

# CITY OF ALBUQUERQUE

Planning Department  
David Campbell, Director



Mayor Timothy M. Keller

May 9, 2019

Ron Hensley, P.E.  
THE Group  
300 Branding Iron Rd. SE  
Rio Rancho, NM 87124

RE: **Prima Entrada Lots 1-7**  
**9500 Sonterro Ave NW**  
**Grading and Drainage Plan**  
**Engineer's Stamp Date: 5/6/19**  
**Hydrology File: J09D020A**

Dear Mr. Hensley,

PO Box 1293

Based on the submittal received on 5/6/19, this Grading and Drainage Plan cannot be approved until the following are corrected:

Prior to Grading Permit:

Albuquerque

NM 87103

www.cabq.gov

1. Provide sections through all external boundaries showing proposed retaining walls, garden walls, property/ROW lines, existing and proposed grades. In accordance with DPM Ch.22, section 5 part B, grading and wall construction near the property line may not endanger adjacent property or constrain its use.
  - a. Section 1-1 does not show property line and the wall should be called out as proposed. Hydrology recommends specifying a max permissible grade change (~18" for garden wall); right now the plan indicates that no grade change is allowed.
  - b. Section 1-2 does not show property line. This existing wall appears to have a retaining wall at its base; please confirm. The max permissible grade change should be specified for cut and fill, as both cases will occur per your grading plan.
  - c. Section 1-3 does not show property/ROW line. This wall was built in the ROW and will need to be removed and rebuilt on private property as part of this project. Alternatively, you can obtain a Revocable Permit for the encroachment (prior to Final Plat) or vacate the ROW (Prior to Final Plat). The plan needs to show which option will be pursued. Hydrology recommends specifying a max permissible grade change (~18" for garden wall); right now the plan indicates that no grade change is allowed.

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Prior to Final Plat (For Information):

2. The non-IIA Work Order must be closed-out and accepted by the City.
3. The site must be graded and the pads certified (Engineer's Certification).
4. A Revocable Permit or Vacation of ROW will need to be executed for the encroaching wall (unless it's removed).

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 11/2018)

**Project Title:** PRIMA ENTRADA LORS 1-7 **Building Permit #:** \_\_\_\_\_ **Hydrology File #:** J9D20  
**DRB#:** 2019-0001948 **EPC#:** \_\_\_\_\_ **Work Order#:** \_\_\_\_\_  
**Legal Description:** Lots 1-7 PRIMA ENTRADA SUBDIVISION  
**City Address:** 9500 SONTERRO AVE. NW

**Applicant:** THE Group **Contact:** Ron Hensley  
**Address:** 300 Branding Iron Rd. SE, Rio Rancho, NM 87124  
**Phone#:** 505-410-1622 **Fax#:** \_\_\_\_\_ **E-mail:** ron@thegroup.cc  
**Owner:** Nazish LLC **Contact:** Adil Rizvi  
**Address:** 8504 Waterford Pl. N.E.  
**Phone#:** 505-315-6563 **Fax#:** \_\_\_\_\_ **E-mail:** adil1424@yahoo.com

**TYPE OF SUBMITTAL:** ☒ PLAT (7 # OF LOTS) \_\_\_\_\_ RESIDENCE \_\_\_\_\_ DRB SITE \_\_\_\_\_ ADMIN SITE

IS THIS A RESUBMITTAL?: ☒ Yes \_\_\_\_\_ No

**DEPARTMENT:** \_\_\_\_\_ TRAFFIC/ TRANSPORTATION ☒ HYDROLOGY/ DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

☐ ENGINEER/ARCHITECT CERTIFICATION  
☐ PAD CERTIFICATION  
☐ CONCEPTUAL G & D PLAN  
☒ GRADING PLAN  
☐ DRAINAGE MASTER PLAN  
☐ DRAINAGE REPORT  
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC  
☐ ELEVATION CERTIFICATE  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ TRAFFIC IMPACT STUDY (TIS)  
☐ OTHER (SPECIFY) \_\_\_\_\_  
☐ PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY  
☒ PRELIMINARY PLAT APPROVAL  
☐ SITE PLAN FOR SUB'D APPROVAL  
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE  
☐ FOUNDATION PERMIT APPROVAL  
☒ GRADING PERMIT APPROVAL  
☐ SO-19 APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ GRADING/ PAD CERTIFICATION  
☐ WORK ORDER APPROVAL  
☐ CLOMR/LOMR  
☐ FLOODPLAIN DEVELOPMENT PERMIT  
☐ OTHER (SPECIFY) \_\_\_\_\_

**DATE SUBMITTED:** 5/7/19 **By:** THE Group / Ron Hensley

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



**T**he **H**ENSLEY **E**NGINEERING **G**ROUP

May 6, 2019

Hydrology Development  
City of Albuquerque  
PO Box 1293  
Albuquerque, NM 87103

Re: Lots 1-7 Prima Entrada Subdivision – Grading and Drainage Plan

Comments received have been addressed, and we are requesting a review of the attached plan in support of the Preliminary Plat and Grading Permit for Subdivision of Lots 1-7 in the Prima Entrada Subdivision. The subdivision is a replat of “Tract A Prima Entrada Subdivision” and is located on Sonterro Ave. at 94<sup>th</sup> St. The plan covers the impact of the development on existing drainage infrastructure. We are requesting a review for compliance with City requirements.

