Chair determines that appurtenant or non-essential items can be deleted from the listing, those items may be deleted as well as the related portions of the financial guarantees. All such revisions require approval by the DRC Chair, the User Department and agent/owner. If such approvals are obtained, these revisions to the listing will be incorporated administratively. In addition, any unforeseen items which arise during construction which are necessary to complete the project and which normally are the Subdivider's responsibility will be required as a condition of project acceptance and close out by the City.

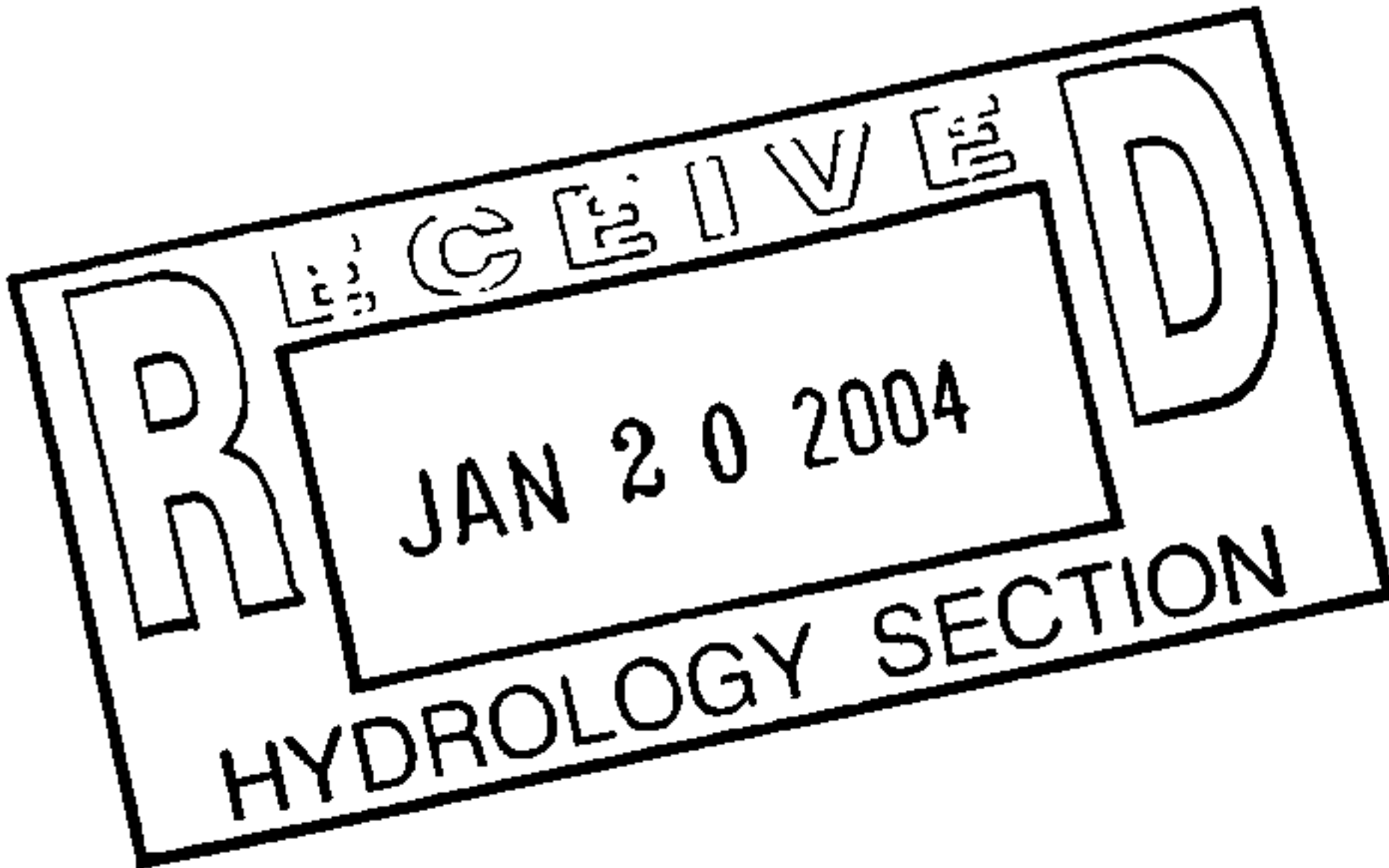
SIA Sequence #	COA DRC Project #	Size	Type of Improvement PAVING	Location	From	To	Private Inspector	City Inspector	City Cnst Engineer
		28' FF	Res Pvmnt, Roll C&G TM , and 4' Sidewalk TM Both Sides	Sandy Dr.	Amy Ave.	Sheffield Pl.	/	/	/
		28' FF	Res Pvmnt, Roll C&G TM , and 4' Sidewalk TM Both Sides	Sheffield Pl.	West Boundry	Sandy Dr.	/	/	/
		24' FF	Res Pvmnt, Roll C&G TM , and 4' Sidewalk TM North Side Only	Sheffield Pl.	East Boundry	Sandy Dr.	/	/	/
		26' FF	Res Pvmnt, Roll C&G TM , and 4' Sidewalk TM Both Sides	Camille Ave.	West Boundry	Sandy Dr.	/	/	/
		26' FF	Res Pvmnt, Roll C&G TM , and 4' Sidewalk TM Both Sides	Lyndsi Ave	West Boundry	Sandy Dr.	/	/	/
		26' FF	Res Pvmnt, Roll C&G TM , and 4' Sidewalk TM Both Sides	Vinemont Pl	West Boundry	East End of Cul-De-Sac	/	/	/
		Per Design	Residential Street Lights				/	/	/

