

GENERAL NOTES

SEE SHEET C0.1 FOR GENERAL CIVIL NOTES

DRAINAGE DISCUSSION

LOCATION AND DESCRIPTION

The existing 1.31 acre site, located on the south side of Los Volcanes Road NW just west of Coors Blvd. in the Atrisco Business Park. The site is currently developed as a APD Substation.

The proposed modifications to the site will remove a small concrete patio and build a 1250 square foot building addition in it's place. The proposed footprint is approximately 282 square feet larger than the patio it is replacing. The modifications to the sidewalks and wheelchair ramps are replacing existing concrete sidewalks so there is no increase in impervious area.

HYDROLOGY

The hydrology for this project was analyzed using the City of Albuquerque Quick Calculation Method shown in the June 1997 release of the Development Process Manual.

PRECIPITATION

The site lies within Zone 1 Precipitation Area as identified in the City of Albuquerque Development Process Manual, Section 22.2. Therefore, the Tables within this section was used to establish the peak discharge and excess precipitation.

Since the site lies within the Atrisco Business Park, the master drainage plan has designated that this site provide retention ponding for a 100-year, 6-hour storm. To assure the additional impervious area does not create a problem, this report also analyzed the existing pond for a 100-year, 24-hour storm event with the proposed conditions.

FLOODPLAIN

The site, located on FEMA Panel 35001C0328D effective 9/20/1996, is adjacent to a Zone AE (EL 5101). The building finish floor elevation is set One-foot above the flood elevation.

EXISTING DRAINAGE

The site is bounded on the north by the Los Volcanes Road NW. The developed property to the west has directed runoff away from this site. The undeveloped land to the east drains toward the south by existing grades so there is no impact to this zone from the adjacent land.

This site drains to the south, via surface flow, into an existing retention pond. Runoff from north of the building is routed around the building to the existing parking lots. All runoff then flow south into an existing retention pond that was sized to handle a 100-year, 6-hour storm event per the Atrisco Business Park master drainage plan.

PROPOSED CONDITIONS

The proposed construction includes removal of about 900 square feet of concrete patio and sidewalks that will be replaced with a 1250 square foot building addition in it's place. Other proposed construction includes replacing existing sidewalks and updating the wheelchair ramps to current standards.

There is no proposed change to the stormwater routing and only a minor 0.01cfs increase is peak discharge. The additional impervious area proposed will increase the runoff volume by 73 cubic feet or .56 %. The calculations included show that the increased stormwater runoff will still be contained in the existing retention pond. We also investigated the 100-year, 24-hour runoff and found that the runoff will still be contained onsite but will inundate about 70 feet of paved parking lot on the south end of the site.

Due to the minor change is stormwater runoff amount and the runoff can be contained in the existing pond, there is no negative impact to this site or adjacent sites from the proposed construction.

STORM WATER DISCHARGE

Since the total anticipated disturbed area for the proposed construction is about 0.12 acres, well below the 1 acre limit requiring a SWPPP.

ISSUES & REVISIONS			
REV. #	DATE	DESCRIPTION	CHECK

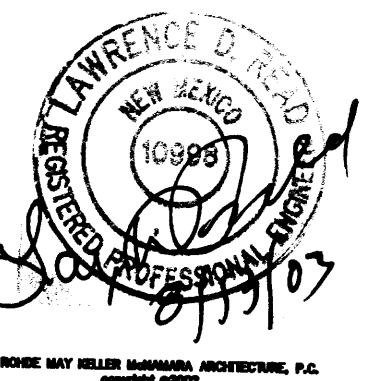
PROJECT
City of Albuquerque Police Department
Shawn McWethy- Westside Area
Command Headquarters

6404 Los Volcanes Rd NW
Albuquerque NM, 87121-8411

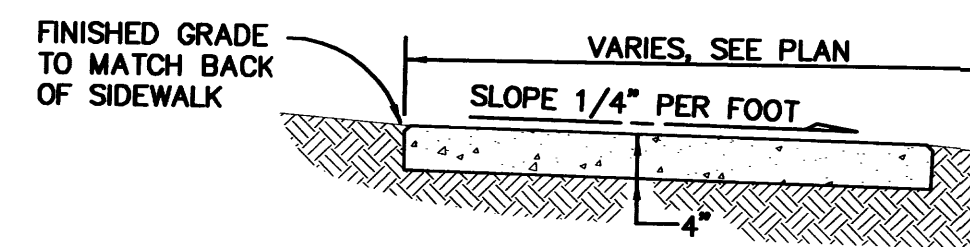
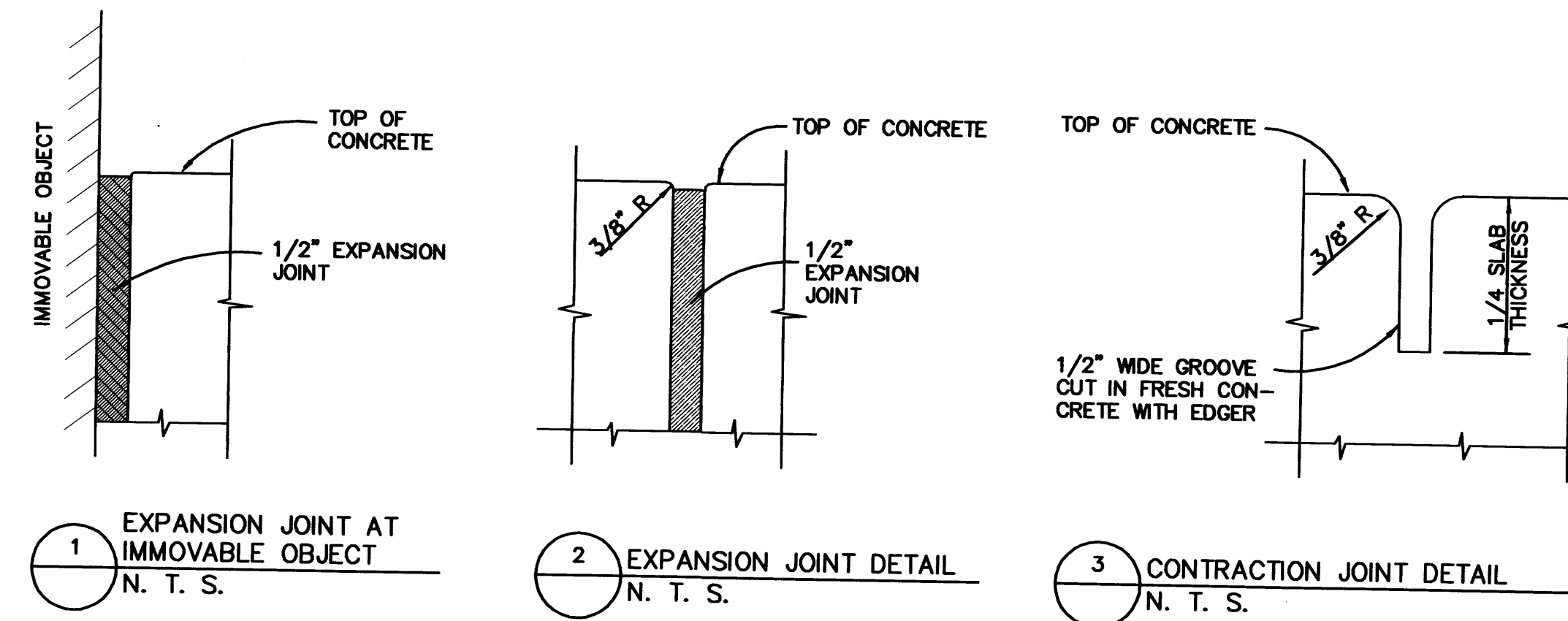
SHEET TITLE

