

CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



July 31, 2015

Jeffrey Mulbery , PE
BOHANNAN-HUSTON, INC.
7500 Jefferson Street NE Courtyard I
Albuquerque, NM 87109

Richard J. Berry, Mayor

**RE: Shawn McWerthy Park Offsite Grading Improvements and Stockpile Removal
(File: J09D023)
Grading and Drainage Plans, Engineer's Stamp Date 7-2-2015**

Dear Mr. Mulbery:

Based upon the information provided in your submittals received 7-2-2015, the above referenced submittals are approved for Grading Permit.

Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, prepared by a NM PE and approved by the City's Stormwater Engineer, will be required for this site

PO Box 1293

This project requires a National Pollutant Discharge Elimination System (NPDES) permit for storm water discharge for disturbing one acre or more and a Topsoil Disturbance Permit for disturbing $\frac{3}{4}$ of an acre or more.

Albuquerque

If you have any questions, you can contact me at 924-3695.

New Mexico 87103

www.cabq.gov

Sincerely,

Rita Harmon, P.E.
Senior Engineer, Planning Dept.
Development Review Services

Orig: Drainage file
c.pdf Addressee via Email



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY) _____

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

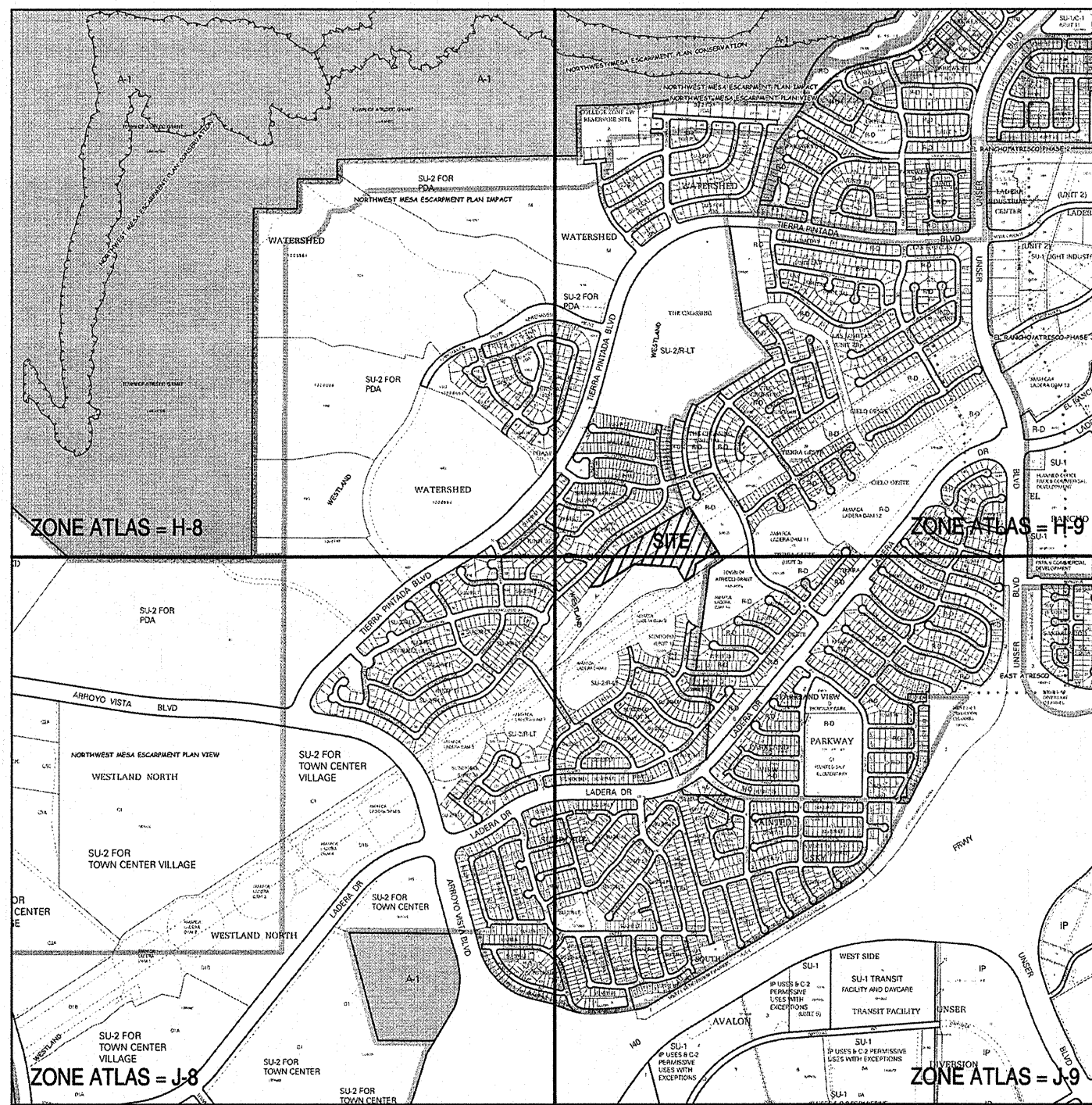
- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