RECEIVED
JAN 20 2004
HYDROLOGY SECTION

SIA Sequence #	COA DRC Project #
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
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Size	Type of Improvement	Location	From	To
WATER				
6"	Water line	Sandy Dr.	Amy Ave.	Camille Ave.
6"	Water line	Lyndsi Ave	West Boundry	Sandy Dr.
6"	Water line	Vinemont Pl.	West Boundry	East End of Cul-De-Sac
SANITARY SEWER				
4"	Sanitary sewer service	Lots 1-8 Blk 1, Lots 1-7 Blk 2, & Lots 1-19 Blk 3		
STORM DRAINAGE				
8"-30"	Storm Sewer	Vinemont Pl.	East End of Cul-De-Sac	Temp. Ditch on Tract 93
60"	Storm Sewer	Lot 18 Blk. 3	Sandy Dr	Temp. Ditch in Interstate 40
Engineer's Certification for Private Grading and Drainage				

Private Inspector	City Inspector	City Cnst Engineer
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/
/	/	/



NOTES

- 1
- Standard curb and gutter will be used instead of roll curb and gutter where required for drainage.
- 2
- All internal sidewalks to be deferred
- 3
- WATER INFRASTRUCTURE TO INCLUDE VALVES, FITTINGS, VALVE BOXES, AND FIRE HYDRANTS.
- 4
- SANITARY SEWER TO INCLUDE MANHOLES AND SERVICE CONNECTIONS
- 5
-
-
-

AGENT / OWNER

NAME (print)