GRADING PLAN

SHEET NUMBER



C1.0

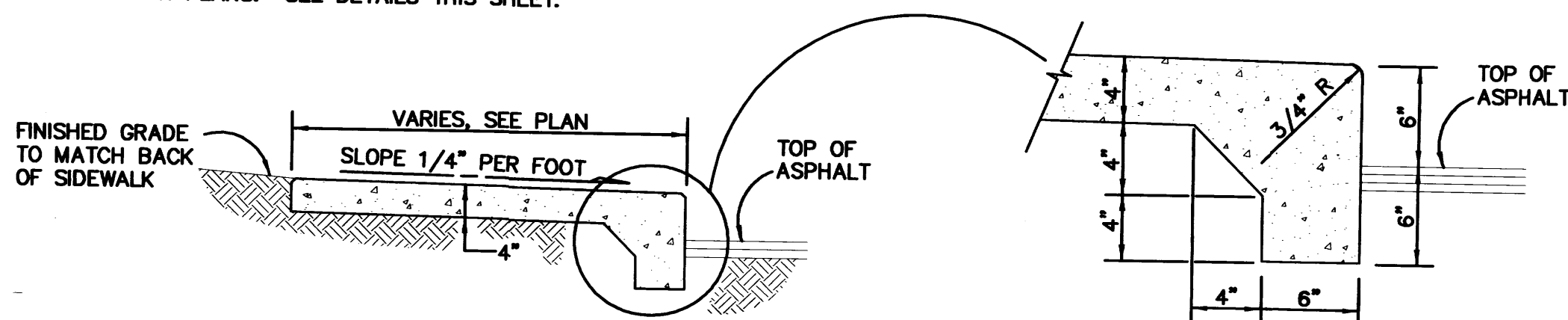


CONSTRUCTION NOTES:

1. A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AND SHALL SLOPE TOWARDS THE DIRECTION OF THE DRAINAGE AREA.
2. CONCRETE WALKS SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS. 1/2" EXPANSION JOINTS SHALL BE INSTALLED EVERY 36', UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAILS THIS SHEET.

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3. 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE WALKS ABUT RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.



100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR PRECIPITATION				Q (cfs)
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (cu-ft)	V (6-hr) (cu-ft)	V(10 day) (acre-ft)	V(10 day) (cu-ft)	
EXISTING CONDITIONS											
ON-SITE	1.3100	0.00	0.00	29.35	70.65	1.68	0.18	8,000	0.30	12,939	5.15
TOTAL RUNOFF	1.31						0.18	8000	0.30	12939	5.15
PROPOSED CONDITIONS											
ON-SITE	1.3100	0.00	0.00	28.72	71.28	1.69	0.18	8,030	0.30	13,012	5.16
TOTAL RUNOFF	1.31						0.18	8030	0.30	13012	5.16
EXCESS PRECIP.		0.44	0.67	0.99	1.97	E (in)					
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Q _{in} (cfs)					

$$\text{WEIGHTED E (in)} = (E_A)(\%A) + (E_B)(\%B) + (E_C)(\%C) + (E_D)(\%D)$$
$$V_{6hr} \text{ (acre-ft)} = \text{WEIGHTED E (AREA)} / 12$$
$$V_{10day} \text{ (acre-ft)} = V_{6hr} + (A_0)(P_{10day} - P_{6hr}) / 12$$
$$Q \text{ (cfs)} = (Q_{6hr} / A_A) + (Q_{6hr} / A_B) + (Q_{6hr} / A_C) + (Q_{6hr} / A_D)$$

ZONE = 1

$$P_{6hr} \text{ (in)} = 2.20$$
$$P_{6hr} \text{ (in)} = 2.66$$
$$P_{10day} \text{ (in)} = 3.67$$

WEIGHTED E (in) = (E_A)(%A) + (E_B)(%B) + (E_C)(%C) + (E_D)(%D)
V_{6hr} (acre-ft) = (WEIGHTED E)(AREA)/12
V_{10day} (acre-ft) = V_{6hr} + (A_{imp})(P_{10day} - P_{6hr})/12
Q (cfs) = (Q_{max})(A_{imp}) + (Q_{max})(A_{imp}) + (Q_{max})(A_{imp}) + (Q_{max})(A_{imp})

ZONE = 1
P_{6hr} (in) = 2.20
P_{24hr} (in) = 2.66
P_{10day} (in) = 3.67

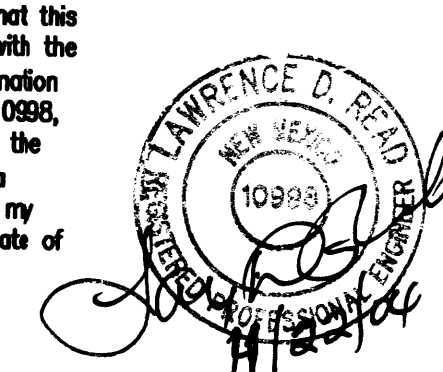
DRAINAGE CERTIFICATION

I, Larry D. Read, NMPE 10998, of the firm Larry Read & Associates, Inc., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan Engineer's Stamp dated 8/13/2003. The record information edited onto the original design document has been obtained by Larry D. Read, Jr., NMPE 10998, with the firm Larry Read & Associates, Inc. I further certify that I have personally visited the project site on 11/22/2004 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a Certificate of Occupancy.

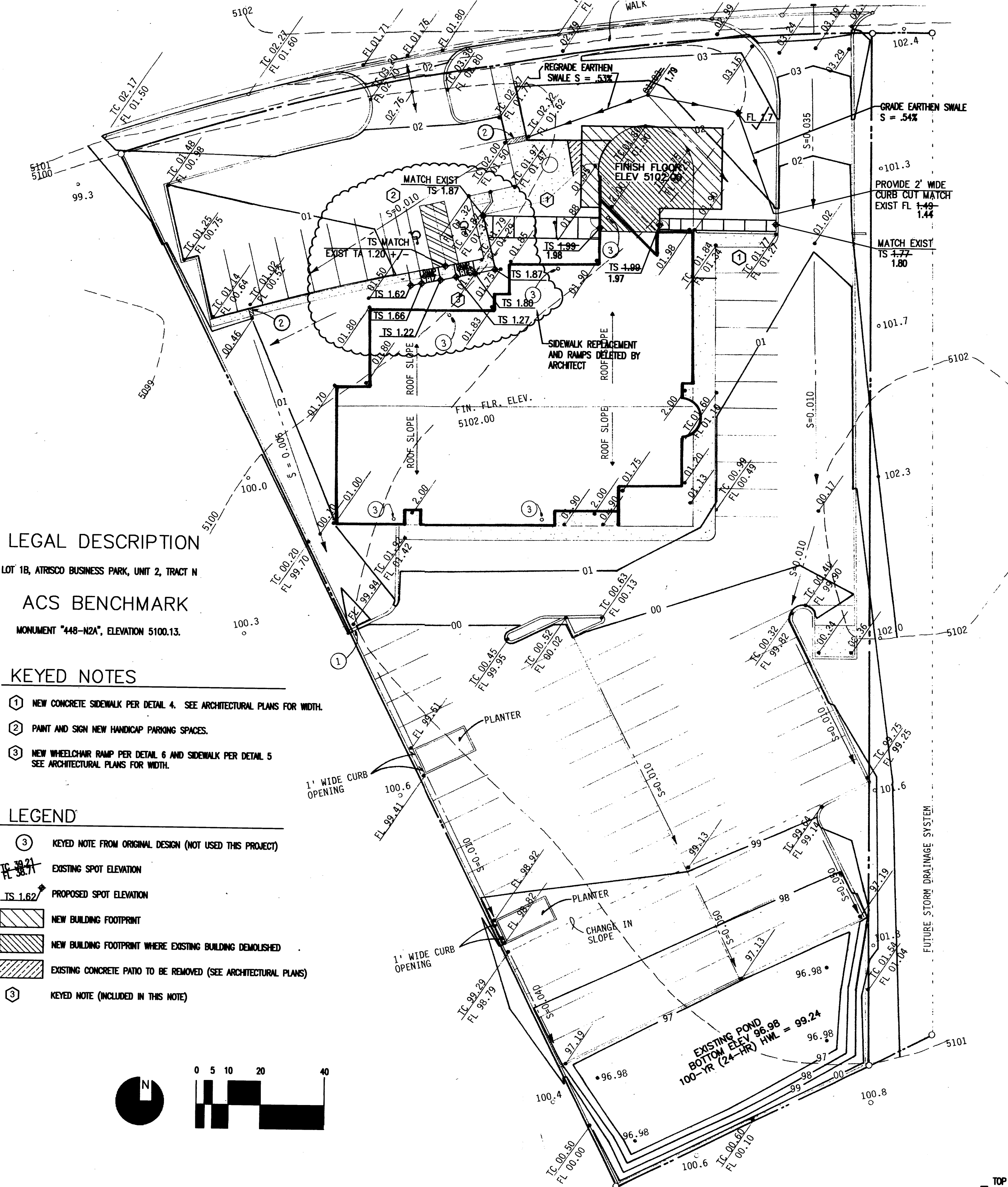
Exceptions: None.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the Grading and Drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP			
TITLE:		MO./DAY/YR.	
Design Review Committee	City Engineer Approval	MO./DAY/YR.	MO./DAY/YR.
City Project No.	Zone Map No.	Sheet	of #
6759.01	J-10-Z		



