PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

December 28, 2015

Brian Warren Bohannan Huston 7500 Jefferson St. NE Albuquerque, NM, 87109

RE: Shawn McWethy Park Grading and Drainage Plan Grading Permit / Paving Permit Engineer's Stamp Date 12-22-2015 (File: J09D023A)

Dear Mr. Warren:

Based upon the information provided in your submittal received 12-22-2015, the above referenced Grading and Drainage Plan is approved for Grading Permit and Paving Permit.

- PO Box 1293 Since the disturbed area on this site exceeds 1.0 acre, an Erosion and Sediment Control (ESC) Plan, approved by the City's Stormwater Engineer (Curtis Cherne, 924-3420), will be required for this site prior to any earthwork.
- Albuquerque If you have any questions, you can contact me at 924-3986.

Sincerely New Mexico 87103 Abiel Carrillo, P.E.

www.cabq.gov

Principal Engineer, Planning Dept. Development Review Services

Orig: Drainage file

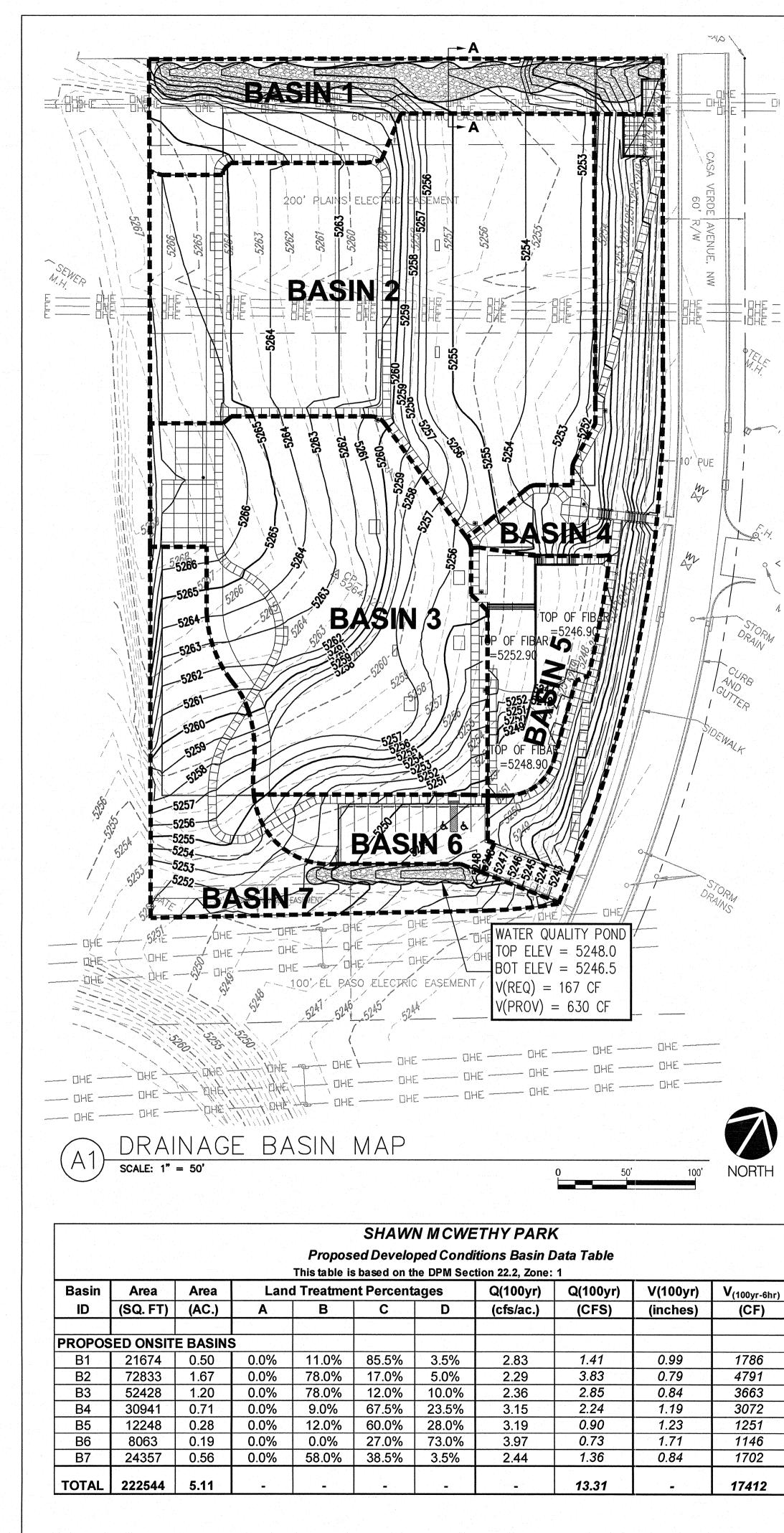


# City of Albuquerque

Planning Department Development & Building Services Division DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 09/2015)

