

# CITY OF ALBUQUERQUE

PLANNING DEPARTMENT – Development Review Services



Richard J. Berry, Mayor

October 30, 2015

Brian Warren  
Bohannon Huston  
7500 Jefferson St. NE  
Albuquerque, NM, 87109

RE: **Shawn McWethy Park**  
**Grading and Drainage Plan**  
**Grading Permit / Paving Permit**  
**Engineer's Stamp Date 10/19/2015 (File: J09D023A)**

Dear Mr. Warren:

Based upon the information provided in your submittal received 9-15-2015, the above referenced Grading and Drainage Plan for Grading Permit and Paving Permit cannot be approved until the following items are addressed in a revised submittal:

- Provide an excerpt from the approved Drainage Masterplan referenced (cover, table of contents and applicable section), which allows the peak discharge of 15.07 cfs from the site.
- Provide a capacity calculation for the swale along the north edge of the property.
- Provide a capacity calculation for the rundown from Basin 7.
- Clarify how the first flush from the parking lot enters the water quality pond.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Abiel Carrillo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

Orig: Drainage file

J09D023A\_GP\_PP\_cmmt.dcox



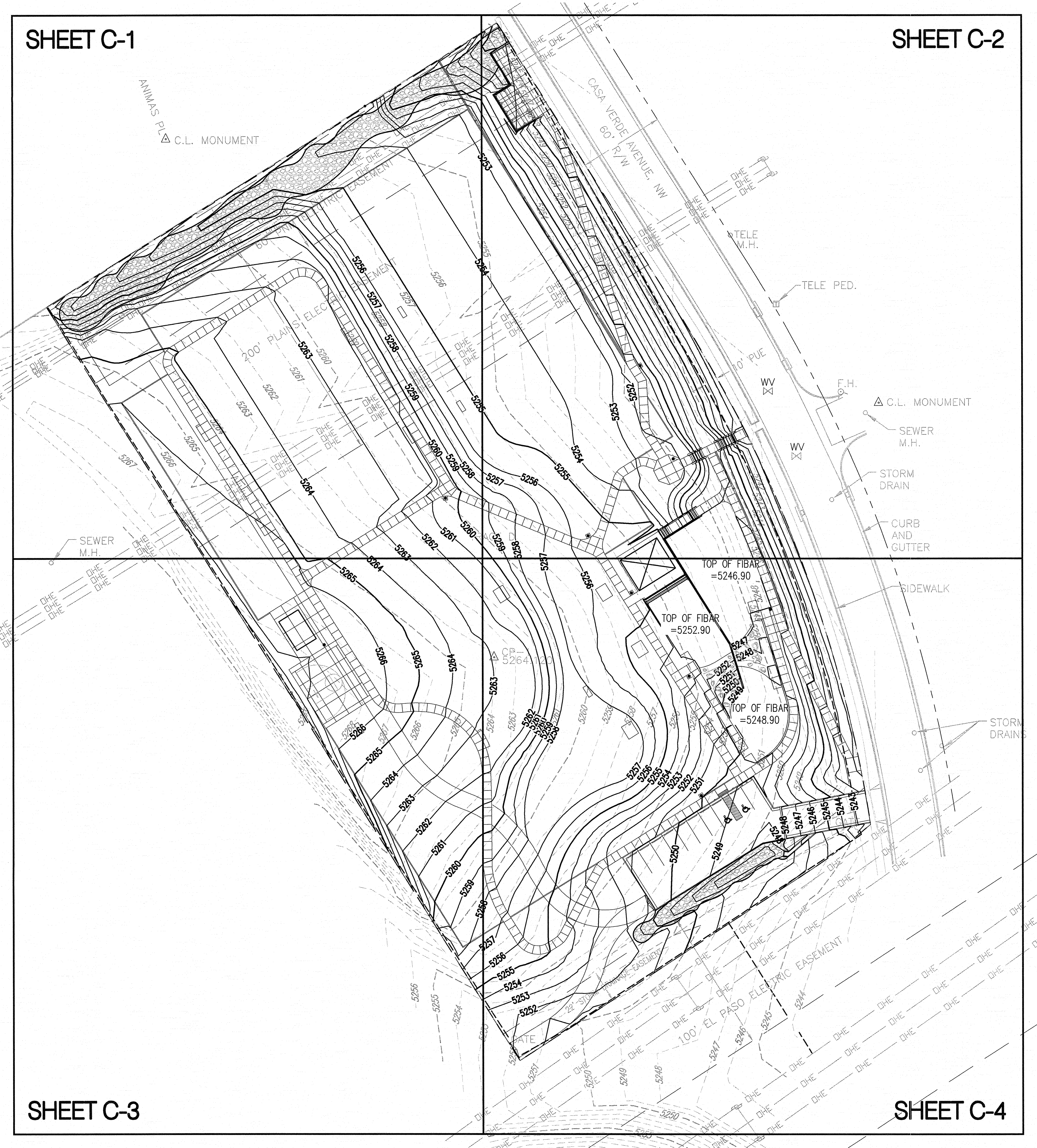
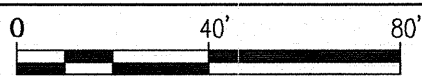
SHEET C-1

SHEET C-2

SHEET C-3

SHEET C-4

A1 GRADING PLAN  
SCALE: 1" = 40'



GENERAL GRADING NOTES

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION," AS PROVIDED IN THE PROJECT MANUAL. ALL OTHER WORK SHALL, UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS.
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY.
7. A DISPOSAL SITE FOR ANY & ALL EXCESS EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE. THE AREA NORTH OF THE BALLOON LAUNCH FIELD MAY BE USED AS A DISPOSAL SITE FOR EXCESS CLEAN EXCAVATION MATERIALS. EXACT LOCATION TO BE COORDINATED WITH THE OWNER/ARCHITECT. UNSUITABLE MATERIALS SHALL BE REMOVED FORM THE PARK PROPERTY.
8. PAVING AND ROADWAY GRADES SHALL BE +/- 0.1' FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE +/- 0.05' FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR MEDIANS AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION PRIOR TO BEGINNING CONSTRUCTION.

