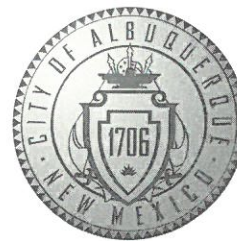


CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

October 13, 2017

Matt Satches
Bohannon Huston, Inc.
7500 Jefferson St NE
Albuquerque, NM 87109

RE: **Shawn McWethy Park – Phase 2A**
Grading Plan
Engineer's Stamp Date: 10/10/17
Hydrology File: J09D023A

Dear Mr. Satches:

Based upon the information provided in the submittal received on 10/11/17 the above-referenced Grading Plan is approved for Grading and Paving Permit.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: _____ Building Permit #: _____ City Drainage #: _____

DRB#: _____ EPC#: _____ Work Order#: _____

Legal Description: _____

City Address: _____

Engineering Firm: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Owner: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Architect: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Surveyor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

Contractor: _____ Contact: _____

Address: _____

Phone#: _____ Fax#: _____ E-mail: _____

TYPE OF SUBMITTAL:

- _____ DRAINAGE REPORT
- _____ DRAINAGE PLAN 1st SUBMITTAL
- _____ DRAINAGE PLAN RESUBMITTAL
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ EROSION & SEDIMENT CONTROL PLAN (ESC)
- _____ ENGINEER'S CERT (HYDROLOGY)
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ ENGINEER'S CERT (TCL)
- _____ ENGINEER'S CERT (DRB SITE PLAN)
- _____ ENGINEER'S CERT (ESC)
- _____ SO-19
- _____ OTHER (SPECIFY)

CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- _____ SIA/FINANCIAL GUARANTEE RELEASE
- _____ PRELIMINARY PLAT APPROVAL
- _____ S. DEV. PLAN FOR SUB'D APPROVAL
- _____ S. DEV. FOR BLDG. PERMIT APPROVAL
- _____ SECTOR PLAN APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY (PERM)
- _____ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- _____ FOUNDATION PERMIT APPROVAL
- _____ BUILDING PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ WORK ORDER APPROVAL
- _____ GRADING CERTIFICATION
- _____ SO-19 APPROVAL
- _____ ESC PERMIT APPROVAL
- _____ ESC CERT. ACCEPTANCE
- _____ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: _____ Yes _____ No _____ Copy Provided

DATE SUBMITTED: _____ By: _____

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development

October 10, 2017

Mr. Dana Peterson, P.E.
Senior Engineer
Planning Department
City of Albuquerque
600 2nd St NW
Albuquerque, NM 87102

Re: Shawn McWethy Park – Phase 2A, J09D023A Hydrology Resubmittal

Dear Mr. Peterson:

Enclosed for your review is a copy of the Revised Grading Plan for the above referenced project. The revisions are based on comments that you provided in your letter dated August 14, 2017. Below is a brief description of how the comments were addressed:

1. The Grading Plans are now stamped.
2. Benchmark and elevation data are now included.
3. The west side desilting swale now includes an armored weir spillway. Calculations for the temporary weir are included as well.
4. The MWSE is now shown.

With this submittal, we are requesting Hydrology Grading and Paving Permit Approval. If you have any questions or require further information, please feel free to contact me.

