

# CITY OF ALBUQUERQUE

Planning Department  
Brennon Williams, Director



Mayor Timothy M. Keller

May 19, 2021

Ronald R. Bohannon, PE  
Tierra West LLC  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: BEK Distribution Facility (PHASE 1)**  
**601 Gallatin PI NW, 87121**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Engineer's/Architect's Stamp dated 7-29-19 (J10D002G1)  
Certification dated 5-13-21

Dear Mr. Bohannon,

Based upon the information provided in your submittal received 5-13-21, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

1. The ADA access aisles shall have the words "**NO PARKING**" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tire would be placed. (66-1-4.1.B NMSA 1978)
2. Van accessible aisles should be 8ft wide; all others should be 5ft wide.

Once these corrections are complete, email pictures showing the changes to [PLNDRS@cabq.gov](mailto:PLNDRS@cabq.gov), and submit an administrative fee of \$40.

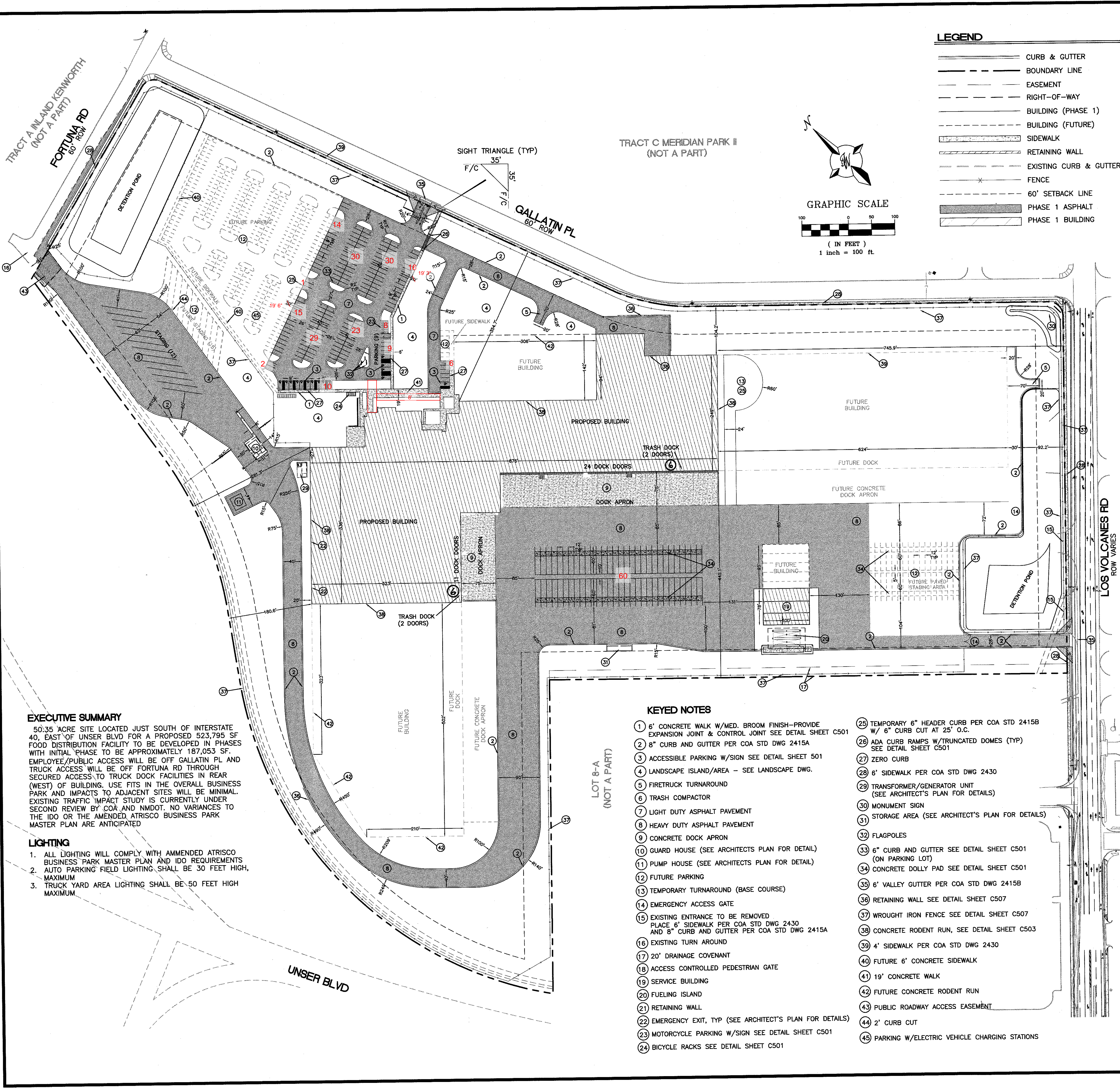
If you have any questions, please contact me at (505) 924-3981.