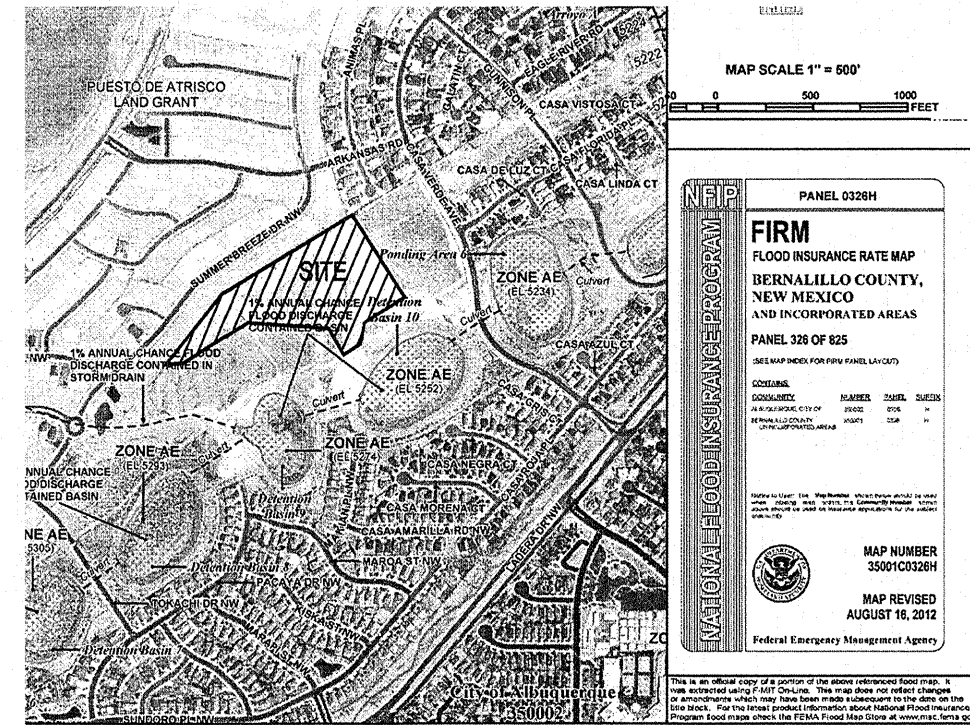
DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