Sincerely,



Matt Satches, E.I.
Engineer Intern
Community Development & Planning

GENERAL GRADING NOTES

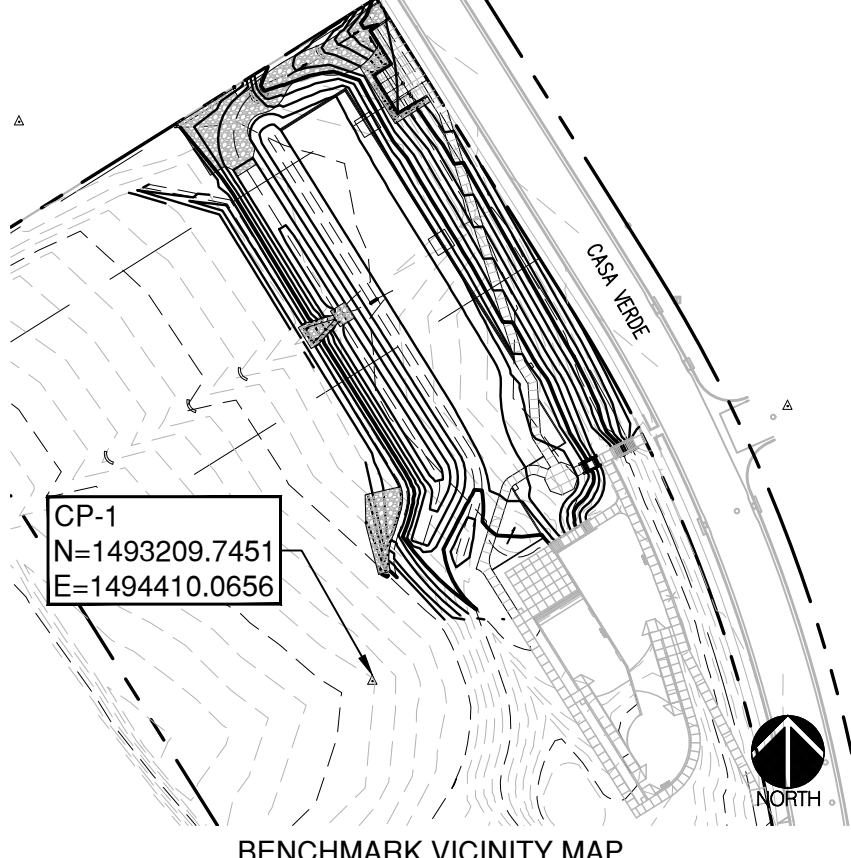
- A. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- C. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON.
- D. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- E. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- F. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- G. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE. THE AREA NORTH OF THE BALLOON LAUNCH FIELD MAY BE USED AS A DISPOSAL SITE FOR EXCESS CLEAN EXCAVATION MATERIALS. EXACT LOCATION TO BE COORDINATED WITH THE OWNER/ARCHITECT. UNSUITABLE MATERIALS SHALL BE REMOVED FORM THE PARK PROPERTY.
- H. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- I. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- L. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- M. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING KEYED NOTES

1. INSTALL RIPRAP/BASALT SWALE PER SECTION A-A, DETAIL A1, SHEET LG102. COORDINATE WITH LANDSCAPE ARCHITECT FOR LAYOUT.
2. REVEGETATE DISTURBED GRADING AREAS WITH NATIVE SEEDING PER COA STANDARD SPECIFICATION 1012.
3. INSTALL 18" CUTOFF WALL ADJACENT TO EXISTING SIDEWALK PER COA STD DWG 2415. MATCH EXISTING SIDEWALK ELEVATIONS.
4. INSTALL RIP RAP CHECK DAM PER LANDSCAPE DETAIL D/LS502.
5. INSTALL BERM/POND PER SECTION B-B, DETAIL A2, SHEET LG102.
6. INSTALL SILT FENCE PER DETAIL A3, SHEET LG102.
7. INSTALL RIP RAP WEIR PER SECTION C-C, DETAIL A4, SHEET LG102.
8. INSTALL RIP RAP BLANKET PER DETAIL A5, SHEET LG102.
9. INSTALL RIP RAP BLANKET PER DETAIL A5, SHEET LG102 MODIFIED TO BE 18" THICK.