GENERAL NOTES

1. ALL WORK DETAILED ON THESE PLANS AND PERFORMED UNDER THIS CONTRACT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND THE PROJECT GEOTECHNICAL REPORT. WHERE APPLICABLE, CITY OF ALBUQUERQUE PUBLIC WORKS STANDARDS SHALL APPLY.
2. THE CONTRACTOR SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO THE CONSTRUCTION OF THESE IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.
3. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL POTENTIAL OBSTRUCTIONS INCLUDING ALL UNDERGROUND UTILITIES. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION OBSERVER OR ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
4. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT LINE LOCATING SERVICE FOR LOCATION OF EXISTING UTILITIES.
5. ALL ELECTRICAL, TELEPHONE, CABLE TV, GAS AND OTHER UTILITY LINES, CABLES, AND APPURTENANCES ENCOUNTERED DURING CONSTRUCTION THAT REQUIRE RELOCATION, SHALL BE COORDINATED WITH THAT UTILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL NECESSARY UTILITY ADJUSTMENTS. NO ADDITIONAL COMPENSATION WILL BE ALLOWED FOR DELAYS OR INCONVENIENCES CAUSED BY UTILITY COMPANY WORK CREWS. THE CONTRACTOR MAY BE REQUIRED TO RESCHEDULE HIS ACTIVITIES TO ALLOW UTILITY CREWS TO PERFORM THEIR REQUIRED WORK.
6. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITY LINES WITHIN THE CONSTRUCTION AREA. ANY DAMAGE TO EXISTING FACILITIES CAUSED BY CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE AND APPROVED BY THE CONSTRUCTION OBSERVER.
7. CONSTRUCTION ACTIVITY SHALL BE LIMITED TO THE PROPERTY AND/OR PROJECT LIMITS. ANY DAMAGE TO ADJACENT PROPERTIES RESULTING FROM THE CONSTRUCTION PROCESS SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
8. OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT SHALL NOT OBSTRUCT DRIVEWAYS OR DESIGNATED TRAFFIC LANES. THE CONTRACTOR SHALL NOT STORE ANY EQUIPMENT OR MATERIAL WITHIN THE PUBLIC RIGHT-OF-WAY.
9. THE CONTRACTOR SHALL OBTAIN ALL THE NECESSARY PERMITS FOR THE PROJECT PRIOR TO COMMENCING CONSTRUCTION (I.E., BARRICADING, TOPSOIL DISTURBANCE, EXCAVATION PERMITS, EPA STORM WATER PERMITS, ETC.).
10. ALL PROPERTY CORNERS DESTROYED DURING CONSTRUCTION SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE. ALL PROPERTY CORNERS MUST BE RESET BY A REGISTERED LAND SURVEYOR.
11. ALL BARRICADES AND CONSTRUCTION SIGNING SHALL CONFORM TO APPLICABLE SECTIONS OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (MUTCD), US DEPARTMENT OF TRANSPORTATION, LATEST EDITION.
12. THE CONTRACTOR SHALL MAINTAIN ALL CONSTRUCTION BARRICADES AND SIGNING AT ALL TIMES. THE CONTRACTOR SHALL VERIFY THE PROPER LOCATION OF ALL BARRICADING AT THE END AND BEGINNING OF EACH DAY.
13. THE CONTRACTOR SHALL TAKE ALL STEPS NECESSARY TO CONFORM WITH EPA REQUIREMENTS, INCLUDING COMPLIANCE WITH NPDES PHASE 2 REQUIREMENTS.

**Bohannon**  **Huston**  
www.bhinc.com

800.877.5332

**MRWM**  
**LANDSCAPE ARCHITECTS**  
Morrow Reardon Wilkinson Miller, Ltd.  
mrwmia.com 505 268 2266



CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK  
OVERALL GRADING PLAN

Design Review Committee

City Engineer Approval

Last Design Update

City Project No.  
671591

Zone Map No.  
H9

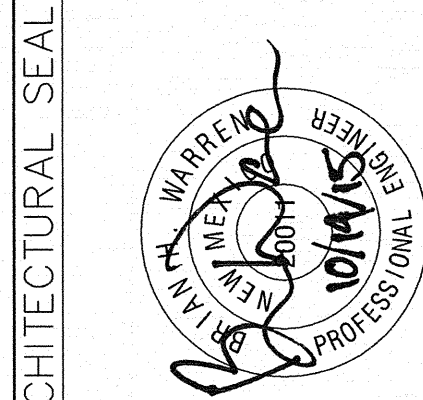
Sheet  
5 of 21

REVISIONS

REMARKS

BY

DESIGNED BY: BHW DATE 06/2015  
DRAWN BY: BHW DATE 06/2015  
CHECKED BY: MJB DATE 10/2015



ARCHITECTURAL SEAL

NO.

BY

DATE

BENCH MARKS

CONTRACTOR

STAMPED BY

INSPECTOR'S

FIELD FORCE BY

VERIFICATION BY

DATE

AS-BUILT INFORMATION

DATE

DATE

DATE

DATE

DATE

NO.

RECORDED BY

NO.

