

CITY OF ALBUQUERQUE



May 20, 2016

Genny Donart, PE
Isaacson & Arfman, PA
128 Monroe St NE
Albuquerque, NM 87108

**Re: Trapnell Orthodontics
Los Volcanos Rd NW
Grading and Drainage Plan
Engineers Stamp Date 2/11/15 (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 5/19/2016, the above referenced Certification received is acceptable for the release of Certificate of Occupancy by Hydrology.


PO Box 1293

If you have any questions, you can contact me at 924-3695 or Totten Elliott at 924-3982.

Albuquerque

New Mexico 87103

www.cabq.gov

Sincerely,

Abiel Carrillo, P.E.,
Principal Engineer, Planning Department
Development and Review Services

TE/AC

C: email, Cordova, Camille C.; Miranda, Rachel; Sandoval, Darlene M.; Blocker,
Lois

Elliott, Stanice

From: Genny Donart <gennyd@iacivil.com>
Sent: Friday, May 20, 2016 2:28 PM
To: Elliott, Stanice
Cc: Vernon Ambos; Eric Shreve
Subject: Re: Trapnell Othodontics

Good afternoon Totten,

I hadn't thought to look at those. Good catch. Because of the final landscaping in the courtyard and the fact that it's only water that falls in the courtyard that affects the ponding back there, I don't think it'll be a problem for flooding of the building.

Holes to relieve hydrostatic pressure behind retaining walls are always a good idea, though. I'll ask the contractor to put a few 4" PVC pipes through the wall.

Genny Donart, P.E.
Registered Engineer



Isaacson & Arfman, P.A.
Consulting Engineering Associates

128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8842
gennyd@iacivil.com

CONFIDENTIALITY STATEMENT and CONTENT NOTIFICATION : This message and any accompanying attachment(s) contain information which may be confidential or privileged and is intended only for the individual or entity named above. It is prohibited to disclose, copy, or distribute the contents of this message. If you received this message in error, please notify us immediately.

Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction documents(s).

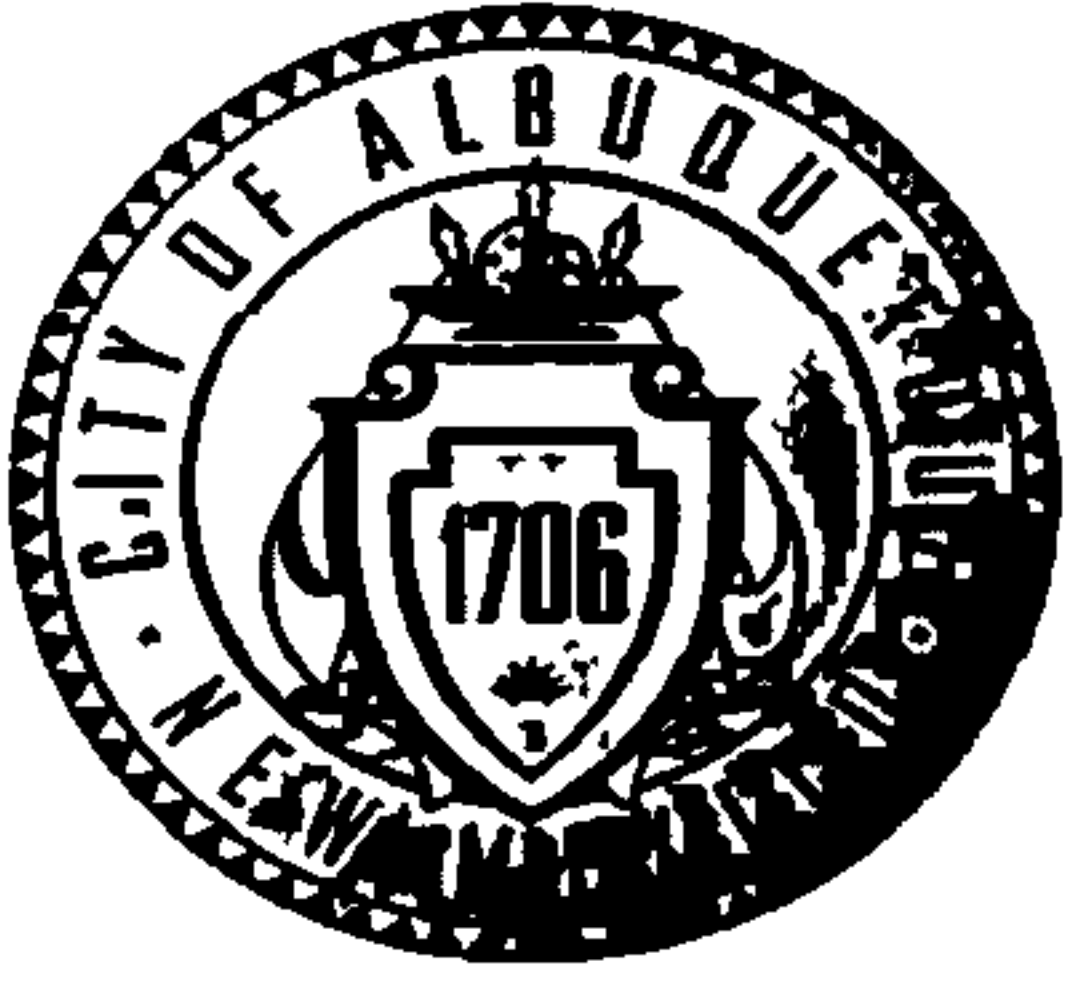
This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.

On Fri, May 20, 2016 at 2:19 PM, Elliott, Stanice <staniceelliott@cabq.gov> wrote:

Genny

I visited the site this AM and I have one question. Note #5 states that the retaining wall is to have vertical gaps along the row of blocks at the top earth grade. These openings are missing. Will the site drain sufficiently without these openings?

Stanice 'Totten' Elliott



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

J09 D022

Project Title: Trapnell Orthodontics (aka ABQ Orthodontics) Building Permit #: _____ City Drainage #: J10/D022

DRB#: 1010204 EPC#: _____ Work Order#: _____

Legal Description: Tract Q-7-A-1-A, Atrisco Business Park

City Address: 6411 LOS VOLCANES

Engineering Firm: Isacson & Arfman, P.A. Contact: Genny Donart

Address: 128 Monroe Street NE - Albuquerque, NM 87108

Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: Trapnell Orthodontics Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: Rick Bennett Architects Contact: Rick Bennett

Address: 1104 Park Ave SW - Albuquerque, NM 87102

Phone#: (505) 242-1859 Fax#: _____ E-mail: rick@rba81.com

Other Contact: Harris Surveying, Inc. Contact: Tony Harris

Address: 2412-D Monroe Street NE - Albuquerque, NM 87110

Phone#: (505) 889-8056 Fax#: _____ E-mail: surveyh@swcp.com

Check all that Apply.

DEPARTMENT:

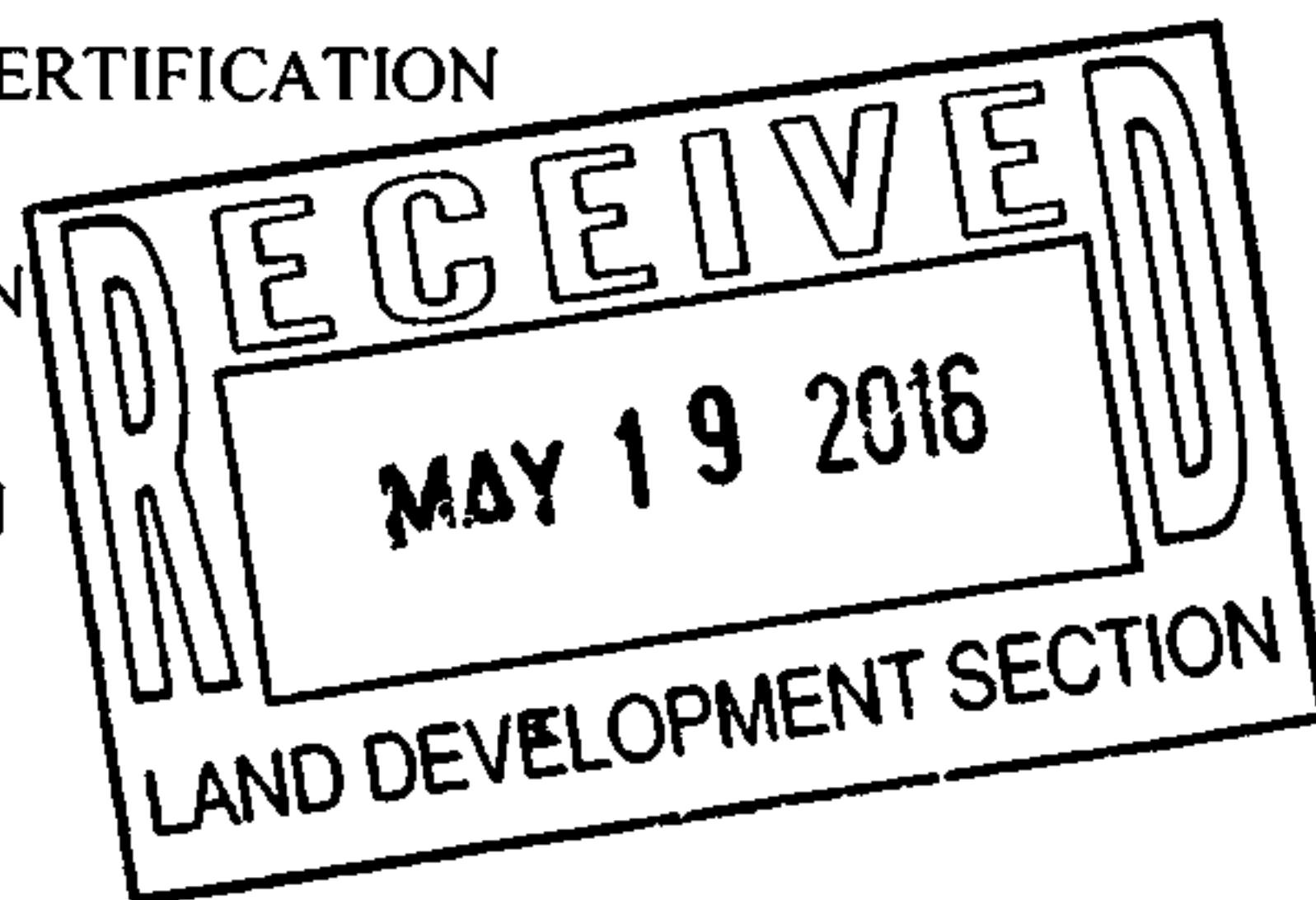
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING
- OTHER (SPECIFY) _____

TYPE OF SUBMITTAL:

- ENGINEER** ARCHITECT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL? Yes No

DATE SUBMITTED May 19, 2016 By: Genny Donart

COA STAFF ELECTRONIC SUBMITTAL RECEIVED

Verbal NO



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Trapnell Orthodontics Building Permit #: _____ City Drainage #: J09/D022
 DRB#: 1010204 EPC#: _____ Work Order#: _____
 Legal Description: Tract Q-7-A-1-A, Atrisco Business Park, Unit 4
 City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
 Address: 128 Monroe Street NE - Albuquerque, NM 87108
 Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: Rick Bennet & Assoc. Contact: _____
 Address: 1104 Park Ave. SW, Albuquerque, NM 87102
 Phone#: 242-1859 Fax#: _____ E-mail: rick@rba81.com

Surveyor: Harris Surveying, Inc. Contact: Tony Harris
 Address: 2412 Monroe St NE, Albuquerque, NM 87110
 Phone#: 889-8056 Fax#: _____ E-mail: Surveyh@swcp.com

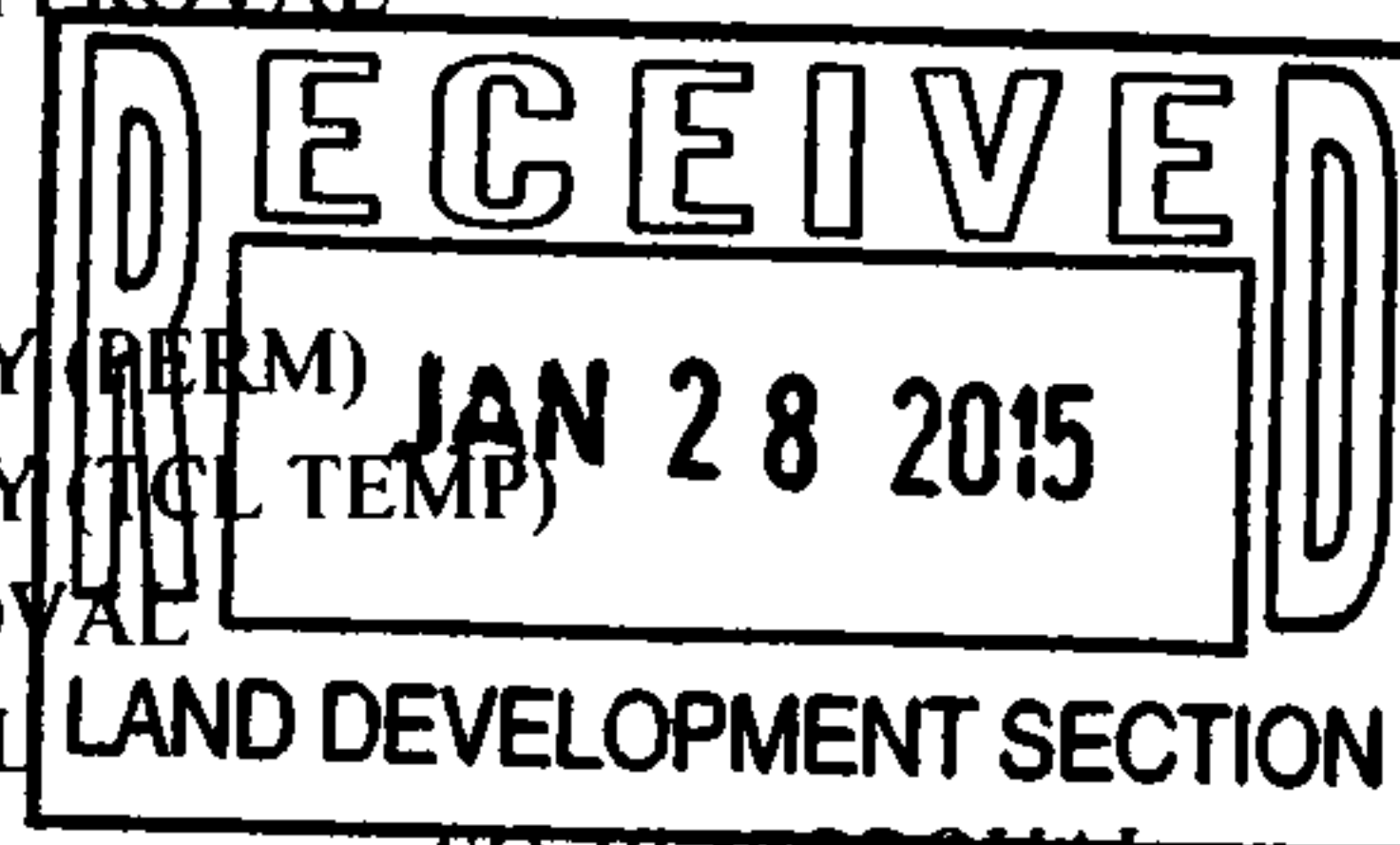
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