NOTE
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0%
AND A MAXIMUM OF 2.0%

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- 5025--- EXISTING INDEX CONTOUR
- 5021--- EXISTING INTERMEDIATE CONTOUR
- 5024.25 EXISTING GROUND ELEVATION
- 24.75 PROPOSED GROUND ELEVATION
FL=FLOW LINE, TC=TOP OF CURB
TS=TOP OF SIDEWALK,
TG=TOP OF GRATE,
FGH=FINISH GROUND HIGH SIDE,
FGL=FINISH GROUND LOW SIDE
- S=2.0% DIRECTION OF FLOW
- 5025--- GRADE BREAK/WATER BLOCK
- 5025--- PROPOSED INDEX CONTOUR
- 5024--- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN BASIN
- SF--- SILT FENCE

Bohannon & Huston
www.bhinc.com
800.877.5332

MRWMLANDSCAPE ARCHITECTS
Morrow Reardon Wilkinson Miller, Ltd.
mrwmia.com 505.268.2266



CITY OF ALBUQUERQUE
STRATEGIC PLANNING AND DESIGN
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK PHASE 2A
GRADING PLAN

Design Review Committee

City Engineer Approval

Last Design Update

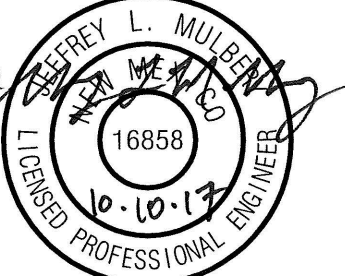
City Project No.
671592

Zone Map No.
H9

Sheet