Sincerely,

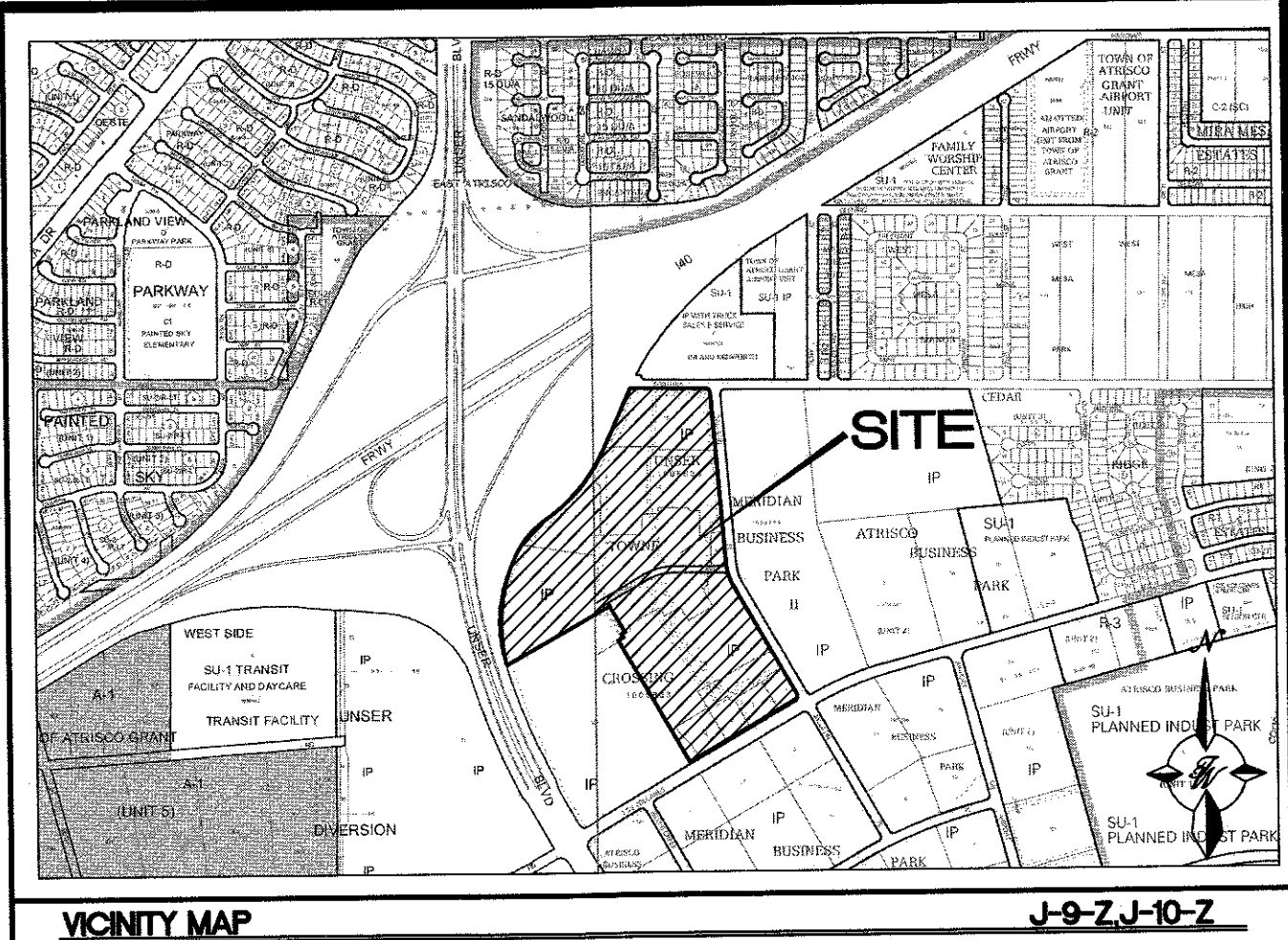
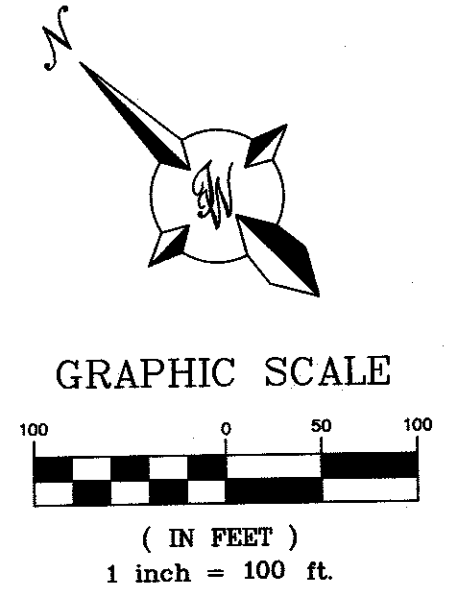
Ernie Gomez,  
Plan Checker, Planning Dept.  
Development Review Services