Project Title: Shawn McWethy Park	Building Permit #:	City Drainage #: J09D023A						
DRB#: EPC#:		Work Order#: 671591						
Legal Description: Tract D of the Crossing								
City Address: West of the Intersection of Casa Verde Avenue and Casa FI	orida Place.							
Engineering Firm: Bohannan Huston Inc.		Contact: Brian Warren						
Address: 7500 Jefferson St NE								
Phone#: 505-823-1000 Fax#:		E-mail: bwarren@bhinc.com						
Owner: City of Albuquerque Parks and Recreation		Contact: David Flores						
Address:								
Phone#: 505-768-5379 Fax#:		E-mail: dflores@cabq.gov						
Architect: Morrow Reardon Wilkinson Miller Ltd		Contact: Brian Verardo						
Address: 210 LaVeta NE, 87108								
Phone#: 505-268-2266 Fax#:		E-mail: bverardo@mrwmla.com						
Other Contact:		Contact:						
Address:								
Phone#: Fax#:		_ E-mail:						
Y HYDROLOGY/ DRAINAGE     TRAFFIC/ TRANSPORTATION     MS4/ EROSION & SEDIMENT CONTROL	BUILDING F	F <b>APPROVAL/ACCEPTANCE SOUGHT:</b> PERMIT APPROVAL IE OF OCCUPANCY						
TYPE OF SUBMITTAL:	PRELIMINA	RY PLAT APPROVAL						
ENGINEER/ ARCHITECT CERTIFICATION	SITE PLAN	FOR SUB'D APPROVAL						
	SITE PLAN	FOR BLDG. PERMIT APPROVAL						
CONCEPTUAL G & D PLAN X GRADING PLAN	FINAL PLAT							
X GRADING PLAN DRAINAGE MASTER PLAN		SE OF FINANCIAL GUARANTEE						
DRAINAGE REPORT		ON PERMIT APPROVAL						
CLOMR/LOMR	SO-19 APPR	PERMIT APPROVAL						
		RMIT APPROVAL						
TRAFFIC CIRCULATION LAYOUT (TCL)		PAD CERTIFICATION						
TRAFFIC IMPACT STUDY (TIS)	WORK ORDE	ER APPROVAL						
EROSION & SEDIMENT CONTROL PLAN (ESC)	CLOMR/LON	ИR						
OTHER (SPECIFY)	PRE-DESIGN	MEETING						
		ECIFY)						
IS THIS A RESUBMITTAL?: X Yes No								
DATE SUBMITTED: December 22, 2015 By: Br	rian Warren							
Diffe Sobilitieb Dy								

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:



# DRAINAGE MANAGEMENT PLAN

# INTRODUCTION:

THE PROJECT IS LOCATED WEST OF THE INTERSECTION OF CASA VERDE AVENUE AND CASA FLORIDA PLACE ALONG THE WESTERN FRONTAGE OF CASA VERDE AVE. A NEIGHBORHOOD DEVELOPMENT IS TO THE NORTH, VACANT LAND TO THE WEST, AND THE LADERA DAM SYSTEM TO THE SOUTH. THIS SITE IS NOT WITHIN A DEFINED FLOOD ZONE AS SHOWN ON FIRM MAP NUMBER 35001C0326H (THIS SHEET). THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE DEVELOPMENT OF SHAWN MCWETHY PARK AND REQUEST GRADING PERMIT APPROVAL.

### **EXISTING CONDITIONS:**

THE 5.11 ACRE SITE IS CURRENTLY UNDEVELOPED. THE SITE SLOPES TO THE EAST / NORTHEAST WHERE THE RUNOFF OPENLY DISCHARGES INTO CASA VERDE AVE.

BASED ON THE DRAINAGE REPORT FOR TIERRA OESTE UNIT 3 (TRACT E AND A PORTION OF A TRACT OF THE CROSSINGS) (CITY OF ALBUQUERQUE DRAINAGE FILE #H09/D022), THE ALLOWABLE PEAK DISCHARGE INTO CASA VERDE IS APPROXIMATELY 15.07 CFS.