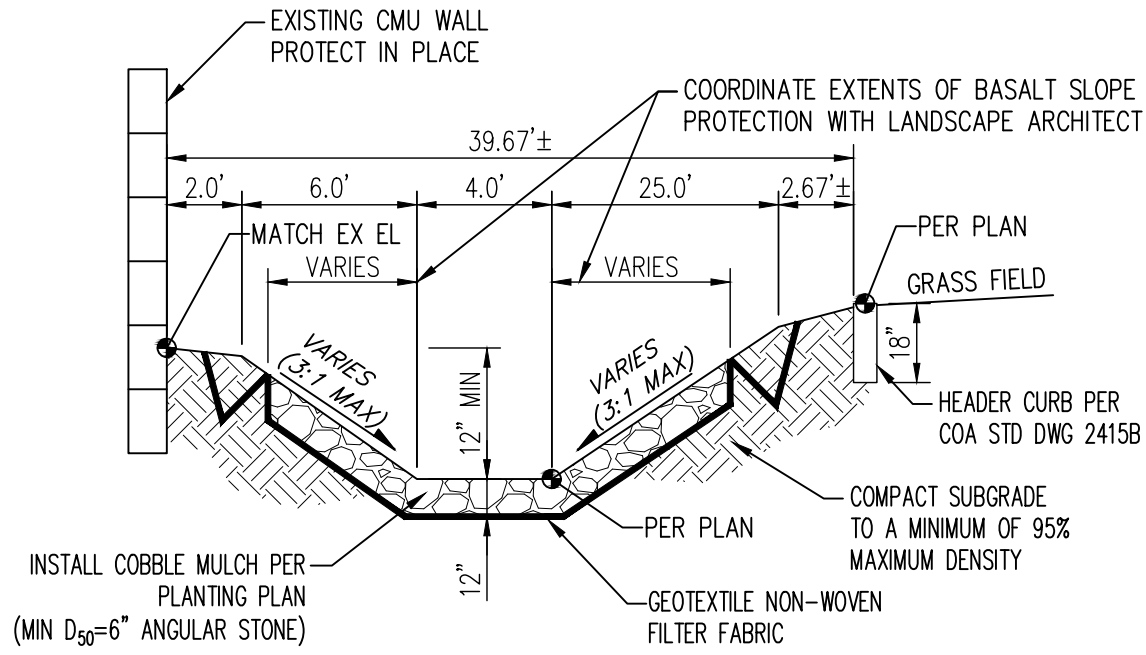
LG101

AS-BUILT INFORMATION		BENCH MARKS		SURVEY INFORMATION		ARCHITECTURAL SEAL		REVISIONS		REMARKS	
CONTRACTOR	DATE	SEE VICINITY MAP	NO.	BY	DATE	NO.	DATE	NO.	DATE	NO.	DATE
BY	DATE	NM STATE PLANE COORDINATES									
INSPECTOR'S ACCEPTANCE BY	DATE	CENTRAL ZONE (NAD 83)									
VERIFICATION BY	DATE	GROUND TO GRID = 0.99967616									
DRAINAGE PERMITS	DATE	DELTA ALPHA = -00'16.45"									
MICRO-FILM INFORMATION											
RECORDED BY	DATE	NAVD 88 = 5264.120									
NO.											

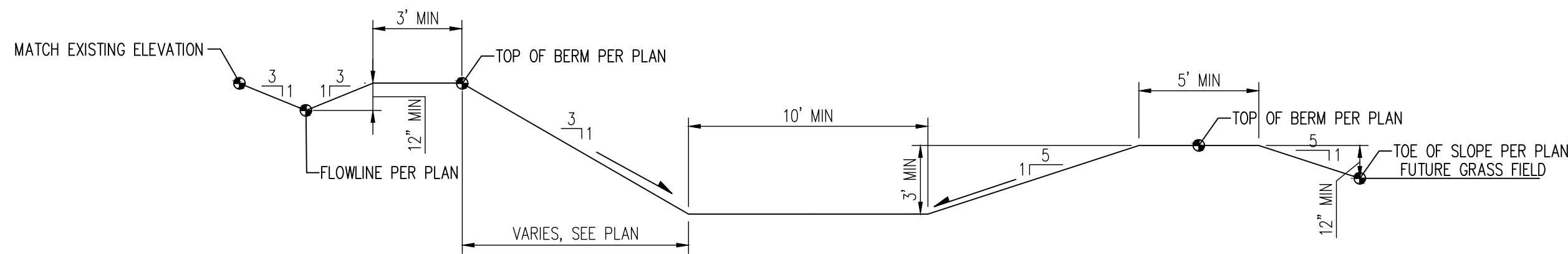


DESIGNED BY: MHS	DATE: 10/11/17
DRAWN BY: MHS	DATE: 10/11/17
CHECKED BY: JLM	DATE: 10/11/17

SHAWN MCWETHY PARK PHASE 2A
FINAL FOR CONSTRUCTION
DATE: OCTOBER 11, 2017
PROJECT# 671592
RECORD DRAWINGS
DATE: XX/XX/2017



A1 RIP RAP / BASALT SWALE SECTION A-A
NOT TO SCALE



A2 BERM / POND SECTION B-B
NOT TO SCALE

GENERAL NOTE:

WHEN SILT FENCE IS USED FOR FILTER DAM INSTALLED IN DITCHES A SUPPORTING FENCE SHALL BE PROVIDED AND THE POST SPACING SHALL BE 4' MAXIMUM.