DATE

DATE

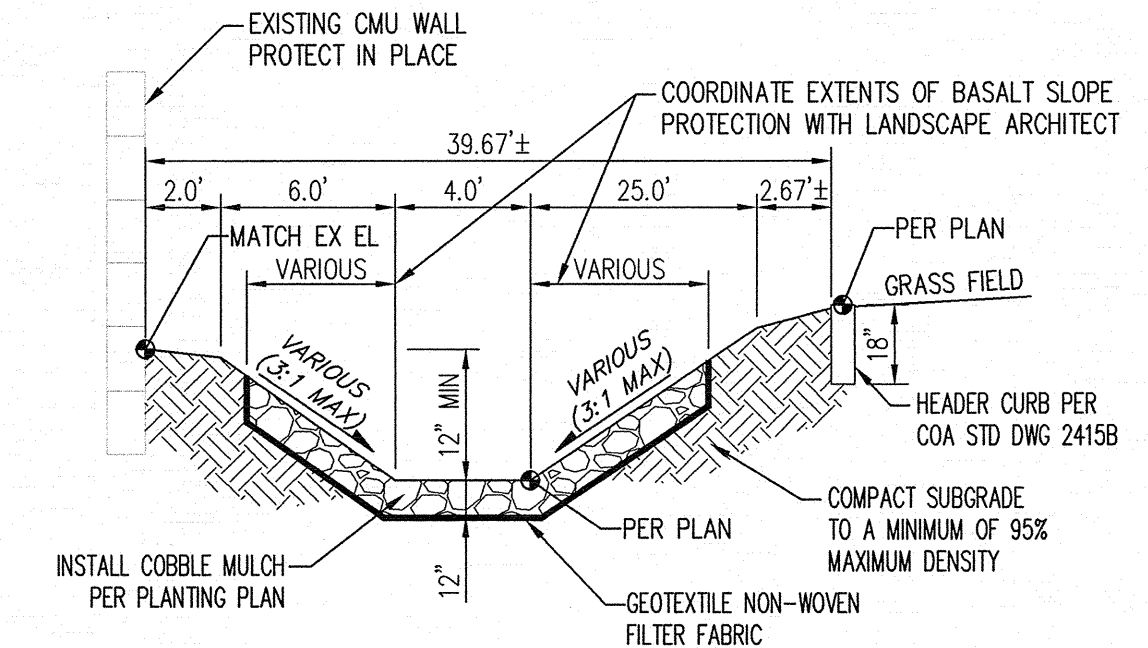
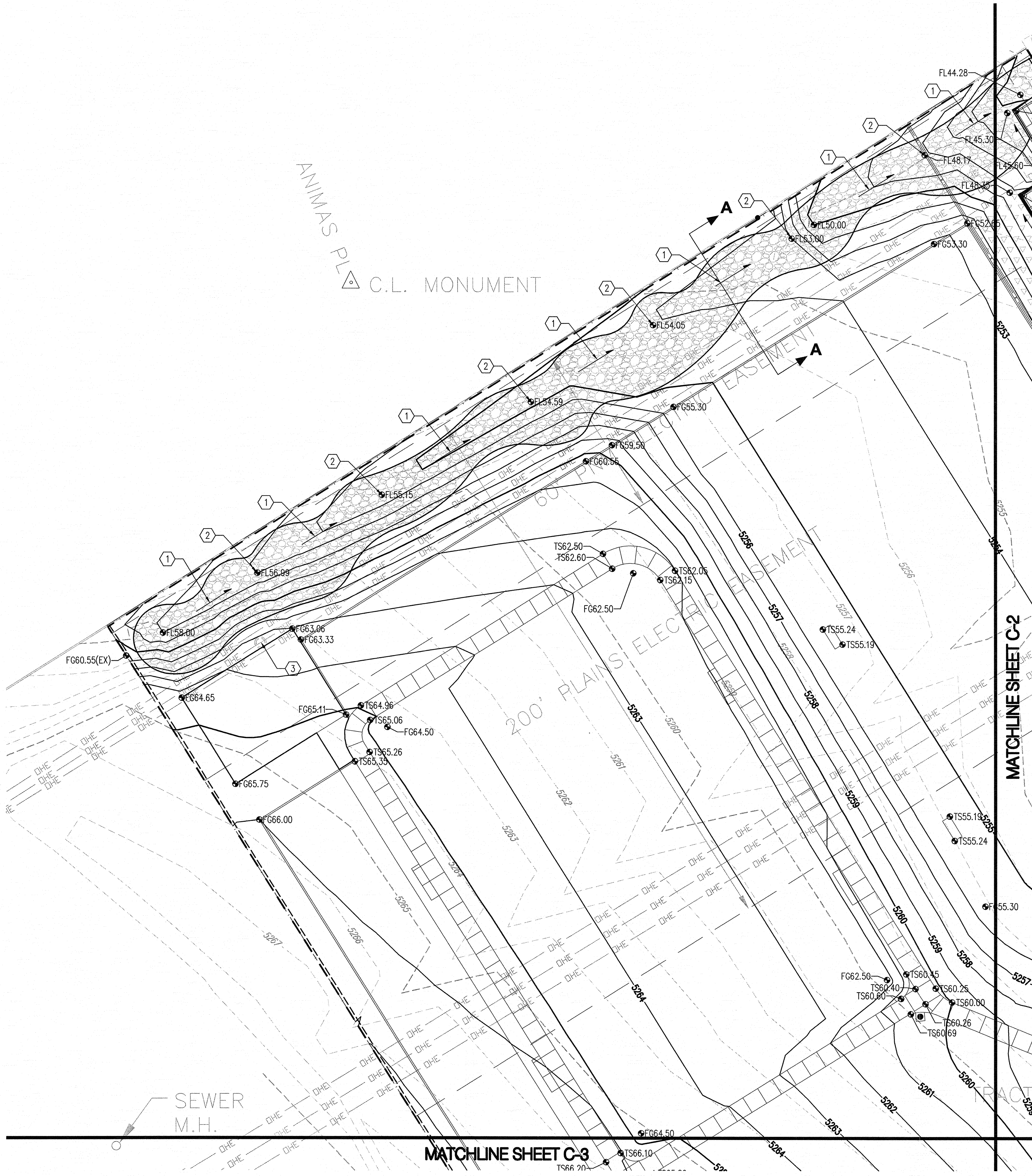
RECORD DRAWINGS  
DATE: \_\_/\_\_/2015

SHAWN MCWETHY PARK

PROJECT# 671591

100% SUBMITTAL FOR REVIEW  
DATE: OCTOBER 19, 2015





A2 RIP RAP / BASALT SWALE SECTION A-A  
NOT TO SCALE

GRADING KEYED NOTES

1. INSTALL RIPRAP/BASALT SWALE PER SECTION A-A, DETAIL A2, THIS SHEET. COORDINATE WITH LANDSCAPE ARCHITECT FOR LAYOUT.
2. INSTALL RIP RAP CHECK DAM PER LANDSCAPE DETAIL.
3. EXISTING POWER POLE, PROTECT IN PLACE. DO NOT GRADE WITH 5' OF BASE.

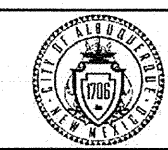
**NOTE**  
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0%  
AND A MAXIMUM OF 2.0%

LEGEND

- PROPERTY LINE
- - - PROJECT LIMITS OF GRADING
- - - 5025 - - - EXISTING INDEX CONTOUR
- - - 5021 - - - EXISTING INTERMEDIATE CONTOUR
- 5024.25 EXISTING GROUND ELEVATION
- 24.75 PROPOSED GROUND ELEVATION  
FL=FLOW LINE, TC=TOP OF CURB  
TS=TOP OF SIDEWALK,  
FG=FINISHED GRADE,  
FGH=FINISH GROUND HIGH SIDE,  
FGL=FINISH GROUND LOW SIDE
- S=2.0% DIRECTION OF FLOW
- GRADE BREAK/WATER BLOCK
- - - 5025 - - - PROPOSED INDEX CONTOUR
- - - 5024 - - - PROPOSED INTERMEDIATE CONTOUR
- ===== PROPOSED CURB & GUTTER
- ===== PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN BASIN

**Bohannon**  **Huston**  
www.bhinc.com 800.877.5332

**MRWM**  
**LANDSCAPE ARCHITECTS**  
Morrow Reardon Wilkinson Miller, Ltd.  
mrwmla.com 505 268 2266



CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK  
GRADING PLAN  
SHEET C-1

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	
671591	H9	6 of 21	

100% SUBMITTAL FOR REVIEW  
DATE: OCTOBER 19, 2015

SHAWN MCWETHY PARK

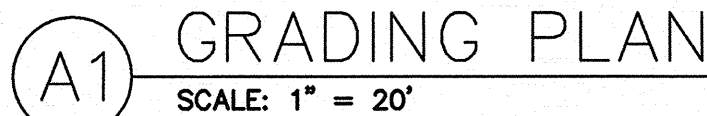
PROJECT# 671591

RECORD DRAWINGS  
DATE: \_\_/\_\_/2015









## LEGEND

- The diagram illustrates various symbols used in road construction plans, organized into two columns. Each symbol is represented by a horizontal line with specific markings, followed by a description of the feature it represents.