### OFFSITE FLOWS:

OFFSITE FLOWS FROM THE NEIGHBORHOOD TO THE NORTH AND FROM THE LADERA DAM SYSTEM TO THE SOUTH DO NOT AFFECT THE PARK SITE. THE NEIGHBORHOOD DISCHARGE STAYS ONSITE OR FLOWS NORTH AND THE PROPERTY TO THE SOUTH DRAINS TO THE LADERA DAM SYSTEM AND DOES NOT FLOW ON THE THE SITE. UPON COMPLETION OF THE APPROVED DRAINAGE PLAN (STOCKPILE REMOVAL GRADING AND DRAINAGE PLAN, J09D023) THE LAND TO THE WEST WILL DISCHARGE SOUTH TO LADERA DAM 10. CASA VERDE AVE TO THE EAST IS DOWNSTREAM OF THE SITE. NO OFFSITE FLOWS AFFECT THE PARK.

#### METHODOLOGY:

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WEST OF THE RIO GRANDE WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED BASIN DATA TABLE" (THIS SHEET).

### PROPOSED CONDITIONS:

THIS DRAINAGE MANAGEMENT PLAN WAS DEVELOPED IN ACCORDANCE WITH A FULLY DEVELOPED SITE. IT WAS DETERMINED THAT THE MAXIMUM ALLOWABLE PEAK DISCHARGE FROM THE SITE IS APPROXIMATELY 15.07 CFS (AS MENTIONED ABOVE).

THE SITE IS DIVIDED INTO SEVEN SMALL DRAINAGE BASINS. ALL BASINS ULTIMATELY DISCHARGE INTO CASA VERDE AVE. A POND WILL BE LOCATED SOUTH OF THE PARKING AREA (BASIN 6) TO FULLY CAPTURE THE FIRST FLUSH DISCHARGE FROM THE PARKING LOT.

#### FIRST FLUSH CALCULATIONS:

APPROXIMATE IMPERVIOUS PAVED AREA: 5,886 SF

\*RAINFALL DEPTH ACROSS PAVED AREA = 0.34"

VOLUME REQUIRED: 167 CF VOLUME PROVIDED: 630 CF

\*INITIAL ABSTRACTION OF 0.1" WAS USED FOR PAVED AREAS PER DPM CHAPTER 22, TABLE A-7.

THERE WERE MANY CONTRIBUTING FACTORS THAT LIMITED THE VOLUME THAT COULD BE INCORPORATED INTO THE SITE DESIGN. THE SITE IS A PARK WITH VAST GRASS FIELDS AND PLAYAREAS. BETWEEN THE LARGE GRASS FIELDS ARE MINOR STRIPS OF SIDEWALK. LARGE GRASS FIELDS DOWNSTREAM OF THE SIDEWALKS WILL ABSORB THE FIRST FLUSH COMPONENT FROM THE IMPERVIOUS SIDEWALK AREAS. THE PLAY AREA SURFACE WILL BE A 14" DEEP SECTION OF FIBAR MULCH THAT WILL RETAIN THE FIRST FLUSH COMPONENT. THIS DESIGN MAXIMIZED THE FIRST FLUSH DISCHARGE TO FULLY RETAIN THE FLOW FROM THE PARKING LOT AREA.

## CONCLUSION:

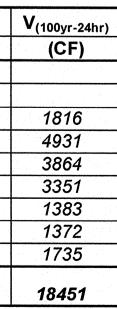
THE PEAK DISCHARGE FROM THE SITE IS 13.31 CFS WHICH IS LESS THAN THE ALLOWABLE PEAK DISCHARGE RATE; THEREFORE WE ARE IN CONFORMANCE WITH CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST GRADING & PAVING PERMIT APPROVAL.