Read
11/23/04



LEGAL DESCRIPTION

LOT 1B, ATRISCO BUSINESS PARK, UNIT 2, TRACT N

ACS BENCHMARK

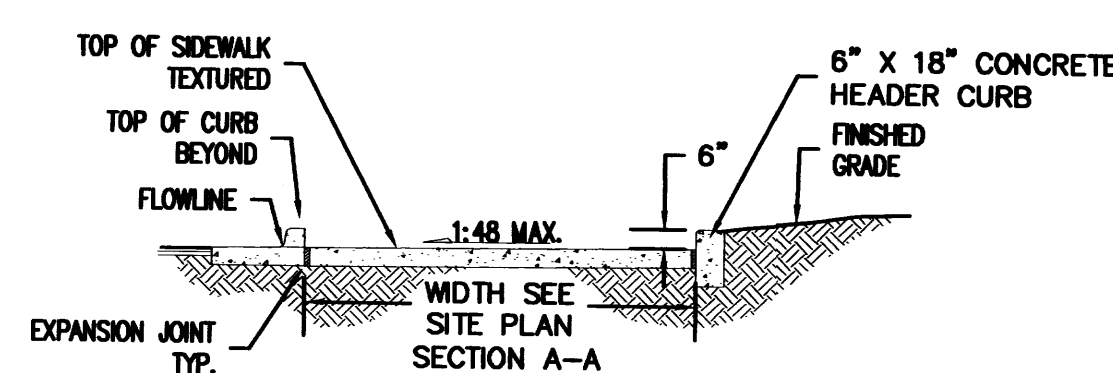
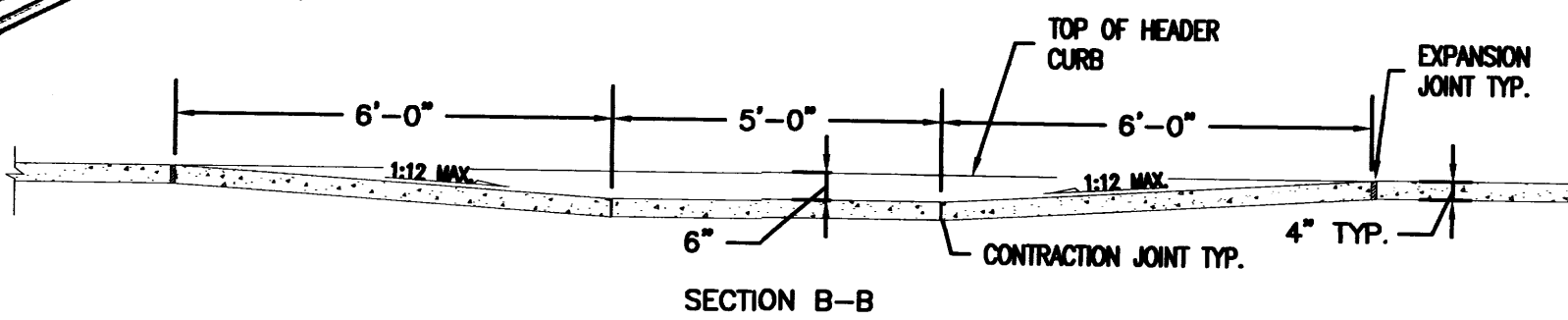
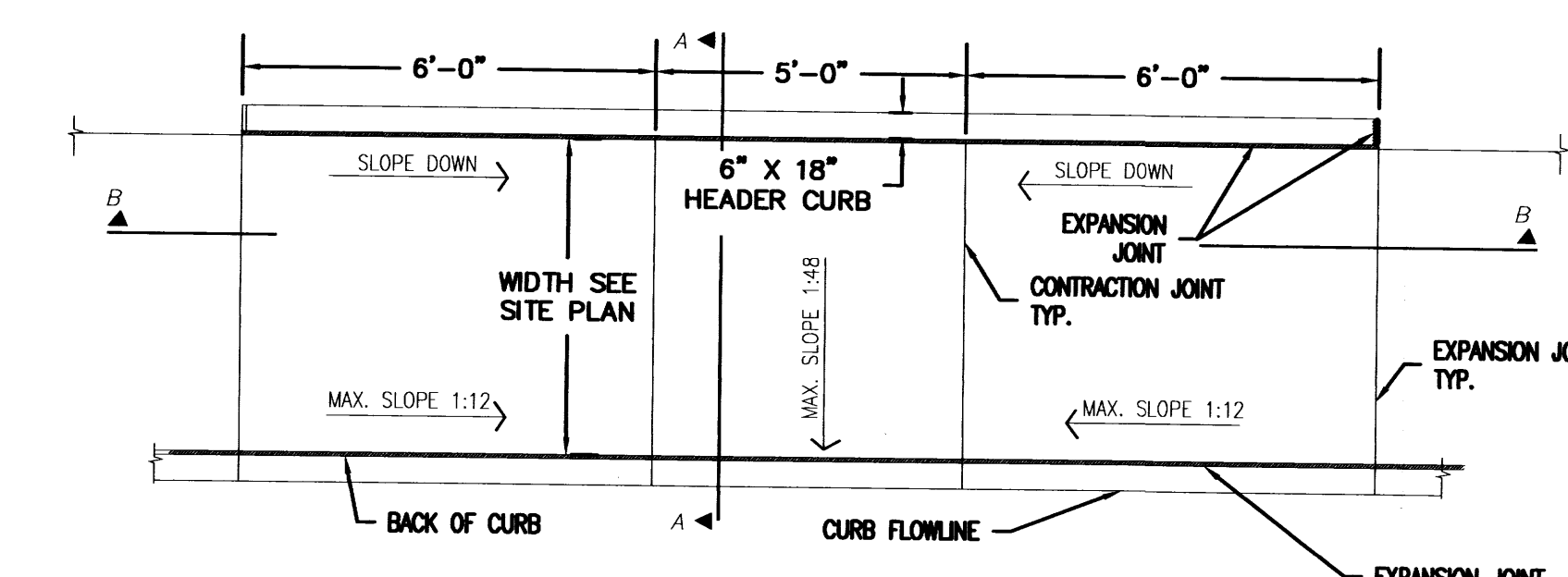
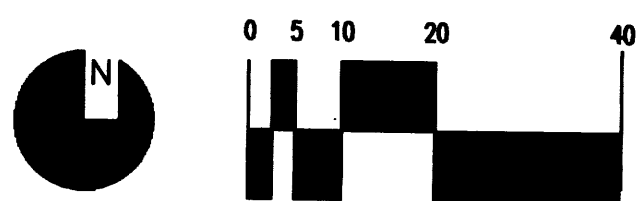
MONUMENT "448-N2A", ELEVATION 5100.13.

KEYED NOTES

1. NEW CONCRETE SIDEWALK PER DETAIL 4. SEE ARCHITECTURAL PLANS FOR WIDTH.
2. PAINT AND SIGN NEW HANDICAP PARKING SPACES.
3. NEW WHEELCHAIR RAMP PER DETAIL 6 AND SIDEWALK PER DETAIL 5 SEE ARCHITECTURAL PLANS FOR WIDTH.

LEGEND

1. KEYED NOTE FROM ORIGINAL DESIGN (NOT USED THIS PROJECT)
2. EXISTING SPOT ELEVATION
3. PROPOSED SPOT ELEVATION
4. NEW BUILDING FOOTPRINT
5. NEW BUILDING FOOTPRINT WHERE EXISTING BUILDING DEMOLISHED
6. EXISTING CONCRETE PATIO TO BE REMOVED (SEE ARCHITECTURAL PLANS)
7. KEYED NOTE (INCLUDED IN THIS NOTE)



CONSTRUCTION NOTES:

1. ALL CONCRETE SHALL BE 4000 PSI (28 DAY) CONCRETE
2. PROVIDE A TEXTURED SURFACE ON RAMP IN ACCORDANCE WITH ADA and ANSI.

GENERAL CONSTRUCTION NOTES

GENERAL

CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED CONSTRUCTION PERMITS, INCLUDING A TOP SOIL DISTURBANCE PERMIT, PRIOR TO START OF CONSTRUCTION.

ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, ORDINANCES, AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.

REFERENCES MADE TO STANDARD SPECIFICATIONS AND STANDARD DRAWINGS REFER TO THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1986 EDITION WITH ALL UPDATES.

THE CONTRACTOR SHALL NOT INSTALL ITEMS AS SHOWN ON THESE PLANS WHEN IT IS OBVIOUS THAT FIELD CONDITIONS ARE DIFFERENT THAN SHOWN IN THE PLANS. SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN A TIMELY MANNER. IN THE EVENT THE CONTRACTOR DOES NOT NOTIFY THE ENGINEER IN A TIMELY MANNER, THE CONTRACTOR ASSUMES FULL RESPONSIBILITY AND EXPENSE FOR ANY REVISIONS NECESSARY, INCLUDING ENGINEERING DESIGN FEES.

EXISTING SITE IMPROVEMENTS WHICH ARE DAMAGED OR DISPLACED BY THE CONTRACTOR SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE. REPAIRS SHALL BE APPROVED BY THE OWNER PRIOR TO CONSTRUCTION OF THE REPAIRS. REPAIRS SHALL BE ACCEPTED BY THE OWNER PRIOR TO FINAL PAYMENT.

EXISTING FENCING THAT IS NOT DESIGNATED FOR REMOVAL SHALL NOT BE DISTURBED. ANY FENCING THAT IS DISTURBED OR ALTERED BY THE CONTRACTOR SHALL BE RESTORED TO ITS ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE. IF THE CONTRACTOR DESIRES TO REMOVE FENCING TO ACCOMMODATE CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL OBTAIN THE OWNER'S WRITTEN PERMISSION BEFORE THE FENCE IS REMOVED. CONTRACTOR SHALL RESTORE THE FENCE TO ITS ORIGINAL CONDITION AT THE EARLIEST OPPORTUNITY. WHILE ANY FENCING IS REMOVED, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SECURITY OF THE SITE UNTIL THE FENCE IS RESTORED.

WORK WITHIN ADJACENT RIGHT-OF-WAY

PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES WITHIN ADJACENT RIGHT-OF-WAYS OR WITHIN PROPERTY NOT OWNED BY THE OWNER OF THE PROJECT SITE, THE CONTRACTOR SHALL ASSURE THAT ALL PERMITS AND PERMISSIONS REQUIRED HAVE BEEN OBTAINED IN WRITING.

SURVEY MONUMENTS, PROPERTY CORNERS, BENCHMARKS

THE CONTRACTOR SHALL NOTIFY THE OWNER AT LEAST SEVEN DAYS BEFORE BEGINNING ANY CONSTRUCTION ACTIVITY THAT COULD DAMAGE OR DISPLACE SURVEY MONUMENTS, PROPERTY CORNERS, OR PROJECT BENCHMARKS SO THESE ITEMS MAY BE RELOCATED.

ANY SURVEY MONUMENTS, PROPERTY CORNERS, OR BENCHMARKS THAT ARE NOT IDENTIFIED FOR RELOCATION ARE THE RESPONSIBILITY OF THE CONTRACTOR TO PRESERVE AND PROTECT. RELOCATION OR REPLACEMENT OF THESE ITEMS SHALL BE DONE BY THE OWNER'S SURVEYOR AT THE EXPENSE OF THE CONTRACTOR.

DIMENSIONS

ALL DIMENSIONS TO CURBS ARE TO THE FLOWLINE UNLESS OTHERWISE NOTED.

ALL STATIONING IS TO THE CENTERLINE OF THE RIGHT-OF-WAY UNLESS OTHERWISE NOTED.

ALL SLOPES AND GRADES ARE IN PERCENT UNLESS OTHERWISE NOTED.

CURB ELEVATIONS ARE SHOWN AT THE FLOW LINE UNLESS OTHERWISE NOTED. SEE THE DETAIL SHEET TO DETERMINE THE CURB HEIGHT ABOVE FLOW LINE.

SOILS

UNLESS OTHERWISE SPECIFIED, SUBGRADE, ENGINEERED FILL, AND STRUCTURAL FILL SHALL BE COMPACTED TO THE FOLLOWING SPECIFICATIONS OF THE ASTM D-1557 MAXIMUM DRY DENSITY.

MATERIAL/LOCATION	PERCENT COMPACTION
STRUCTURAL FILL IN THE BUILDING AREA	95%
SUBBASE FOR SLAB SUPPORT	95%
MISCELLANEOUS BACKFILL BELOW STRUCTURAL FILL OR ROADWAY PAVEMENT	95%
MISCELLANEOUS BACKFILL BELOW UNPAVED, NON-BUILDING AREAS	90%
ROADWAY PAVEMENT SUBGRADE	95%
SIDEWALK SUBGRADE	90%
CURB AND GUTTER SUBGRADE	95%

PAVEMENT

WHEN ABUTTING NEW PAVEMENT TO EXISTING PAVEMENT, CUT EXISTING PAVEMENT EDGE TO A NEAT, STRAIGHT LINE AS NECESSARY TO REMOVE ANY BROKEN OR CRACKED PAVEMENT AND MATCH NEW PAVEMENT ELEVATION TO EXISTING.

ALL UTILITIES AND UTILITY SERVICE LINES SHALL BE INSTALLED AND APPROVED PRIOR TO PAVING.

ALL WATER VALVE BOXES AND ELECTRICAL, TELEPHONE, TELEVISION, AND SEWER MANHOLES IN THE CONSTRUCTION AREA SHALL BE ADJUSTED TO FINISHED GRADE BEFORE PAVING.

WHEN SIDEWALK OR CURB AND GUTTER IS REMOVED, IT SHALL BE REMOVED TO EXISTING CONSTRUCTION JOINTS. CUTTING OR BREAKING SHALL NOT BE ALLOWED.

UTILITIES

IF ANY UTILITY LINES, PIPELINES, OR UNDERGROUND UTILITY LINES ARE SHOWN ON THESE DRAWINGS, THEY ARE SHOWN IN AN APPROXIMATE LOCATION ONLY BASED ON THE INFORMATION PROVIDED TO THE ENGINEER BY OTHERS. THIS INFORMATION MAY BE INACCURATE OR INCOMPLETE. ADDITIONALLY, UNDERGROUND LINES MAY EXIST THAT ARE NOT SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK IN ACCORDANCE WITH CHAPTER 62, ARTICLE 14-1, THROUGH 14-8, NMSA 1978.

THE CONTRACTOR SHALL CONTACT THE STATEWIDE UTILITY LOCATOR SERVICE AT 1-800-321-2537 AT LEAST TWO WORKING DAYS BEFORE BEGINNING CONSTRUCTION. AFTER THE UTILITIES ARE SPOTTED, THE CONTRACTOR SHALL EXPOSE ALL PERTINENT UTILITIES TO VERIFY THEIR VERTICAL AND HORIZONTAL LOCATION. IF A CONFLICT EXISTS BETWEEN EXISTING UTILITIES AND PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH MINIMAL DELAY.

THE CONTRACTOR SHALL EXERCISE DUE CARE TO AVOID DISTURBING ANY EXISTING UTILITIES, ABOVE OR BELOW GROUND. UTILITIES THAT ARE DAMAGED BY CARELESS CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

EXISTING VALVES SHALL ONLY BE OPERATED BY THE UTILITY COMPANY. CONTRACTOR SHALL NOTIFY THE UTILITY A MINIMUM OF TWO WORKING DAYS BEFORE ANY VALVE, NEW OR EXISTING, NEEDS TO BE OPERATED.

THE CONTRACTOR SHALL COORDINATE ANY REQUIRED UTILITY INTERRUPTIONS WITH THE OWNER AND AFFECTED UTILITY COMPANY A MINIMUM OF THREE WORKING DAYS BEFORE THE INTERRUPTION.

THE CONTRACTOR SHALL MAINTAIN A RECORD DRAWING SET OF PLANS AND PROMPTLY LOCATE ALL UTILITIES, EXISTING OR NEW, IN THEIR CORRECT LOCATION, HORIZONTAL AND VERTICAL. THIS RECORD SET OF DRAWINGS SHALL BE MAINTAINED ON THE PROJECT SITE AND SHALL BE AVAILABLE TO THE OWNER AND ENGINEER AT ANY TIME DURING CONSTRUCTION.

