

# CITY OF ALBUQUERQUE



Richard J. Berry, Mayor

August 14, 2017

Matt Satches  
Bohannon Huston, Inc.  
7500 Jefferson St NE  
Albuquerque, NM 87109

RE: **Shawn McWethy Park – Phase 2A**  
**Grading Plan**  
**Plan Date 8/9/17**  
**Hydrology File: J09D023A**

Dear Mr. Satches:

Based upon the information provided in the submittal received on 8/8/17 the above-referenced Grading Plan cannot be approved for Grading and Paving Permit until the following are addressed:

1. The Grading Plan needs to be sealed by a NM PE.
2. Include benchmark and elevation data.
3. The temporary desilting pond on the west side of this phase needs to include an armored spillway or be sized for its 100yr, 10day volume.
4. Include the 100-yr MWSE on section B-B.

If you have any questions, please contact me at 924-3695 or [dpeterson@cabq.gov](mailto:dpeterson@cabq.gov).

Sincerely,

Dana Peterson, P.E.  
Senior Engineer, Planning Dept.  
Development Review Services

August 8, 2017

Mr. Dana Peterson, P.E.  
City of Albuquerque  
Planning Department  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87103

Re: Sean McWethy Park Phase 2A Grading and Drainage Plan (J09D0223A)

Dear Mr. Peterson:

Enclosed for your review is a copy of the Phase 2A Shawn McWethy Grading Plan for review and approval.

As previously stated in our Phase 1 Submittal, the project will be broken into approximately four phases. The grading and drainage will follow the overall approved plan (stamp date 12/22/15). In discussions with Shahab, it was determined that plans were needed for each phase showing the temporary drainage solutions required to mitigate runoff from those areas that are not being graded. The temporary solutions will include retention of the 100 year – 24-hour storm, temporary berms, and temporary swales to protect the new park areas.

With this submittal, we are requesting Grading and Paving Permit approval. If you have any questions or require further information, please feel free to contact me.

Sincerely,



Matt Satches, EI  
Community Development & Planning

MHS  
Enclosures



# City of Albuquerque

Planning Department

Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 02/2013)

Project Title: \_\_\_\_\_ Building Permit #: \_\_\_\_\_ City Drainage #: \_\_\_\_\_

DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ Work Order#: \_\_\_\_\_

Legal Description: \_\_\_\_\_

City Address: \_\_\_\_\_

**Engineering Firm:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Owner:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Architect:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Surveyor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

**Contractor:** \_\_\_\_\_ Contact: \_\_\_\_\_

Address: \_\_\_\_\_

Phone#: \_\_\_\_\_ Fax#: \_\_\_\_\_ E-mail: \_\_\_\_\_

### TYPE OF SUBMITTAL:

- \_\_\_\_\_ DRAINAGE REPORT
- \_\_\_\_\_ DRAINAGE PLAN 1st SUBMITTAL
- \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL
- \_\_\_\_\_ CONCEPTUAL G & D PLAN
- \_\_\_\_\_ GRADING PLAN
- \_\_\_\_\_ EROSION & SEDIMENT CONTROL PLAN (ESC)
- \_\_\_\_\_ ENGINEER'S CERT (HYDROLOGY)
- \_\_\_\_\_ CLOMR/LOMR
- \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (TCL)
- \_\_\_\_\_ ENGINEER'S CERT (DRB SITE PLAN)
- \_\_\_\_\_ ENGINEER'S CERT (ESC)
- \_\_\_\_\_ SO-19
- \_\_\_\_\_ OTHER (SPECIFY)

### CHECK TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- \_\_\_\_\_ SIA/FINANCIAL GUARANTEE RELEASE
- \_\_\_\_\_ PRELIMINARY PLAT APPROVAL
- \_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL
- \_\_\_\_\_ S. DEV. FOR BLDG. PERMIT APPROVAL
- \_\_\_\_\_ SECTOR PLAN APPROVAL
- \_\_\_\_\_ FINAL PLAT APPROVAL
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM)
- \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TCL TEMP)
- \_\_\_\_\_ FOUNDATION PERMIT APPROVAL
- \_\_\_\_\_ BUILDING PERMIT APPROVAL
- \_\_\_\_\_ GRADING PERMIT APPROVAL
- \_\_\_\_\_ PAVING PERMIT APPROVAL
- \_\_\_\_\_ WORK ORDER APPROVAL
- \_\_\_\_\_ GRADING CERTIFICATION
- \_\_\_\_\_ SO-19 APPROVAL
- \_\_\_\_\_ ESC PERMIT APPROVAL
- \_\_\_\_\_ ESC CERT. ACCEPTANCE
- \_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED: \_\_\_\_\_ Yes \_\_\_\_\_ No \_\_\_\_\_ Copy Provided