  - PROJECT LIMITS OF GRADING:** Represented by a solid horizontal line.
  - EXISTING INDEX CONTOUR:** Represented by a dashed horizontal line.
  - EXISTING INTERMEDIATE CONTOUR:** Represented by a dashed horizontal line with a small circle in the center.
  - EXISTING GROUND ELEVATION:** Represented by a solid horizontal line with a small circle and a numerical value (e.g., 5024.25 or 24.75).
  - PROPOSED GROUND ELEVATION:** Represented by a solid horizontal line with a small circle and a numerical value (e.g., 5024.25 or 24.75).
  - FL=FLOW LINE, TC=TOP OF CURB:** Represented by a solid horizontal line with a small circle and a numerical value (e.g., 5024.25 or 24.75).
  - TS=TOP OF SIDEWALK, FG=FINISHED GRADE, FGH=FINISH GROUND HIGH SIDE, FGL=FINISH GROUND LOW SIDE:** Represented by a solid horizontal line with a small circle and a numerical value (e.g., 5024.25 or 24.75).
  - DIRECTION OF FLOW:** Represented by a solid horizontal line with a small circle and a numerical value (e.g., 5024.25 or 24.75).
  - GRADE BREAK/WATER BLOCK:** Represented by a solid horizontal line with a small circle and a numerical value (e.g., 5024.25 or 24.75).
  - PROPOSED INDEX CONTOUR:** Represented by a dashed horizontal line.
  - PROPOSED INTERMEDIATE CONTOUR:** Represented by a dashed horizontal line with a small circle in the center.
  - PROPOSED CURB & GUTTER:** Represented by a solid horizontal line with a small circle in the center.
  - PROPOSED STORM DRAIN LINE:** Represented by a solid horizontal line with a small circle in the center.
  - PROPOSED STORM DRAIN BASIN:** Represented by a solid horizontal line with a small circle in the center.

**Bohannon**  **Huston**  
www.bhinc.com 800.877.5332

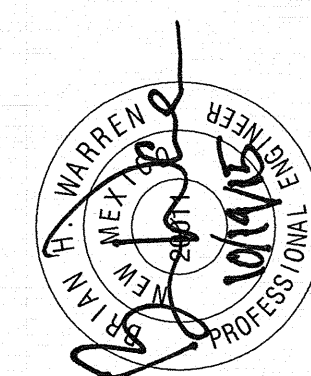


CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK  
GRADING PLAN  
SHEET C-3

Design Review Committee	City Engineer Approval	Last Design Update	Mo./Day/Yr.	Mo./Day/Yr.
City Project No. 671591	Zone Map No. H9	Sheet 8 of 21		

SURVEY INFORMATION		BENCH MARKS		AS-BUILT INFORMATION	
FIELD NOTES					
NO.	BY	DATE		CONTRACTOR	
				INSPECTOR'S FIELD CHECK BY	DATE
				FIELD VERIFICATION BY	DATE
				CONTRACTOR'S CORRECTION BY	DATE
				MICRO-FILM INFORMATION	
				RECORDED BY	DATE
				NO.	

[illegible]

100% SUBMITTAL FOR REVIEW  
DATE: OCTOBER 19, 2015

SHAWN MCWETHY PARK

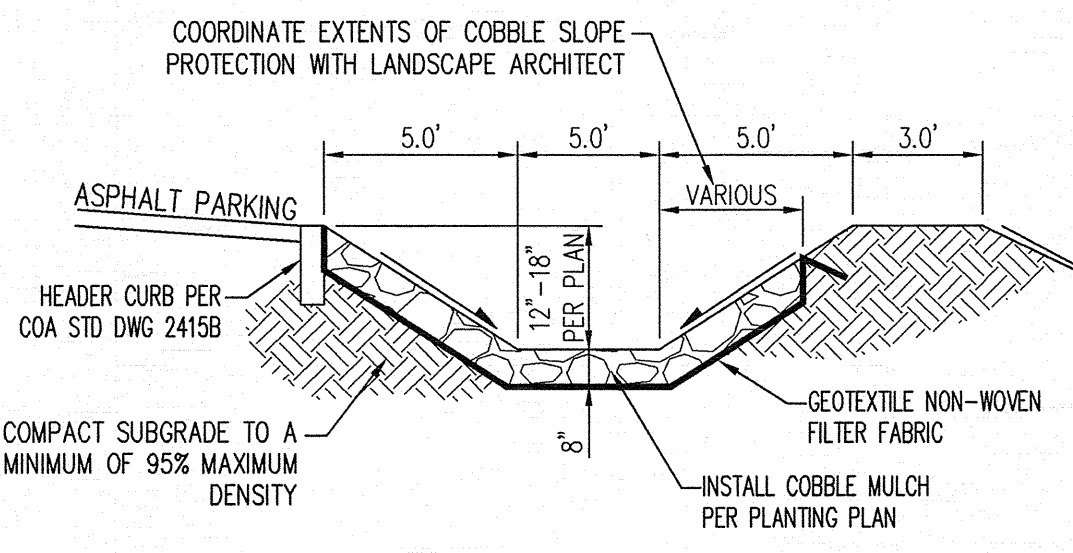
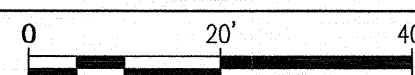
PROJECT# 671591