EG via: email  
C: CO Clerk, File





- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - RIGHT-OF-WAY
  - BUILDING (PHASE 1)
  - BUILDING (FUTURE)
  - SIDEWALK
  - RETAINING WALL
  - EXISTING CURB & GUTTER
  - FENCE
  - 60' SETBACK LINE
  - PHASE 1 ASPHALT
  - PHASE 1 BUILDING



**VICINITY MAP** J-9-Z-J-10-Z  
**LEGAL DESCRIPTION: LOT 1-A UNSER TOWNE CROSSING**  
ADDRESS - 601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

**SITE DATA**

PROPOSED USAGE	DISTRIBUTION FACILITY
LOT AREA	2,193,246 SF (50.35 ACRES)
BUILDING AREA	
OFFICE AREAS	33,365 SF
SUPPORT AREAS	17,484 SF
WAREHOUSE AREAS	136,204 SF
FUTURE BUILDING	325,394 SF
TOTAL	566,626 SF
PARKING	
TOTAL PARKING REQUIRED	283 SPACES (1 SPACE PER 2000 SF)
TOTAL BICYCLE PARKING REQUIRED	29 SPACES (10% OF REQUIRED PARKING)
TOTAL MOTORCYCLE PARKING REQUIRED	5 SPACES
PROVIDED	
PHASE 1 PARKING PROVIDED	185 SPACES ✓
HC PARKING REQUIRED	7 SPACES
HC PARKING PROVIDED	15 SPACES (7 VAN ACCESSIBLE) (8)
MOTORCYCLE PARKING PROVIDED	6 SPACES (7)
BICYCLE SPACES PROVIDED	10 SPACES
FUTURE PARKING PROVIDED	216 SPACES 8 SPACES W/ ELECTRIC VEHICLE CHARGING STATION
BICYCLE PARKING PROVIDED	20 SPACES
LANDSCAPE REQUIRED:	372,852 SF
LANDSCAPE PROVIDED:	801,716 SF

**NOTES**

- SITE FALLS WITHIN THE ATRISCO BUSINESS PARK MASTER PLAN
- PARKING FIELD GRADES ARE 1% MINIMUM AND 4% MAXIMUM
- ENTRANCE DRIVES DO NOT EXCEED 6% GRADE
- ALL IMPROVEMENTS LOCATED IN THE RIGHT-OF-WAY MUST BE INCLUDED ON PUBLIC WORK ORDER
- FUTURE BUILDING AND PAVEMENT AREAS SHALL BE STABILIZED WITH GRAVEL MULCH AS NOTED ON THE LANDSCAPE PLAN

**Phase 1-Permanant Certification**

**PROJECT NUMBER: PR-2018-001361**  
**APPLICATION NUMBER: SI-2019-00106**

This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC), dated \_\_\_\_\_, and the Findings and Conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

**DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:**

<i>[Signature]</i> Traffic Engineer, Transportation Division	7/24/19 Date
<i>[Signature]</i> Water Utility Development	10-17-19 Date
<i>[Signature]</i> Parks & Recreation Department	10-17-19 Date
<i>[Signature]</i> City Engineer	7/24/2019 Date
<i>[Signature]</i> Code Enforcement	7/24/19 Date
<i>[Signature]</i> Solid Waste Management	7-26-19 Date
<i>[Signature]</i> DRB Chairperson, Planning Department	10-17-19 Date