EROSION CONTROL, ENVIRONMENTAL PROTECTION, AND STORM WATER POLLUTION PREVENTION PLAN

THE CONTRACTOR SHALL CONFORM TO ALL CITY, COUNTY, STATE, AND FEDERAL DUST AND EROSION CONTROL REGULATIONS. THE CONTRACTOR SHALL OBTAIN AND PREPARE ANY DUST CONTROL OR EROSION CONTROL PERMITS REQUIRED FROM THE REGULATORY AGENCIES.

THE CONTRACTOR SHALL PROMPTLY REMOVE ANY MATERIAL EXCAVATED WITH THE PUBLIC RIGHT-OF-WAY OR ADJACENT PROPERTY TO KEEP IT FROM WASHING OFF THE PROJECT SITE.

THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY BY CONSTRUCTION OF TEMPORARY EROSION CONTROL BERMS OR INSTALLING SILT FENCES AT THE PROPERTY LINES AND WETTING THE SOIL TO PREVENT IT FROM BLOWING.

WATERING, AS REQUIRED FOR CONSTRUCTION DUST CONTROL, SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION AND NO MEASUREMENT OR PAYMENT SHALL BE MADE. CONSTRUCTION AREAS SHALL BE WATERED FOR DUST CONTROL IN COMPLIANCE WITH GOVERNMENT ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND SUPPLYING WATER AS REQUIRED.

ANY AREAS DISTURBED BY CONSTRUCTION AND NOT COVERED BY LANDSCAPING OR IMPERVIOUS SURFACES SHALL BE REVEGETATED WITH RECLAMATION SEEDING. ALL SLOPES, UNLESS OTHERWISE NOTED SHALL BE 3:1 OR FLATTER.

THE CONTRACTOR SHALL PROPERLY HANDLE AND DISPOSE OF ALL ASPHALT REMOVED ON THE PROJECT BY HAULING IT TO AN APPROVED DISPOSAL SITE IN ACCORDANCE WITH THE REQUIREMENTS OF THE NEW MEXICO SOLID WASTE ACT.

ALL WASTE PRODUCTS FROM THE CONSTRUCTION SITE, INCLUDING ITEMS DESIGNED FOR REMOVAL, CONSTRUCTION WASTE, CONSTRUCTION EQUIPMENT WASTE PRODUCTS (OIL, GAS, TIRES, ETC.), GARBAGE, GRUBBING, EXCESS CUT MATERIAL, VEGETATIVE DEBRIS, ETC., SHALL BE APPROPRIATELY DISPOSED OF OFFSET AT NO ADDITIONAL COST TO THE OWNER. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ANY PERMITS REQUIRED FOR HAUL OR DISPOSAL OF WASTE PRODUCTS, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE WASTE DISPOSAL SITE COMPLIES WITH GOVERNMENT REGULATIONS REGARDING THE ENVIRONMENT, ENDANGERED SPECIES, AND ARCHAEOLOGICAL RESOURCES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANUP AND REPORTING OF SPILLS OF HAZARDOUS MATERIALS ASSOCIATED WITH THE CONSTRUCTION SITE. HAZARDOUS MATERIALS INCLUDE GASOLINE, DIESEL FUEL, MOTOR OIL, SOLVENTS, CHEMICALS, PAINT, ETC. WHICH MAY BE A THREAT TO THE ENVIRONMENT. THE CONTRACTOR SHALL REPORT THE DISCOVERY OF PAST OR PRESENT SPILLS TO THE NEW MEXICO EMERGENCY RESPONSE AT 1-800-219-6157.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING SURFACE AND UNDERGROUND WATER. CONTACT WITH SURFACE WATER BY CONSTRUCTION EQUIPMENT AND PERSONNEL SHALL BE MINIMIZED. EQUIPMENT MAINTENANCE AND REFUELING OPERATIONS SHALL BE PERFORMED IN AN ENVIRONMENTALLY SAFE MANNER IN COMPLIANCE WITH GOVERNMENT REGULATIONS.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE REGULATIONS CONCERNING CONSTRUCTION NOISE AND HOURS OF OPERATION.

ACCESSIBLE FACILITIES

ALL SURFACES ALONG ACCESSIBLE ROUTES AND FOR HANDICAP RAMPS SHALL BE STABLE FIRM, SLIDE RESISTANT AND SHALL COMPLY WITH UNIFORM FEDERAL ACCESSIBILITY STANDARDS, PARAGRAPH 4.5.

LONGITUDINAL SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS, EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:20. CROSS SLOPES ALONG ACCESSIBLE ROUTE SIDEWALKS EXCEPT AT HANDICAP RAMPS, SHALL NOT BE STEEPER THAN 1:48. SLOPES IN ACCESSIBLE PARKING SPACES, ACCESS AISLS, AND PASSENGER LOADING ZONES SHALL NOT BE STEEPER THAN 1:48 IN ALL DIRECTIONS.

THE SITE SHALL COMPLY WITH ANSI A117.1-1992, "ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES".

TRAFFIC CONTROL

THE CONTRACTOR SHALL PROVIDE ALL REQUIRED TRAFFIC CONTROL PLANS. ALL SIGNS, BARRICADES, CHANNELIZATION DEVICES, SIGN FRAMES AND ERECTION OF SUCH DEVICES SHALL CONFORM TO THE REQUIREMENTS OF "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" LATEST EDITION. PRIOR TO CONSTRUCTION, TRAFFIC CONTROL PLANS SHALL BE APPROVED BY THE GOVERNING AUTHORITY.