DATE SUBMITTED: \_\_\_\_\_ By: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more
4. **Erosion and Sediment Control Plan:** Required for any new development and redevelopment site with 1-acre or more of land disturbing area, including project less than 1-acre than are part of a larger common plan of development



GENERAL GRADING NOTES

- A. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
- B. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
- C. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON.
- D. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
- E. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
- F. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
- G. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE. THE AREA NORTH OF THE BALLOON LAUNCH FIELD MAY BE USED AS A DISPOSAL SITE FOR EXCESS CLEAN EXCAVATION MATERIALS. EXACT LOCATION TO BE COORDINATED WITH THE OWNER/ARCHITECT. UNSUITABLE MATERIALS SHALL BE REMOVED FORM THE PARK PROPERTY.
- H. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
- I. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES

- A. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
- B. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
- C. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- D. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
- E. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
- F. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
- G. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- H. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
- I. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
- J. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
- K. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
- L. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
- M. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

GRADING KEYED NOTES

1. INSTALL RIPRAP/BASALT SWALE PER SECTION A-A, DETAIL A1, SHEET LG102. COORDINATE WITH LANDSCAPE ARCHITECT FOR LAYOUT.
2. REVEGETATE DISTURBED GRADING AREAS WITH NATIVE SEEDING PER COA STANDARD SPECIFICATION 1012.
3. INSTALL 18" CUTOFF WALL ADJACENT TO EXISTING SIDEWALK PER COA STD DWG 2415. MATCH EXISTING SIDEWALK ELEVATIONS.
4. INSTALL RIP RAP CHECK DAM PER LANDSCAPE DETAIL D/LS502.
5. INSTALL BERM/POND PER SECTION B-B, DETAIL A2, SHEET LG102.
6. INSTALL SILT FENCE PER DETAIL A3, SHEET LG102.

NOTE

SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

LEGEND

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- 5025--- EXISTING INDEX CONTOUR
- 5021--- EXISTING INTERMEDIATE CONTOUR
- 5024.25 EXISTING GROUND ELEVATION
- 24.75 PROPOSED GROUND ELEVATION  
FL=FLOW LINE, TC=TOP OF CURB  
TS=TOP OF SIDEWALK,  
TG=TOP OF GRATE,  
FGH=FINISH GROUND HIGH SIDE,  
FGL=FINISH GROUND LOW SIDE
- S=2.0% DIRECTION OF FLOW
- 5025--- GRADE BREAK/WATER BLOCK
- 5025--- PROPOSED INDEX CONTOUR
- 5024--- PROPOSED INTERMEDIATE CONTOUR
- ===== PROPOSED CURB & GUTTER
- ===== PROPOSED STORM DRAIN LINE
- ===== PROPOSED STORM DRAIN BASIN
- SF--- SILT FENCE

Bohannon & Huston  
www.bhinc.com

800.877.5332

MRWM  
LANDSCAPE ARCHITECTS  
Harrow Reardon Wilkinson Miller, Ltd.  
mrwmia.com 505.268.2266



CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK PHASE 2A  
GRADING PLAN

Design Review Committee

City Engineer Approval

Last Design Update

Mo./Day/Yr.

Mo./Day/Yr.