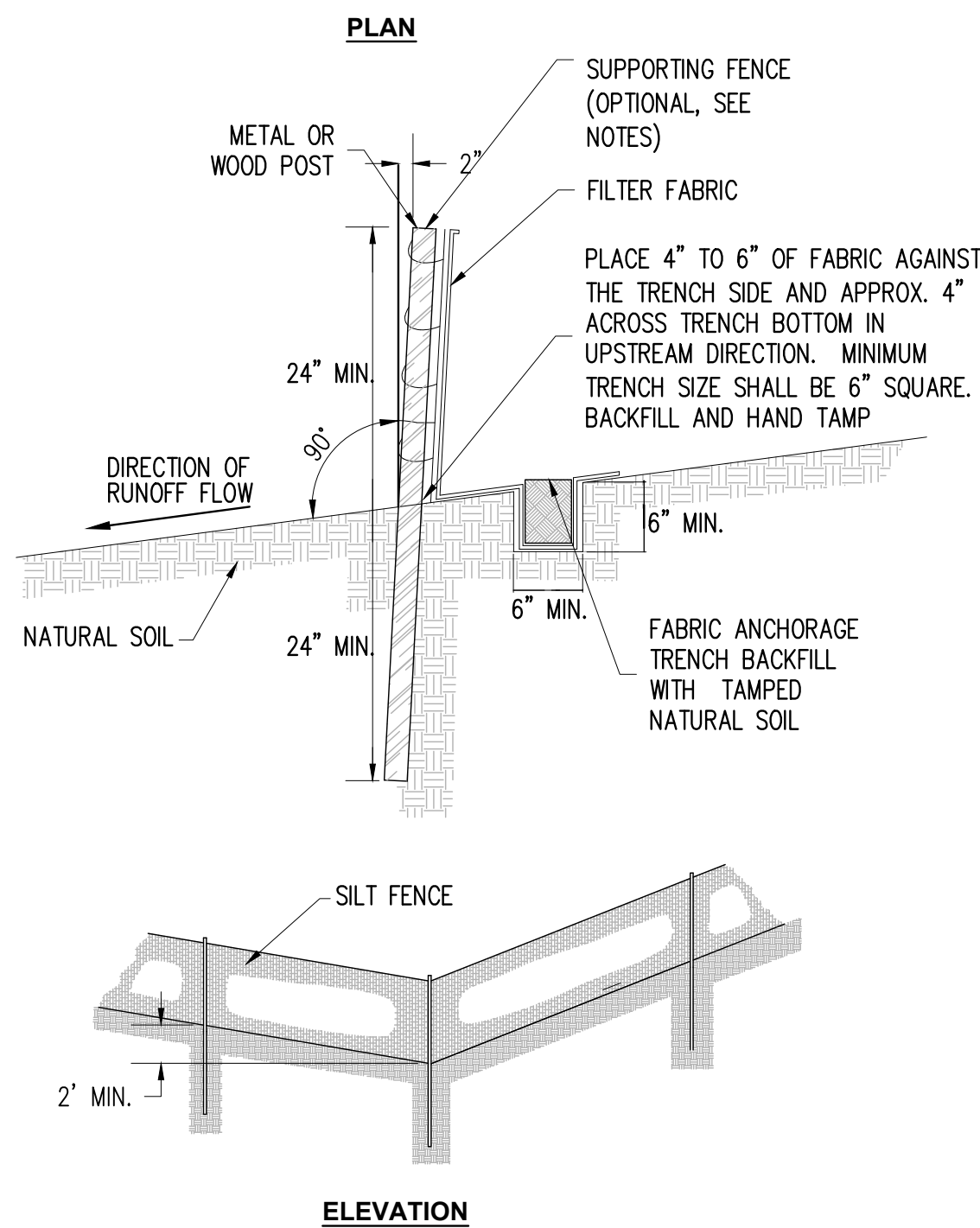
SILT FENCE NOTES:

1. POST SPACING SHALL BE 4 FT. MAXIMUM w/o SUPPORTING FENCE. 10 FT. MAXIMUM WITH SUPPORTING FENCE.

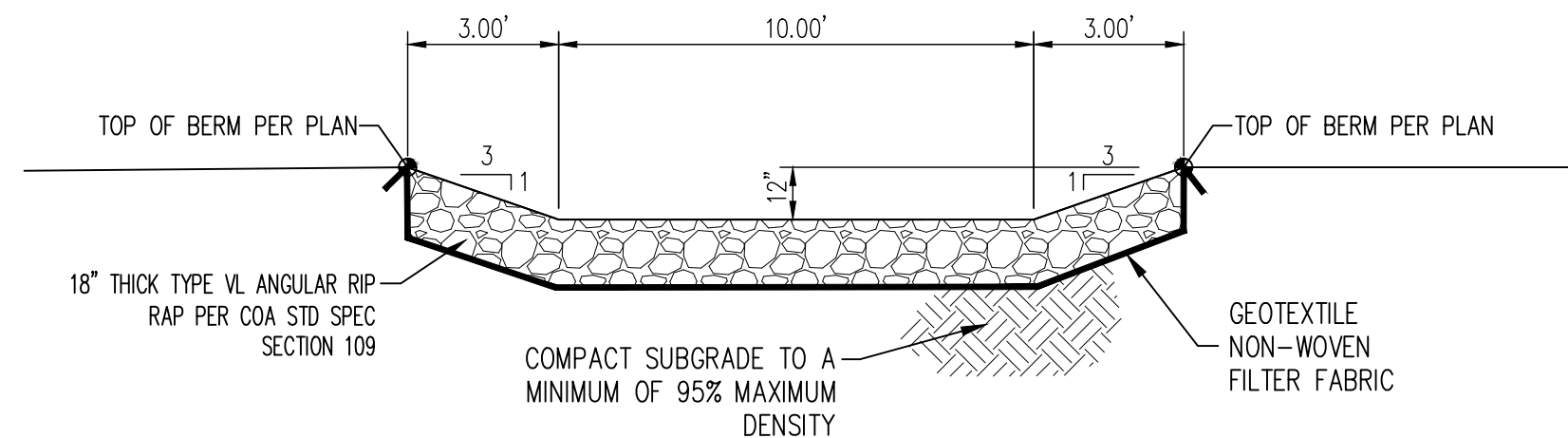
2. POSTS FOR 4 FT. MAXIMUM POST SPACING SHALL BE 2 INCH SQUARE OR HEAVIER WOOD POSTS OR STANDARD 1 OR U SECTION STEEL POSTS WEIGHING NOT LESS THAN 1.0 LB. PER LINEAR FOOT. POSTS FOR 10 FT. MAXIMUM POST SPACING SHALL BE 4 INCH SQUARE OR HEAVIER WOOD POSTS OR STEEL POSTS AS SPECIFIED ABOVE.

3. SUPPORTING FENCE SHALL BE WIRE MESH (14 GA. MIN., 6 INCH MAX. MESH OPENING SIZE 2'x2').

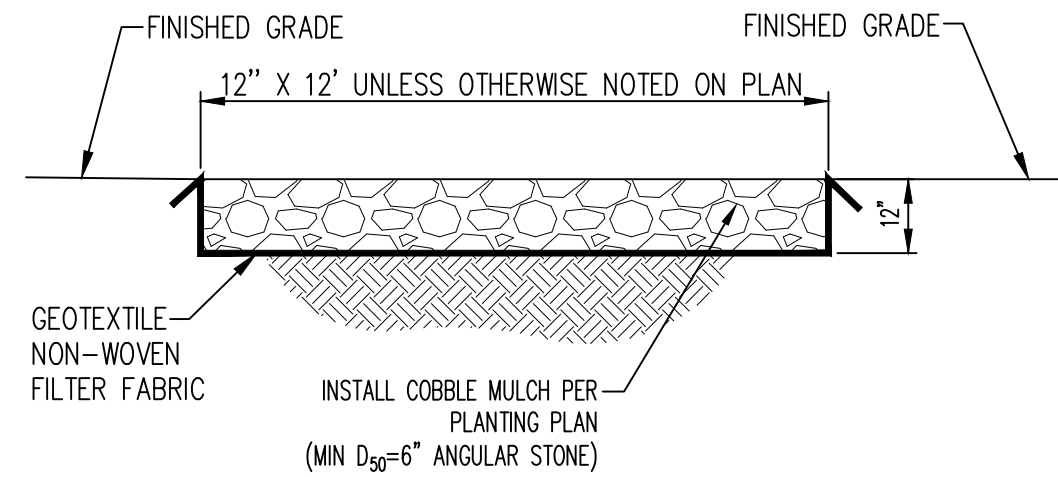
4. SUPPORTING FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES OR WIRE TIES. FILTER FABRIC SHALL BE FASTENED SECURELY TO SUPPORTING FENCE WITH WIRE TIES SPACED AT 24 INCH CENTERS ALONG THE TOP AND MID-SECTION. WHEN A SUPPORTING FENCE IS NOT USED, FILTER FABRIC SHALL BE SECURELY FASTENED TO POSTS WITH STAPLES OR WIRE TIES.