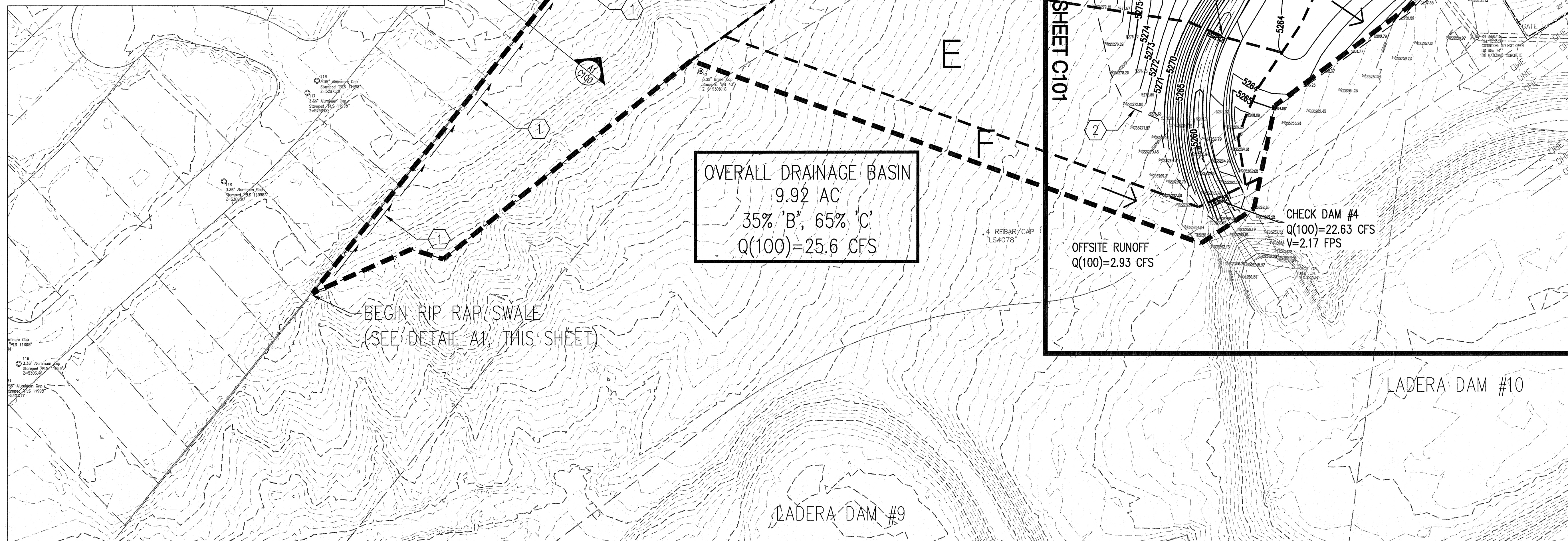
1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



VICINITY MAP (NTS)



