

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

March 6, 2019

Ron Hensley, P.E.
THE Group
300 Branding Iron Rd. SE
Rio Rancho, NM 87124

RE: **Prima Entrada Lots 1-7**
9500 Sonterro Ave NW
Grading and Drainage Plan
Engineer's Stamp Date: 2/8/19
Hydrology File: J09D020A

Dear Mr. Hensley,

PO Box 1293

Based on the submittal received on 2/11/19, this Grading and Drainage Plan cannot be approved until the following are corrected:

Prior to Grading Permit:

Albuquerque

1. The site must demonstrate adequate downstream capacity per § 14-5-2-12(G) of the Albuquerque Code of Ordinances:
 - a. Provide a recorded drainage easement for the storm drain through the undeveloped tract (legal description: Tr of Land Situate In Sec 16 & 17 T10N R2E within the Town of Atrisco Land Grant Cont 1.6035 Ac) between the 94th St ROW and the AMAFCA channel. The legal right to discharge across this property must be established prior to increasing the discharge through it.
 - b. Provide hydraulic calculations and profiles for the storm drain network, calculated along the energy grade line; the 10-yr water surface elevation and velocity the channel may be used as the control surface.
2. Because of the size of the patch being made to the back of inlet, the work will need to be permitted and inspected through the non-IIA Work Order (formerly known as Mini Work Order) process. On the grading plan, note that the pipe removal, inlet repair, and unplugging of the storm drain shall be performed by non-IIA Work Order, and that no work shall be performed in the public ROW without an approved Work Order. The non-IIA Work Order will need to include structural details for replacing the steel in the back of the inlet. Please contact Jeanne Wolfenbarger (jwolfenbarger@cabq.gov) if you need more information on this process.

NM 87103

www.cabq.gov

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3. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
4. Identify internal retaining walls to be constructed by the developer (prior to Pad Cert) and those to be deferred to homebuilder. Any wall retaining 2 feet or more will need to be constructed by the developer (i.e prior to Pad Cert); less than 2 feet retained can be deferred to homebuilder.

Prior to Final Plat:

5. The non-IIA Work Order must be closed-out and accepted by the City and the site must be graded and the pads certified (Engineer's Certification).

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

PO Box 1293

Sincerely,

Albuquerque

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

NM 87103

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

Project Title: PRIMA ENTRADA LORS 1-7 **Building Permit #:** _____ **Hydrology File #:** J9D20
DRB#: 2019-0001948 **EPC#:** _____ **Work Order#:** _____
Legal Description: Lots 1-7 PRIMA ENTRADA SUBDIVISION
City Address: 9500 SONTERRO AVE. NW

Applicant: THE Group **Contact:** Ron Hensley
Address: 300 Branding Iron Rd. SE, Rio Rancho, NM 87124
Phone#: 505-410-1622 **Fax#:** _____ **E-mail:** ron@thegroup.cc
Owner: Nazish LLC **Contact:** Adil Rizvi
Address: 8504 Waterford Pl. N.E.
Phone#: 505-315-6563 **Fax#:** _____ **E-mail:** adil1424@yahoo.com

TYPE OF SUBMITTAL: ☒ PLAT (7 # OF LOTS) ☐ RESIDENCE ☐ DRB SITE ☐ ADMIN SITE

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DEPARTMENT: ☐ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE MASTER PLAN
- ☐ DRAINAGE REPORT
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☒ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 2/11/19 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



The **H**ENSLEY **E**NGINEERING **G**ROUP

February 11, 2019

Hydrology Development
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: Lots 1-7 Prima Entrada Subdivision – Grading and Drainage Plan

We are requesting a review of the attached plan in support of the Preliminary Plat and Grading Permit for Subdivision of Lots 1-7 in the Prima Entrada Subdivision. The subdivision is a replat of “Tract A Prima Entrada Subdivision” and is located on Sonterro Ave. at 94th St. The plan covers the impact of the development on existing drainage infrastructure. We are requesting a review for compliance with City requirements.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.

ron@thegroup.cc

DRAINAGE INFORMATION

LOCATION & DESCRIPTION

THE PROPOSED SITE IS 0.72 ACRES LOCATED ON THE NORTH SIDE OF SONTERRO AVENUE WEST OF 94TH STREET AS SEEN ON THE VICINITY MAP. THE SITE WAS DEVELOPED AS A RETENTION POND WITH THE DEVELOPMENT OF THE PRIMA ENTRADA SUBDIVISION. THE ADJACENT PROPERTIES TO THE WEST ARE DEVELOPED. THE PROPOSED DEVELOPMENT WILL BE SEVEN (7) SINGLE FAMILY RESIDENTIAL LOTS AS PLANNED IN THE PRIMA ENTRADA APPROVALS.