\* Environmental Health, if necessary

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

**KEYED NOTES**

- 6" CONCRETE WALK W/MED. BROOM FINISH-PROVIDE EXPANSION JOINT & CONTROL JOINT SEE DETAIL SHEET C501
- 8" CURB AND GUTTER PER COA STD DWG 2415A
- ACCESSIBLE PARKING W/SIGN SEE DETAIL SHEET 501
- LANDSCAPE ISLAND/AREA - SEE LANDSCAPE DWG.
- FIRETRUCK TURNAROUND
- TRASH COMPACTOR
- LIGHT DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- CONCRETE DOCK APRON
- GUARD HOUSE (SEE ARCHITECTS PLAN FOR DETAIL)
- PUMP HOUSE (SEE ARCHITECTS PLAN FOR DETAIL)
- FUTURE PARKING
- TEMPORARY TURNAROUND (BASE COURSE)
- EMERGENCY ACCESS GATE
- EXISTING ENTRANCE TO BE REMOVED PLACE 6" SIDEWALK PER COA STD DWG 2430 AND 8" CURB AND GUTTER PER COA STD DWG 2415A
- EXISTING TURN AROUND
- 20" DRAINAGE COVENANT
- ACCESS CONTROLLED PEDESTRIAN GATE
- SERVICE BUILDING
- FUELING ISLAND
- RETAINING WALL
- EMERGENCY EXIT, TYP (SEE ARCHITECT'S PLAN FOR DETAILS)
- MOTORCYCLE PARKING W/SIGN SEE DETAIL SHEET C501
- BICYCLE RACKS SEE DETAIL SHEET C501
- TEMPORARY 6" HEADER CURB PER COA STD 2415B W/ 6" CURB CUT AT 25' O.C.
- ADA CURB RAMPS W/TRUNCATED DOMES (TYP) SEE DETAIL SHEET C501
- ZERO CURB
- 6" SIDEWALK PER COA STD DWG 2430
- TRANSFORMER/GENERATOR UNIT (SEE ARCHITECT'S PLAN FOR DETAILS)
- MONUMENT SIGN
- STORAGE AREA (SEE ARCHITECT'S PLAN FOR DETAILS)
- FLAGPOLES
- 6" CURB AND GUTTER SEE DETAIL SHEET C501 (ON PARKING LOT)
- CONCRETE DOLLY PAD SEE DETAIL SHEET C501
- 6" VALLEY GUTTER PER COA STD DWG 2415B
- RETAINING WALL SEE DETAIL SHEET C507
- WROUGHT IRON FENCE SEE DETAIL SHEET C507
- CONCRETE RODENT RUN, SEE DETAIL SHEET C503
- 4' SIDEWALK PER COA STD DWG 2430
- FUTURE 6" CONCRETE SIDEWALK
- 19' CONCRETE WALK
- FUTURE CONCRETE RODENT RUN
- PUBLIC ROADWAY ACCESS EASEMENT
- 2' CURB CUT
- PARKING W/ELECTRIC VEHICLE CHARGING STATIONS

**EXECUTIVE SUMMARY**

50.35 ACRE SITE LOCATED JUST SOUTH OF INTERSTATE 40, EAST OF UNSER BLVD FOR A PROPOSED 523,795 SF FOOD DISTRIBUTION FACILITY TO BE DEVELOPED IN PHASES WITH INITIAL PHASE TO BE APPROXIMATELY 187,053 SF. EMPLOYEE/PUBLIC ACCESS WILL BE OFF GALLATIN PL AND TRUCK ACCESS WILL BE OFF FORTUNA RD THROUGH SECURED ACCESS TO TRUCK DOCK FACILITIES IN REAR (WEST) OF BUILDING. USE FITS IN THE OVERALL BUSINESS PARK AND IMPACTS TO ADJACENT SITES WILL BE MINIMAL. EXISTING TRAFFIC IMPACT STUDY IS CURRENTLY UNDER SECOND REVIEW BY COA AND NMDOT. NO VARIANCES TO THE IDO OR THE AMENDED ATRISCO BUSINESS PARK MASTER PLAN ARE ANTICIPATED

**LIGHTING**

- ALL LIGHTING WILL COMPLY WITH AMENDED ATRISCO BUSINESS PARK MASTER PLAN AND IDO REQUIREMENTS
- AUTO PARKING FIELD LIGHTING SHALL BE 30 FEET HIGH, MAXIMUM
- TRUCK YARD AREA LIGHTING SHALL BE 50 FEET HIGH MAXIMUM

ESI  
DESIGN SERVICES  
SMART SOLUTIONS

950 Walnut Ridge Drive - Highland, VT 05029 262.369.3535 T

ENGINEER'S SEAL

RONALD R. BOHANNON  
P.E. #7868

NEW DISTRIBUTION CENTER  
BEN E KEITH  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

Revision No.