City Project No.  
671592

Zone Map No.  
H9

Sheet

LG101

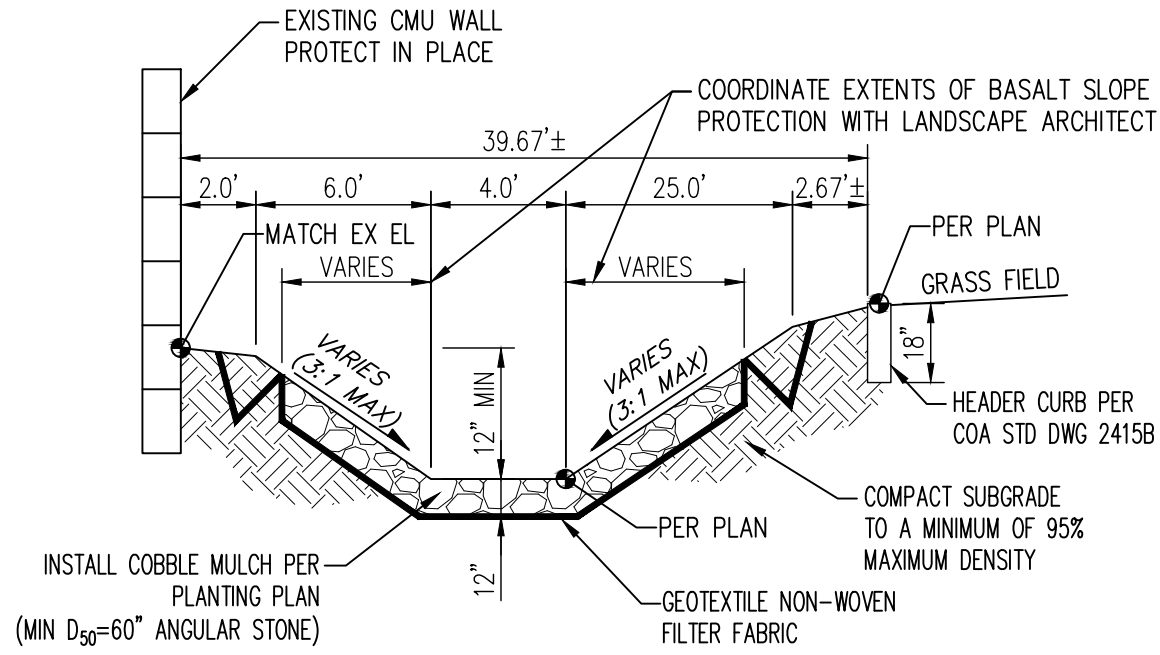
100% SUBMITTAL FOR REVIEW  
DATE: AUGUST 9, 2017