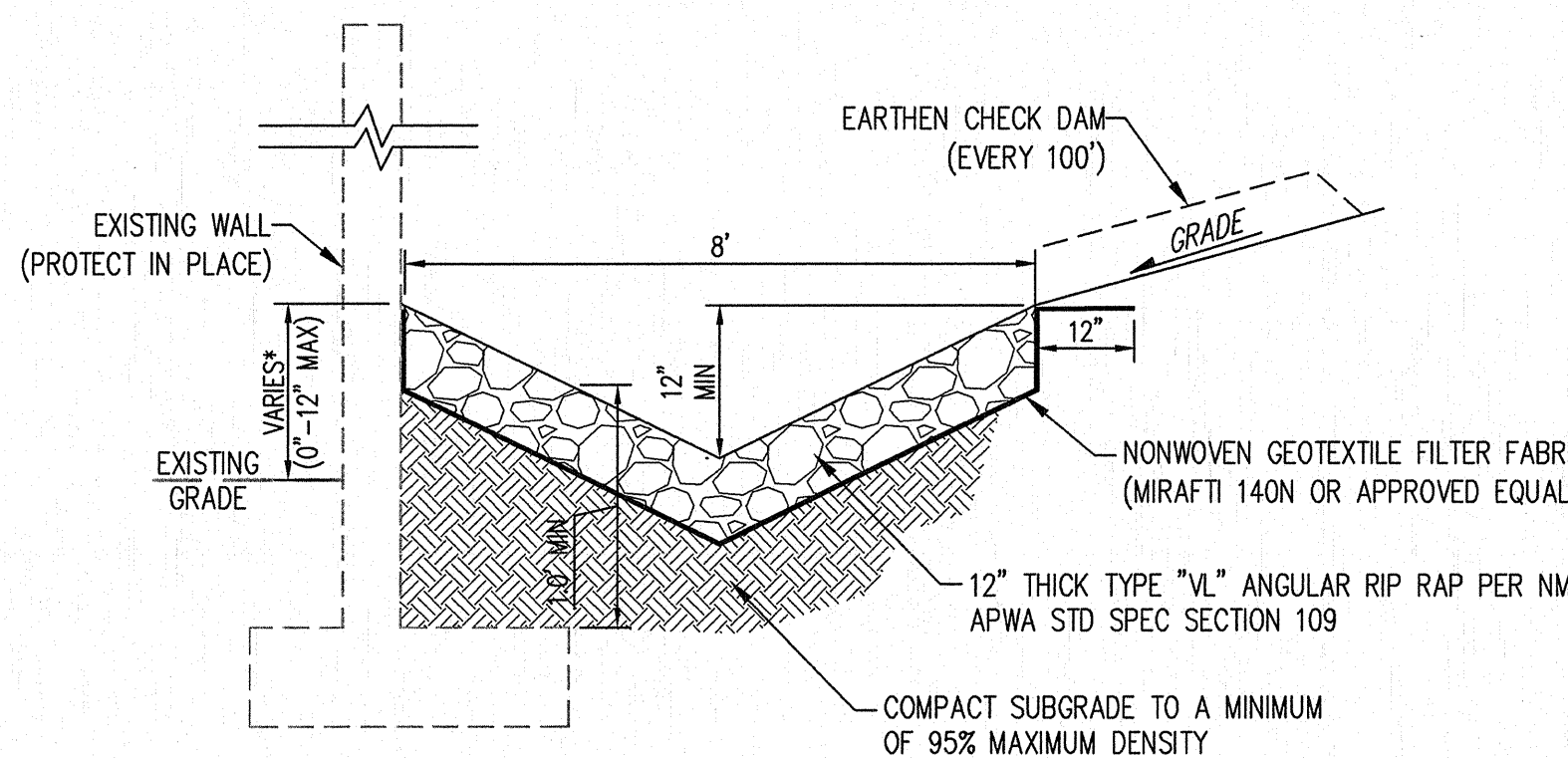
FEMA FIRM MAP (NTS)



SHAWN MCWETHY OFFSITE DRAINAGE IMPROVEMENTS									
PROPOSED Conditions Basin Data Table									
This table is based on the DPM Section 22.2, Zone: 1									
Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr) (cfs/ac.)	Q(100yr-6hr) (CFS)	WT E (inches)
			A	B	C	D			
(A) NORTHERN SWALE	122220	2.81	0.0%	35.0%	65.0%	0.0%	2.58	7.23	0.88
(B) 1ST CHECK DAM	164715	3.78	0.0%	35.0%	65.0%	0.0%	2.58	9.74	0.88
(C) 2ND CHECK DAM	226594	5.20	0.0%	35.0%	65.0%	0.0%	2.58	13.40	0.88
(D) 3RD CHECK DAM	301671	6.92	0.0%	35.0%	65.0%	0.0%	2.58	17.83	0.88
(E) 4TH CHECK DAM	382626	8.78	0.0%	35.0%	65.0%	0.0%	2.58	22.63	0.88
(F) OFFSITE RUNOFF	49509	1.14	0.0%	35.0%	65.0%	0.0%	2.58	2.93	0.88
TOTAL	432115	9.92						25.56	
*- Q IS CUMULATIVE									

SWALE/CHANNEL CAPACITY TABLE				
Concentration Point #	Max Required Flow (CFS)	Manning's Coefficient	Channel Slope	Swale/Channel Capacity (CFS)
Northern Swale	7.23	0.035	5.00%	22.82
Riprap Pad Swale	7.23	0.035	5.00%	31.01
Channel	22.63	0.022	1.10%	268.45
Swale/Channel Capacity Based on Manning's Eq - *				

VELOCITY TABLE				
Concentration Point #	Required Flow (CFS)	Manning's Coefficient	Channel Slope	Velocity (FPS) @ Required Flow *
(A) Northern Swale	7.23	0.035	5.00%	4.35
(B) Check Dam #1	9.74	0.022	0.34%	1.56
(C) Check Dam #2	13.40	0.022	0.34%	1.77
(D) Check Dam #3	17.83	0.022	0.34%	1.98
(E) Check Dam #4	22.63	0.022	0.34%	2.17
Velocity Based on Manning's Eq and Check Dam Elevations - *				



NOTE: CONTRACTOR TO CONFIRM THIS RELATIONSHIP AND ADJUST ACCORDINGLY.