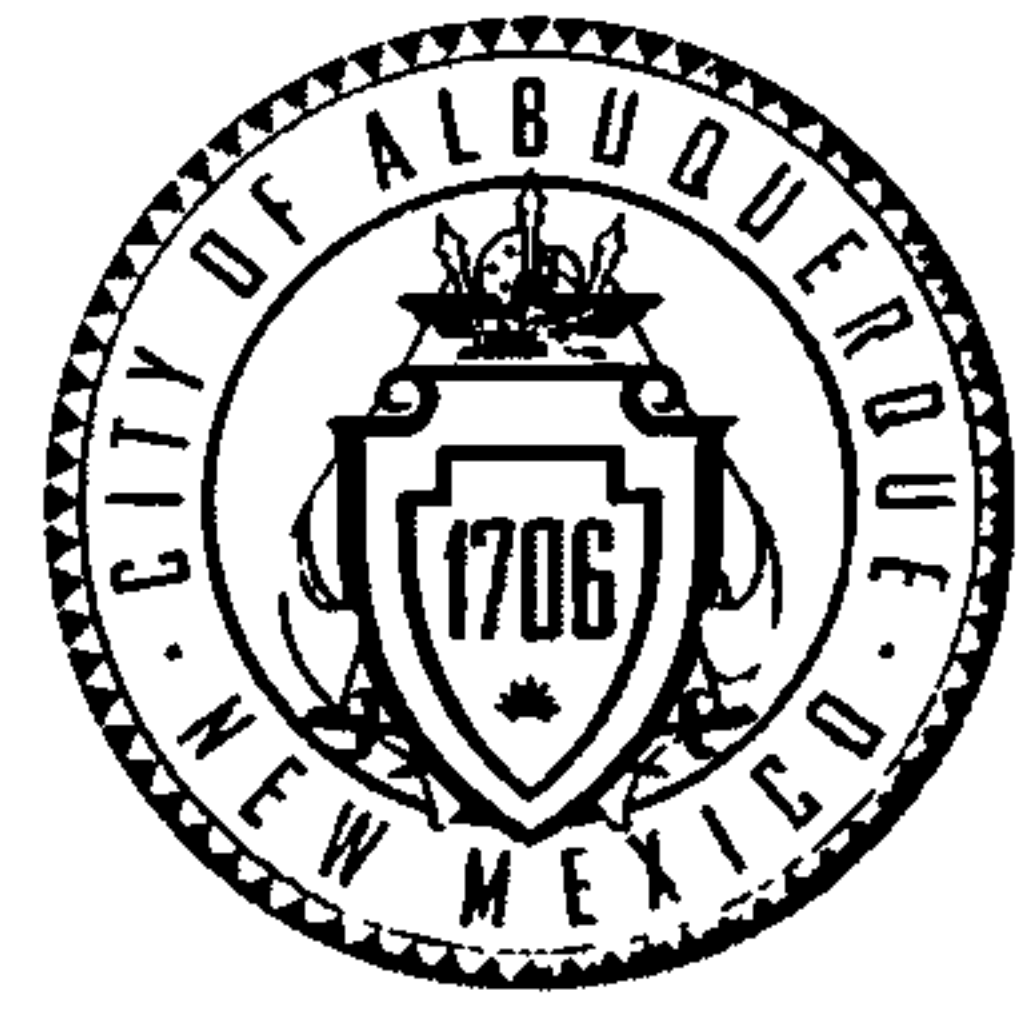
WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: January 28, 2015 By: Genevieve Donart, PE
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

CITY OF ALBUQUERQUE



April 1, 2015

Genny Donart, P.E.
Isaacson & Arfman, P.A.
128 Monroe St NE
Albuquerque, New Mexico 87108

**RE: Trapnell Orthodontics
Los Volcanos Rd NW
Grading and Drainage Plan
Engineers Stamp Date 2/11/15 (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 4/1/15, this plan is approved for Grading Permit and Building Permit.

Please attach a copy of this approved plan to the construction sets in the permitting process prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

PO Box 1293

Albuquerque

If you have any questions, please contact me at 924-3695 or Rudy Rael at 924-3977.

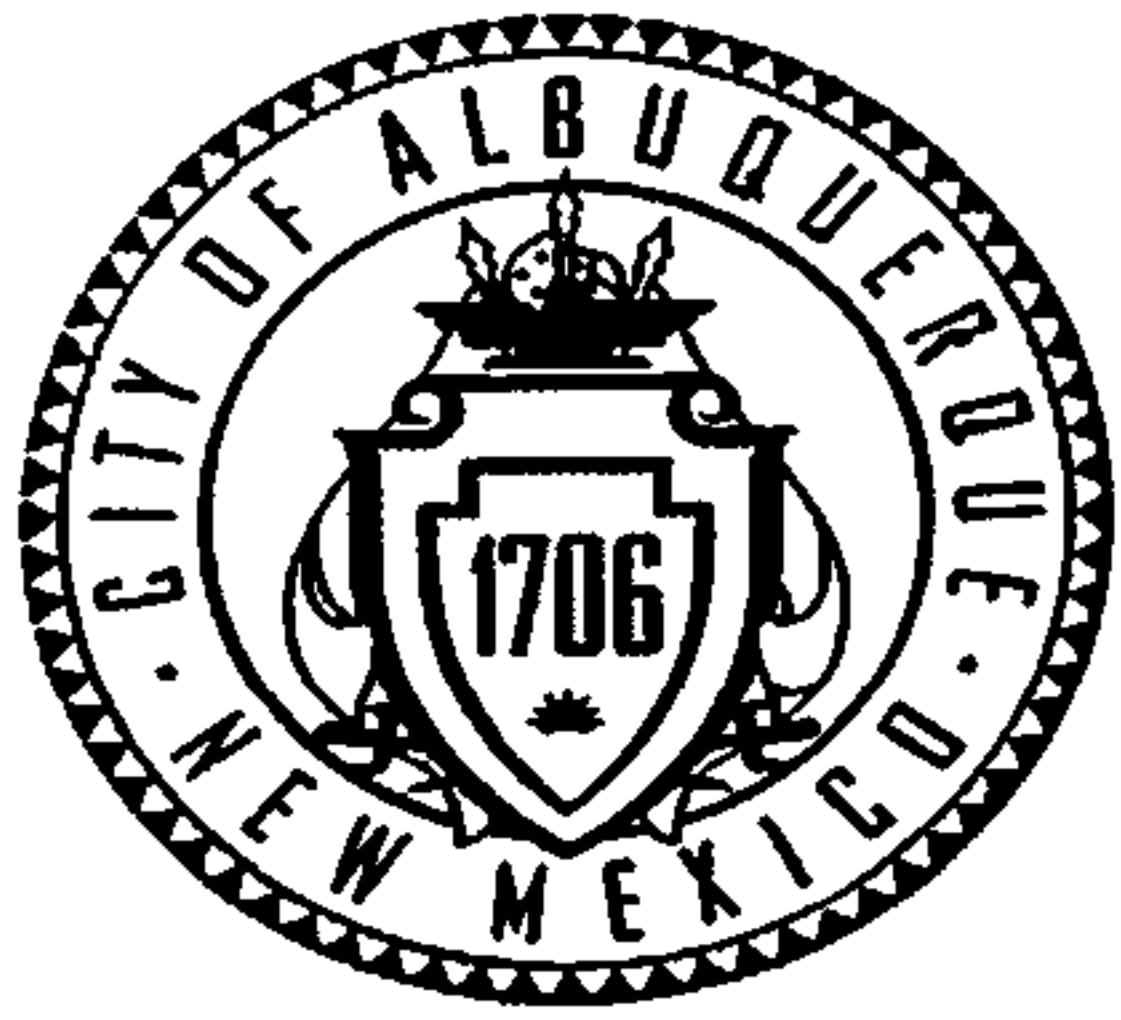
New Mexico 87103

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Hydrology
Planning Department

www.cabq.gov

RR/RH
C: File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Trapnell Orthodontics Building Permit #: _____ City Drainage #: J09/D022
 DRB#: 1010204 EPC#: _____ Work Order#: _____
 Legal Description: Tract Q-7-A-1-A, Atrisco Business Park, Unit 4
 City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
 Address: 128 Monroe Street NE - Albuquerque, NM 87108
 Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: Rick Bennet & Assoc. Contact: _____
 Address: 1104 Park Ave. SW, Albuquerque, NM 87102
 Phone#: 242-1859 Fax#: _____ E-mail: rick@rba81.com

Surveyor: Harris Surveying, Inc. Contact: Tony Harris
 Address: 2412 Monroe St NE, Albuquerque, NM 87110
 Phone#: 889-8056 Fax#: _____ E-mail: Surveyh@swcp.com

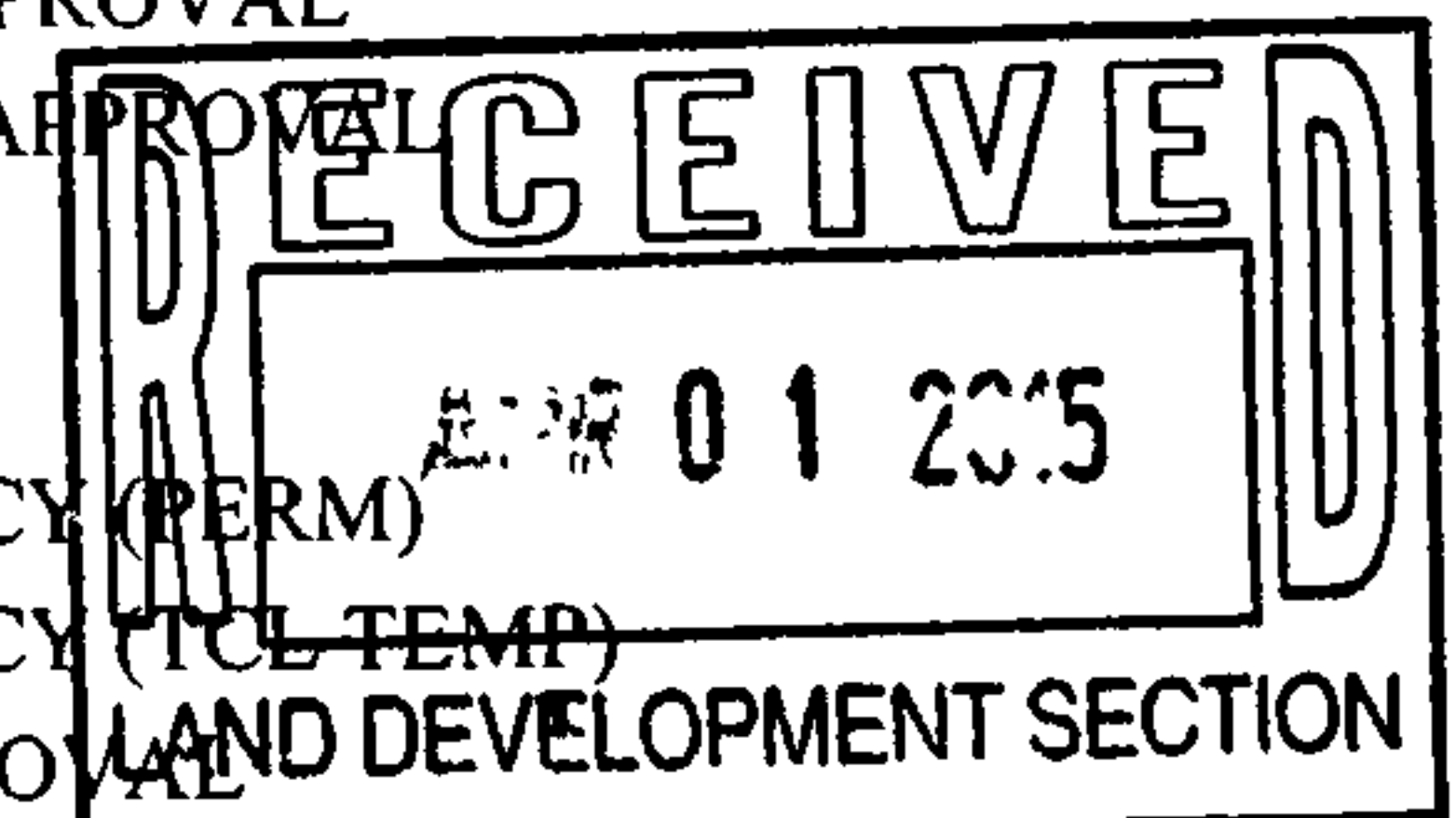
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TCL TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)

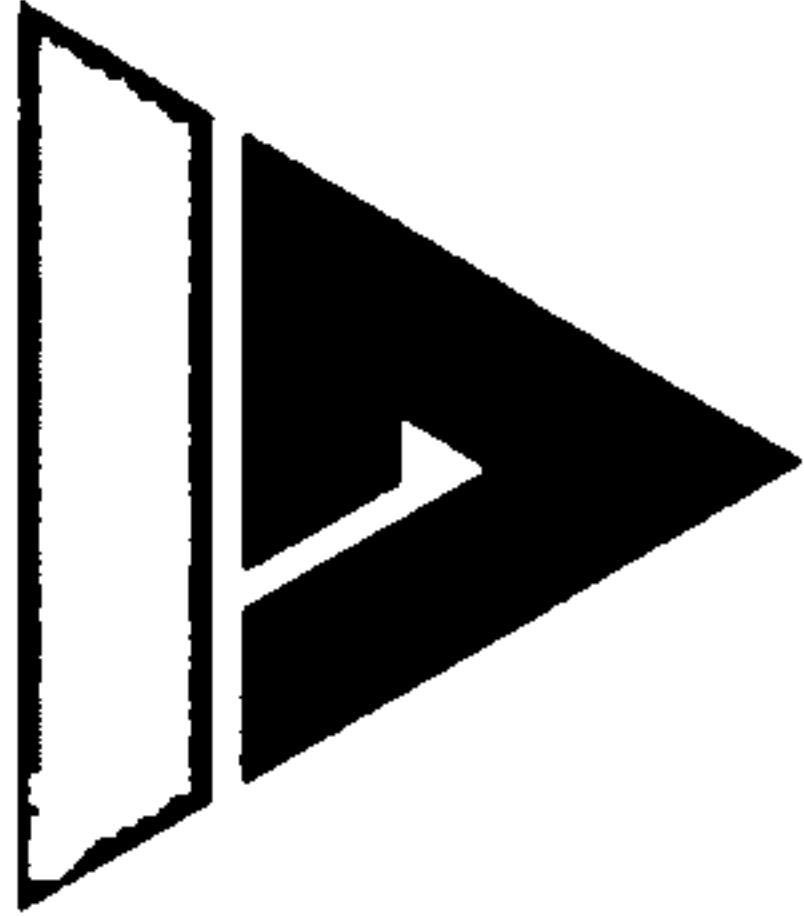


WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: April 1, 2015 By: Genevieve Donart, PE
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan**: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



A Transmittal From

Isaacson & Arfman, P.A.