FLOODPLAIN STATUS

THIS PROJECT, AS SHOWN ON FEMA'S FLOOD INSURANCE RATE MAP 35001C0141 G, DATED APRIL 2, 2002 IS NOT WITHIN A DESIGNATED 100-YEAR FLOODPLAIN. AN EXHIBIT WITH THE SITE SHOWN ON THE FIRM PANEL IS INCLUDED ON THIS SHEET.

METHODOLOGY

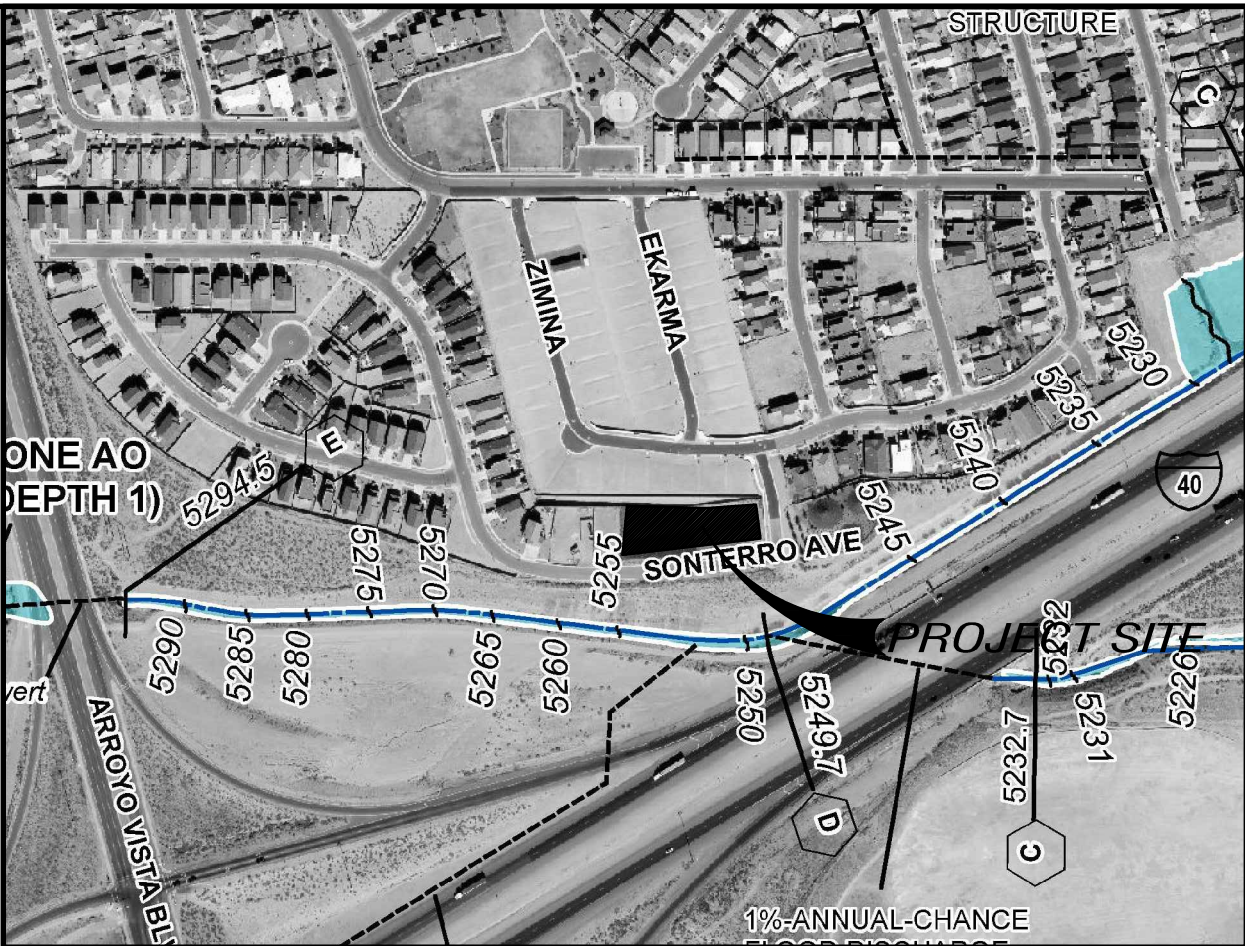
THE HYDROLOGY FOR THIS PROJECT WAS PLANNED AND DOCUMENTED IN THE DRAINAGE REPORT FOR PRIMA ENTRADA SUBDIVISION, DATED 11/21/2005.