Job No.  
2018014

CAD/CHK'D By.  
pm / vc

Date  
7-19-19

Sheet Title

Sheet No.

C101

CIVIL





# TIERRA WEST, LLC

May 13, 2021

Mr. Ernie Gomez  
Development Review Services  
City of Albuquerque  
P.O. Box 1293  
Albuquerque, NM 87103

**RE: SITE PLAN FOR BUILDING PERMIT CERTIFICATION  
REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY  
BEN E. KEITH DISTRIBUTION CENTER, 601 GALLATIN PLACE, NW, 87121**

Dear Mr. Gomez:

I, Ronald R. Bohannon, NMPE #7868, of the firm Tierra West LLC, hereby request approval of the as-built Approved Site Plan for Building Permit for issuance of a Permanent Certificate of Occupancy for the project referenced above. This project is in substantial compliance as inspected on May 13, 2021 and is in accordance with the design intent of the Approved Site Plan for Building dated 7/29/19.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Enclosed, please find the information sheet and the as-built Approved Site Plan for Building Permit. Therefore, we request approval of the as-built Approved Traffic Circulation Layout Plan (TCL) and issuance of the Permanent Certificate of Occupancy.

If you have any questions or need additional information regarding this matter, please do not hesitate to contact me.

Sincerely,



Ronald R. Bohannon, P.E.