Consulting Engineering Associates

TO: Rudy Rael
City of Albuquerque
Hydrology Section
One-Stop

DATE: 04/01/2015
JOB NO: 2053

FROM: Genny Donart

REFERENCE: Trannell Orthodontics

WE ARE SENDING YOU ATTACHED THE FOLLOWING ITEMS:

Drainage Information Sheet
Revised G&D plans

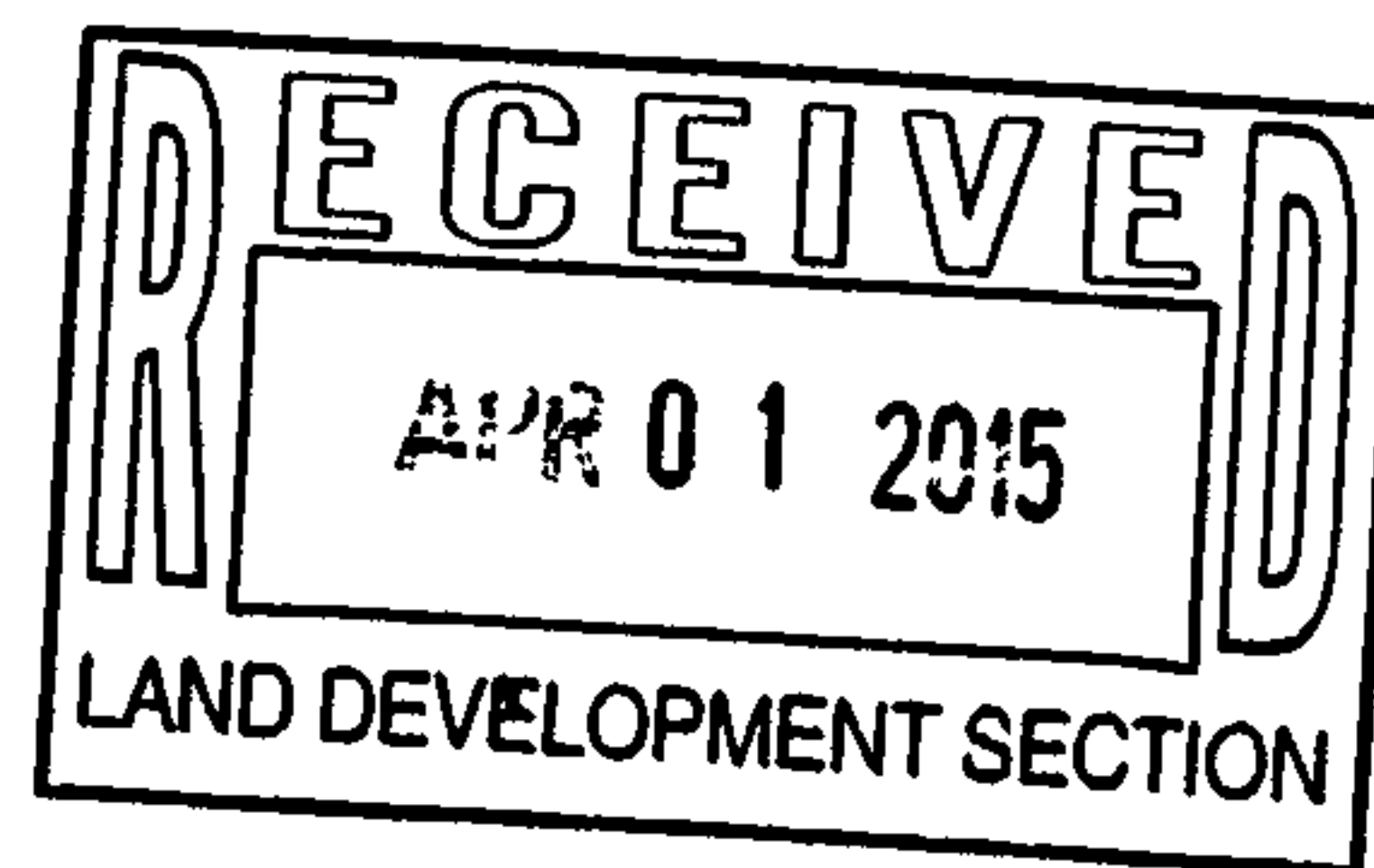
THIS INFORMATION IS TRANSMITTED:

- | | |
|--|---|
| <input type="checkbox"/> As per your request | <input type="checkbox"/> For your files |
| <input checked="" type="checkbox"/> For your review and approval | <input type="checkbox"/> For your use |
| <input type="checkbox"/> For your information | <input type="checkbox"/> Please review and return |
| <input type="checkbox"/> For your attention | <input type="checkbox"/> For return to your files |
| <input type="checkbox"/> For your signature | <input type="checkbox"/> Please advise |
| <input type="checkbox"/> | <input type="checkbox"/> |

COMMENTS

Thanks for your help Rudy!

Genny



RECEIVED BY: _____

DATE: _____ TIME: _____

COPIES TO: file

Genny Donart

From: Genny Donart <gennyd@iacivil.com>
Sent: Wednesday, April 01, 2015 10:35 AM
To: 'Rael, Rudy E.'; '--- PDF Submittals (PLNDRS@cabq.gov)'
Cc: doug@rba81.com
Subject: Trapnell Orthodontics - revised plan
Attachments: 2053 Trapnell Orthodontics CG-101 AND CG-501 SIGNED 02-11-15.pdf

Hi Rudy,

Attached is the revised plan based on our discussion. I will deliver a hard copy shortly.

**Genny Donart, P.E.
Registered Engineer**



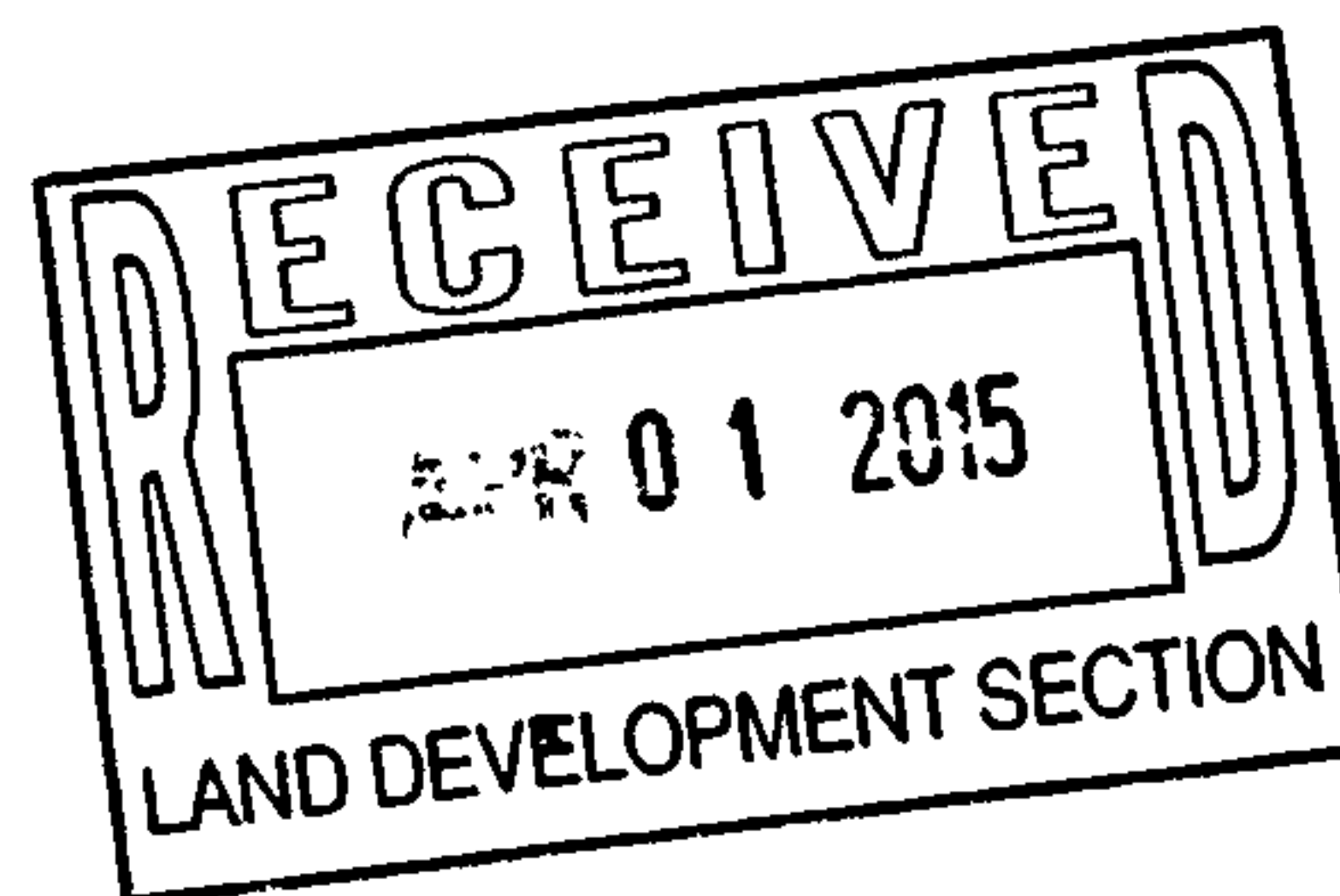
Isaacson & Arfman, P.A.

Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
gennyd@iacivil.com

CONFIDENTIALITY STATEMENT and CONTENT NOTIFICATION : This message and any accompanying attachment(s) contain information which may be confidential or privileged and is intended only for the individual or entity named above. It is prohibited to disclose, copy, or distribute the contents of this message. If you received this message in error, please notify us immediately.

Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction documents(s).

This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.



Genny Donart

From: Genny Donart <gennyd@iacivil.com>
Sent: Wednesday, January 28, 2015 9:24 AM
To: 'Ortiz, Monica'; Curtis Cherne (CCherne@CABQ.gov)
Subject: Trapnell Orthodontics
Attachments: 2053 Trapnell Orthodontics CG-101 AND CG-501 SIGNED 01-28-15.pdf

Good morning Monica and Curtis,

Attached is the latest version of the Trapnell G&D. We will be submitting today.

**Genny Donart, P.E.
Registered Engineer**



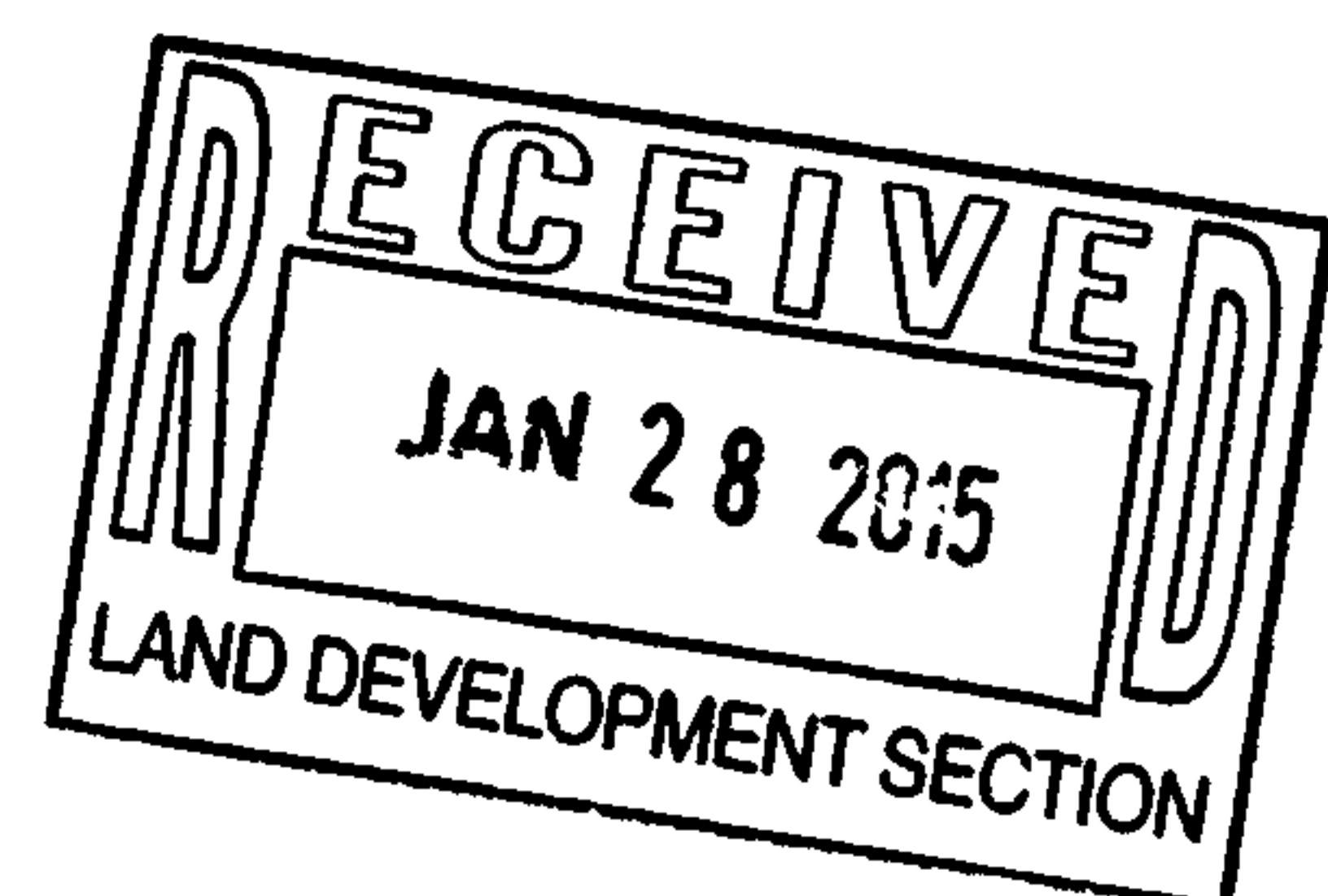
Isaacson & Arfman, P.A.

Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
gennyd@iacivil.com

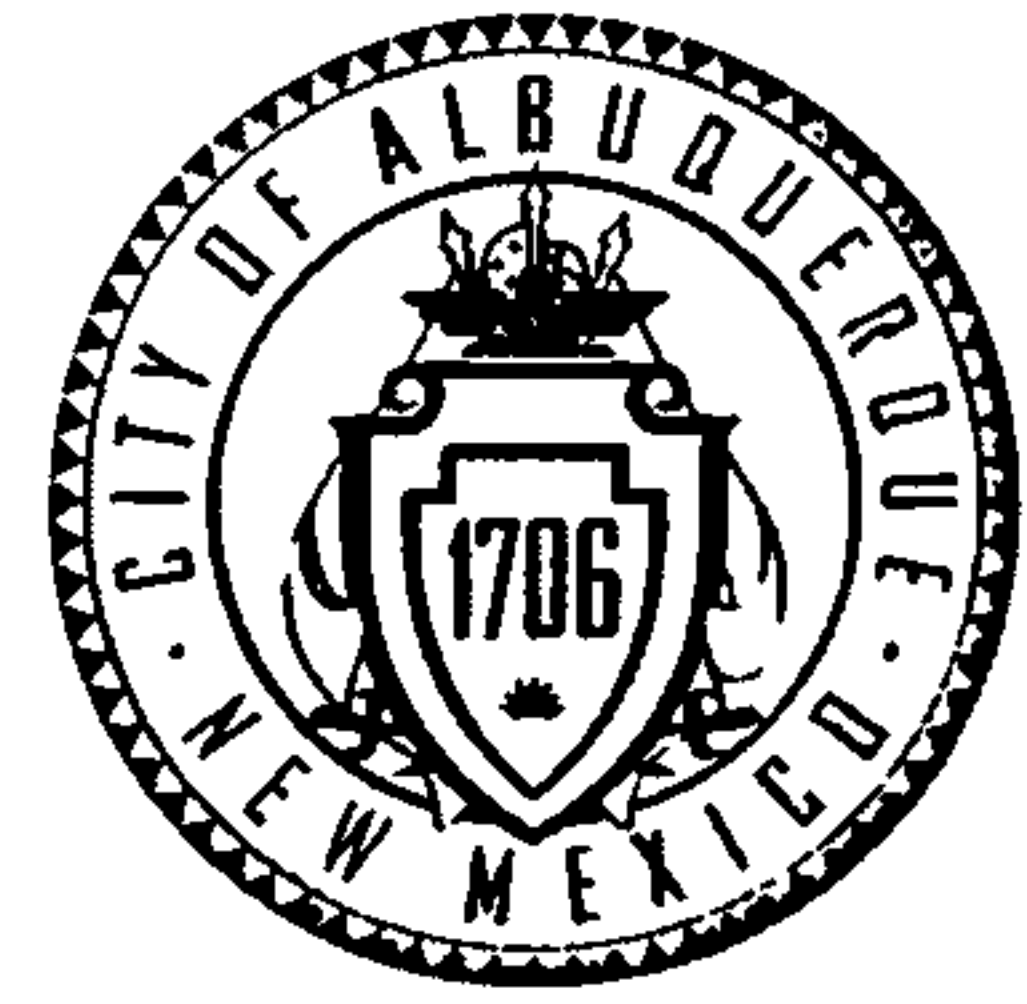
CONFIDENTIALITY STATEMENT and CONTENT NOTIFICATION : This message and any accompanying attachment(s) contain information which may be confidential or privileged and is intended only for the individual or entity named above. It is prohibited to disclose, copy, or distribute the contents of this message. If you received this message in error, please notify us immediately.

Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction documents(s).

This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.



CITY OF ALBUQUERQUE



December 8, 2014

Ms. Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Trapnell Orthodontics
Grading and Drainage Plan
Engineer's Date 11-25-14 (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 11-26-14, the above referenced plan is not approved for Grading Permit nor Building Permit until the comment below is addressed.

1. Provide the allowable amount of discharge into the on-site storm drain for this site as described in the Clifford West Business Park. Also include the amount for the Checker Auto site since the flows from that site are going through the Trapnell property. Show that the actual discharge is less than allowable amount and the pond is sized appropriately.

PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Trapnell Orthodontics Building Permit #: _____ City Drainage #: J09/D022
 DRB#: 1010204 EPC#: _____ Work Order#: _____
 Legal Description: Tract Q-7-A-1-A, Atrisco Business Park, Unit 4
 City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
 Address: 128 Monroe Street NE - Albuquerque, NM 87108
 Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

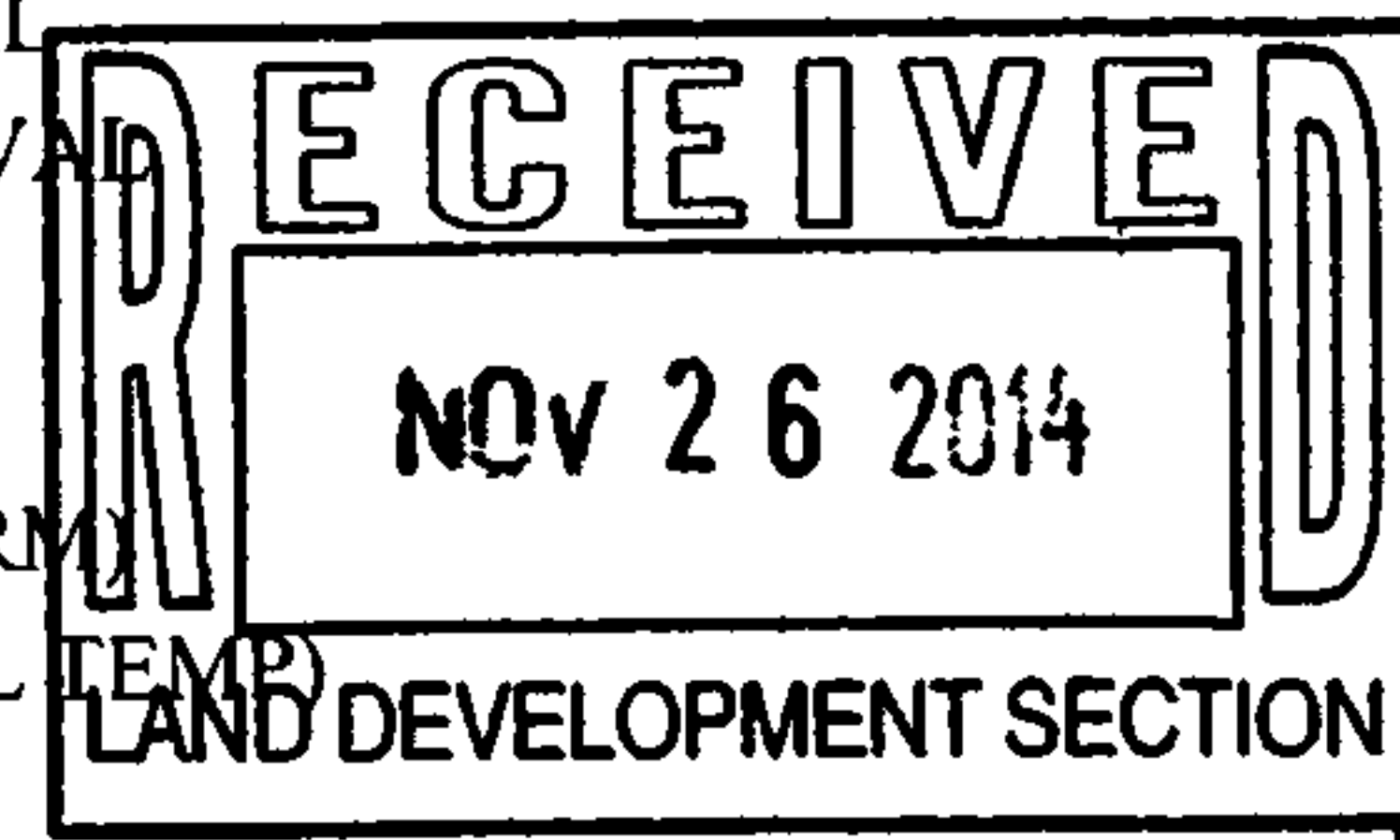
Architect: Rick Bennet & Assoc. Contact: _____
 Address: 1104 Park Ave. SW, Albuquerque, NM 87102
 Phone#: 242-1859 Fax#: _____ E-mail: rick@rba81.com

Surveyor: Harris Surveying, Inc. Contact: Tony Harris
 Address: 2412 Monroe St NE, Albuquerque, NM 87110
 Phone#: 889-8056 Fax#: _____ E-mail: Surveyh@swcp.com

Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION & SEDIMENT CONTROL PLAN (ESC)
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - ENGINEER'S CERT (ESC)
 - SO-19
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TCL TEMP)
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - GRADING CERTIFICATION
 - SO-19 APPROVAL
 - ESC PERMIT APPROVAL
 - ESC CERT. ACCEPTANCE
 - OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: November 26, 2014 By: Genevieve Donart, PE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

A0 = .56 Detention

Genny Donart

From: Genny Donart <gennyd@iacivil.com>
Sent: Wednesday, November 26, 2014 1:47 PM
To: 'Ortiz, Monica'
Cc: Niese, Amy (AmyNiese@cabq.gov); Curtis Cherne (CCherne@CABQ.gov)
Subject: Trapnell Orthodontics (J09/D022) pdf's
Attachments: 2053 Trapnell Orthodontics CG-101 AND CG-501 SIGNED 11-25-14.pdf; 2053 Trapnell Orthodontics Drainage Info Sheet 11-25-14.pdf

Good afternoon,

Attached are pdf's for the Trapnell Orthodontic project.

Have a great Thanksgiving!

**Genny Donart, P.E.
Registered Engineer**



Isaacson & Arfman, P.A.

Consulting Engineering Associates
128 Monroe St. N.E.
Albuquerque, NM 87108
Phone: (505)268-8828
Fax: (505)268-2632
gennyd@iacivil.com

CONFIDENTIALITY STATEMENT and CONTENT NOTIFICATION : This message and any accompanying attachment(s) contain information which may be confidential or privileged and is intended only for the individual or entity named above. It is prohibited to disclose, copy, or distribute the contents of this message. If you received this message in error, please notify us immediately.

Recipient acknowledges that any attached electronic files may not contain all of the information on the approved construction documents and are not intended to be relied upon as a replacement for the approved construction documents(s).

This information is provided to the user as a courtesy by I&A for this project only and shall not be used for any other purpose without the express written consent of Isaacson & Arfman, PA.

Trappell

11/4/14

* Dupade area around drain to be 6" below rim

~ SF of Bldg

What is Point to drain

→ Need 5391 CF for pond. not 4540
lowered site

~ Spot in corner

~~Concrete wall opening~~

6- Allowed 908 ~~CONCRETE~~ around POL CUPPER DUS
6.8 total gain in PAUL

6- First gate is circular believe - ~~non-spherical~~

DRB 10/0204

Inspire J090002

9/16/14

What's Master Plan for this site?

ANUSO
BUS PARC?
J10 0002

Do they have permission to do work on checker auto prep?

- No per GRAN

Where is that plan?

Doing ret wall that drives water N + from accept on-site after that.

What is that draining?

J10 D28
CUBK 1000

WEST BUFF SYSTEM K091004?

Curb on west side or not?

Just edge of asphalt

Is retention being added for First Flush? yes

Is there enough capacity in pond for new ~~and~~ and FF? - G will check

W ~~Where is existing asphalt?~~

DRB?
SUBMITTING 9/16 FOR 9/24

✓ $Q_{ex} = 0.92$ or 3.23 cfs

W Show (7) trench drain

Can drive be in drain easement?

YES. Owner owns that also

Enough protection of storm drain w/ det pond? G will check. If not, do drainage to side

Water harvesting - counts

Not pushing water to water. Harv. sites. Will provide FF

Still not matching site plan

- MATCHING WHAT
SITE PLAN G SENT 9/16/14

2/16/14

Long Term - Other - use area, agreement
Dawn - area

no cuts on west
no cuts on east continue aspect parking lot

check notes - not used

D&B system, that - when, match site plan

C - enough room for inventory storage/warehouse
Make it work, first floor - go back to
cut it out

CITY OF ALBUQUERQUE



September 29, 2014

Ms. Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Trapnell Orthodontics
Conceptual Grading and Drainage Plan
No Engineer's Date (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 9-23-14, the above referenced plan is approved for Site Plan for Building Permit Action by the DRB

If you have any questions, you can contact me at 924-3994.

Sincerely,

A handwritten signature in black ink, appearing to read 'Amy L. D. Niese', is written over a faint, larger version of the same signature.

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

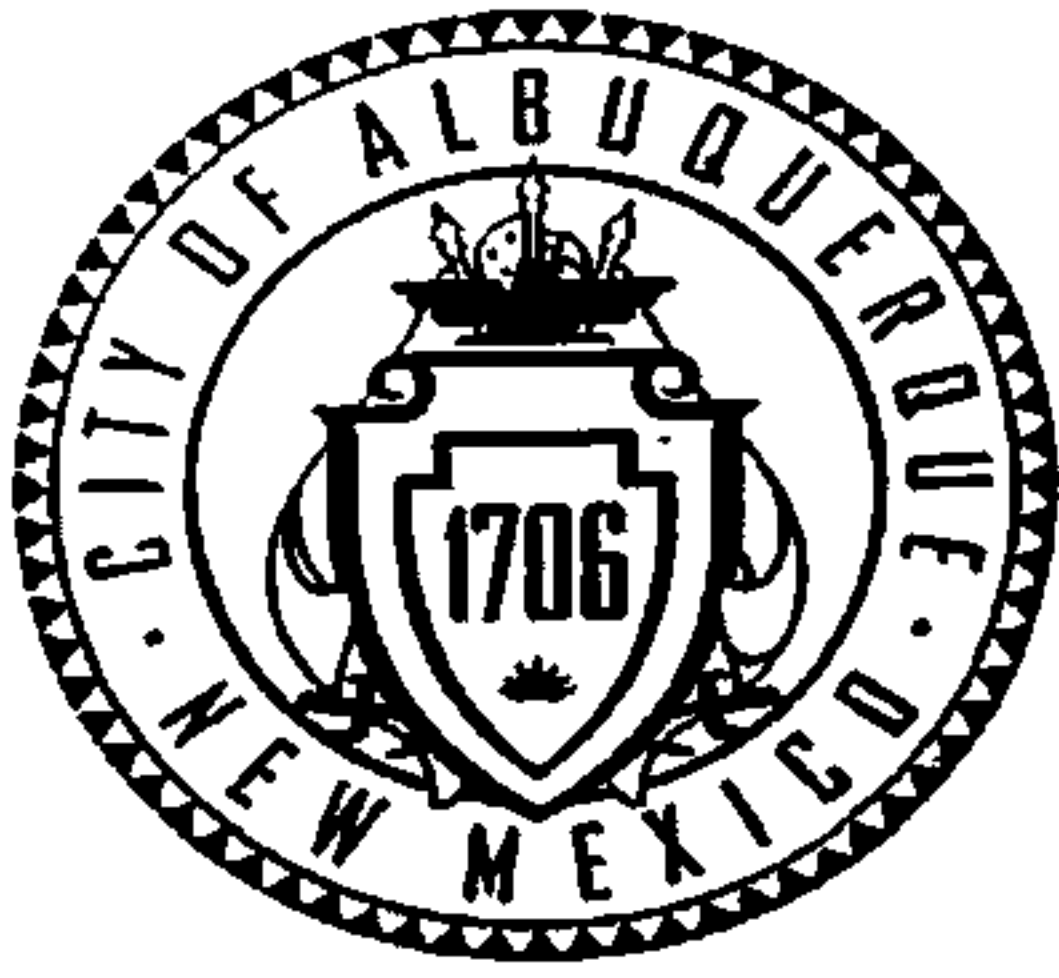
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Trapnell Orthodontics Building Permit #: _____ City Drainage #: J09/D022
 DRB#: 1010204 EPC#: _____ Work Order#: _____
 Legal Description: Tract Q-7-A-1-A, Atrisco Business Park, Unit 4
 City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
 Address: 128 Monroe Street NE - Albuquerque, NM 87108
 Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: Rick Bennet & Assoc. Contact: _____
 Address: 1104 Park Ave. SW, Albuquerque, NM 87102
 Phone#: 242-1859 Fax#: _____ E-mail: rick@rba81.com

Surveyor: Harris Surveying, Inc. Contact: Tony Harris
 Address: 2412 Monroe St NE, Albuquerque, NM 87110
 Phone#: 889-8056 Fax#: _____ E-mail: Surveyh@swcp.com