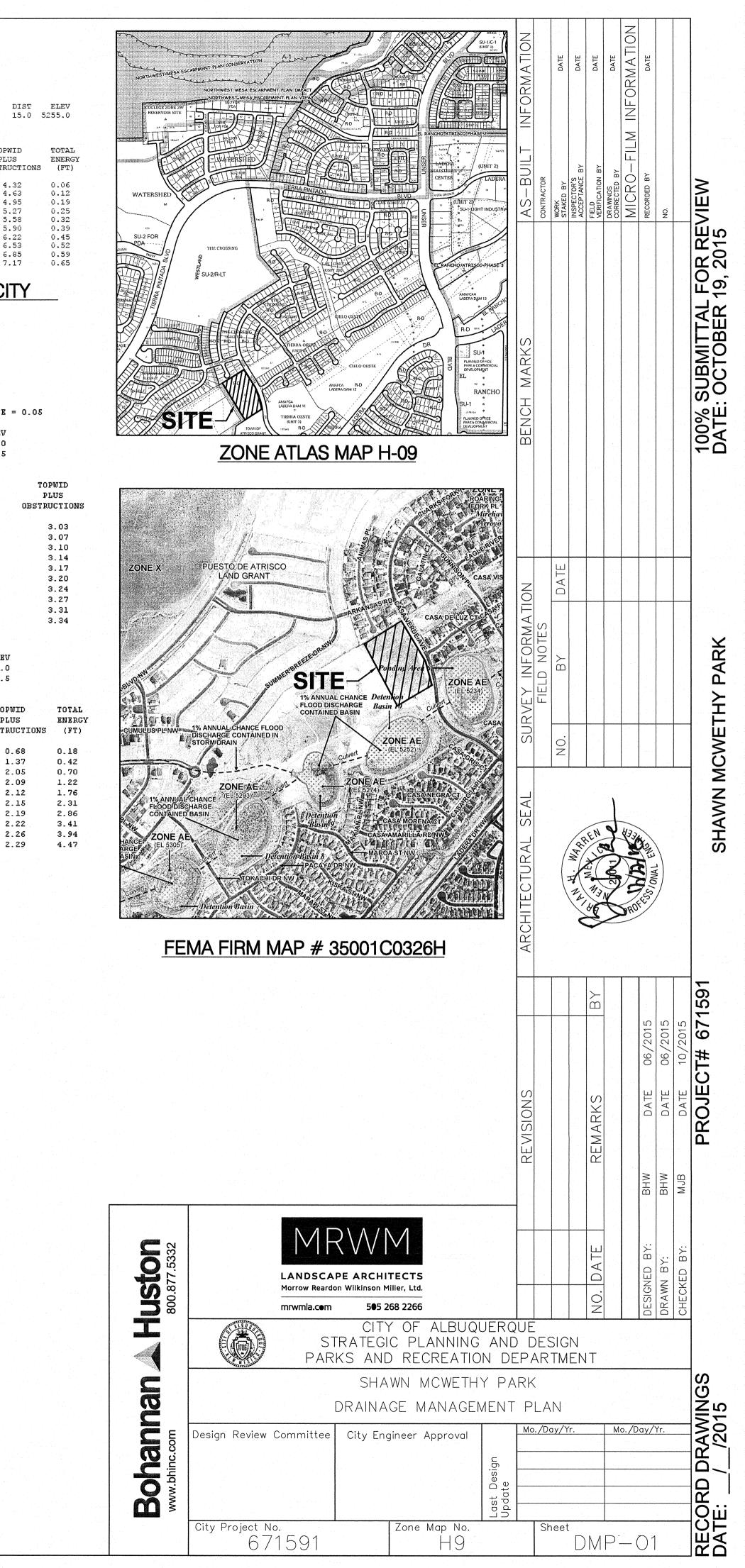
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WSEL	DEPTH		FLOW	FLOW	FLO	W
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FT.	FT.		SQ.FT.	(CFS)	(FP	S)
48.05	0.05		0.15	0.09	0.	59
48.10	0.10		0.30	0.25		84
48.15	0.15		0.46	0.47	1.	02
48.20	0.20		0.61	0.72	1.	18
48.25	0.25		0.77	1.02	1.	32
48.30	0.30		0.93	1.34	1.	44
48.35	0.35		1.09	1.70		55
48.40	0.40		1.25	2.08	1.	66
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7.23	0.25	0.36	3.57	2.38	9.86	2
7.28	0.30	0.47	5.34	2.48	11.38	2
7.33	0.35	0.58	7.34	2.59	12.71	2
7.38	0.40	0.69	9.57	2.69	13.91	2
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# GENERAL GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON T

2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION SHALL BE INCIDENTAL TO THE PROJECT COST.

3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PRI PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CO ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROV PROJECT MANUAL. ALL OTHER WORK SHALL, UNLESS OTHERWISE PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WOR

4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERT OTHERWISE.

5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR S ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS F PLAN.

6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.