SHAWN MCWETHY PARK PHASE 2A

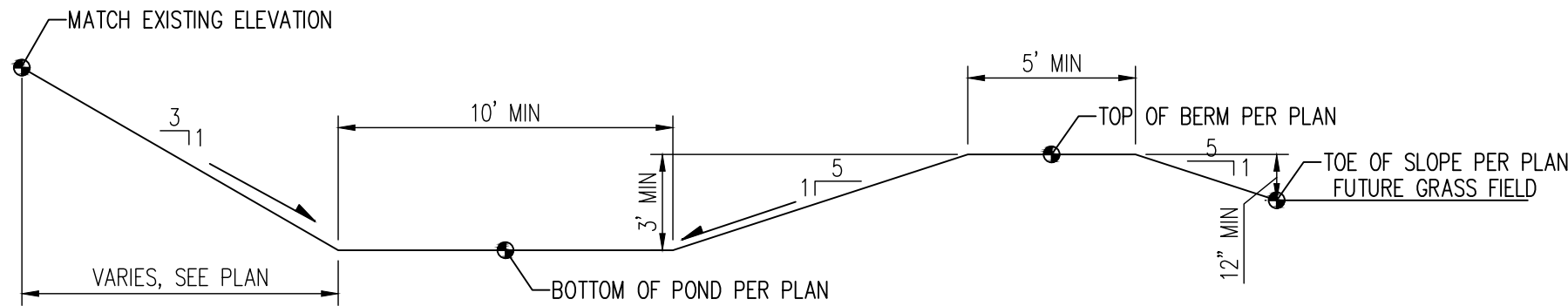
PROJECT# 671592

RECORD DRAWINGS  
DATE: XX/XX/2017





**A1** RIP RAP / BASALT SWALE SECTION A-A  
NOT TO SCALE



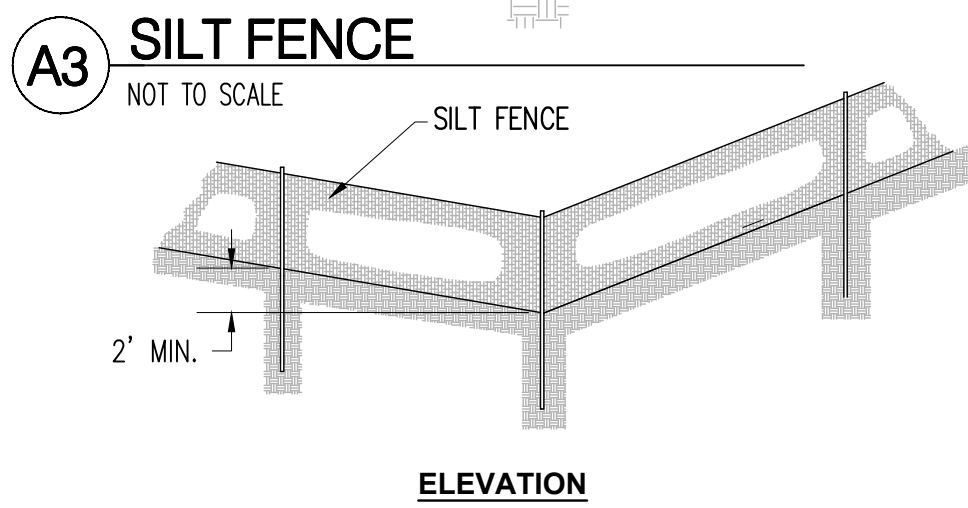
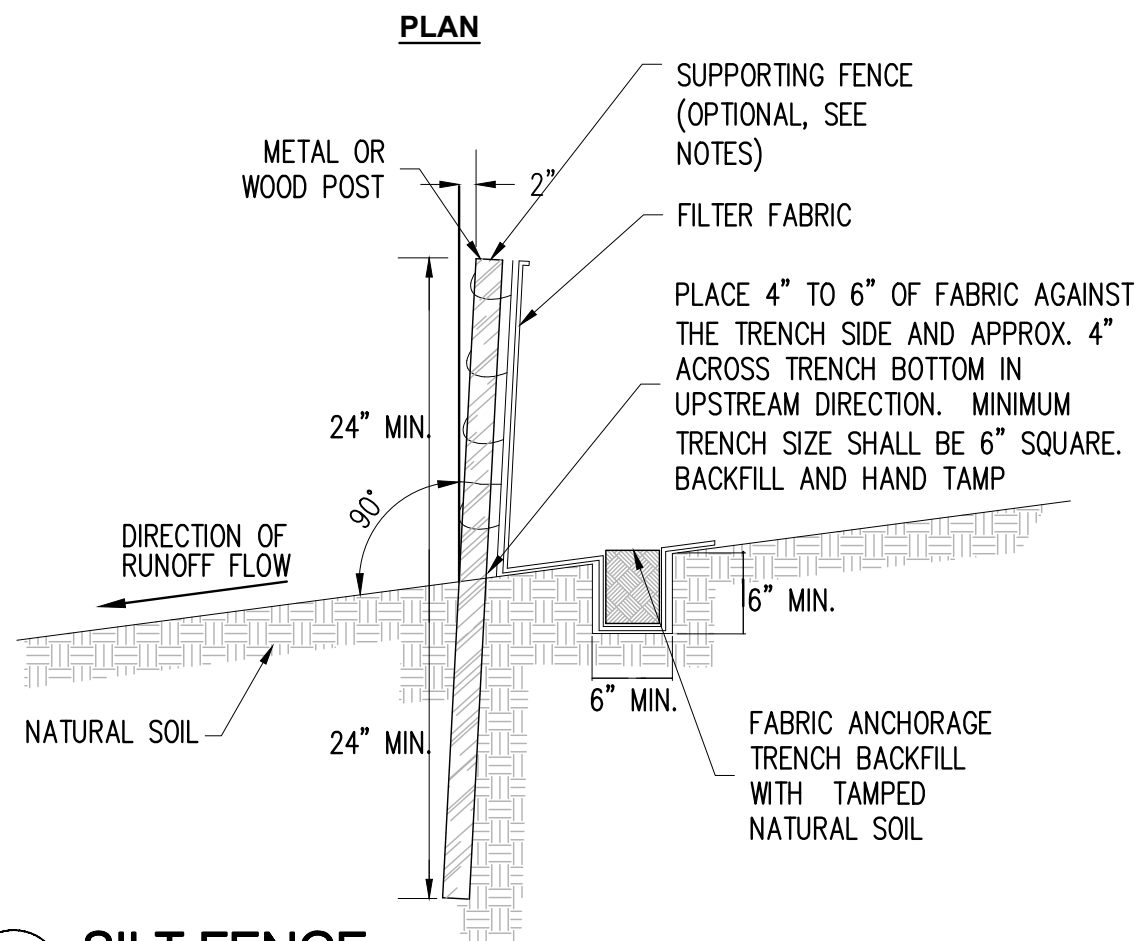
**A2** BERM / POND SECTION B-B  
NOT TO SCALE