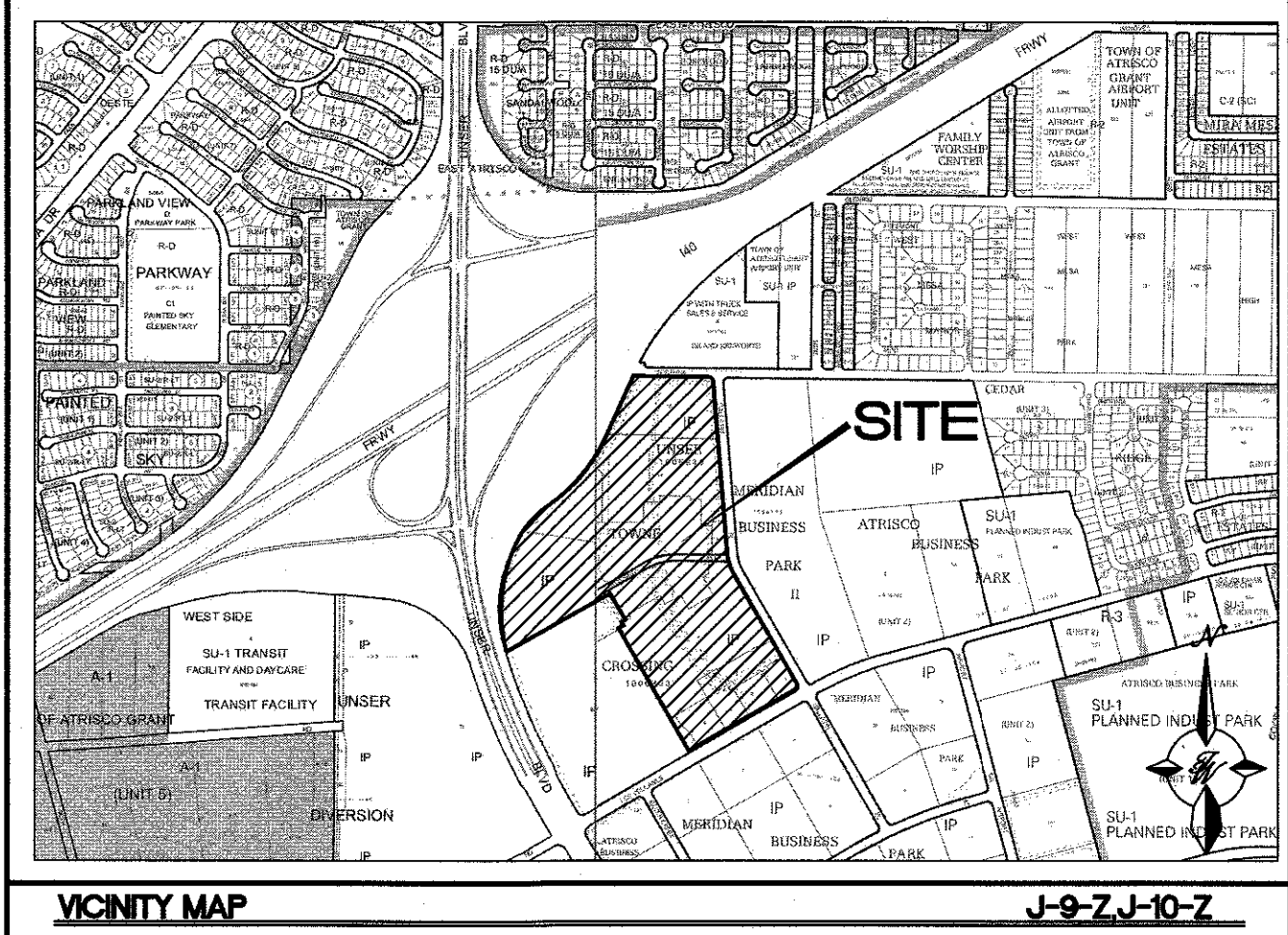
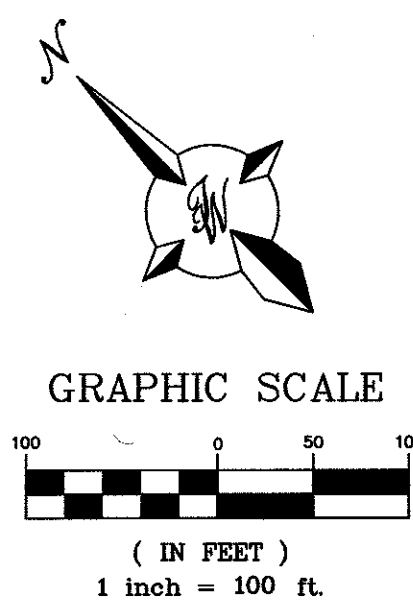