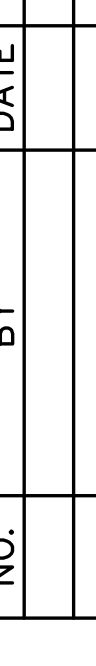
A3 SILT FENCE
NOT TO SCALE

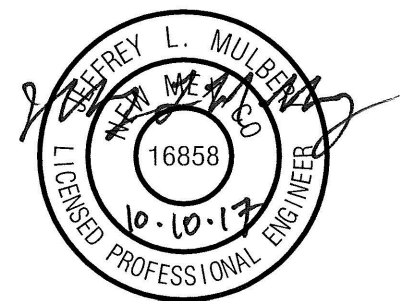


A4 BERM / POND SECTION C-C
NOT TO SCALE



A5 TYPICAL RIP RAP BLANKET
NOT TO SCALE

REVISIONS		ARCHITECTURAL SEAL	SURVEY INFORMATION		BENCH MARKS		AS-BUILT	INFORMATION
			FIELD NOTES		SEE VICINITY MAP: CP-1			
			NO.	BY	DATE	NM STATE PLANE COORDINATES		CONTRACTOR
						CENTRAL ZONE (NAD 83)		WORK RECORDED BY
						GROUND TO GRID = 0.99967616		INSPECTOR'S ACCEPTANCE BY
						DELTA ALPHA = -00°16'45"		FIELD VERIFICATION BY
						NAVD 88 = 5264.120		DRAWINGS CORRECTED BY
								MICRO-FILM INFORMATION
								RECORDED BY
								NO.



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	CITY OF ALBUQUERQUE STRATEGIC PLANNING AND DESIGN PARKS AND RECREATION DEPARTMENT	
	SHAWN MCWETHY PARK PHASE 2A GRADING DETAILS	
	Design Review Committee	City Engineer Approval
	City Project No. 671592	Zone Map No. H9

REVISIONS	NO.	DATE	BY	REMARKS

DESIGNED BY: MHS	DATE: 10/11/17
DRAWN BY: MHS	DATE: 10/11/17
CHECKED BY: JLM	DATE: 10/11/17

West Berm Weir PH2A.txt

WEIR COEFFICIENT = 2.650 X-SECTION DISTANCE = 0.100

POINT	DIST	ELEV	POINT	DIST	ELEV	POINT	DIST	ELEV
1.0	0.0	56.0	3.0	13.0	55.0			
2.0	3.0	55.0	4.0	16.0	56.0			

WSEL FT.	DEPTH INC FT.	FLOW AREA SQ. FT.	FLOW RATE (CFS)	FLOW VEL (FPS)	TOPWID PLUS OBSTRUCTIONS
55.100	0.100	1.030	0.858	0.833	10.600
55.200	0.200	2.120	2.484	1.171	11.200
55.300	0.300	3.270	4.667	1.427	11.800
55.400	0.400	4.480	7.347	1.640	12.400
55.500	0.500	5.750	10.493	1.825	13.000
55.600	0.600	7.080	14.089	1.990	13.600
55.700	0.700	8.470	18.127	2.140	14.200
55.800	0.800	9.920	22.602	2.278	14.800
55.900	0.900	11.430	27.512	2.407	15.400
56.000	1.000	13.000	32.859	2.528	16.000