**GENERAL NOTE:**

WHEN SILT FENCE IS USED FOR FILTER DAM INSTALLED IN DITCHES A SUPPORTING FENCE SHALL BE PROVIDED AND THE POST SPACING SHALL BE 4' MAXIMUM.

**SILT FENCE NOTES:**

1. POST SPACING SHALL BE 4 FT. MAXIMUM w/o SUPPORTING FENCE. 10 FT. MAXIMUM WITH SUPPORTING FENCE.
2. POSTS FOR 4 FT. MAXIMUM POST SPACING SHALL BE 2 INCH SQUARE OR HEAVIER WOOD POSTS OR STANDARD 1 OR U SECTION STEEL POSTS WEIGHING NOT LESS THAN 1.0 LB. PER LINEAR FOOT. POSTS FOR 10 FT. MAXIMUM POST SPACING SHALL BE 4 INCH SQUARE OR HEAVIER WOOD POSTS OR STEEL POSTS AS SPECIFIED ABOVE.
3. SUPPORTING FENCE SHALL BE WIRE MESH (14 GA. MIN., 6 INCH MAX. MESH OPENING SIZE 2"x2").
4. SUPPORTING FENCE SHALL BE FASTENED SECURELY TO POSTS WITH STAPLES OR WIRE TIES. FILTER FABRIC SHALL BE FASTENED SECURELY TO SUPPORTING FENCE WITH WIRE TIES SPACED AT 24 INCH CENTERS ALONG THE TOP AND MID-SECTION. WHEN A SUPPORTING FENCE IS NOT USED, FILTER FABRIC SHALL BE SECURELY FASTENED TO POSTS WITH STAPLES OR WIRE TIES.



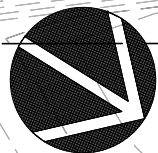
**A3** SILT FENCE  
NOT TO SCALE

<b>Bohannon &amp; Huston</b> www.bhinc.com 800.877.5332	<b>MRWM</b> <b>LANDSCAPE ARCHITECTS</b> Morrow Reardon Wilkinson Miller, Ltd. mrwmia.com 505.268.2266	
	CITY OF ALBUQUERQUE STRATEGIC PLANNING AND DESIGN PARKS AND RECREATION DEPARTMENT	
	SHAWN MCWETHY PARK PHASE 2A GRADING DETAILS	
	Design Review Committee	City Engineer Approval
	City Project No. 671592	Zone Map No. H9