A1 RIP RAP LINED SWALE NOT TO SCALE

GRADING KEYED NOTES

- INSTALL RIP RAP LINED SWALE ALONG EXISTING WALL PER DETAIL A1, THIS SHEET. CONTRACTOR TO ENSURE POSITIVE DRAINAGE; INSTALL EARTHEN BERMS/CHECK-DAMS EVERY 100' TO ENSURE DRAINAGE ENTERS SWALE.
- LIMITS OF NATURAL SEEDING.

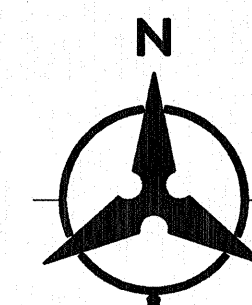
BENCHMARK
NAD 1983 CENTRAL ZONE
CONTROL POINT 1A
REBAR, NO CAP
NORTHING: 1493210.024
EASTING: 1494410.443
ELEVATION: 5264.18 (NAVD 1988)
G-G FACTOR: 0.99967616

GENERAL SHEET NOTES

- ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, NMADPWA PUBLIC WORKS STANDARDS SHALL APPLY.
- THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, DRIVEWAY PERMITS, ETC.).
- ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- THE CONTRACTOR SHALL PREPARE A CONSTRUCTION TRAFFIC PLAN AND SIGNING PLAN AND OBTAIN APPROVAL OF SUCH PLAN FROM THE BERNALILLO COUNTY TRAFFIC ENGINEERING DEPARTMENT PRIOR TO BEGINNING ANY CONSTRUCTION WORK ON OR ADJACENT TO EXISTING STREETS.
- ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADES AT THE END AND BEGINNING OF EACH DAY.
- THE PROJECT MUST CONFORM WITH THE EROSION AND SEDIMENT REQUIREMENTS OF THE 2003 EPA CONSTRUCTION GENERAL PERMIT OR LOCAL STANDARDS & CODES WHICHEVER IS MORE STRINGENT.

GRADING SHEET NOTES

- EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE NMADPWA STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
- EARTH SLOPES SHALL NOT EXCEED 4 HORIZONTAL TO 1 VERTICAL PER THE GEOTECHNICAL REPORT UNLESS SHOWN OTHERWISE.
- IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.



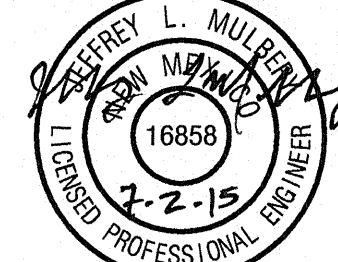
SCALE: 1" = 60'

LEGEND

- PROPERTY LINE
- LIMITS OF RESEEDING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND SPOT ELEVATION
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- DIRECTION OF FLOW
- DRAINAGE BASIN
- SUBDRAINAGE BASIN
- DRAINAGE BASIN INFORMATION

Bohannon **Huston**
Courtney | 7500 Jefferson St. NE
Albuquerque, NM 87109 (505) 823-1000

ENGINEER



PROJECT

SHAWN MCWETHY PARK OFFSITE GRADING IMPROVEMENTS

STOCKPILE REMOVAL PLAN

CASA VERDE AVENUE
ALBUQUERQUE, NEW MEXICO

DRAWN BY BHW
REVIEWED BY JLM
DATE JUNE 24, 2015
PROJECT NO.
DRAWING NAME

GRADING &
DRAINAGE STOCKPILE
REMOVAL PLAN

SHEET NO.

C100
OF