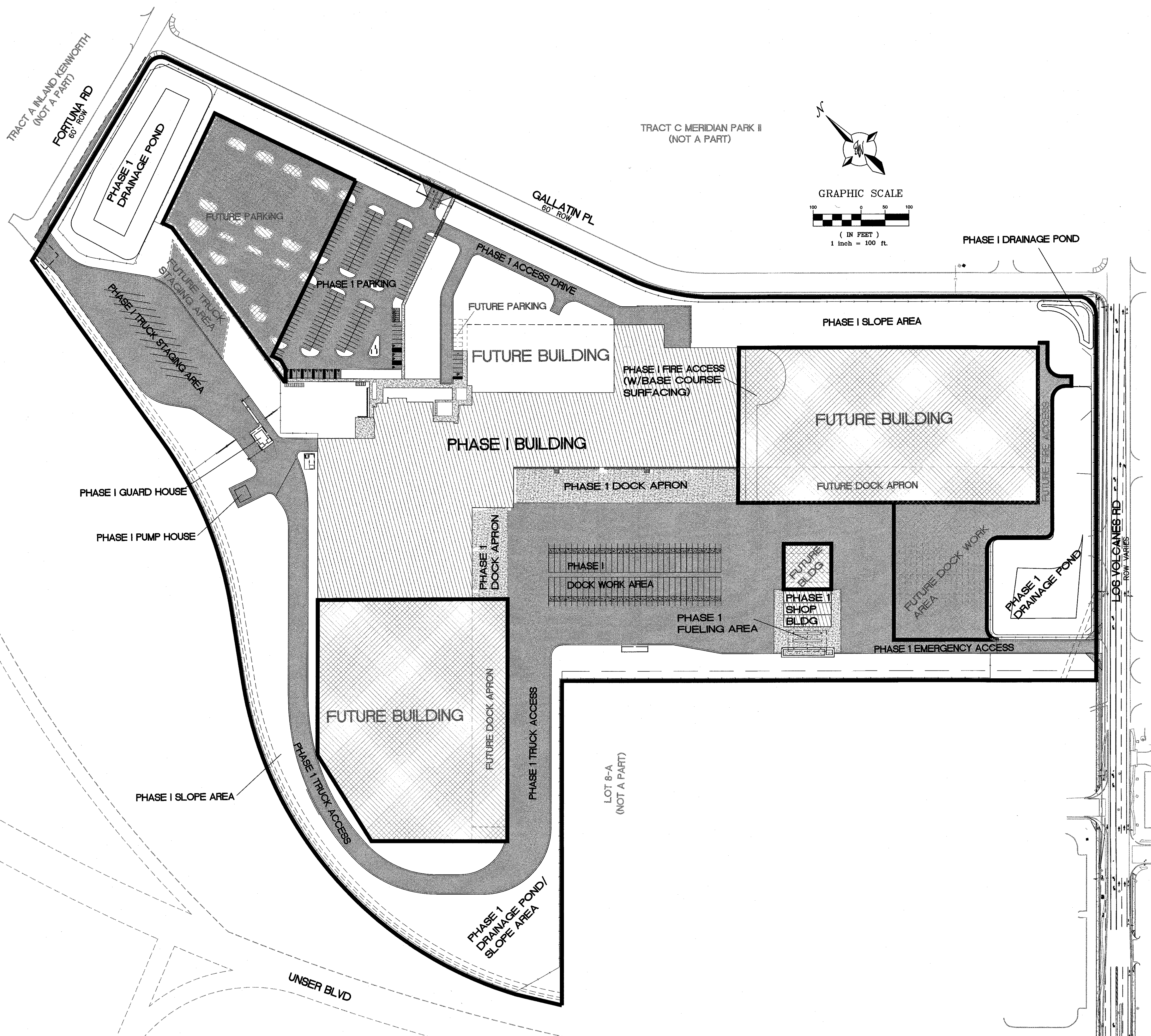
Enclosure