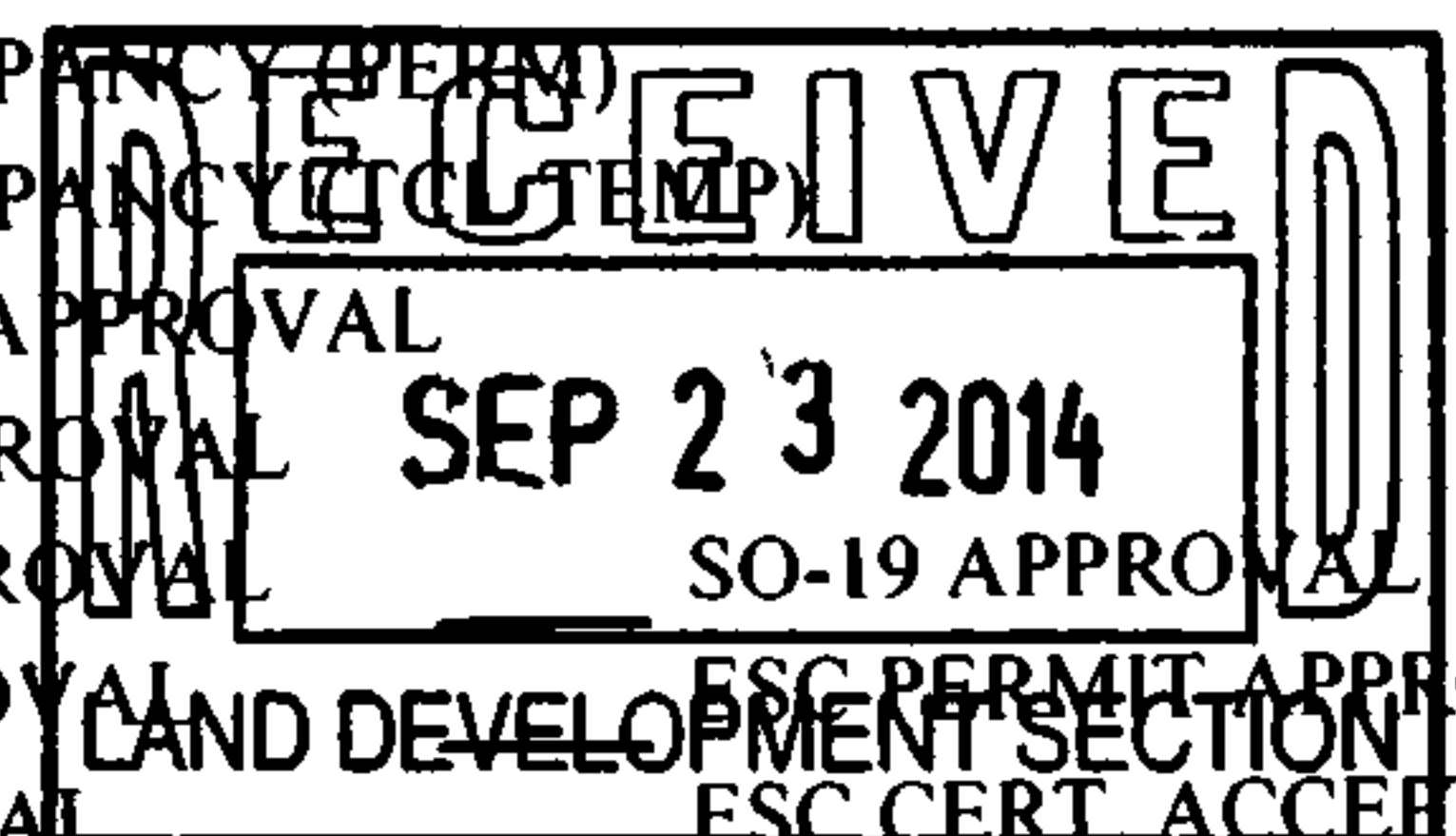
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (TEMP)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: September 24, 2014 By: Genevieve Donart, PE

Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

AD = .56 Detention

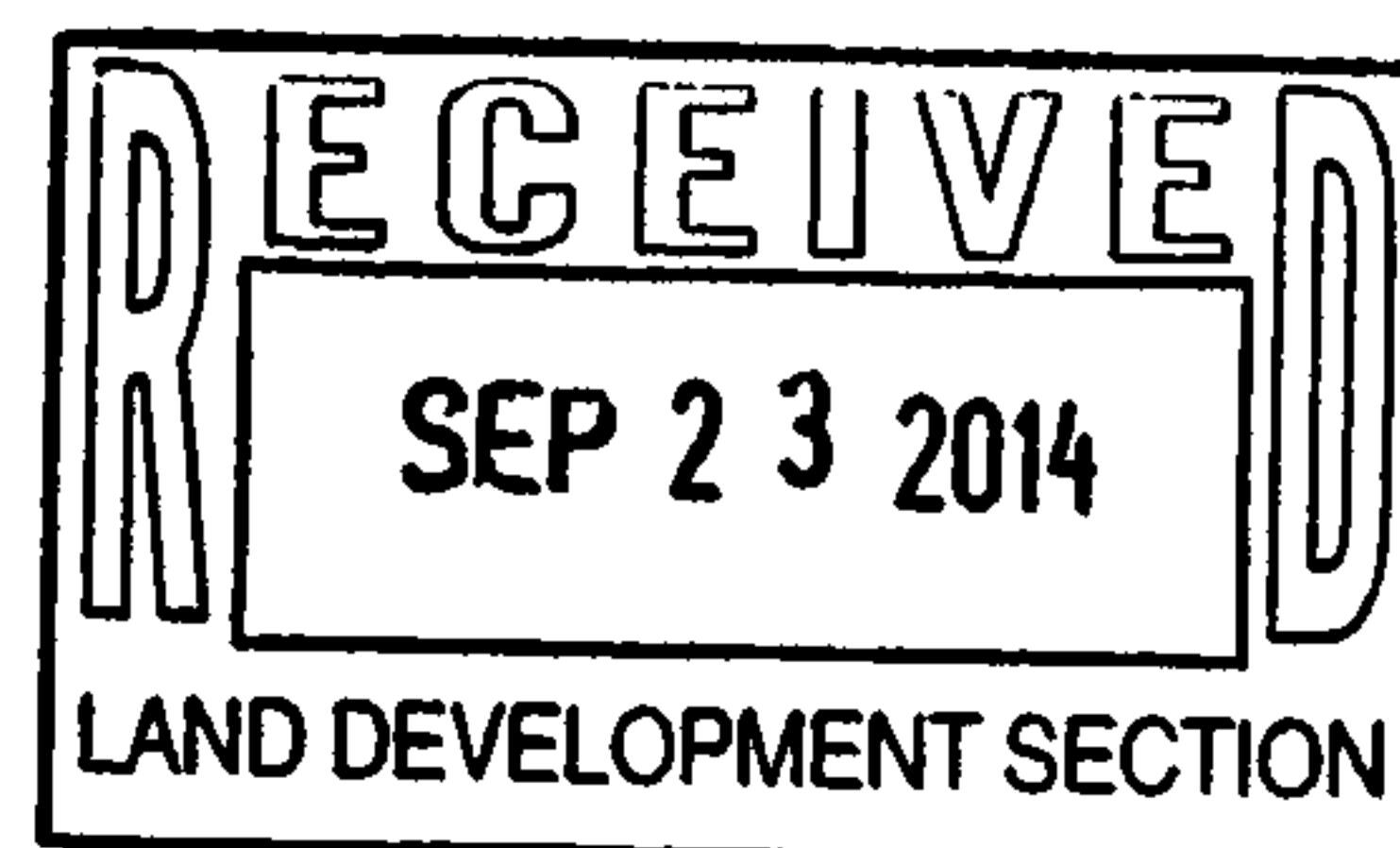
Bryan Bobrick

From: Ortiz, Monica <mortiz@cabq.gov>
To: Bryan Bobrick
Sent: Wednesday, September 24, 2014 9:34 AM
Subject: Read: Resubmittal: Conceptual G&D - Trapnell Orthodontics J09D022

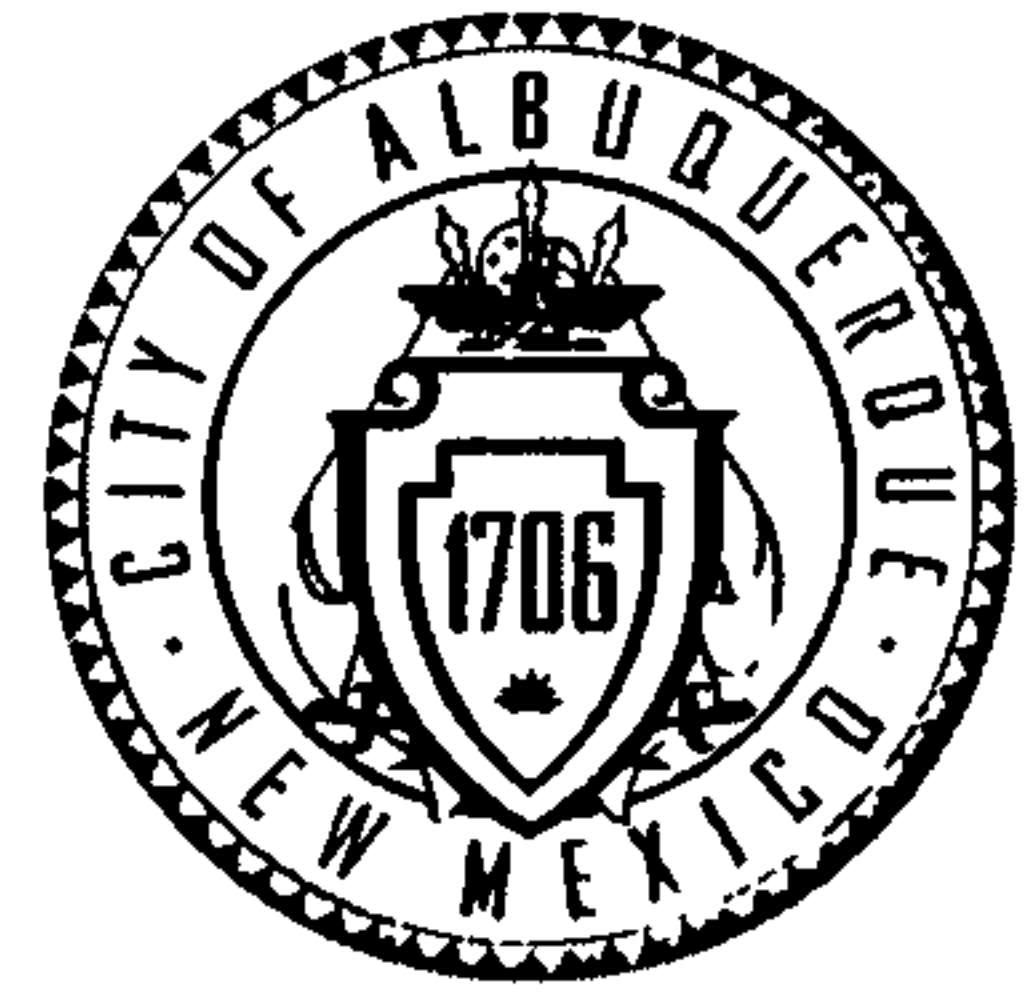
Your message

To: Ortiz, Monica
Subject: Resubmittal: Conceptual G&D - Trapnell Orthodontics J09D022
Sent: Wednesday, September 24, 2014 9:26:51 AM (UTC-07:00) Mountain Time (US & Canada)

was read on Wednesday, September 24, 2014 9:33:49 AM (UTC-07:00) Mountain Time (US & Canada).



CITY OF ALBUQUERQUE



September 17, 2014

Ms. Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Trapnell Orthodontics
Conceptual Grading and Drainage Plan
No Engineer's Date (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 9-10-14, the above referenced plan is not approved for Site Plan for Building Permit Action by the DRB until the comment below is addressed.

1. Shorten the driveway leading to the inlet approximately ten feet. This is to allow sufficient room for riprap and energy dissipation of the drainage prior to entering the inlet. It is expected that the grate of the inlet will be higher than the bottom of the pond for the design of the First Flush. Provide a revised Grading and Drainage Plan and revised Site Plan that have matching layouts as a result of the redesign.

PO Box 1293

Albuquerque

New Mexico 87103

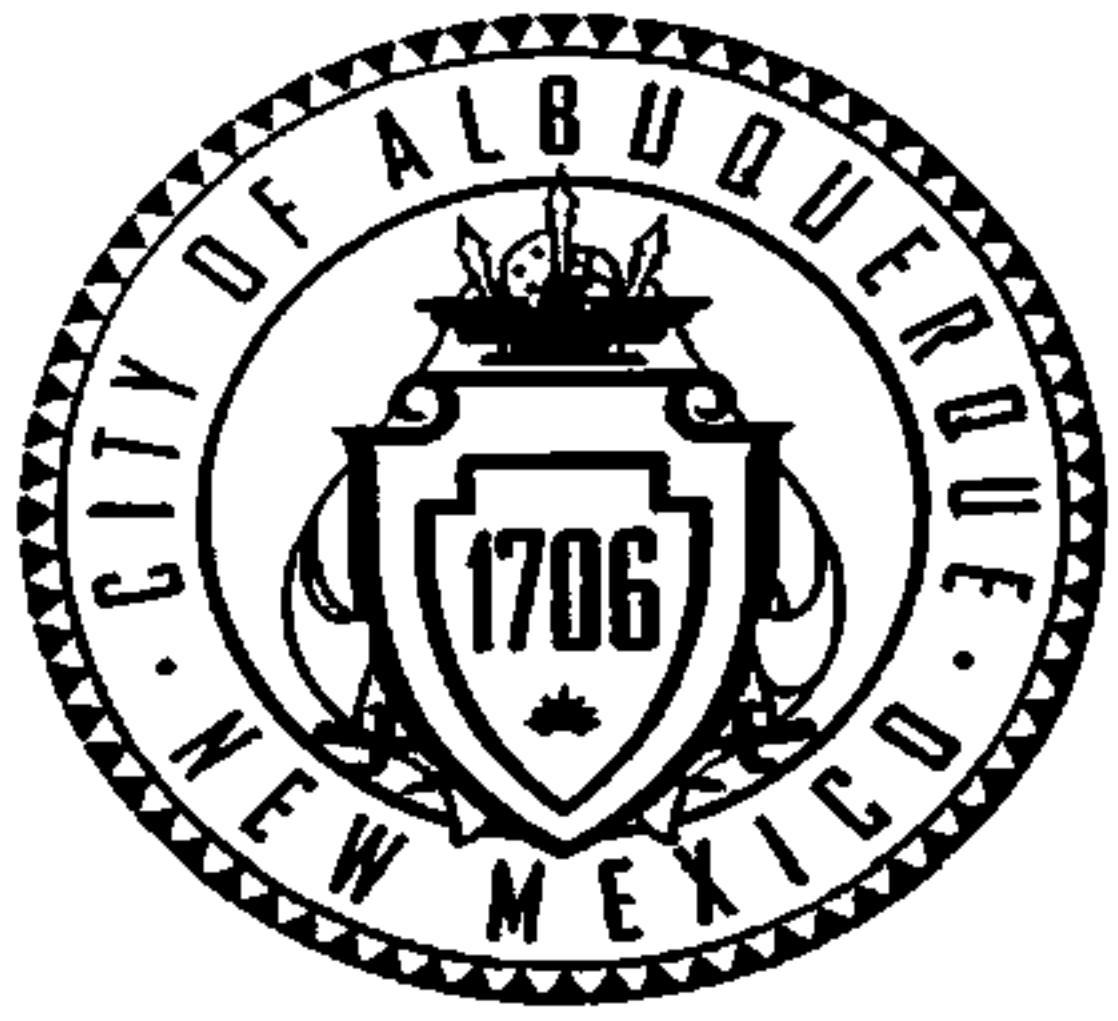
www.cabq.gov

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Trapnell Orthodontics Building Permit #: _____ City Drainage #: J09/D022
 DRB#: 1010204, EPC#: _____ Work Order#: _____
 Legal Description: Tract Q-7-A-1-A, Atrisco Business Park, Unit 4
 City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
 Address: 128 Monroe Street NE - Albuquerque, NM 87108
 Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