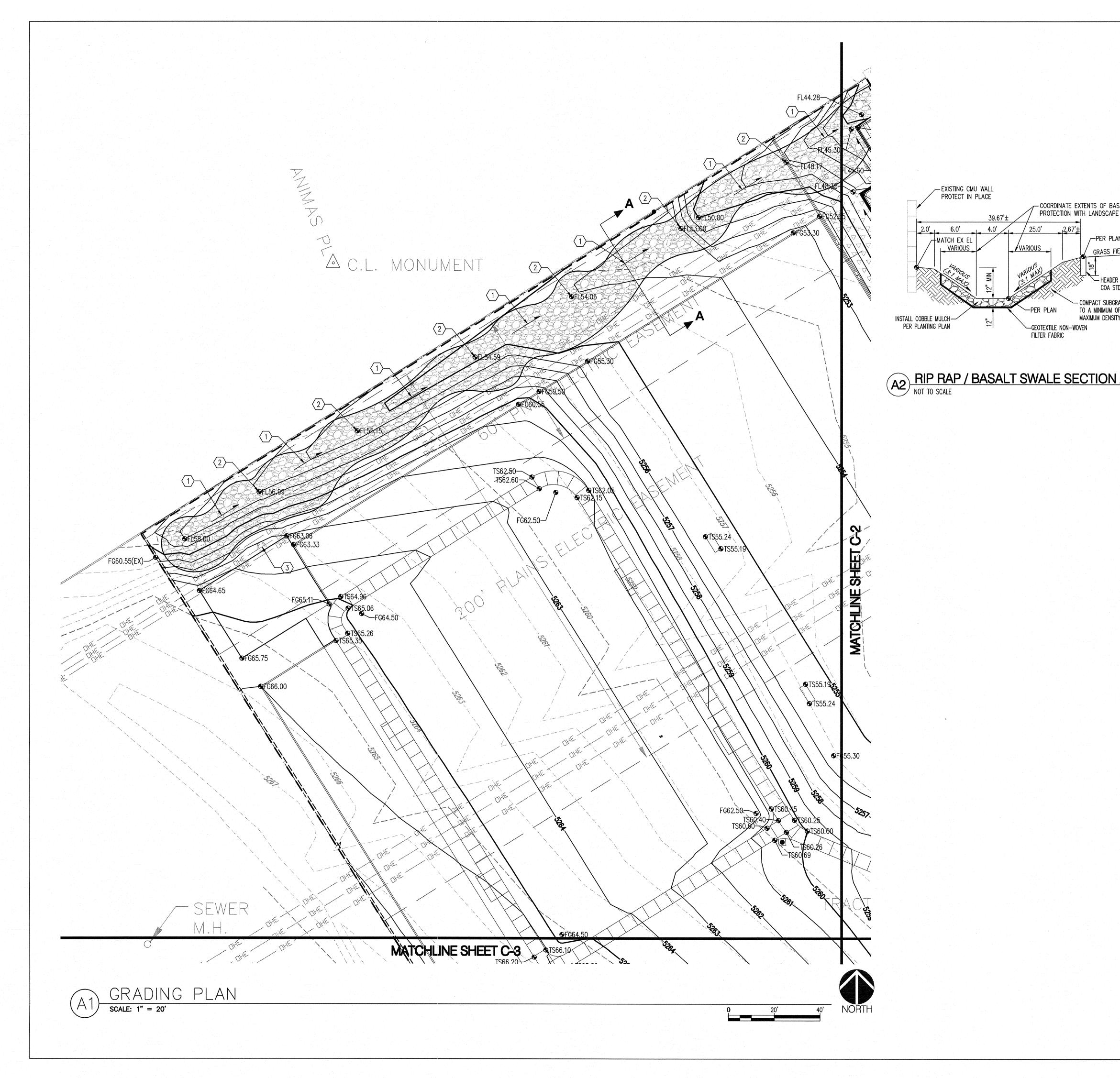
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATER UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCE MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIAN ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE PAYMENT SHALL BE MADE. THE AREA NORTH OF THE BALLOON LA BE USED AS A DISPOSAL SITE FOR EXCESS CLEAN EXCAVATION M LOCATION TO BE COORDINATED WITH THE OWNER/ARCHITECT. UNS SHALL BE REMOVED FORM THE PARK PROPERTY.

8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PL PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEV

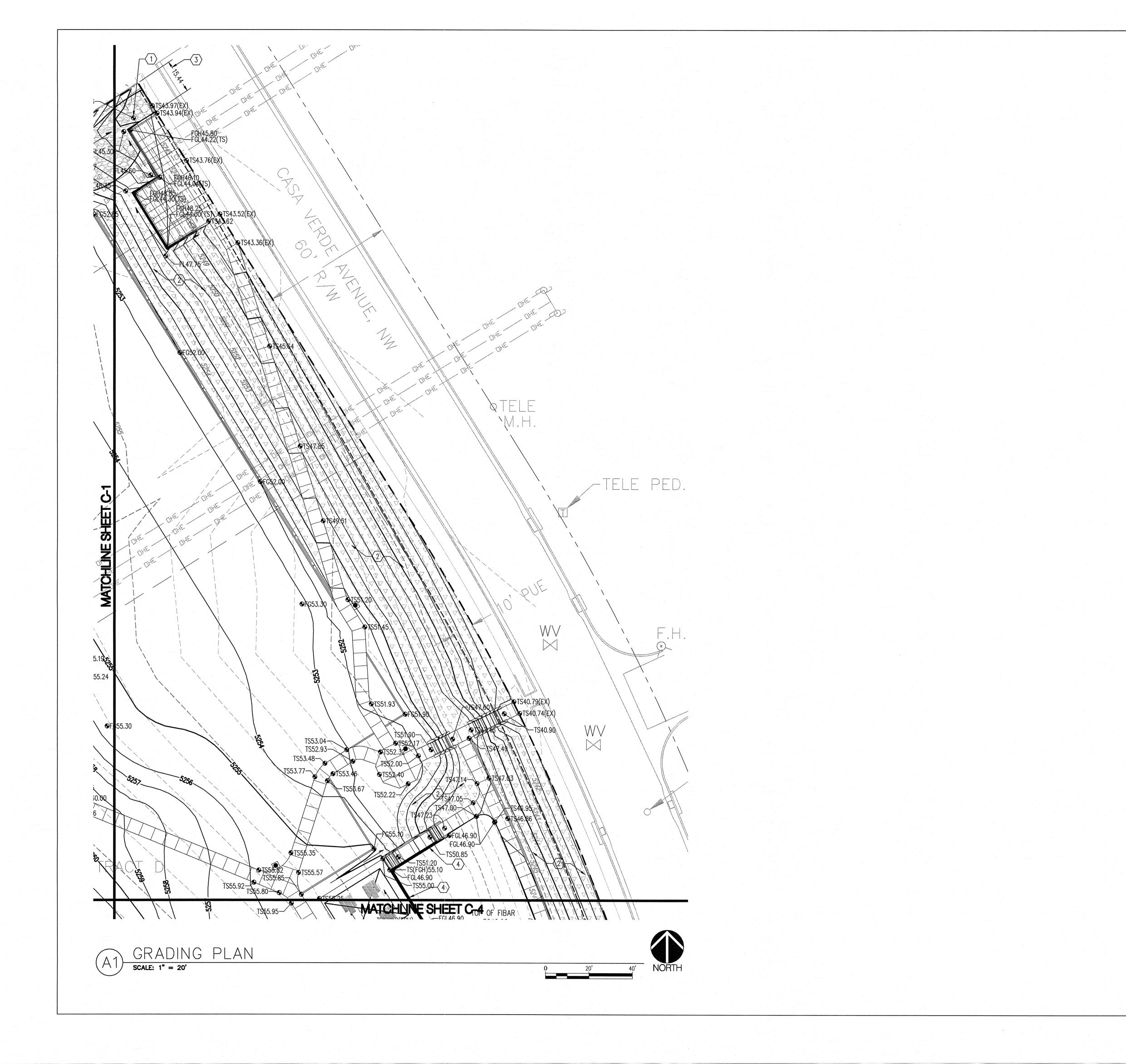
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVA PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLAM

10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF E STATION PRIOR TO BEGINNING CONSTRUCTION.