RECORD DRAWINGS  
DATE: / /2015

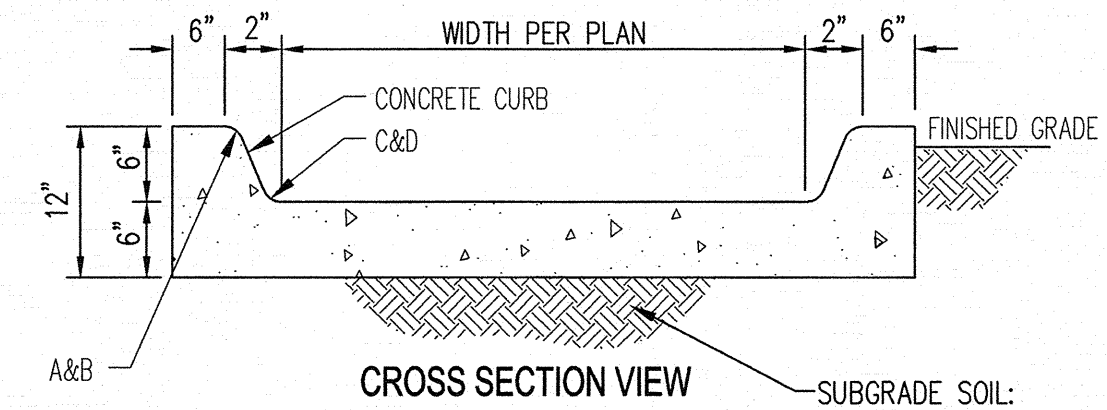




**A1** GRADING PLAN  
SCALE: 1" = 20'



**A2** WATER QUALITY SECTION A-A  
NOT TO SCALE



NOTE: SEE DETAIL 1 FOR TYPICAL CURB OPENING.

- A.  $\pm 0.75"$  RADIUS.
- B. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.
- C.  $\pm 12"$  RADIUS.
- D. DIMENSIONS AT ROUNDED CORNERS MEASURED TO INTERSECTION OF STRAIGHT LINES.

**A3** CONCRETE RUNDOWN  
N.T.S.

**GRADING KEYED NOTES**

1. INSTALL WATER QUALITY HARVESTING RETENTION POND PER SECTION A-A, DETAIL A2, THIS SHEET. COORDINATE WITH LANDSCAPE ARCHITECT FOR LAYOUT.
2. INSTALL HEADER CURB PER COA STD DWG 2415B.
3. SEE PLANTING PLAN FOR SLOPE PROTECTION.
4. CONSTRUCT OVERFLOW CONCRETE RUNDOWN PER DETAIL A3, THIS SHEET.
5. PROVIDE CURB CUT FOR CONCRETE RUNDOWN CONNECTION.
6. RETAINING WALL, SEE PLAYGROUND ENLARGEMENT ON SHEET 21.
7. LOW HEIGHT RETAINING WALL, SEE SHEET 4 FOR DETAIL.
8. CHEEKWALL, SEE SHEET 4 FOR DETAIL.

**NOTE**  
SIDEWALK CROSS-SLOPES SHALL BE AT A MINIMUM OF 1.0% AND A MAXIMUM OF 2.0%

**LEGEND**

- PROPERTY LINE
- PROJECT LIMITS OF GRADING
- EXISTING INDEX CONTOUR
- EXISTING INTERMEDIATE CONTOUR
- EXISTING GROUND ELEVATION
- PROPOSED GROUND ELEVATION
- FL=FLOW LINE, TC=TOP OF CURB
- TS=TOP OF SIDEWALK, TG=TOP OF GRATE, FGH=FINISH GROUND HIGH SIDE, FGL=FINISH GROUND LOW SIDE
- $S=2.0\%$  DIRECTION OF FLOW
- GRADE BREAK/WATER BLOCK
- PROPOSED INDEX CONTOUR
- PROPOSED INTERMEDIATE CONTOUR
- PROPOSED CURB & GUTTER
- PROPOSED STORM DRAIN LINE
- PROPOSED STORM DRAIN BASIN

**Bohannon** **Huston**  
www.bhinc.com 800.877.5332

**MRWM**  
**LANDSCAPE ARCHITECTS**  
Morrow Reardon Wilkinson Miller, Ltd.  
mrwmla.com 505.268.2266



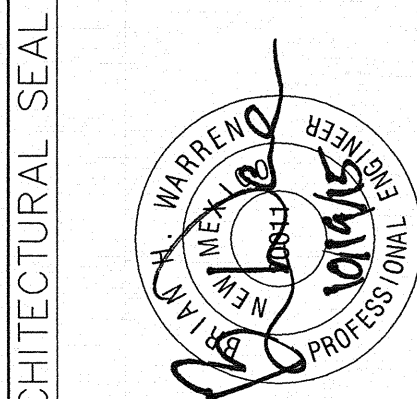
CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK  
GRADING PLAN  
SHEET C-4

Design Review Committee	City Engineer Approval	Mo./Day/Yr.	Mo./Day/Yr.
City Project No.	Zone Map No.	Sheet	
671591	H9	9 of 21	

AS-BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S SIGNATURE	DATE
DATE	DATE	FIELD OFFICE BY	DATE
DATE	DATE	VERIFICATION BY	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	