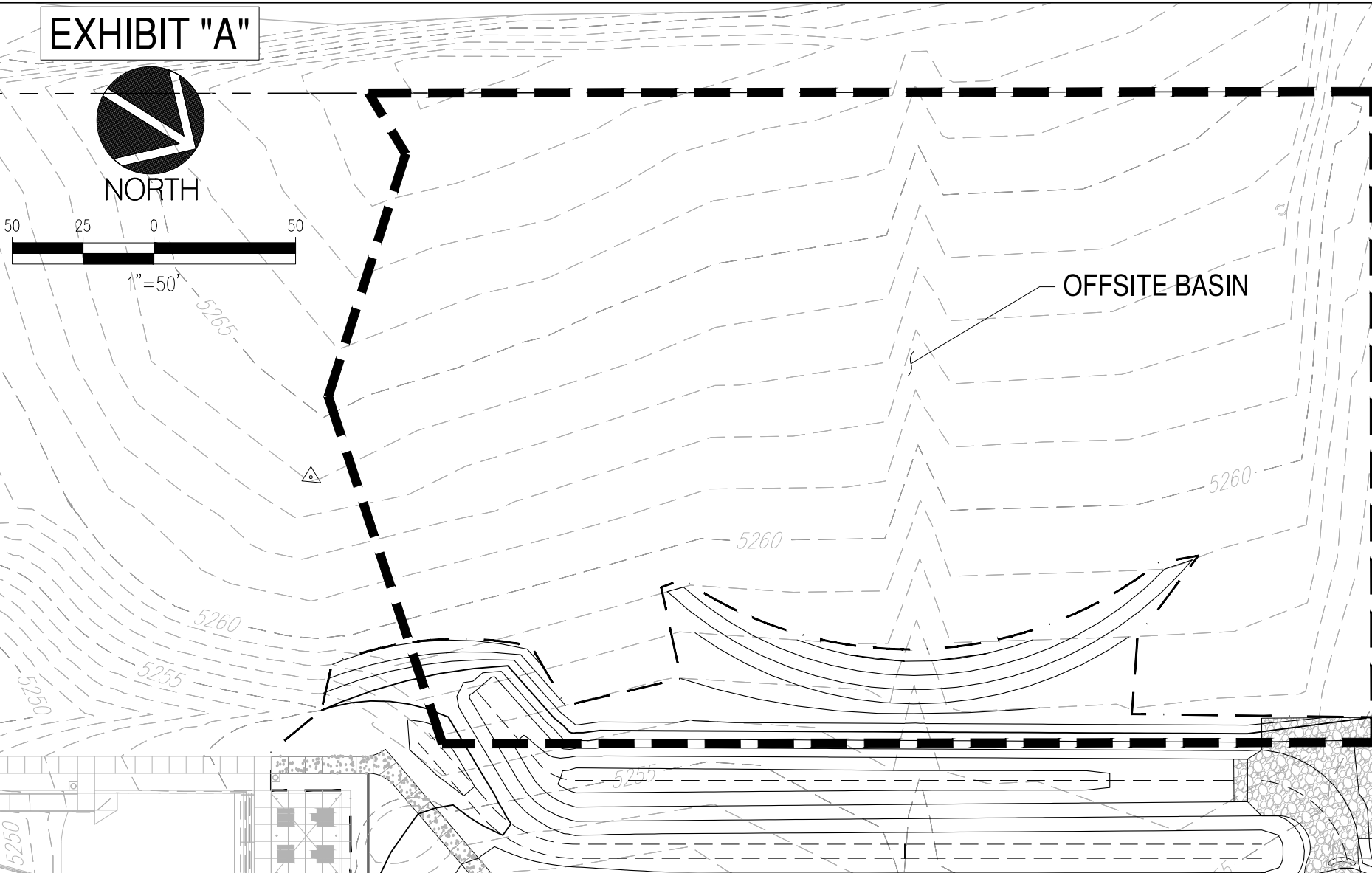
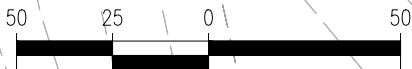
Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.

BENCH MARKS		SURVEY INFORMATION		ARCHITECTURAL SEAL		REVISIONS		AS-BUILT INFORMATION	
NO.	BY	NO.	DATE					CONTRACTOR	DATE
								INSPECTOR'S	DATE
								ACCEPTANCE BY	DATE
								VERIFICATION BY	DATE
								DRAWINGS	DATE
								MICRO-FILM INFORMATION	DATE
								RECORDED BY	DATE
								NO.	

# EXHIBIT "A"



NORTH



## SHAWN MCWETHY PARK

### Proposed Developed Conditions Basin Data Table

This table is based on the DPM Section 22.2, Zone: 1

Basin ID	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V <sub>(100yr-6hr)</sub>	V <sub>(100yr-24hr)</sub>	V <sub>(FIRST FLUSH)</sub>
			A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)	(CF)*
OFFSITE	80690	1.85	0.0%	0.0%	100.0%	0.0%	2.87	5.32	0.99	6657	6657	N/A
ONSITE	62813	1.44	0.0%	0.0%	93.6%	6.4%	2.97	4.28	1.05	5513	5668	115

\* - REQUIRED VOLUME DETERMINED USING 0.44" (AFTER REMOVING 0.1" INITIAL ABSTRACTION, USED 0.34") OF RAINFALL ON ALL IMPERVIOUS AREA