Architect: Rick Bennet & Assoc. Contact: _____
 Address: 1104 Park Ave. SW, Albuquerque, NM 87102
 Phone#: 242-1859 Fax#: _____ E-mail: rick@rba81.com

Surveyor: Harris Surveying, Inc. Contact: Tony Harris
 Address: 2412 Monroe St NE, Albuquerque, NM 87110
 Phone#: 889-8056 Fax#: _____ E-mail: Surveyh@swcp.com

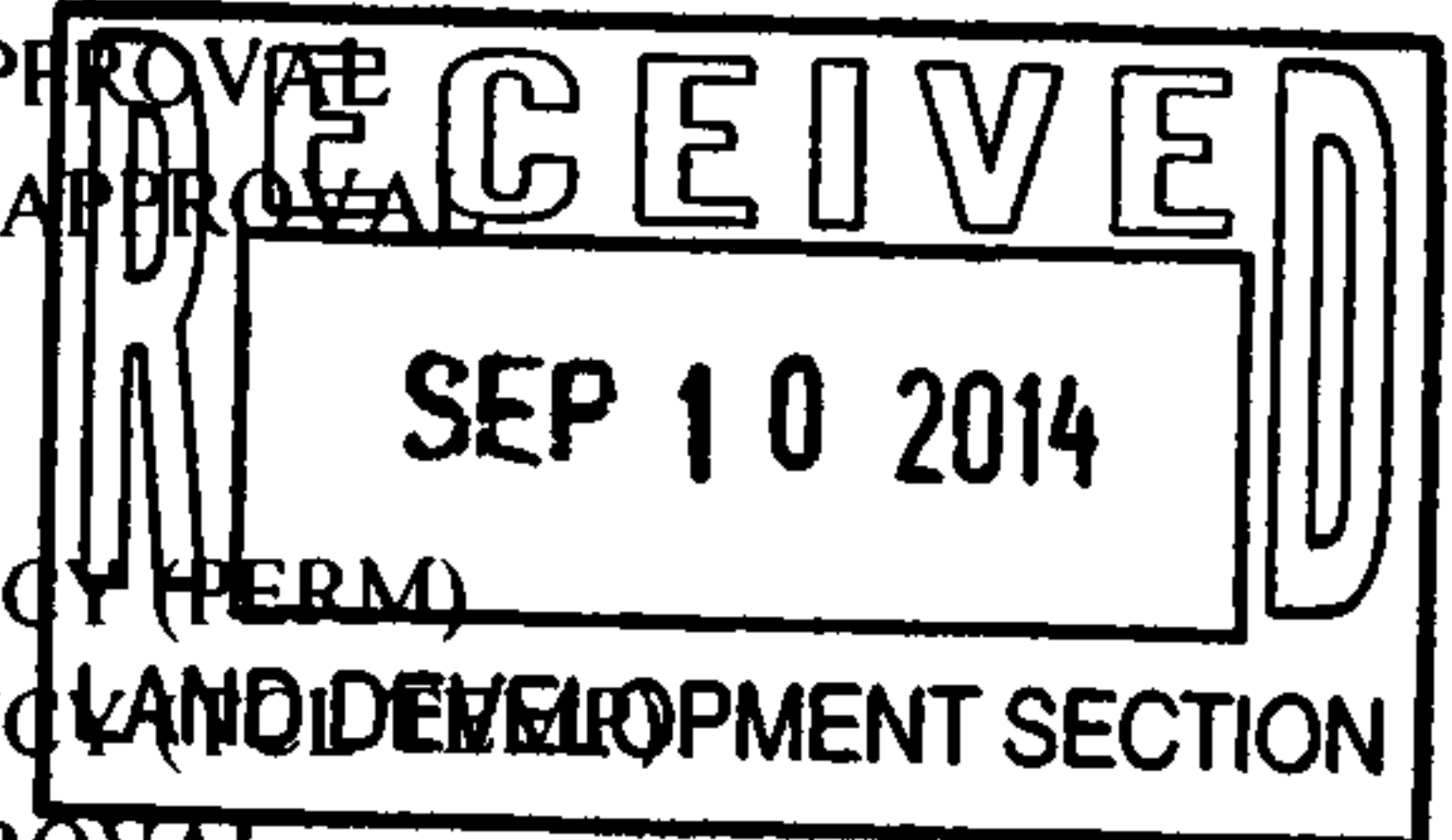
Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- DRAINAGE REPORT
- DRAINAGE PLAN 1st SUBMITTAL
- DRAINAGE PLAN RESUBMITTAL
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- ENGINEER'S CERT (HYDROLOGY)
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- ENGINEER'S CERT (TCL)
- ENGINEER'S CERT (DRB SITE PLAN)
- ENGINEER'S CERT (ESC)
- SO-19
- OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- SIA/FINANCIAL GUARANTEE RELEASE
- PRELIMINARY PLAT APPROVAL
- S. DEV. PLAN FOR SUB'D APPROVAL
- S. DEV. FOR BLDG. PERMIT APPROVAL
- SECTOR PLAN APPROVAL
- FINAL PLAT APPROVAL
- CERTIFICATE OF OCCUPANCY (PERM)
- CERTIFICATE OF OCCUPANCY (LAND DEVELOPMENT SECTION)
- FOUNDATION PERMIT APPROVAL
- BUILDING PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- PAVING PERMIT APPROVAL
- WORK ORDER APPROVAL
- GRADING CERTIFICATION
- SO-19 APPROVAL
- ESC PERMIT APPROVAL
- ESC CERT. ACCEPTANCE
- OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: Yes No Copy Provided

DATE SUBMITTED: September 09, 2014 By: Genevieve Donart, PE
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan**: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans**: Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report**: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan**: Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

A_D = .56 Ac Detention

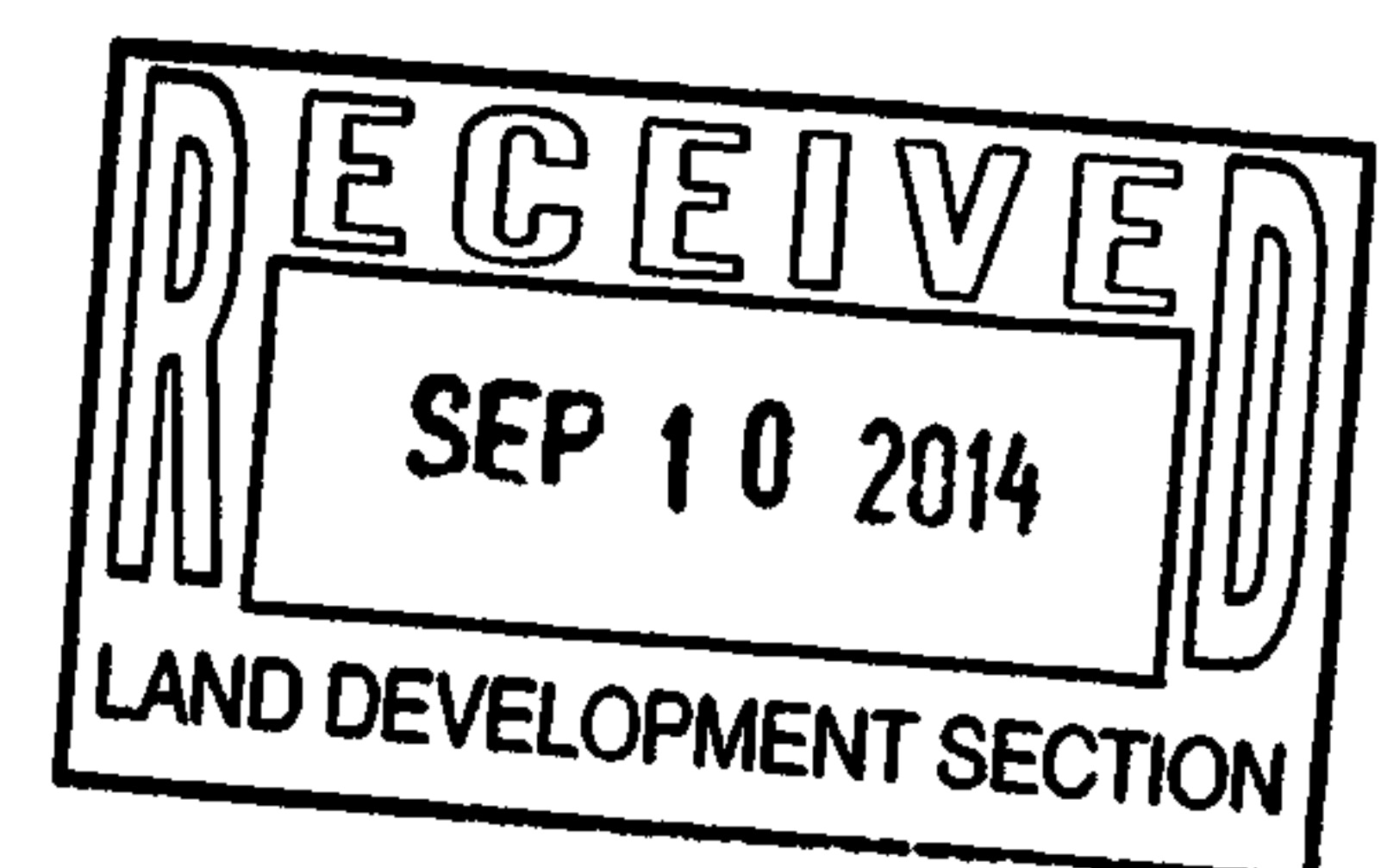
Genny Donart

From: Ortiz, Monica <mortiz@cabq.gov>
To: Genny Donart
Sent: Wednesday, September 10, 2014 11:21 AM
Subject: Read: Trapnell Orthodontics - revised plan

Your message

To: Ortiz, Monica
Cc: Cherne, Curtis; Niese, Amy; David McEachern
Subject: Trapnell Orthodontics - revised plan
Sent: Wed, 10 Sep 2014 10:55:12 -0600

was read on Wed, 10 Sep 2014 11:20:50 -0600



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

**HYDROLOGY DEVELOPMENT SECTION
DEVELOPMENT REVIEW BOARD MEMO**

DRB PROJECT NO: 1010204

AGENDA ITEM NO: 2

SUBJECT:

Site Plan for Bldg Permit

ENGINEERING COMMENTS:

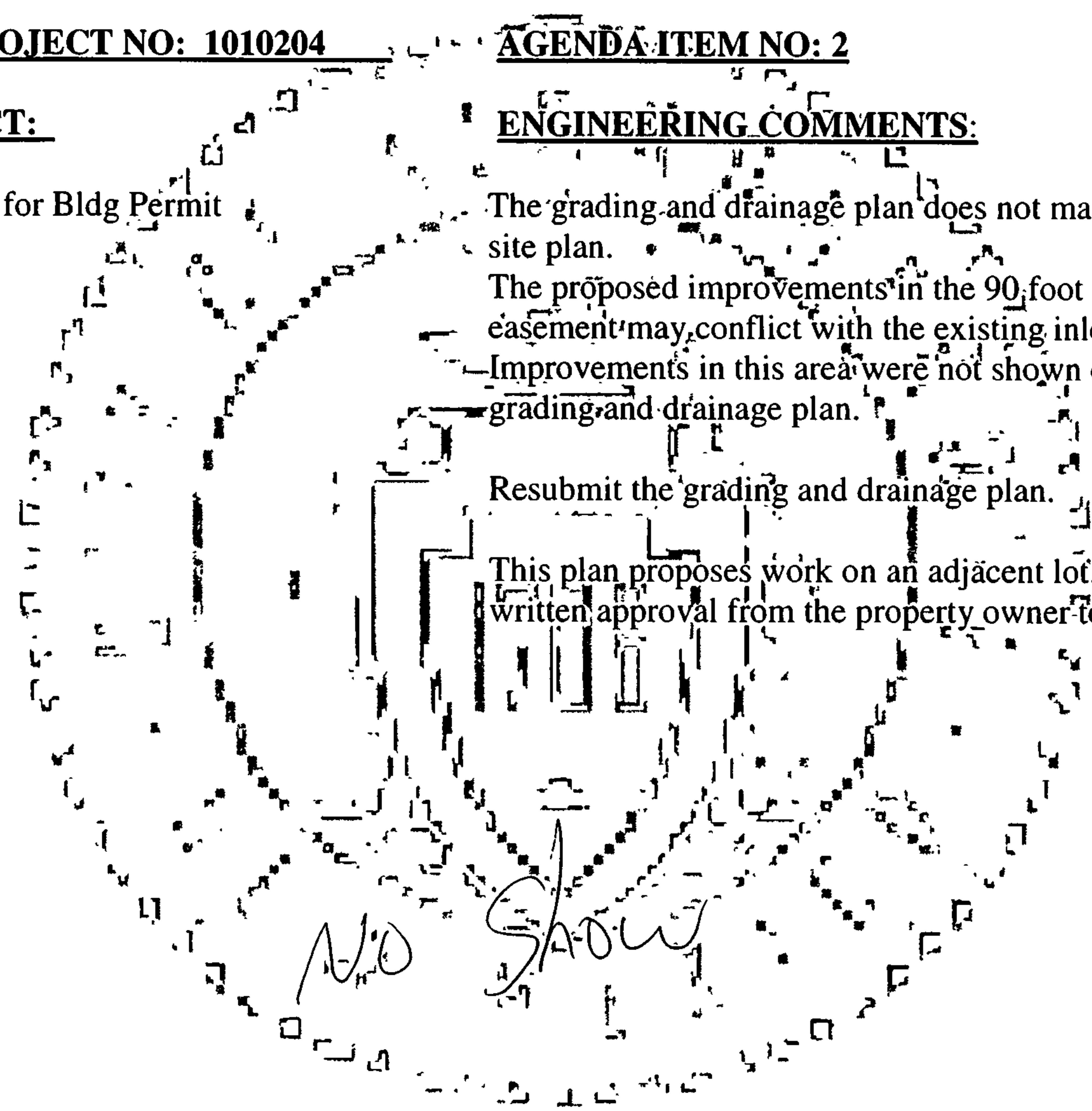
The grading and drainage plan does not match the site plan.

The proposed improvements in the 90-foot drainage easement may conflict with the existing inlet.

Improvements in this area were not shown on the grading and drainage plan.

Resubmit the grading and drainage plan.

This plan proposes work on an adjacent lot. Provide written approval from the property owner to the east.