EXISTING DRAINAGE

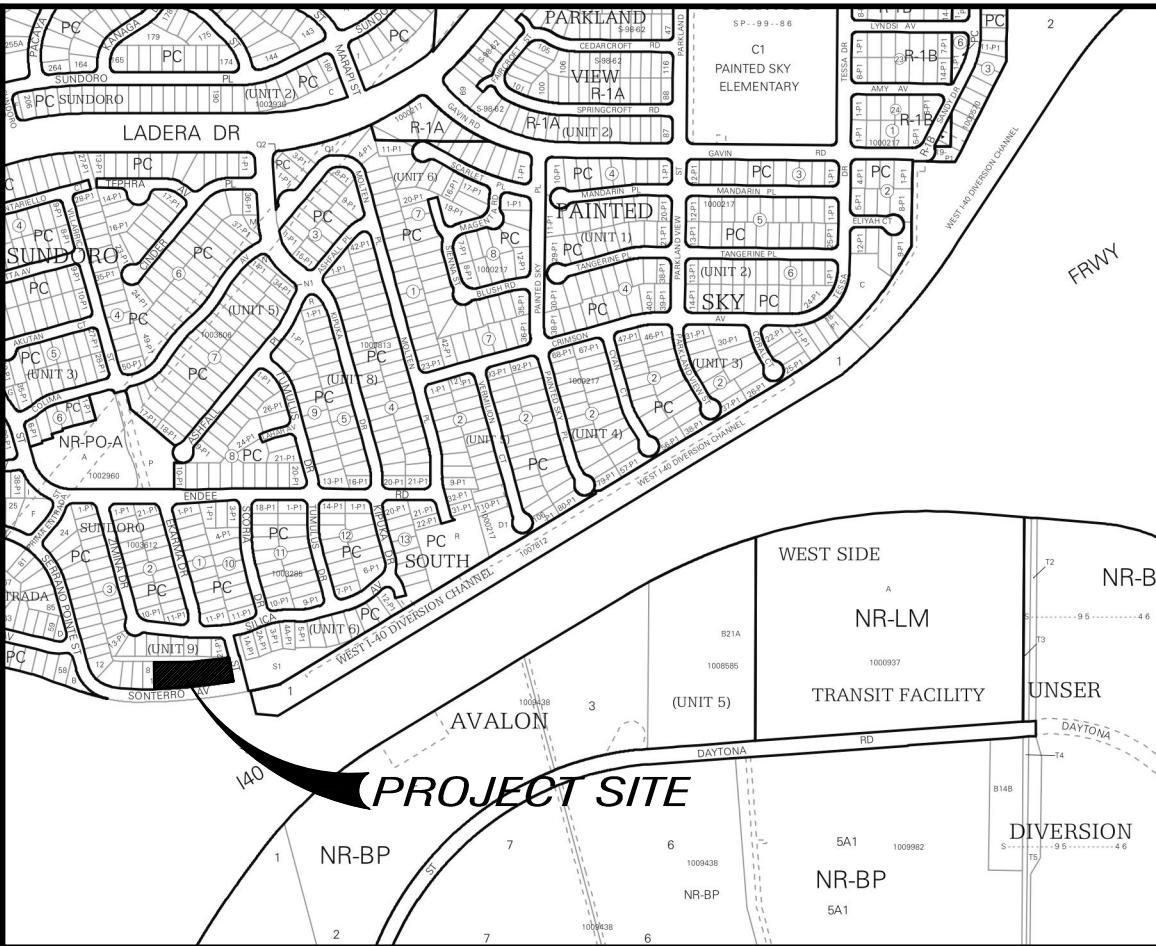
THE SITE IS A RETENTION POND WITH A VOLUME OF 3.52 AC.FT. TO CAPTURE 52.16 CFS FROM THE EXISTING CONDITIONS AND PLANS.