FIRM

SIGNATURE - date

MAXIMUM TIME ALLOWED TO CONSTRUCT
THE IMPROVEMENTS WITHOUT A DRB
EXTENSION: _____

DEVELOPMENT REVIEW BOARD MEMBER APPROVALS

DRB CHAIR - date

TRANSPORTATION DEVELOPMENT - date

UTILITY DEVELOPMENT - date

CITY ENGINEER - date

PARKS & GENERAL SERVICES - date

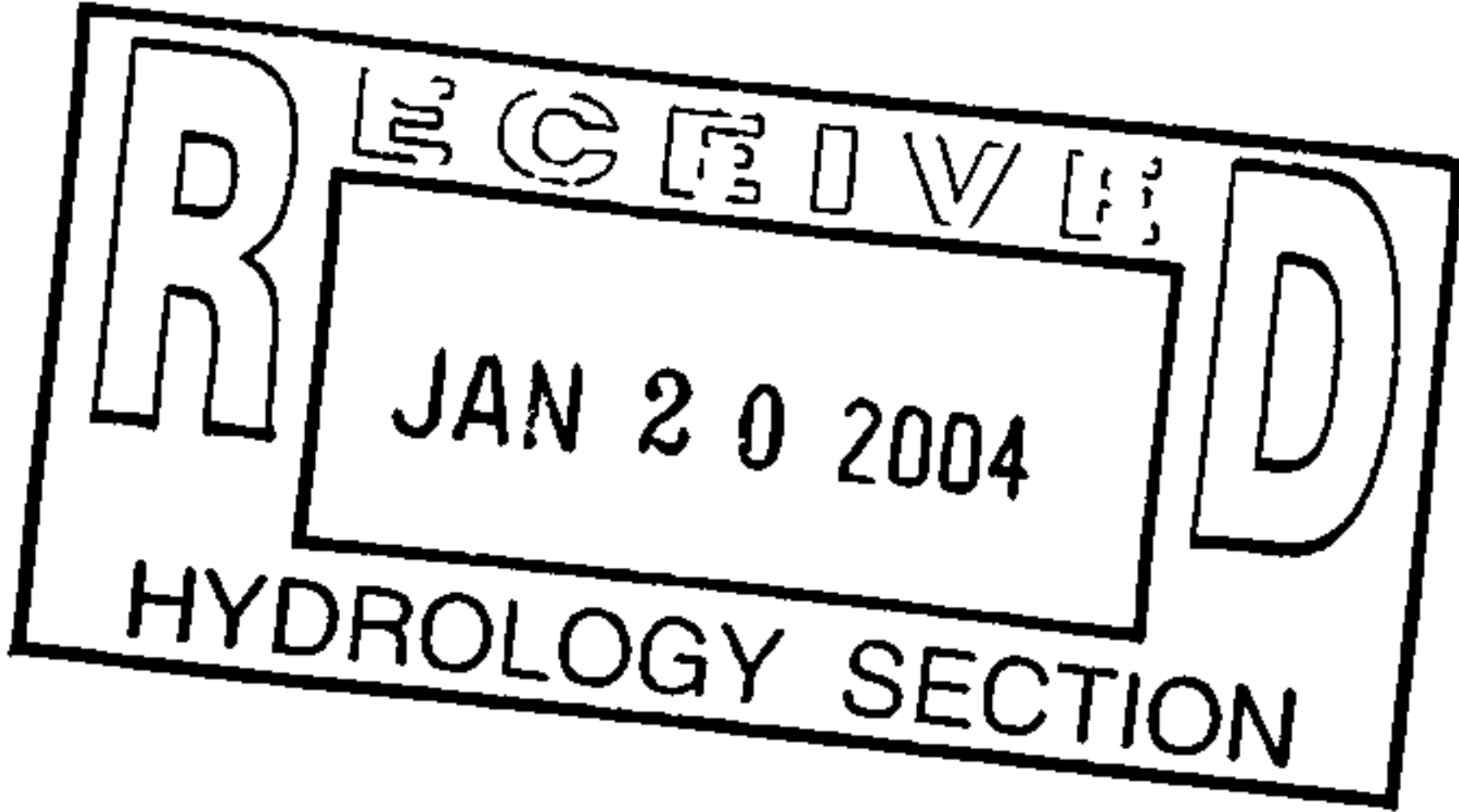
AMAFCA - date

_____ - date

_____ - date

DESIGN REVIEW COMMITTEE REVISIONS

REVISION	DATE	DRC CHAIR	USER DEPARTMENT	AGENT /OWNER

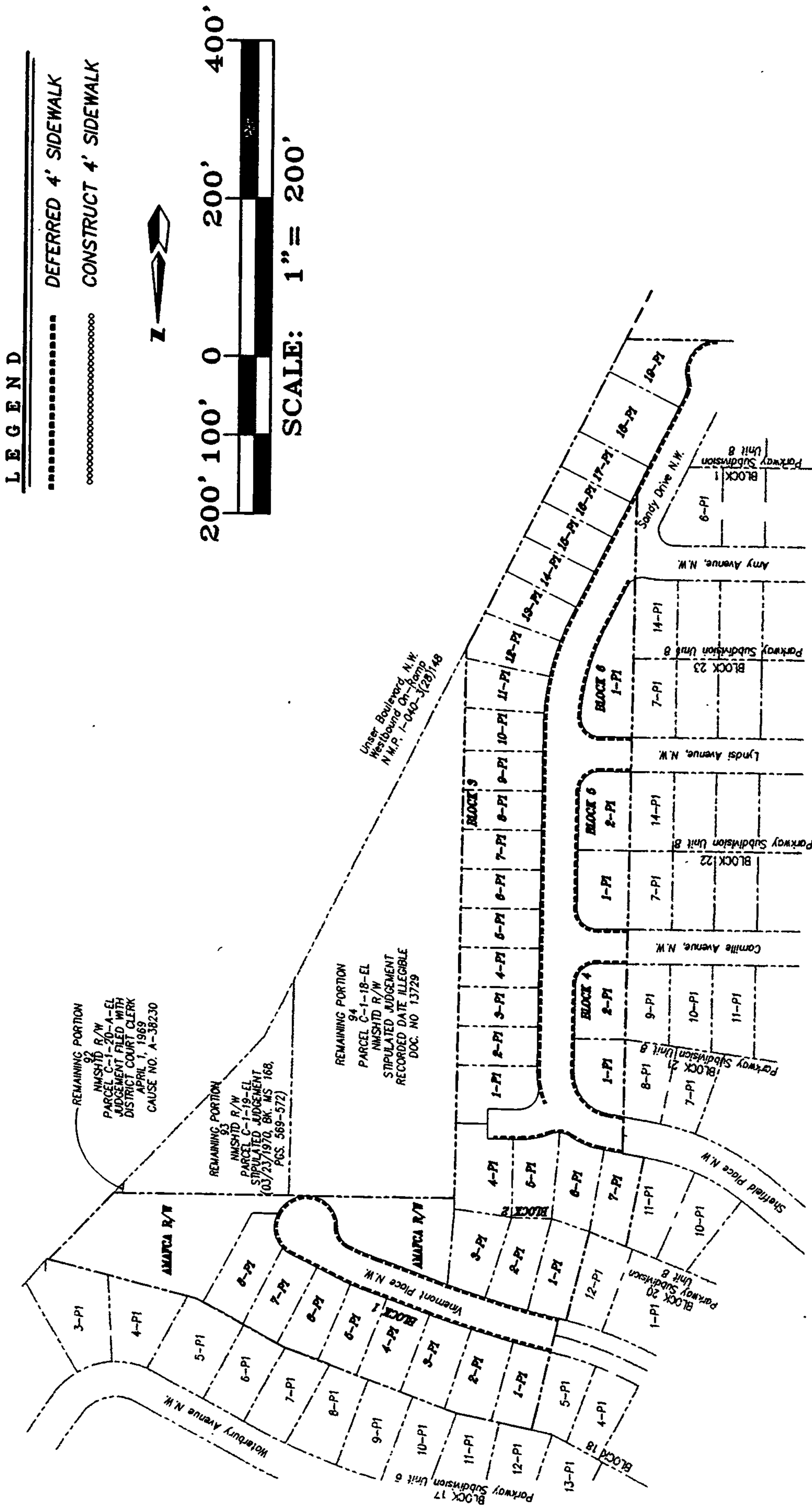


1 Page Fax to Doug Hughes @ Fax 797-9539

Place * next to signature line with following "SEE NOTE BELOW"

* "AMAFCA has executed this plat as owner of Tracts _____ in order that Westland Development Company may proceed with the development process for its property shown on this Preliminary Plat. Before Westland can develop its property shown on this Preliminary Plat, and before Westland can vacate the easements it proposes to vacate with final plat approval, significant downstream drainage infrastructure is required. The execution of this plat by AMAFCA as owner of Tracts _____ in no way implies that AMAFCA has approved Westland's plans or the vacation of various easements shown on this Preliminary Plat. A Grading and Drainage Plan will be required to be submitted to AMAFCA and the City of Albuquerque for review and approval."