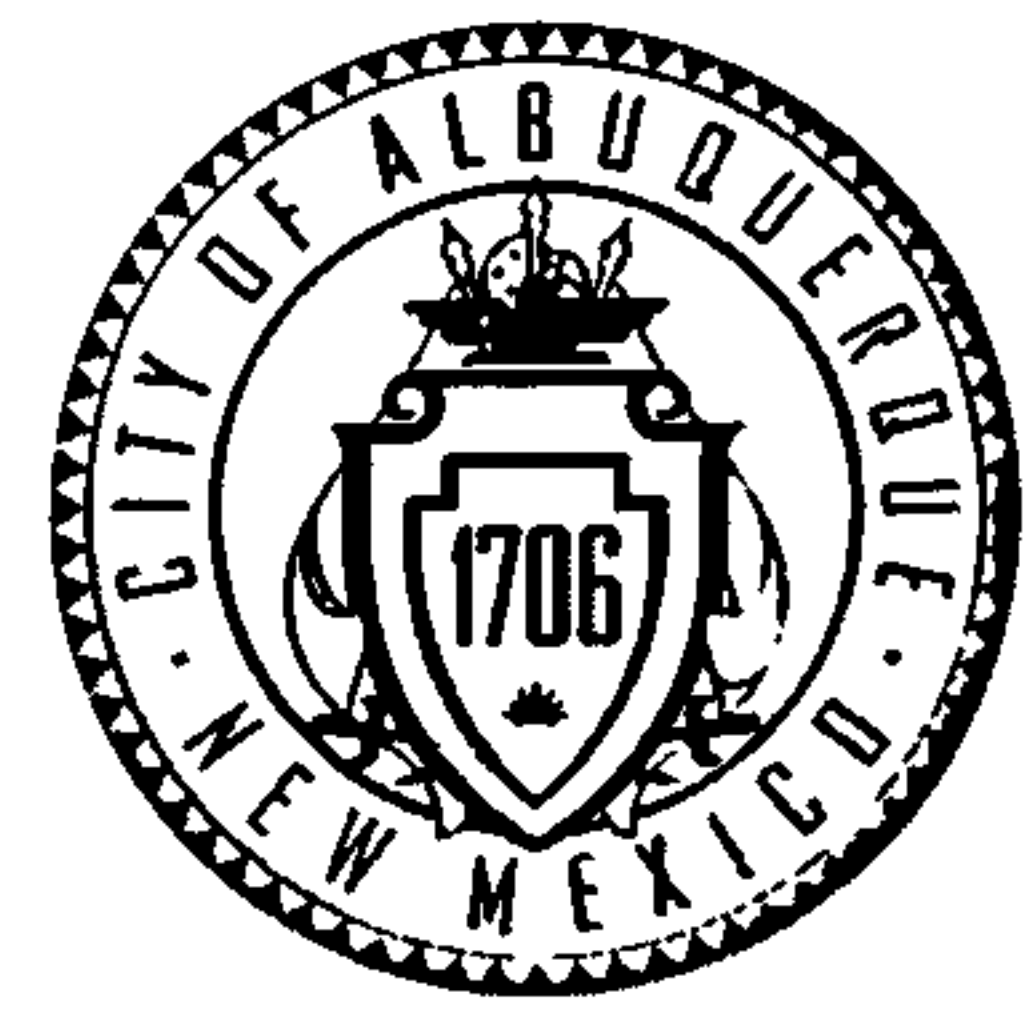


SIGNED:

Curtis Cherne
Hydrology Section
City Engineer Designee
AMAFCA Designee
924-3986

DATE: 9-3-14

CITY OF ALBUQUERQUE



July 31, 2014

Genevieve Donart, PE
Isaacson & Arfman, PA
1287 Monroe Street NE
Albuquerque, NM 87108

**Re: Trapnell Orthodontics
Conceptual Grading and Drainage Plan
No Engineer's Date (J09D022)**

Dear Ms. Donart,

Based upon the information provided in your submittal received 7-16-14, the above referenced plan is approved for Site Plan for Building Permit Action by the DRB.

If you have any questions, you can contact me at 924-3994.

Sincerely,

Amy L. D. Niese, P.E.
Senior Engineer, Hydrology
Planning Department

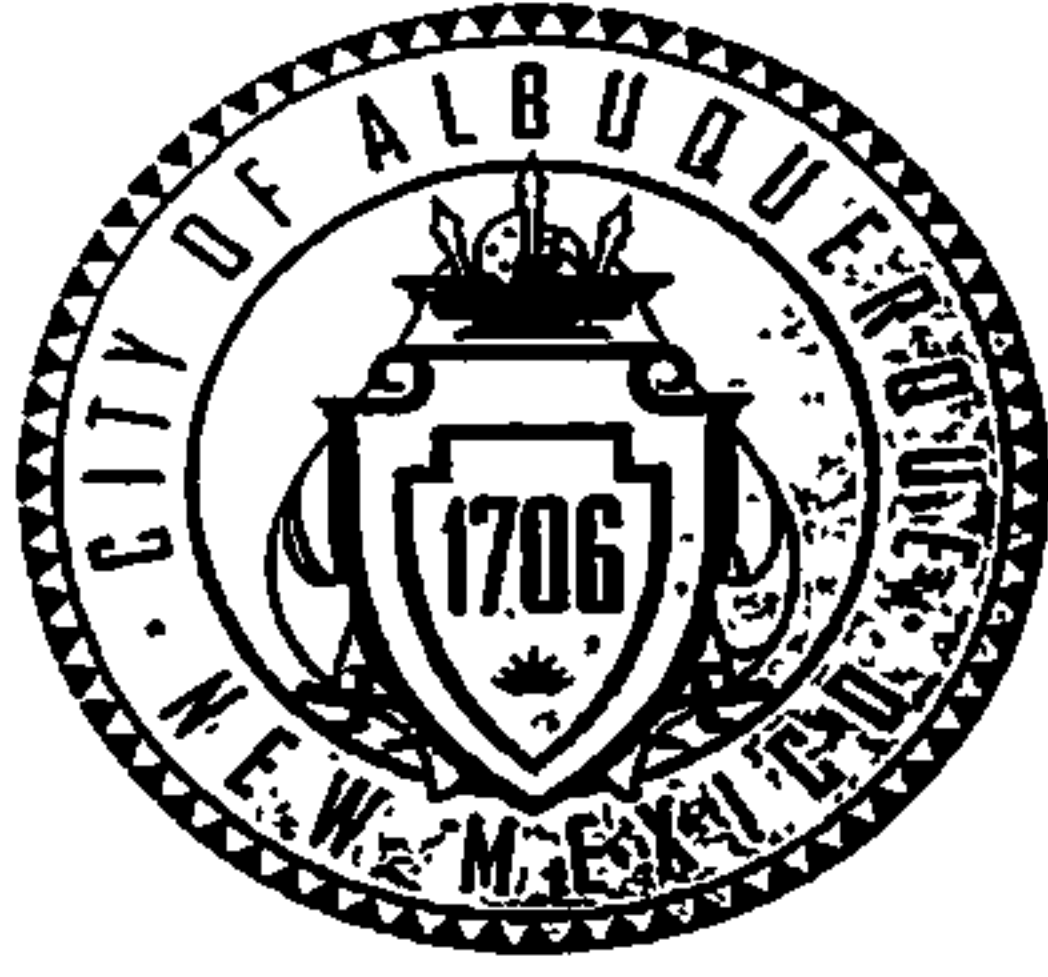
PO Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

C: e-mail
file



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: Trapnell Orthodontics Building Permit #: _____ City Drainage #: JOA 0022
 DRB#: _____ EPC#: _____ Work Order#: _____
 Legal Description: Tract Q-7-A-1-A, Atrisco Business Park, Unit 4
 City Address: _____

Engineering Firm: Isaacson & Arfman, P.A. Contact: Genny Donart
 Address: 128 Monroe Street NE - Albuquerque, NM 87108
 Phone#: (505) 268-8828 Fax#: _____ E-mail: gennyd@iacivil.com

Owner: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

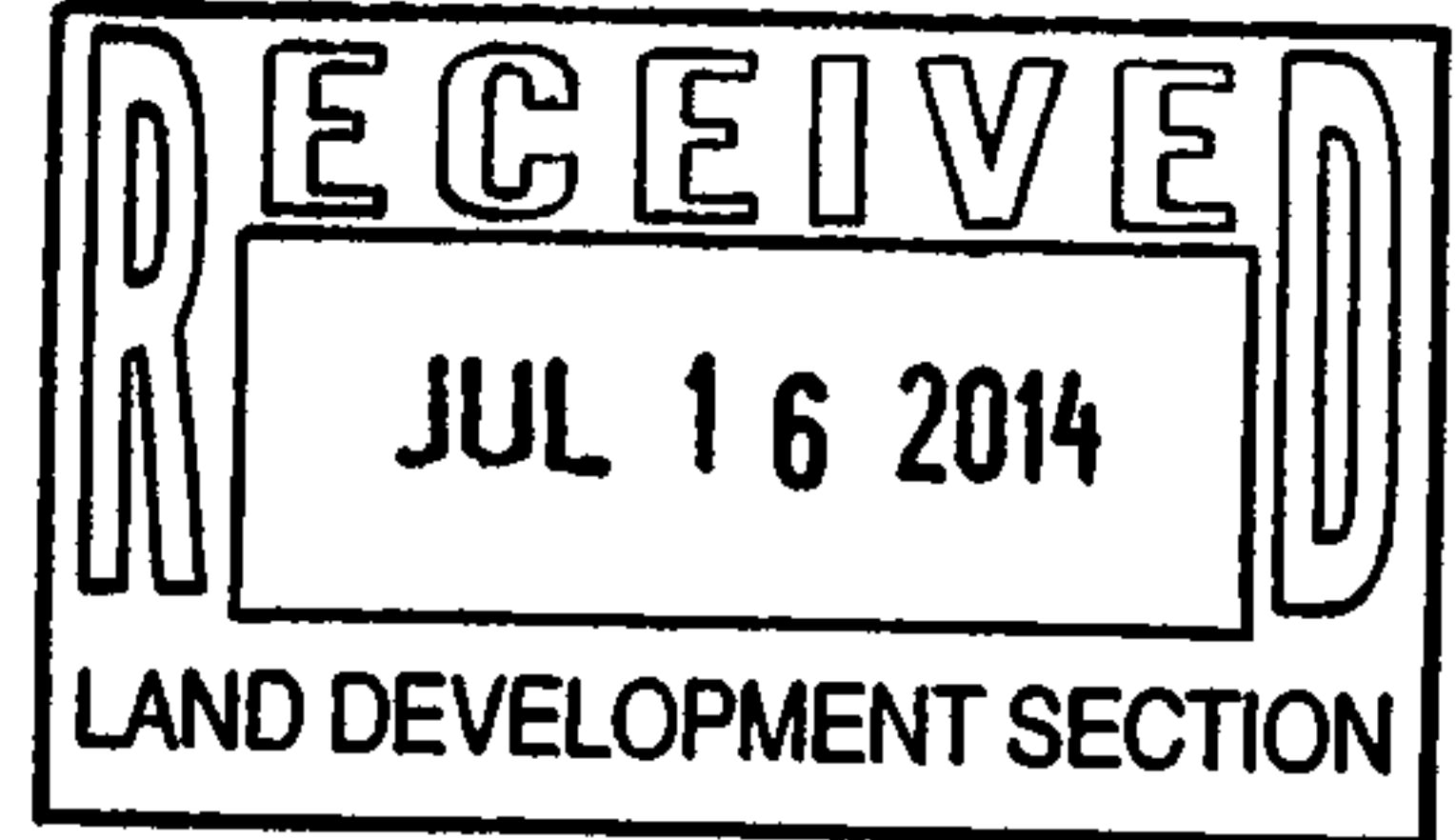
Architect: Rick Bennet & Assoc. Contact: _____
 Address: 1104 Park Ave. SW, Albuquerque, NM 87102
 Phone#: 242-1859 Fax#: _____ E-mail: rick@rba81.com

Surveyor: Harris Surveying, Inc. Contact: Tony Harris
 Address: 2412 Monroe St NE, Albuquerque, NM 87110
 Phone#: 889-8056 Fax#: _____ E-mail: Surveyh@swcp.com

Contractor: _____ Contact: _____
 Address: _____
 Phone#: _____ Fax#: _____ E-mail: _____

- TYPE OF SUBMITTAL:**
- DRAINAGE REPORT
 - DRAINAGE PLAN 1st SUBMITTAL
 - DRAINAGE PLAN RESUBMITTAL
 - CONCEPTUAL G & D PLAN
 - GRADING PLAN
 - EROSION & SEDIMENT CONTROL PLAN (ESC)
 - ENGINEER'S CERT (HYDROLOGY)
 - CLOMR/LOMR
 - TRAFFIC CIRCULATION LAYOUT (TCL)
 - ENGINEER'S CERT (TCL)
 - ENGINEER'S CERT (DRB SITE PLAN)
 - ENGINEER'S CERT (ESC)
 - SO-19
 - OTHER (SPECIFY)

- CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:**
- SIA/FINANCIAL GUARANTEE RELEASE
 - PRELIMINARY PLAT APPROVAL
 - S. DEV. PLAN FOR SUB'D APPROVAL
 - S. DEV. FOR BLDG. PERMIT APPROVAL
 - SECTOR PLAN APPROVAL
 - FINAL PLAT APPROVAL
 - CERTIFICATE OF OCCUPANCY (PERM)
 - CERTIFICATE OF OCCUPANCY (TCL TEMP)
 - FOUNDATION PERMIT APPROVAL
 - BUILDING PERMIT APPROVAL
 - GRADING PERMIT APPROVAL
 - PAVING PERMIT APPROVAL
 - WORK ORDER APPROVAL
 - GRADING CERTIFICATION
 - SO-19 APPROVAL
 - ESC PERMIT APPROVAL
 - ESC CERT. ACCEPTANCE
 - OTHER (SPECIFY)



WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes No _____ Copy Provided

DATE SUBMITTED: , 2014 By: Genevieve Donart, PE
Isaacson & Arfman, P.A.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1 **Conceptual Grading and Drainage Plan** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
- 2 **Drainage Plans** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
- 3 **Drainage Report** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
- 4 **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

Genny Donart

From: Sims, Timothy E. <tsims@cabq.gov>
To: Genny Donart
Sent: Wednesday, July 16, 2014 11:04 AM
Subject: Read: RE: Conceptual G&D plan for Trapnell Orthodontics (ZAP #K-9)

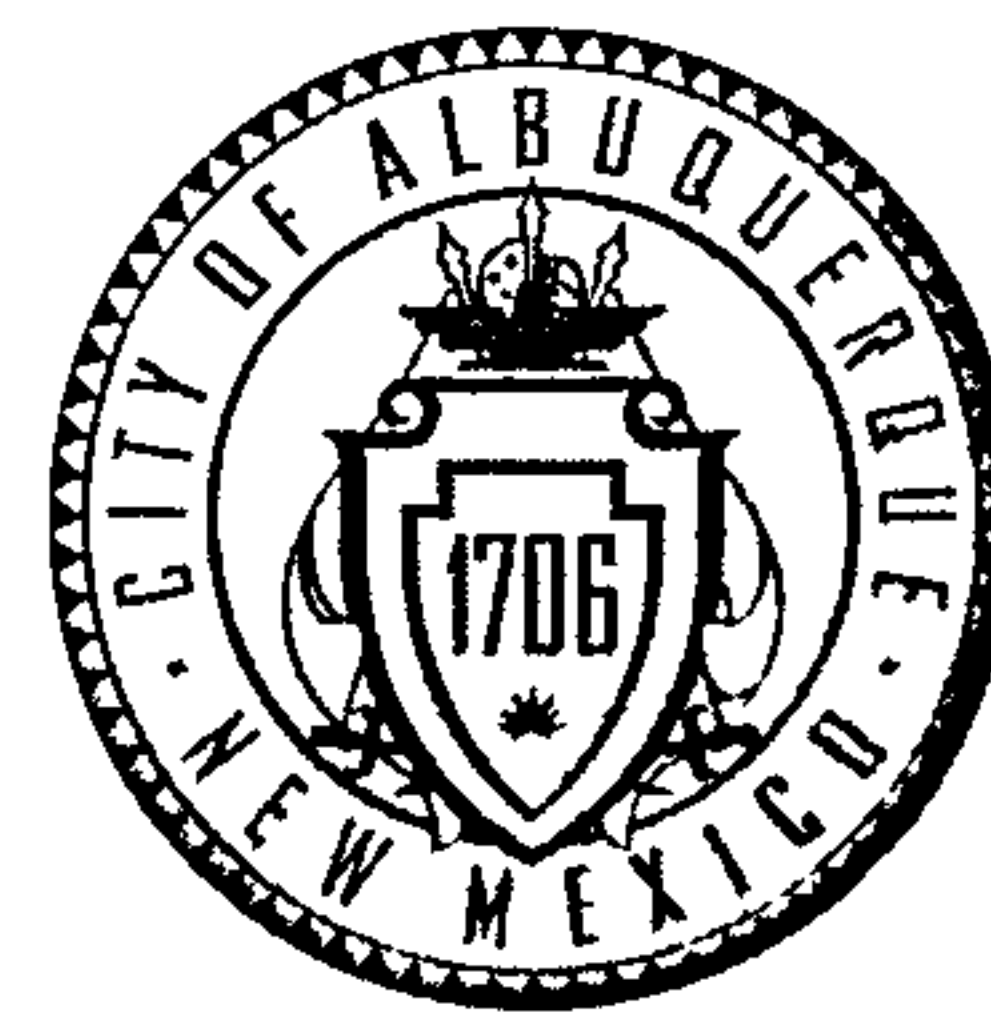
Your message

To: Ortiz, Monica; Sims, Timothy E.
Cc: 'Ruth Lozano'
Subject: RE: Conceptual G&D plan for Trapnell Orthodontics (ZAP #K-9)
Sent: Wed, 16 Jul 2014 10:08:59 -0600

was read on Wed, 16 Jul 2014 11:03:51 -0600



CITY OF ALBUQUERQUE



May 24, 2016

Aspen Design
Eric Shreve
PO Box 14907
Albuquerque, NM

**Re: Trapnell – ABQ Othrodontics
6411 Los Volcanes NW
Request for Certificate of Occupancy- Transportation Development
DRB Approval dated 10-2-14 (J09-D022)
Certification dated 5-23-16**

Dear Mr. Niski,

Based upon the information provided in your submittal received 5-19-16, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a “green tag” from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

PO Box 1293

If you have any questions, please contact Gary Sandoval at (505) 924-3675 or me at (505)924-3991.