Please contact me at 410-1622 or via email if you have any questions or comments.

Sincerely,

Ron E. Hensley P.E.

[ron@thegroup.cc](mailto:ron@thegroup.cc)



### LOCATION & DESCRIPTION

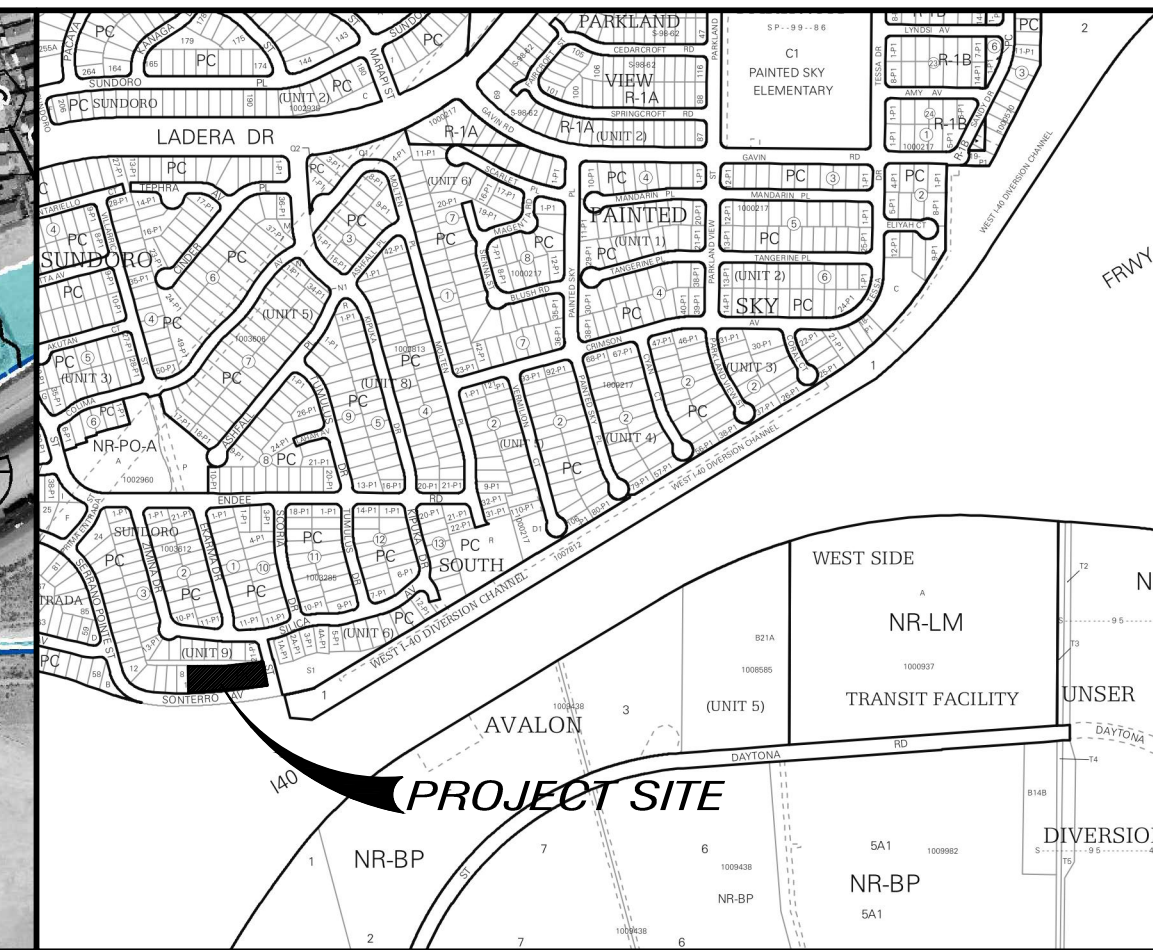
### FLOODPLAIN STATUS

## **METHODOLOGY**

## EXISTING DRAINAGE

DEVELOPED CONDITION

FIRM MAP NO. 35001C00328J



VICINITY MAP J-9-Z

## NOTES

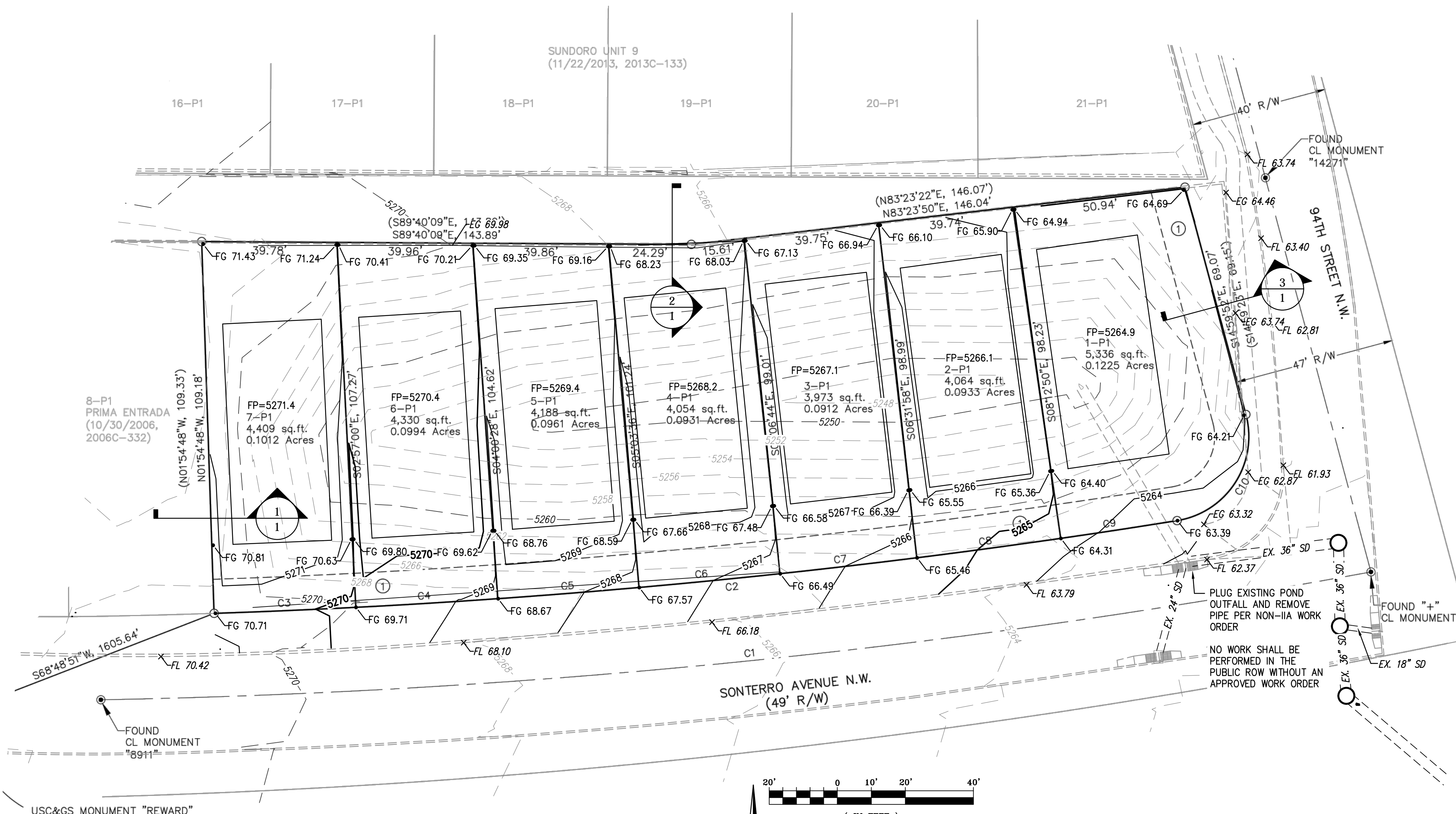
THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR  
CONSTRUCTION SAFETY WHICH SHALL REMAIN THE RESPONSIBILITY OF THE  
CONTRACTOR.

GENERAL NOTES:












1. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER THIS CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREIN, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION, UPDATE NO. 8.
2. THE EROSION PROTECTION SPECIFIED ON THIS PLAN IS THE MINIMUM RECOMMENDED. THE OWNER IS ENCOURAGED TO INCORPORATE EROSION RESISTANT LANDSCAPING ON AREAS WHERE EROSION MAY OCCUR SUCH AS SLOPES AND SWALES. THE OWNER IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL FEATURES NECESSARY TO PRESERVE THE DESIGN INTENT OF THE GRADING PLAN.
3. THE DRAINAGE INFRASTRUCTURE SHOWN ON THIS PLAN IS THE RESPONSIBILITY OF THE PROPERTY OWNER.
4. ALL DISTURBED AREAS OUTSIDE THE BUILDING PAD MUST BE RESEED OR LANDSCAPED
5. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
6. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS AND EXISTING PAVEMENT. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OR SURVEYOR SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.



## LEGEND

- 
-  FLOW ARROW  
 SLOPE ARROW  
 EL=11.28 PROPOSED ELEVATION  
 X 66.33 EXISTING ELEVATION  
 GRADE BREAK  
 EXISTING CONTOUR  
 EXISTING CONTOUR  
 PROPOSED EASEMENT  
 4.00% PROPOSED GRADE  
 EXISTING WALL  
 PROPOSED WALL

1 SECTION AT PROPERTY LINE Scale: 1:5

Scale: 1:5

2 SECTION AT PROPERTY LINE Scale: 1:5

Scale: 1:5

3 SECTION AT PROPERTY LINE Scale: 1:

Scale: 1:5

DRB No. **2019-001948**

|                  |  |
|------------------|--|
| CITY PROJECT No. |  |
|------------------|--|

ZONE MAP NO  
**J-9-Z**

SHEET **1** OF **1**