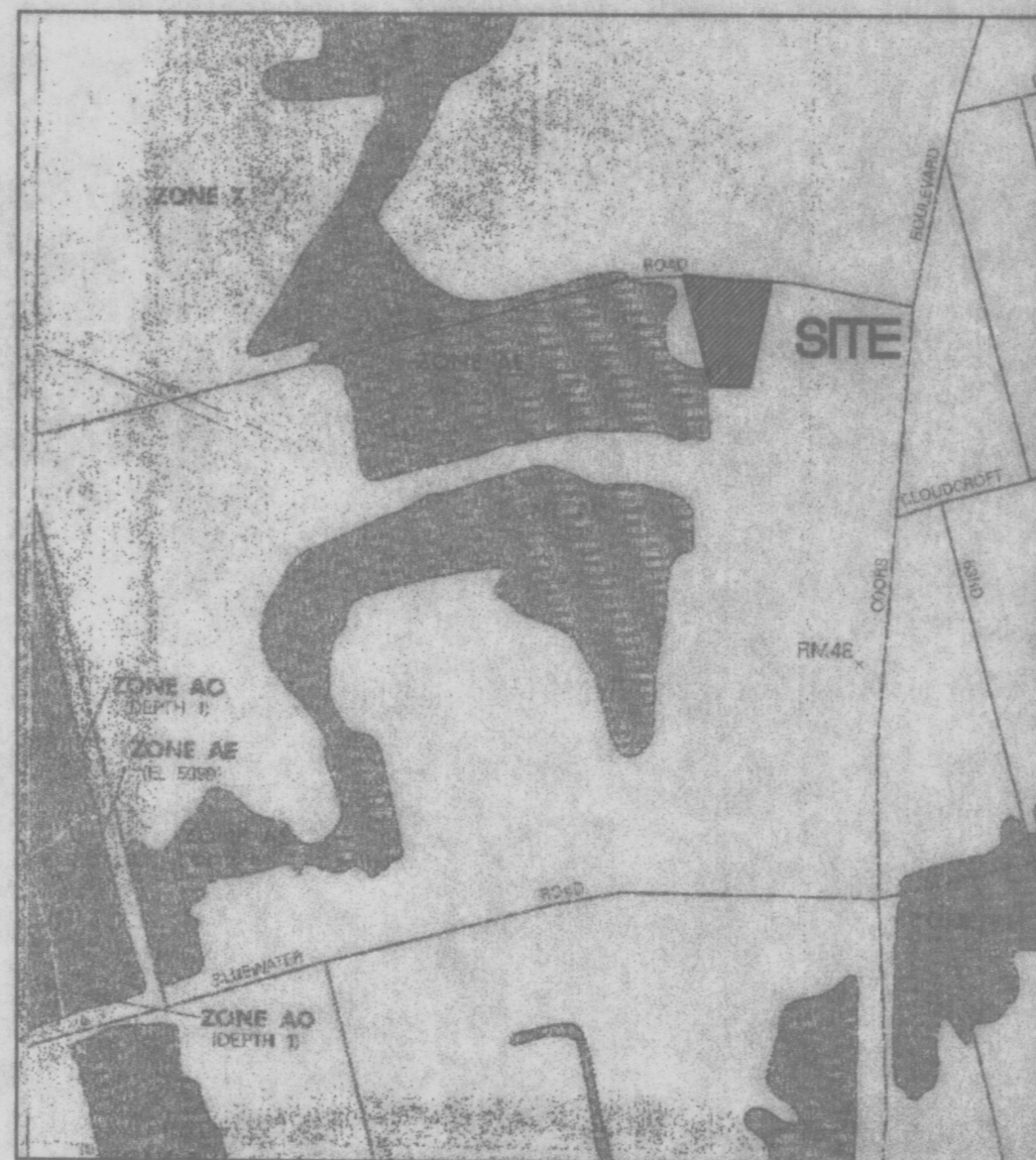
ROHDE MAY KELLER McNAMARA ARCHITECTURE

PROFESSIONAL CORPORATION

400 Gold Avenue, SW Studio 1100 Santa Tower Albuquerque, New Mexico 87102 USA Tel. 505 243 5454



VICINITY MAP J-10



FLOODPLAIN MAP PANEL 329

LARRY READ & ASSOCIATES

Civil Engineers

4800-C Juan Tabo, NE
Albuquerque, New Mexico 87111
(505) 237-8421

ABBREVIATIONS

AD = AREA DRAIN	ELEC. = ELECTRIC	NG = NATURAL GROUND	SW = SIDEWALK
BLDG = BUILDING	ELEV = ELEVATION	OE = OVERHEAD ELECTRIC LINE	T = TELEPHONE
BM = BENCHMARK	EX = EXISTING	OT = OVERHEAD TELEPHONE LINE	TA = TOP OF ASPHALT PAVEMENT
CATV = CABLE TELEVISION LINE	FF = FINISHED FLOOR ELEVATION	PCC = PORTLAND CEMENT CONCRETE	TAC = TOP OF ASPHALT CURB
CIP = CAST IRON PIPE	FG = FINISHED GRADE	PG = PLAYGROUND GRADE	TC = TOP OF CONCRETE SLAB (PAVEMENT)
CMP = CORRUGATED METAL PIPE	FH = FIRE HYDRANT	PP = POWER POLE	TCC = TOP OF CONCRETE CURB
CMPA = CORRUGATED METAL PIPE ARCH	FL = FLOW LINE	PROP = PROPOSED	TG = TOP OF GRATE
CO = CLEANOUT	G = GAS PIPE	PVC = POLYVINYL CHLORIDE PIPE	TS = TOP OF SIDEWALK
COA = CITY OF ALBUQUERQUE	GM = GAS METER	RCP = REINFORCED CONCRETE PIPE	TW = TOP OF WALL
CONC = CONCRETE	GV = GATE VALVE	RD = ROOF DRAIN	TYP = TYPICAL
CL = CENTERLINE	HI PT = HIGH POINT	R/W = RIGHT-OF-WAY	TB = TELEPHONE BOX
DIA = DIAMETER	INV = INVERT ELEVATION	S = SLOPE	UE = UNDERGROUND ELECTRIC
DIP = DUCTILE IRON PIPE	LF = LINEAL FEET	SAS = SANITARY SEWER	UT = UNDERGROUND TELEPHONE
DTL = DETAIL	LP = LIGHT POLE	SD = STORM DRAIN	W = WATER
DWG = DRAWING	L/S = LANDSCAPING	STA = STATION	WM = WATER METER
E = ELECTRIC LINE	MH = MANHOLE	STD = STANDARD	WV = WATER VALVE

ISSUES & REVISIONS			
	--/--/--		
REV. #	DATE	DESCRIPTION	CHECK

PROJECT
City of Albuquerque Police Department
Shawn McWethy- Westside Area
Command Headquarters

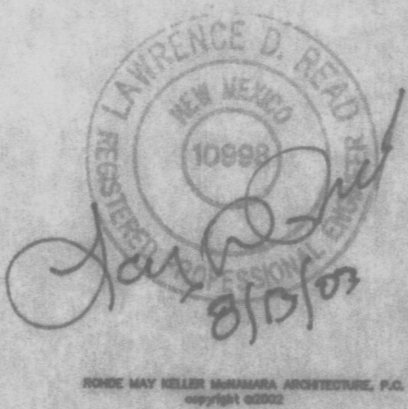
6404 Los Volcanes Rd NW
Albuquerque NM, 87121-8411

SHEET TITLE

CIVIL GENERAL NOTES

SHEET NUMBER

C0.1



GENERAL NOTES
SEE SHEET C0.1 FOR GENERAL CIVIL NOTES

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EXISTING DRAINAGE

The site is bounded on the north by the Los Volcanes Road NW. The developed property to the west has directed runoff away from this site. The undeveloped land to the east drains toward the south by existing grades so there is no impact to this site from the adjacent land.

This site drains to the south, via surface flow, into an existing retention pond. Runoff from north of the building is routed around the building to the existing parking lots. All runoff then flows south into an existing retention pond that was sized to handle a 100-year, 6-hour storm event per the Atrisco Business Park master drainage plan.

PROPOSED CONDITIONS

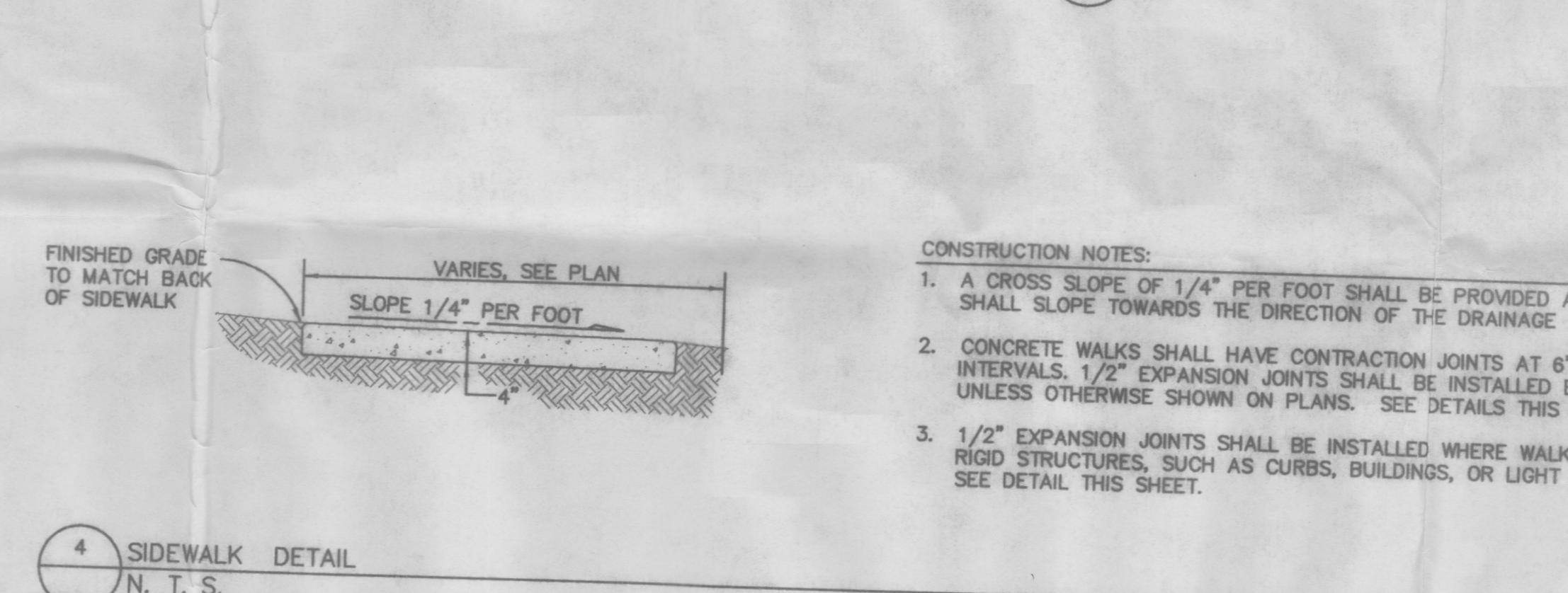
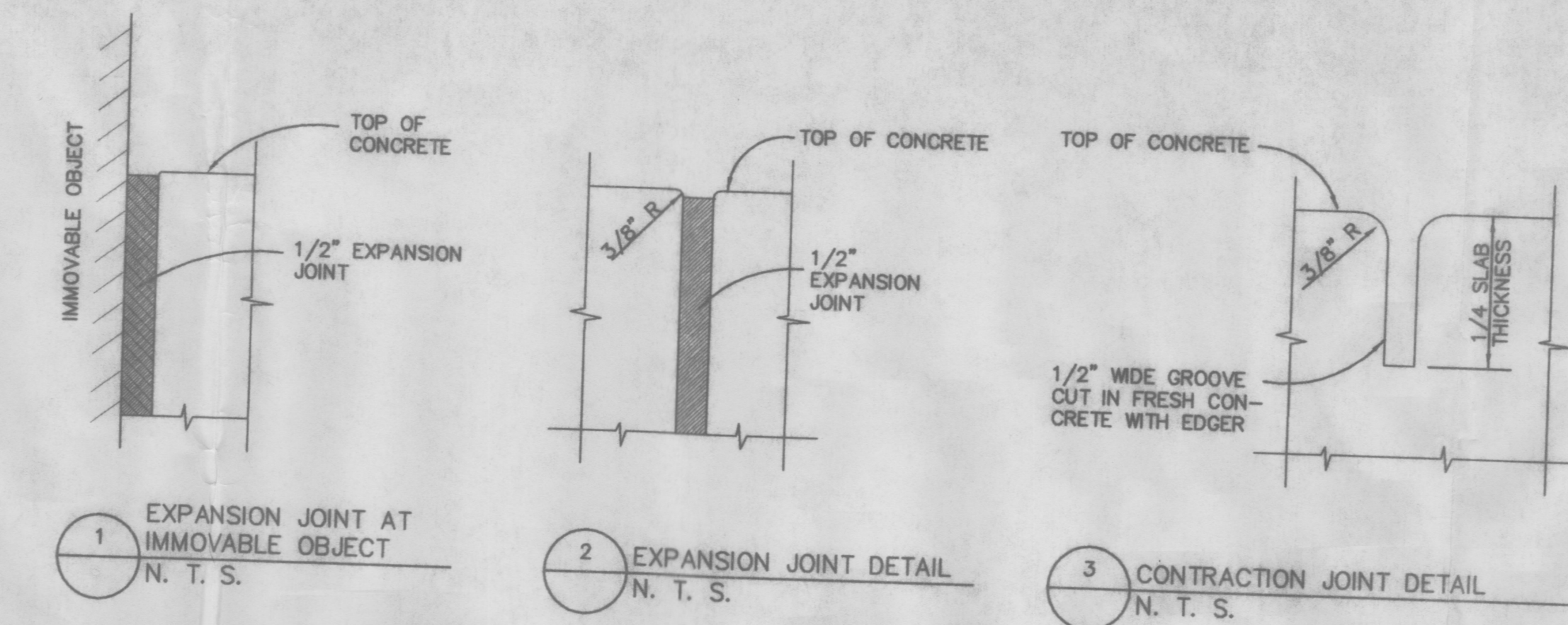
The proposed construction includes removal of about 900 square feet of concrete patio and sidewalks that will be replaced with a 1250 square foot building addition in it's place. Other proposed construction includes replacing existing sidewalks and updating the wheelchair ramps to current standards.