Albuquerque

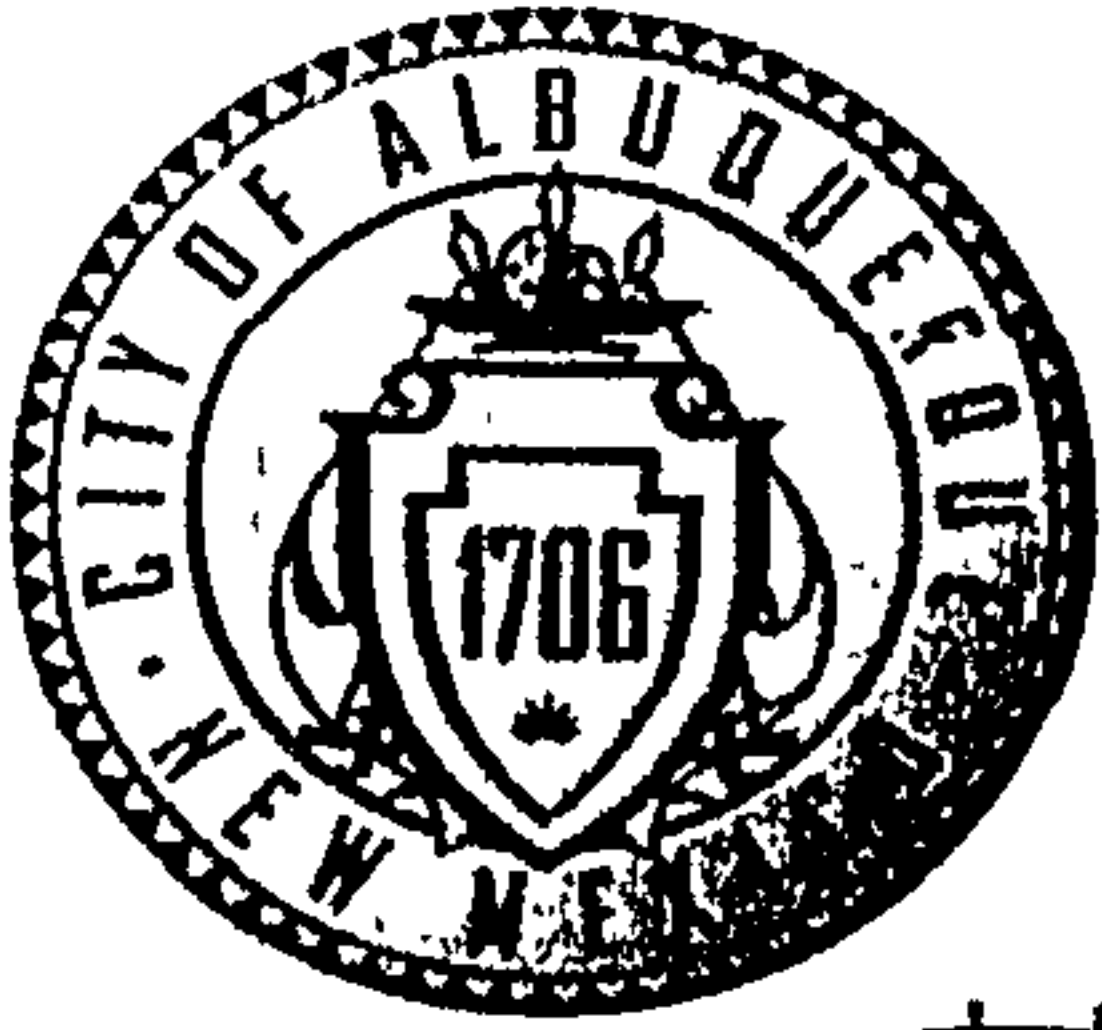
Sincerely,

New Mexico 87103

www.cabq.gov

Racquel M. Michel, P.E.
Traffic Engineer, Planning Dept.
Development Review Services

\gs via: email
C: CO Clerk, File



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

TRAPNELL

Project Title: ASQ Ortho Building Permit #: _____ Hydrology File #: 1090022
DRB#: 14 DRB-70288 EPC#: _____ Work Order#: _____

Legal Description: _____
City Address: 64011 Los Volcanos

Applicant: Eric Shreve Contact: _____
Address: P.O. Box 14907
Phone#: 974-5000 Fax#: _____ E-mail: Shreve@TriartyNM.com

Other Contact: _____ Contact: _____
Address: _____
Phone#: _____ Fax#: _____ E-mail: _____

Check all that Apply:

DEPARTMENT:

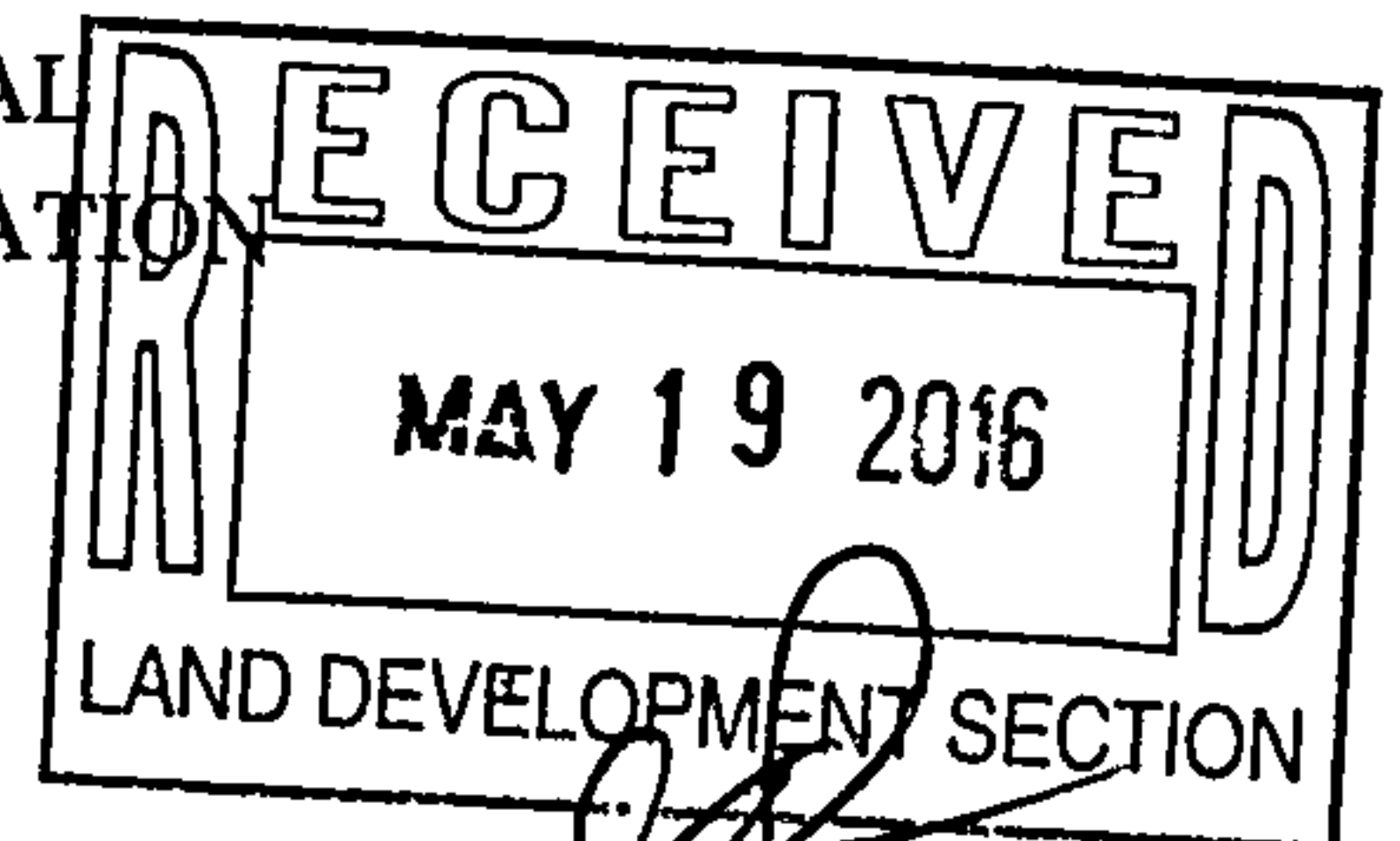
- HYDROLOGY/ DRAINAGE
- TRAFFIC/ TRANSPORTATION
- MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

- AS-BUILT CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE MASTER PLAN
- DRAINAGE REPORT
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- NEIGHBORHOOD IMPACT ASSESMENT (NIA)
- EROSION & SEDIMENT CONTROL PLAN (ESC)
- OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- CERTIFICATE OF OCCUPANCY
- GRADING/ESC PERMIT APPROVAL
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- PRE-DESIGN MEETING?
- OTHER (SPECIFY) _____



IS THIS A RESUBMITTAL?: Yes No

DATE SUBMITTED: 5-20-16 By: Eric Shreve

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED: _____

FEE RECEIVED: _____

5-23-16

Traffic Certification

ASPEN DESIGN 8019 EDITH BLVD, ALBUQUERQUE NM 87113

I Eric Shreve NM Registered Architect of Aspen Design, hereby certify that this project (ABQ Orthodontics) is in substantial compliance with and in accordance with the design intent on the DRB approved plan dated 8-11-2014. The recorded information edited onto the original design document has been obtained by Eric Shreve of the firm - Aspen Design. I further certify that I have personally visited the project site at 6401 Los Volcanos road and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for certificate of occupancy.

If you should have any questions concerning this site and the traffic layout verification.

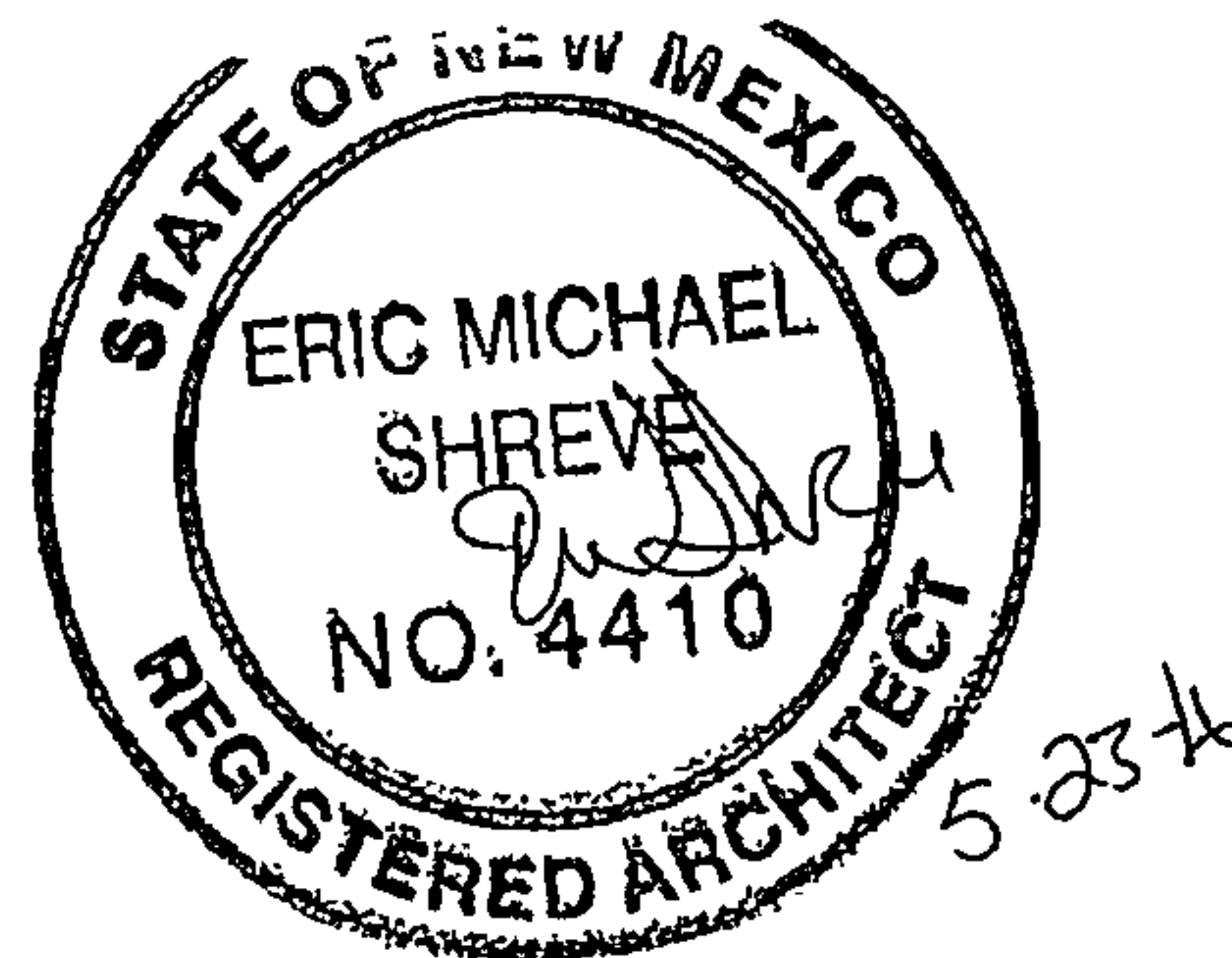
Please feel free to call me.

Sincerely



Eric Shreve

505-974-5000



1111
1111
1111
1111
1111