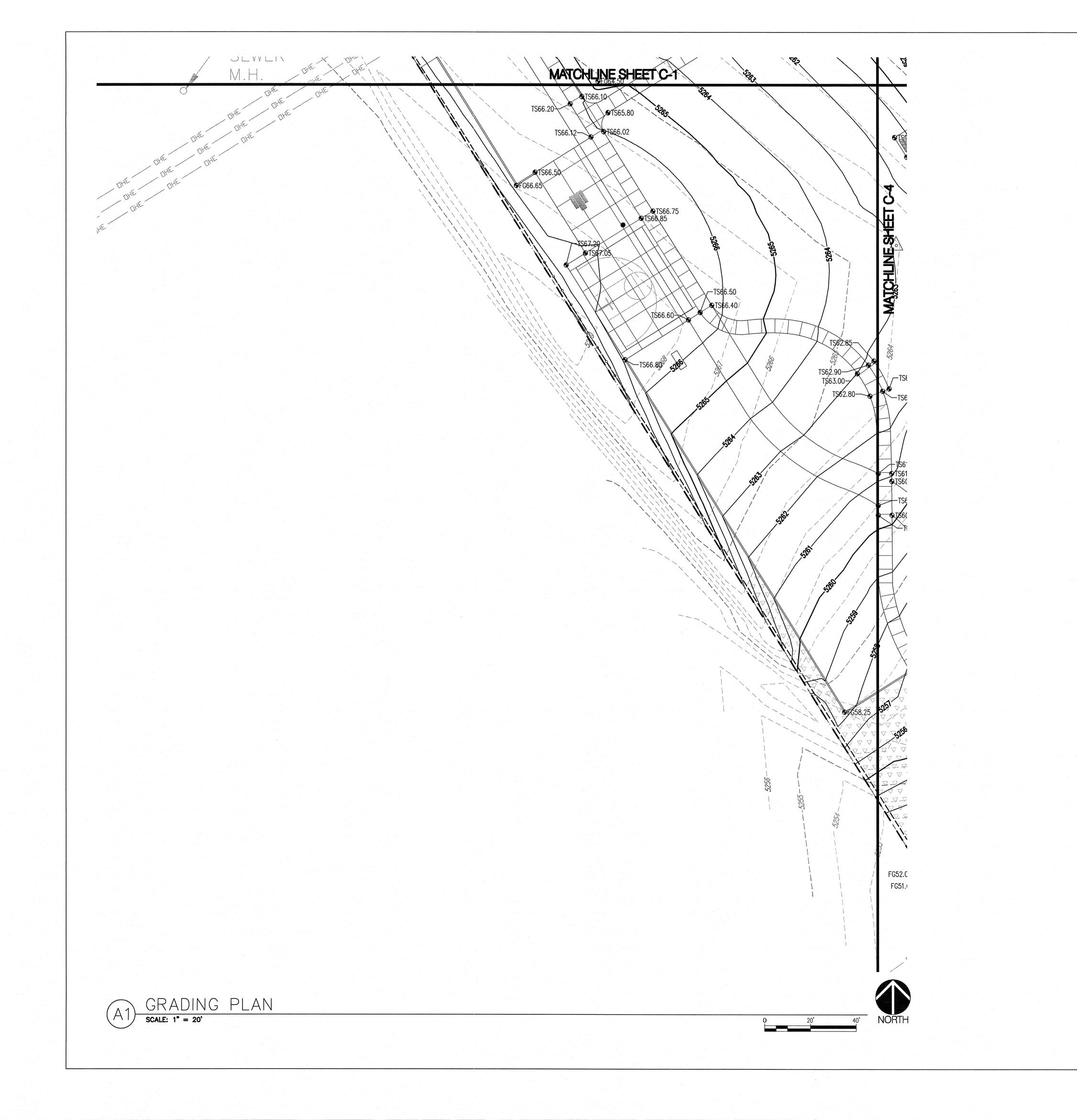
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	GENERAL NOTES		•		ш	ш	,   Ī			
D AT THE THIS PLAN. I CONTROL MEASURES	1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.	IFORMATI		DATE	DATE	DATE				
REPARATION, AND CONSTRUCTED IN VIDED IN THE	2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.		-		BY	V BY	· - 			
E STATED OR THE THE CITY OF RKS. RTICAL UNLESS SHOWN	3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.	AS-B	CONTRACTOR	WORK STAKED BY	INSPECTOR'S ACCEPTANCI	FIELD VERIFICATION	DRAWINGS CORRECTED	MICK( Recorded e		REVIEW
SHALL NOT PERFORM REQUIRED BY THIS	4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.								, 1.4	FOR R 9, 201
OM THE SITE ONTO ERIAL, AND CEPTABLE FILL NCE WITH APPLICABLE R. ALL COSTS	5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.	MARKS								SUBMITTAL F OCTOBER 1
L TO OR FROM SHALL E MEASUREMENT OR LAUNCH FIELD MAY MATERIALS. EXACT ISUITABLE MATERIALS	6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.	BFNCH								100% S DATE:
PLAN ELEVATIONS. VATION.	7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.									
ATIONS IN THE NDS.	8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.									
ELEVATION CONTROL	9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).	ATION		DATE						
	10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.	NFORM	NOTES							PARK
	11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.	RVFY	FIELD							
	12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.			NO.						MCWETHY
	13. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.	ΕAI	j							1
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	City Project No. 671591 Zone Map No. H9		S	heet	5		сf	2	1	DAT