There is no proposed change to the stormwater routing and only a minor 0.01cfs increase in peak discharge. The additional impervious area proposed will increase the runoff volume by 73 cubic feet or 36 %. The calculations included show that the increased stormwater runoff will still be contained in the existing retention pond. We also investigated the 100-year, 24-hour runoff and found that the runoff will still be contained onsite but will inundate about 70 feet of paved parking lot on the south end of the site.

Due to the minor change in stormwater runoff amount and the runoff can be contained in the existing pond, there is no negative impact to this site or adjacent sites from the proposed construction.

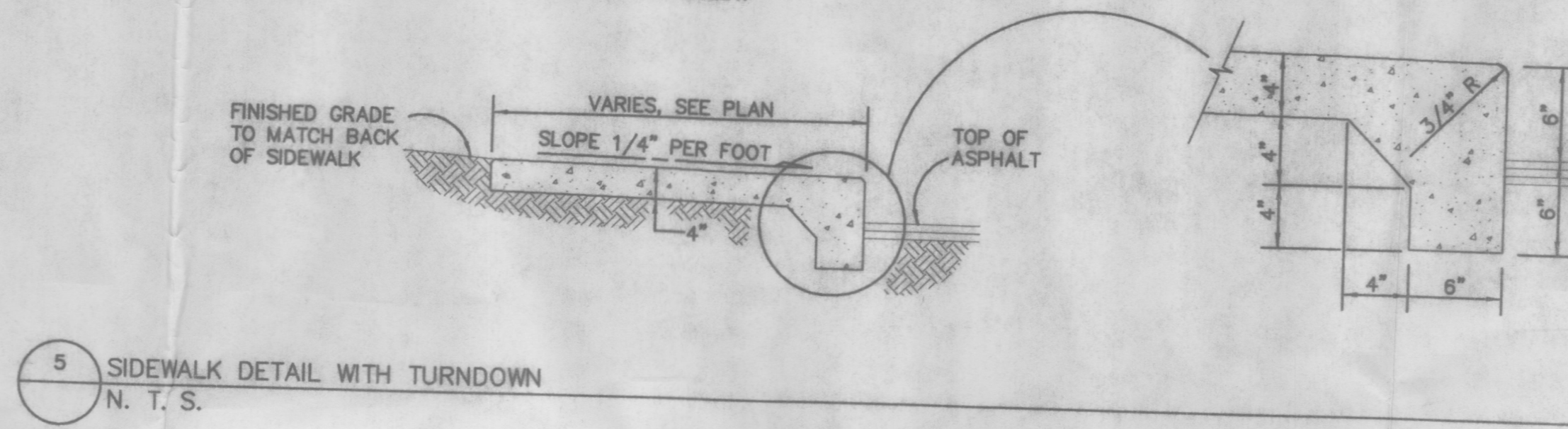
STORM WATER DISCHARGE

Since the total anticipated disturbed area for the proposed construction is about 0.12 acres, well below the 1 acre limit requiring a SWPPP.



CONSTRUCTION NOTES:

- A CROSS SLOPE OF 1/4" PER FOOT SHALL BE PROVIDED AND SHALL SLOPE TOWARDS THE DIRECTION OF THE DRAINAGE AREA.
- CONCRETE WALKS SHALL HAVE CONTRACTION JOINTS AT 6' INTERVALS. 1/2" EXPANSION JOINTS SHALL BE INSTALLED EVERY 36', UNLESS OTHERWISE SHOWN ON PLANS. SEE DETAILS THIS SHEET.
- 1/2" EXPANSION JOINTS SHALL BE INSTALLED WHERE WALKS ABUT RIGID STRUCTURES, SUCH AS CURBS, BUILDINGS, OR LIGHT STANDARDS. SEE DETAIL THIS SHEET.



CONSTRUCTION NOTES:

- ALL CONCRETE SHALL BE 4000 PSI (28 DAY) CONCRETE
- PROVIDE A TEXTURED SURFACE ON RAMP IN ACCORDANCE WITH ADA AND ANSI.

100-YEAR HYDROLOGIC CALCULATIONS

BASIN #	AREA (acre)	LAND TREATMENT				WEIGHTED E (in)	100-YEAR PRECIPITATION			
		A (%)	B (%)	C (%)	D (%)		V (6-hr) (acre-ft)	V (6-hr) (cu-ft)	V (10 day) (acre-ft)	V (10 day) (cu-ft)
EXISTING CONDITIONS										
ON-SITE	1.3100	0.00	0.00	29.35	70.65	1.88	0.18	8,000	0.30	12,939
TOTAL RUNOFF	1.31						0.18	8000	0.30	12939
PROPOSED CONDITIONS										
ON-SITE	1.3100	0.00	0.00	28.72	71.28	1.69	0.18	8,030	0.30	13,012
TOTAL RUNOFF	1.31						0.18	8030	0.30	13012
EXCESS PRECIP.		0.44	0.67	0.99	1.97	E (in)				
PEAK DISCHARGE		1.29	2.03	2.87	4.37	Qm (cfs)				

$$\begin{aligned} \text{WEIGHTED E (in)} &= (E_A)(\%A) + (E_B)(\%B) + (E_C)(\%C) + (E_D)(\%D) \\ V_{6\text{-hr}} \text{ (acre-ft)} &= (\text{WEIGHTED E})(\text{AREA})/12 \\ V_{10\text{-day}} \text{ (acre-ft)} &= V_{6\text{-hr}} + (A_c)(P_{10\text{-day}} - P_{6\text{-hr}})/12 \\ Q \text{ (cfs)} &= (Q_m)(A_u) + (Q_m)(A_s) + (Q_m)(A_c) + (Q_m)(A_o) \end{aligned}$$