PARKWAY SUBDIVISION UNIT 10
DEFERRED SIDEWALK EXHIBIT



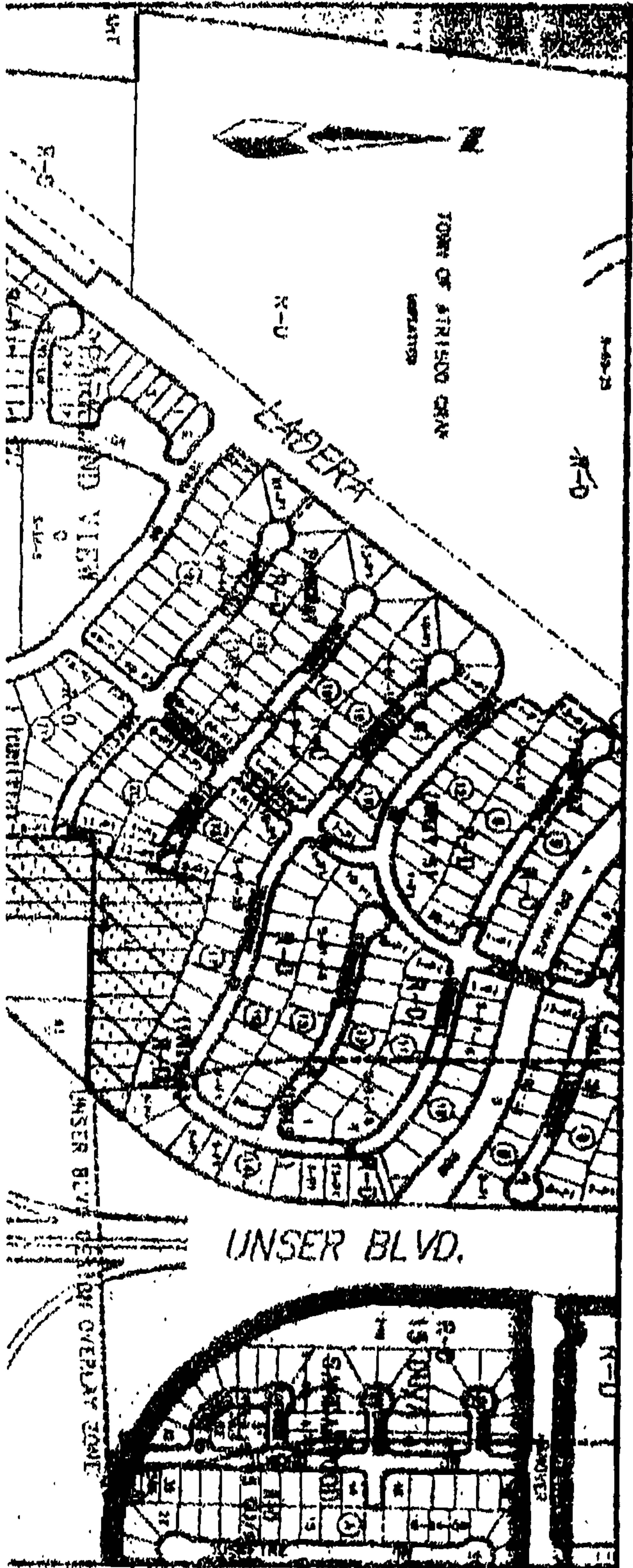
3 TRACTS
1.5801 AC
JANUARY, 2002

Post-It Fax Note	7671	Date	7-8	# of pages	2
To	NANCY MUSINSKI		From	LYNN MAZUR	
Co./Dept.	UTILITY DEVEL.		Co.	AMAFCA	
Phone #			Phone #		
Fax #			Fax #		

PRELIMINARY PLAT

PARKWAY SUBDIVISION UNIT 10

FOR
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 16
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
JUNE, 2002



WESTLAND DEVELOPMENT COMPANY, INC
ALBUQUERQUE, N.M. 87121
(505) 831-9600

ENGINEERS

D. MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505) 828-2200

SURVEYOR

PRECISION SURVEYS, INC.
8414-D JEFFERSON ST., N.E.
ALBUQUERQUE, N.M. 87113
(505) 856-5700

OWNER:

BARBARA PAGE, PRESIDENT AND C.E.O.
WESTLAND DEVELOPMENT COMPANY, INC.

DATE

OWNER:

JOHN KELLY, EXECUTIVE ENGINEER
ALBUQUERQUE METROPOLITAN ARROYO
FLOOD CONTROL AUTHORITY

DATE

*SEE NOTE BELOW

* "AMAFCA has executed this plat as owner of Tracts AMAFCA ROW "A" and AMAFCA ROW "B" in order that Westland Development Company may proceed with the development process for its property shown on this Preliminary Plat. Before Westland can develop its property shown on this Preliminary Plat, and before Westland can vacate the easements it proposes to vacate with final plat approval, significant downstream drainage infrastructure is required. The execution of this plat by AMAFCA as owner of Tracts AMAFCA ROW "A" and AMAFCA ROW "B" in no way implies that AMAFCA has approved Westland's plans or the vacation of various easements shown on this Preliminary Plat. A Grading and Drainage Plan will be required to be submitted to AMAFCA and the City of Albuquerque for review and approval."

NANCY, FYI - JOHN KELLY SIGNED THIS PLAT AS OWNER
OF TRACTS "A" + "B" AFTER THEY AGREED TO
ADD THIS NOTE. HOWEVER, WE NEVER RECEIVED
THE G&D PLAN. Jmz