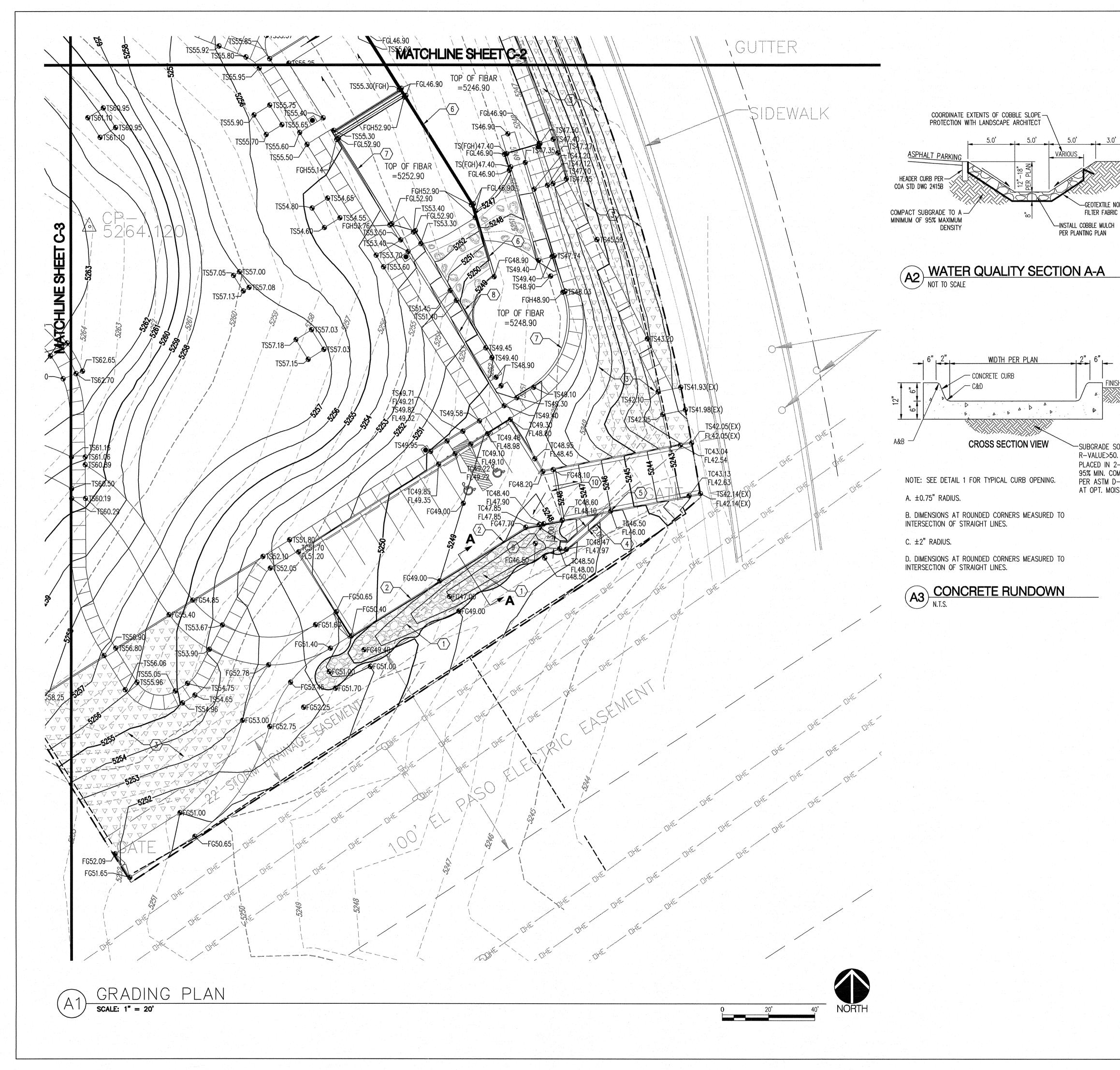
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					BENCH MARKS AS-BUILT INFORMATION	CONTRACTOR	ĒBY	FIELD     DATE       VERIFICATION BY     DATE       DRAWINGS     DATE       CORRECTED BY     DATE	MICRO-FILM INFORMATION RECORDED BY DATE	Ŋ	100% SUBMITTAL FOR REVIEW DATE: OCTOBER 19, 2015
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	<ol> <li>INSTALL WATER QUALITY HARVESTING RETENTION POND PER SECTION A-A, DETAIL A2, THIS SHEET. COORDINATE WITH LANDSCAPE ARCHITECT FOR LAYOUT.</li> <li>INSTALL FLUSH HEADER CURB PER COA STD DWG 2415B.</li> <li>SEE PLANTING PLAN FOR SLOPE PROTECTION.</li> </ol>	I INFORMATI	DATE	DATE	DATE INFORMAT DATE		
	<ol> <li>CONSTRUCT OVERFLOW CONCRETE RUNDOWN PER DETAIL A3, THIS SHEET.</li> <li>PROVIDE CURB CUT FOR CONCRETE RUNDOWN CONNECTION.</li> <li>RETAINING WALL, SEE PLAYGROUND ENLARGEMENT ON SHEET 21.</li> <li>LOW HEIGHT RETAINING WALL, SEE SHEET 4 FOR DETAIL.</li> <li>CHEEKWALL, SEE SHEET 4 FOR DETAIL.</li> <li>INSTALL 2' TRANSITION FROM 6" STANDARD CURB TO FLUSH HEADER CURB.</li> </ol>	AS-BUILT	CONTRACTOR	STAKEU BY INSPECTOR'S ACCEPTANCE BY FIELD VERIFICATION BY	CORRECTED BY MICRO-FILM RECORDED BY	NO	-OR REVIEW 9, 2015
DN-WOVEN	10. ASPHALT WATERBLOCK GRADE BREAK.	BENCH MARKS					100% SUBMITTAL F DATE: OCTOBER 19
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OIL: - 	SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0% LEGEND ————————————————————————————————————	L I Survey inform	NO FIELD NOTES				MCWETHY PARK
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