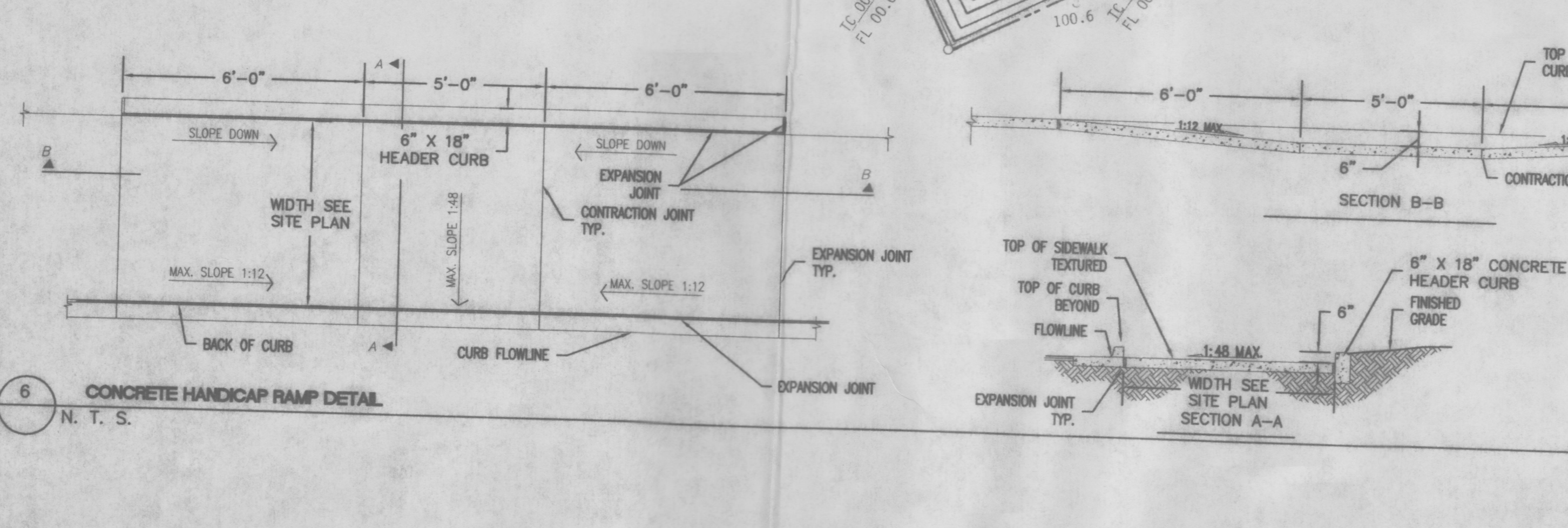
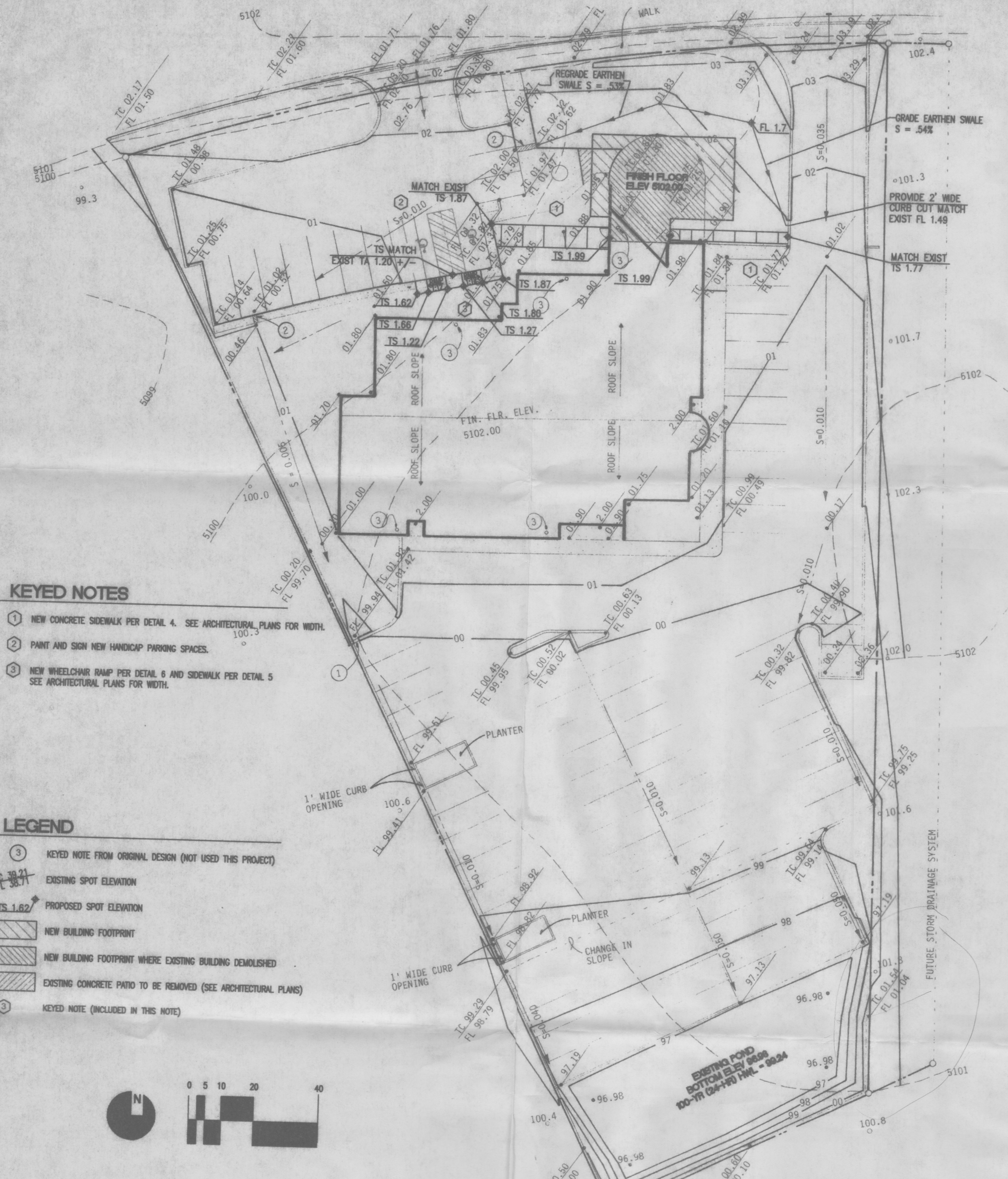
$$\begin{aligned} \text{ZONE} &= 1 \\ P_{6\text{-hr}} \text{ (in)} &= 2.20 \\ P_{10\text{-day}} \text{ (in)} &= 2.66 \\ P_{10\text{-day}} \text{ (in)} &= 3.67 \end{aligned}$$

CONSTRUCTION NOTES:

ALL CONCRETE SHALL BE 4000 PSI (28 DAY) CONCRETE
 PROVIDE A TEXTURED SURFACE

LEGAL DESCRIPTION
LOT 1B, ATRISCO BUSINESS PARK, UNIT 2, TRACT N

ACS BENCHMARK
MONUMENT "448-N2A", ELEVATION 5100.13.



KEYED NOTES

- NEW CONCRETE SIDEWALK PER DETAIL 4. SEE ARCHITECTURAL PLANS FOR WIDTH.
- PAINT AND SIGN NEW HANDICAP PARKING SPACES.
- NEW WHEELCHAIR RAMP PER DETAIL 6 AND SIDEWALK PER DETAIL 5 SEE ARCHITECTURAL PLANS FOR WIDTH.

LEGEND

- KEYED NOTE FROM ORIGINAL DESIGN (NOT USED THIS PROJECT)
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- NEW BUILDING FOOTPRINT
- NEW BUILDING FOOTPRINT WHERE EXISTING BUILDING DEMOLISHED
- EXISTING CONCRETE PATIO TO BE REMOVED (SEE ARCHITECTURAL PLANS)
- KEYED NOTE (INCLUDED IN THIS NOTE)