SURVEY INFORMATION		FIELD NOTES	
NO.	BY	DATE	



REVISIONS		REMARKS	
NO.	DATE	BY	

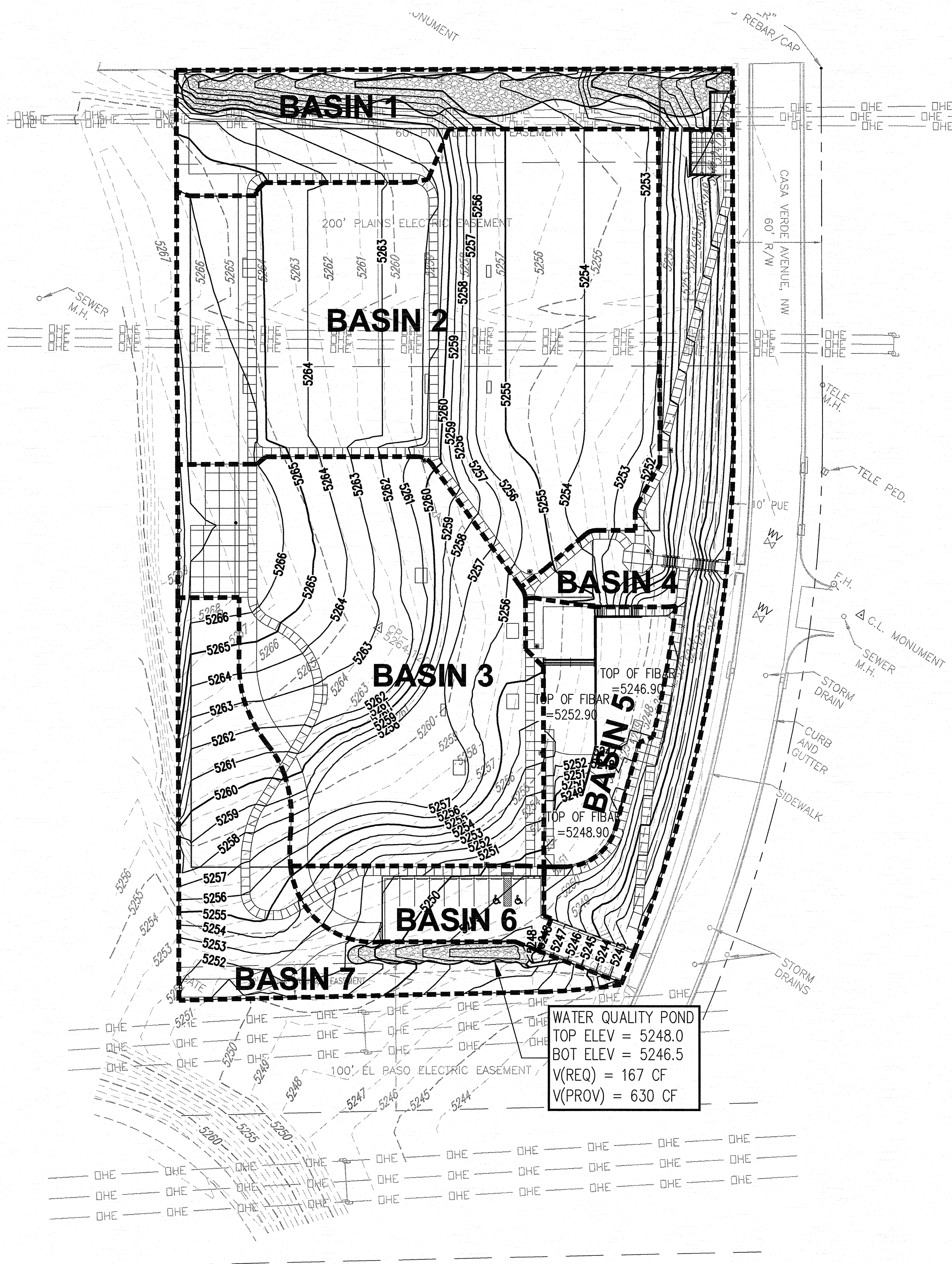
100% SUBMITTAL FOR REVIEW  
DATE: OCTOBER 19, 2015

SHAWN MCWETHY PARK

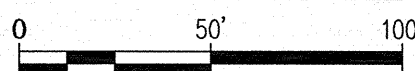
PROJECT# 671591

RECORD DRAWINGS  
DATE: / /2015





A1 DRAINAGE BASIN MAP  
SCALE: 1" = 50'



INTRODUCTION:

THE PROJECT IS LOCATED WEST OF THE INTERSECTION OF CASA VERDE AVENUE AND CASA FLORIDA PLACE ALONG THE WESTERN FRONTAGE OF CASA VERDE AVE. A NEIGHBORHOOD DEVELOPMENT IS TO THE NORTH, VACANT LAND TO THE WEST, AND THE LADERA DAM SYSTEM TO THE SOUTH. THIS SITE IS NOT WITHIN A DEFINED FLOOD ZONE AS SHOWN ON FIRM MAP NUMBER 35001C0326H (THIS SHEET). THE PURPOSE OF THIS SUBMITTAL IS TO PROVIDE A DRAINAGE MANAGEMENT PLAN FOR THE DEVELOPMENT OF SHAWN MCWETHY PARK AND REQUEST GRADING PERMIT APPROVAL.

EXISTING CONDITIONS:

THE 5.11 ACRE SITE IS CURRENTLY UNDEVELOPED. THE SITE SLOPES TO THE EAST / NORTHEAST WHERE THE RUNOFF OPENLY DISCHARGES INTO CASA VERDE AVE.

BASED ON THE DRAINAGE REPORT FOR TIERRA OESTE UNIT 3 (TRACT E AND A PORTION OF A TRACT OF THE CROSSINGS) (CITY OF ALBUQUERQUE DRAINAGE FILE #H09/D022), THE ALLOWABLE PEAK DISCHARGE INTO CASA VERDE IS APPROXIMATELY 15.07 CFS.

OFFSITE FLOWS:

OFFSITE FLOWS FROM THE NEIGHBORHOOD TO THE NORTH AND FROM THE LADERA DAM SYSTEM TO THE SOUTH DO NOT AFFECT THE PARK SITE. THE NEIGHBORHOOD DISCHARGE STAYS ONSITE OR FLOWS NORTH AND THE PROPERTY TO THE SOUTH DRAINS TO THE LADERA DAM SYSTEM AND DOES NOT FLOW ON THE SITE. UPON COMPLETION OF THE APPROVED DRAINAGE PLAN (STOCKPILE REMOVAL GRADING AND DRAINAGE PLAN, J09D023) THE LAND TO THE WEST WILL DISCHARGE SOUTH TO LADERA DAM 10. CASA VERDE AVE TO THE EAST IS DOWNSTREAM OF THE SITE. NO OFFSITE FLOWS AFFECT THE PARK.

METHODOLOGY:

THE HYDROLOGIC ANALYSIS PROVIDED WITH THIS DRAINAGE MANAGEMENT PLAN HAS BEEN PREPARED IN ACCORDANCE WITH SECTION 22.2 OF THE DPM. THE SITE IS LOCATED WEST OF THE RIO GRANDE WITHIN PRECIPITATION ZONE 1. LAND TREATMENT PERCENTAGES WERE CALCULATED BASED ON THE ACTUAL CONDITIONS IN EACH ONSITE BASIN AND ARE SUMMARIZED IN THE "PROPOSED BASIN DATA TABLE" (THIS SHEET).

PROPOSED CONDITIONS:

THIS DRAINAGE MANAGEMENT PLAN WAS DEVELOPED IN ACCORDANCE WITH A FULLY DEVELOPED SITE. IT WAS DETERMINED THAT THE MAXIMUM ALLOWABLE PEAK DISCHARGE FROM THE SITE IS APPROXIMATELY 15.07 CFS (AS MENTIONED ABOVE).

THE SITE IS DIVIDED INTO SEVEN SMALL DRAINAGE BASINS. ALL BASINS ULTIMATELY DISCHARGE INTO CASA VERDE AVE. A POND WILL BE LOCATED SOUTH OF THE PARKING AREA (BASIN 6) TO FULLY CAPTURE THE FIRST FLUSH DISCHARGE FROM THE PARKING LOT.