DEVELOPED CONDITION

THIS SITE WILL BE DEVELOPED AS SEVEN SINGLE FAMILY HOMES. PER THE APPROVED PRIMA ENTRADA DRAINAGE PLAN, THE RUNOFF WILL FREE DISCHARGE INTO SONTERRO AVENUE TO BE CAPTURED BY THE EXISTING STORM DRAIN INLETS. THE EXISTING DISCHARGE PIPE TO THE POND WILL BE REMOVED AND A PLUG INSTALLED IN THE INLET. THE EXISTING PLUG OF THE DOWNSTREAM CONNECTION WILL BE REMOVED. THE FLOW WAS ANTICIPATED IN THE DOWNSTREAM FACILITIES.



FIRM MAP NO. 35001C00328J



VICINITY MAP J-9-Z

NOTES

THE ENGINEER HAS UNDERTAKEN LIMITED FIELD VERIFICATION OF THE LOCATION, DEPTH, SIZE, OR TYPE OF EXISTING UNDERGROUND UTILITY LINES, MAKES NO REPRESENTATION PERTAINING THERETO AND ASSUMES NO RESPONSIBILITY OR LIABILITY THEREFORE. THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ADVANCE OF AND DURING EXCAVATION WORK. THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY, AND PRESERVE ANY AND ALL EXISTING UTILITIES. THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES IN PLANNING AND CONDUCTING EXCAVATION, WHETHER BY CALLING OR NOTIFYING THE UTILITIES, COMPLYING WITH "BLUE STAKES" PROCEDURES, OR OTHERWISE.

THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE CONTRACTOR.

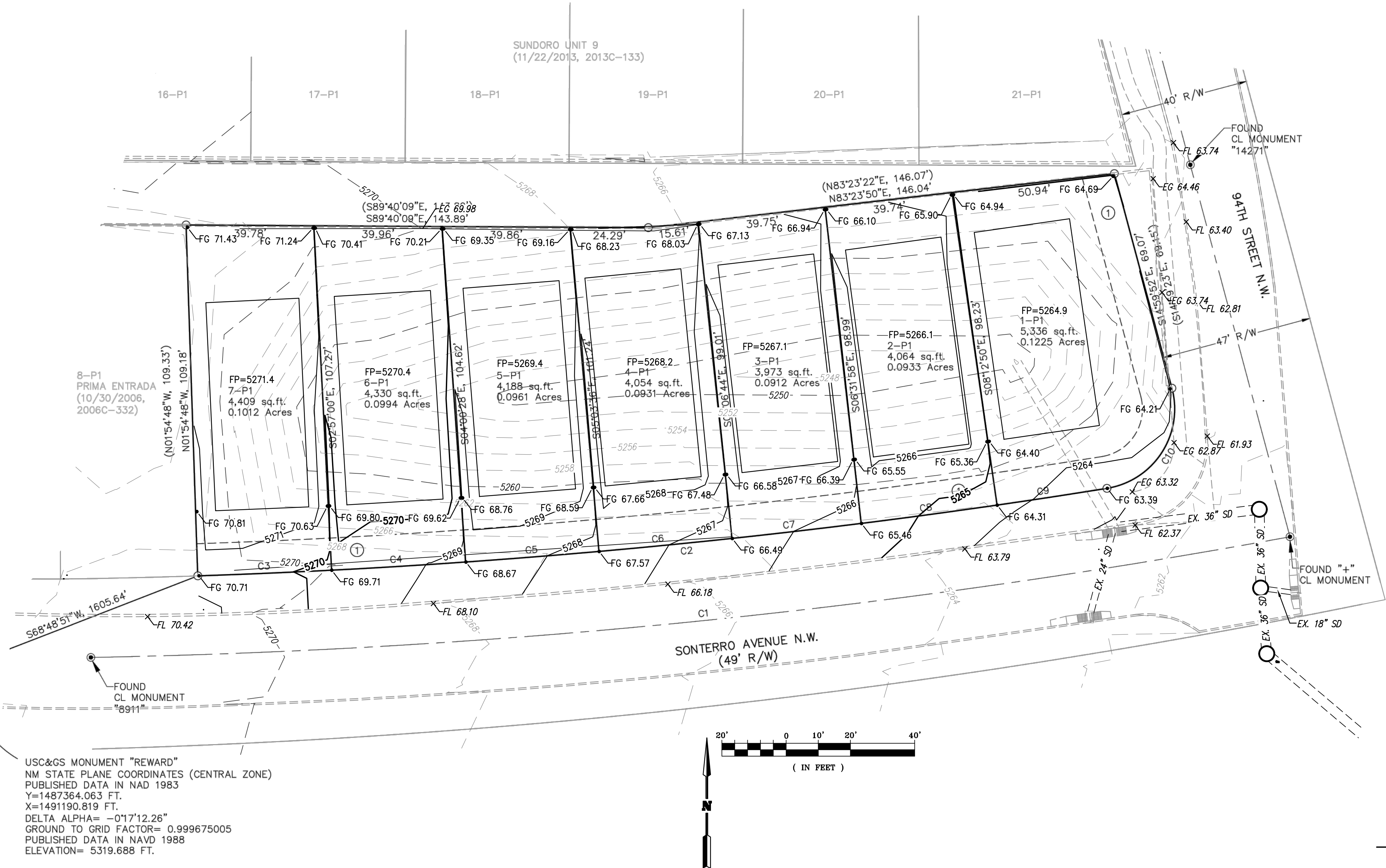
THIS DOCUMENT, AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, ARE INTENDED FOR USE ON THIS PROJECT AND IS NOT TO BE USED, IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF GND ENGINEERING, LLC. IN THE EVENT OF UNAUTHORIZED USE, THE USER ASSUMES ALL RESPONSIBILITY AND LIABILITY WHICH RESULTS.

GENERAL NOTES:

1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO 8.
2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED
5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



LEGEND	
	FLOW ARROW
	SLOPE ARROW
	PROPOSED ELEVATION
	EXISTING ELEVATION
	GRADE BREAK
	EXISTING CONTOUR
	EXISTING CONTOUR
	PROPOSED EASEMENT
	PROPOSED GRADE
	EXISTING WALL
	PROPOSED WALL

DRB No.	2019-001948	CITY PROJECT No.	ZONE MAP NO.	J-9-2	SHEET	1	OF	1
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AS BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ENGINEER'S SEAL		REVISIONS		DESIGN		LAST DESIGN UPDATE	
CONTRACTOR	DATE	CONTRACTOR	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE	NO.	DATE
INSPECTOR'S	DATE	INSPECTOR'S	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE
FIELD CHECK BY	DATE	FIELD CHECK BY	DATE										
VERIFICATION BY	DATE	VERIFICATION BY	DATE										
CORRECTED BY	DATE	CORRECTED BY	DATE										
MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION		MICRO-FILM INFORMATION	
RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE	RECORDED BY	DATE
NO.		NO.		NO.		NO.		NO.		NO.		NO.	

THE Group
300 Branding Iron Rd. SE
Rio Rancho, New Mexico 87124
Phone:(505)410-1622

CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

PRIMA ENTRADA
LOTS 1A - 7A
GRADING & DRAINAGE PLAN

DESIGNED BY REH
DRAWN BY REH
CHECKED BY REH

DATE NOV. 2015
DATE FEB. 2016
DATE FEB. 2016

REVISIONS
DESIGN

Mo./DAY/YR.
Mo./DAY/YR.

LAST DESIGN UPDATE