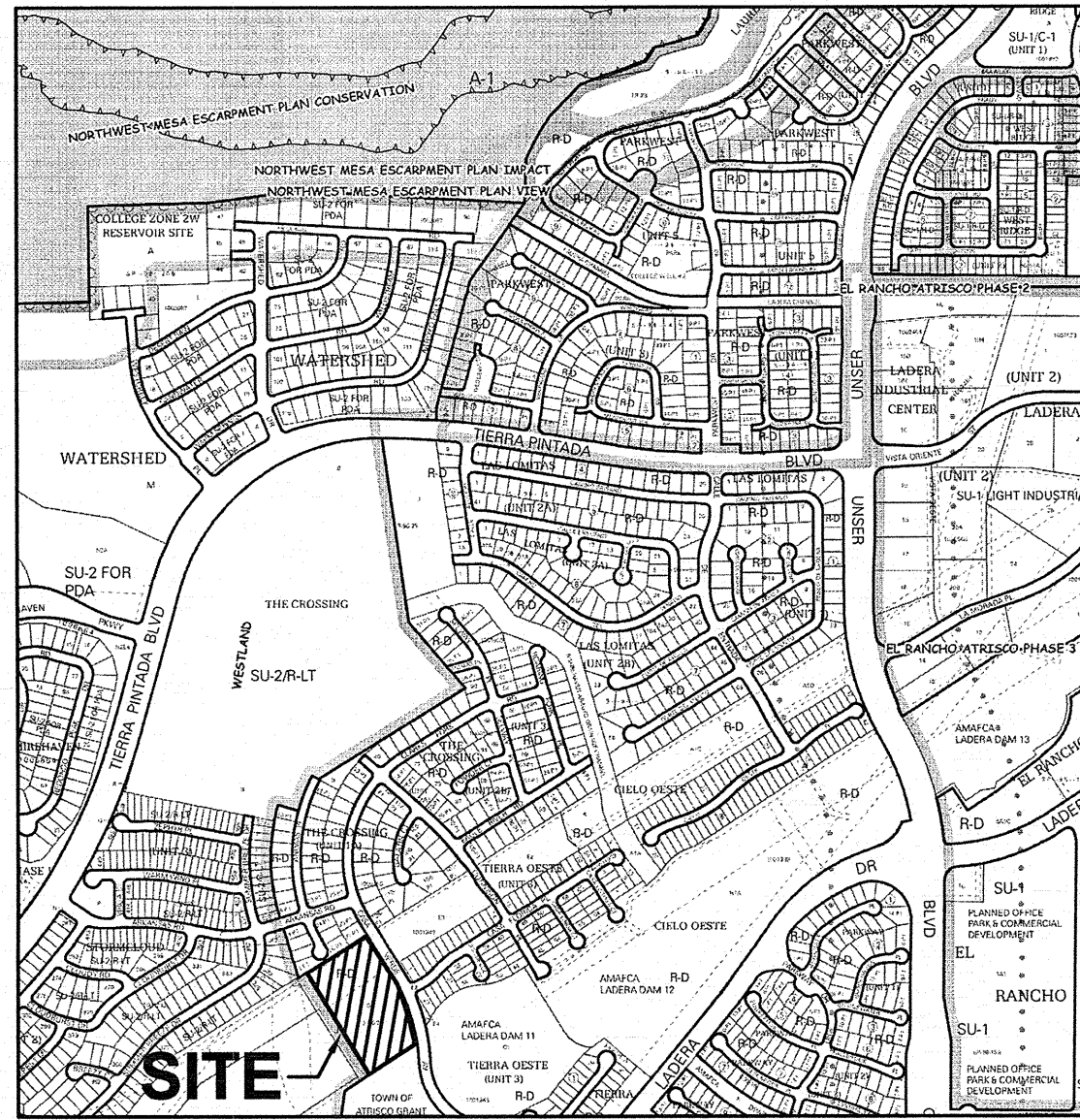
FIRST FLUSH CALCULATIONS:

APPROXIMATE IMPERVIOUS PAVED AREA: 5,886 SF  
\*RAINFALL DEPTH ACROSS PAVED AREA = 0.34"  
VOLUME REQUIRED: 167 CF  
VOLUME PROVIDED: 630 CF  
\*INITIAL ABSTRACTION OF 0.1" WAS USED FOR PAVED AREAS PER DPM CHAPTER 22, TABLE A-7.

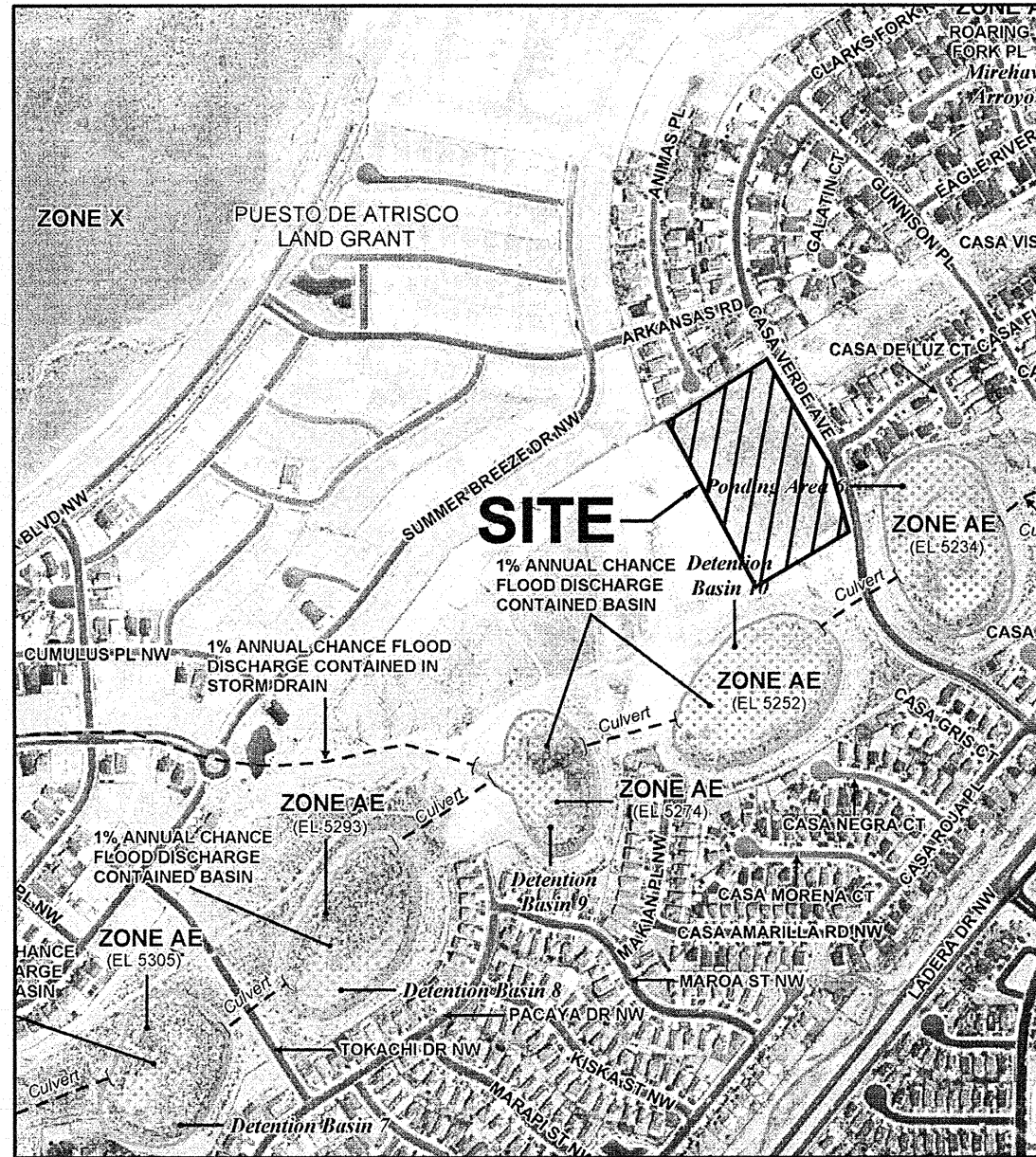
THERE WERE MANY CONTRIBUTING FACTORS THAT LIMITED THE VOLUME THAT COULD BE INCORPORATED INTO THE SITE DESIGN. THE SITE IS A PARK WITH VAST GRASS FIELDS AND PLAYAREAS. BETWEEN THE LARGE GRASS FIELDS ARE MINOR STRIPS OF SIDEWALK. LARGE GRASS FIELDS DOWNSTREAM OF THE SIDEWALKS WILL ABSORB THE FIRST FLUSH COMPONENT FROM THE IMPERVIOUS SIDEWALK AREAS. THE PLAY AREA SURFACE WILL BE A 14" DEEP SECTION OF FIBAR MULCH THAT WILL RETAIN THE FIRST FLUSH COMPONENT. THIS DESIGN MAXIMIZED THE FIRST FLUSH DISCHARGE TO FULLY RETAIN THE FLOW FROM THE PARKING LOT AREA.

CONCLUSION:

THE PEAK DISCHARGE FROM THE SITE IS 13.31 CFS WHICH IS LESS THAN THE ALLOWABLE PEAK DISCHARGE RATE. THEREFORE WE ARE IN CONFORMANCE WITH CITY OF ALBUQUERQUE HYDROLOGY REQUIREMENTS AND REQUEST GRADING & PAVING PERMIT APPROVAL.



ZONE ATLAS MAP H-09



FEMA FIRM MAP # 35001C0326H

SHAWN MCWETHY PARK											
Proposed Developed Conditions Basin Data Table											
This table is based on the DPM Section 22.2, Zone: 1											
Basin ID	Area	Area	Land Treatment Percentages				Q(100yr)	Q(100yr)	V(100yr)	V <sub>(100yr-6hr)</sub>	V <sub>(100yr-24hr)</sub>
	(SQ. FT)	(AC.)	A	B	C	D	(cfs/ac.)	(CFS)	(inches)	(CF)	(CF)
PROPOSED ONSITE BASINS											
B1	21674	0.50	0.0%	11.0%	85.5%	3.5%	2.83	1.41	0.99	1786	1816
B2	72833	1.67	0.0%	78.0%	17.0%	5.0%	2.29	3.83	0.79	4791	4931
B3	52428	1.20	0.0%	78.0%	12.0%	10.0%	2.36	2.85	0.84	3663	3864
B4	30941	0.71	0.0%	9.0%	67.5%	23.5%	3.15	2.24	1.19	3072	3351
B5	12248	0.28	0.0%	12.0%	60.0%	28.0%	3.19	0.90	1.23	1251	1383
B6	8063	0.19	0.0%	0.0%	27.0%	73.0%	3.97	0.73	1.71	1146	1372
B7	24357	0.56	0.0%	58.0%	38.5%	3.5%	2.44	1.36	0.84	1702	1735
TOTAL	222544	5.11	-	-	-	-	-	13.31	-	17412	18451

Bohannon & Huston  
www.bhinc.com

800.877.5332

MRWM  
LANDSCAPE ARCHITECTS  
Morrow Reardon Wilkinson Miller, Ltd.  
mrwmia.com 505.268.2266



CITY OF ALBUQUERQUE  
STRATEGIC PLANNING AND DESIGN  
PARKS AND RECREATION DEPARTMENT

SHAWN MCWETHY PARK  
DRAINAGE MANAGEMENT PLAN

Design Review Committee

City Engineer Approval

Last Design Update

Mo./Day/Yr. Mo./Day/Yr.

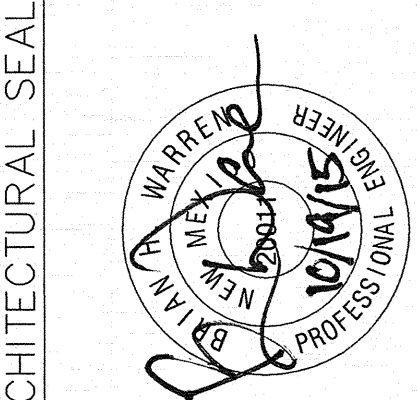
City Project No.  
671591

Zone Map No.  
H9

Sheet  
DMP-01

AS-BUILT INFORMATION			
CONTRACTOR	DATE	INSPECTOR'S NAME	DATE
STAMPED BY	DATE	FIELD VERIFICATION BY	DATE
REVISIONS	DATE	REVISIONS	DATE
MICRO-FILM INFORMATION			
RECORDED BY	DATE	NO.	DATE

SURVEY INFORMATION		FIELD NOTES	
NO.	BY	DATE	



REVISIONS		REMARKS	
NO.	DATE	BY	
DESIGNED BY:	BHW	DATE	06/2015
DRAWN BY:	BHW	DATE	06/2015
CHECKED BY:	MJB	DATE	10/2015

100% SUBMITTAL FOR REVIEW  
DATE: OCTOBER 19, 2015

SHAWN MCWETHY PARK

PROJECT# 671591

RECORD DRAWINGS  
DATE: \_\_/\_\_/2015