JN: 2018014  
RRB/VC/bf

2018014 Ernie Gomez Perm CO Letter 5-13-21.docx

5571 Midway Park Pl. NE Albuquerque, NM 87109  
(505) 858-3100 fax (505) 858-1118 1-800-245-3102  
tierrawestllc.com





**VICINITY MAP**  
**LEGAL DESCRIPTION: LOT 1-A UNSER TOWNE CROSSING**  
ADDRESS - 601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

- LEGEND**
- PHASE I (INCLUDES ALL GRADING)
  - FUTURE PHASE (ALL GRADING DONE IN PHASE I)

**NOTE**  
ALL OFFSITE PUBLIC INFRASTRUCTURE IMPROVEMENTS SHALL BE COMPLETED WITH PHASE 1

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ENGINEER'S SEAL

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**NEW DISTRIBUTION CENTER**  
**BEN E KEITH**  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

Revision No.

Job No. **2018014**

CAD/CHK'D By: **pm / vc**

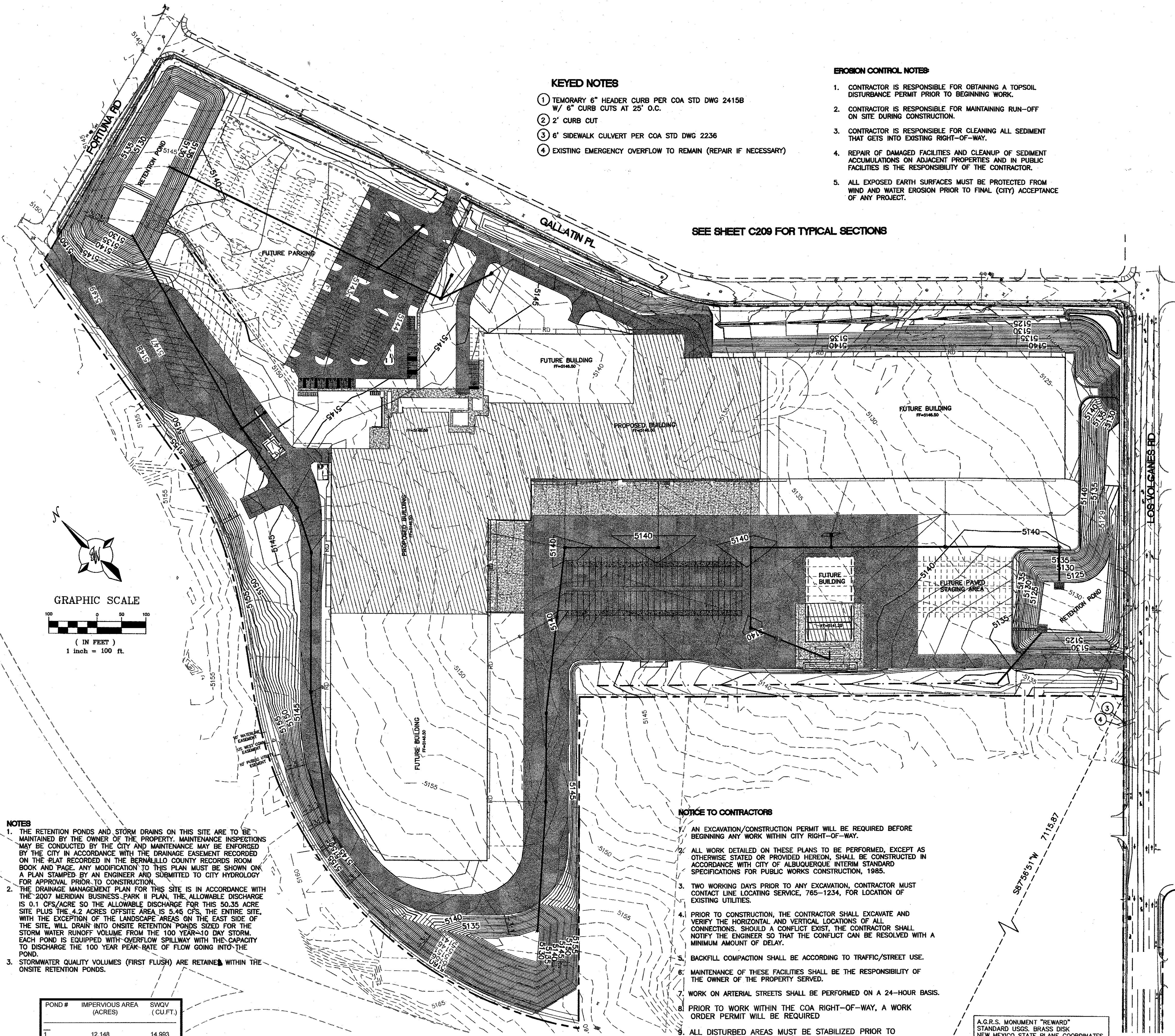
Date **7-3-19**

Sheet Title **PHASING PLAN**

Sheet No. **C102**

**CIVIL**





- NOTES**
1. THE RETENTION PONDS AND STORM DRAINS ON THIS SITE ARE TO BE MAINTAINED BY THE OWNER OF THE PROPERTY. MAINTENANCE INSPECTIONS MAY BE CONDUCTED BY THE CITY AND MAINTENANCE MAY BE ENFORCED BY THE CITY IN ACCORDANCE WITH THE DRAINAGE EASEMENT RECORDED ON THE PLAT RECORDED IN THE BERNALILLO COUNTY RECORDS ROOM BOOK AND PAGE. ANY MODIFICATION TO THIS PLAN MUST BE SHOWN ON A PLAN STAMPED BY AN ENGINEER AND SUBMITTED TO CITY HYDROLOGY FOR APPROVAL PRIOR TO CONSTRUCTION.
  2. THE DRAINAGE MANAGEMENT PLAN FOR THIS SITE IS IN ACCORDANCE WITH THE 2007 MERIDIAN BUSINESS PARK II PLAN. THE ALLOWABLE DISCHARGE IS 0.1 CFS/ACRE SO THE ALLOWABLE DISCHARGE FOR THIS 50.35 ACRE SITE PLUS THE 4.2 ACRES OFFSITE AREA IS 5.45 CFS. THE ENTIRE SITE, WITH THE EXCEPTION OF THE LANDSCAPE AREAS ON THE EAST SIDE OF THE SITE, WILL DRAIN INTO ONSITE RETENTION PONDS SIZED FOR THE STORM WATER RUNOFF VOLUME FROM THE 100 YEAR-10 DAY STORM. EACH POND IS EQUIPPED WITH OVERFLOW SPILLWAY WITH THE CAPACITY TO DISCHARGE THE 100 YEAR PEAK RATE OF FLOW GOING INTO THE POND.
  3. STORMWATER QUALITY VOLUMES (FIRST FLUSH) ARE RETAINED WITHIN THE ONSITE RETENTION PONDS.

POND #	IMPERVIOUS AREA (ACRES)	SWQV (CU.FT.)
1	12.148	14,993
2	11.122	13,727
3	12.324	15,211
4	0.064	79

STORM WATER QUALITY VOLUME, SWQV =  
IMPERVIOUS AREA (ACRES) X 43,560 X 0.34712

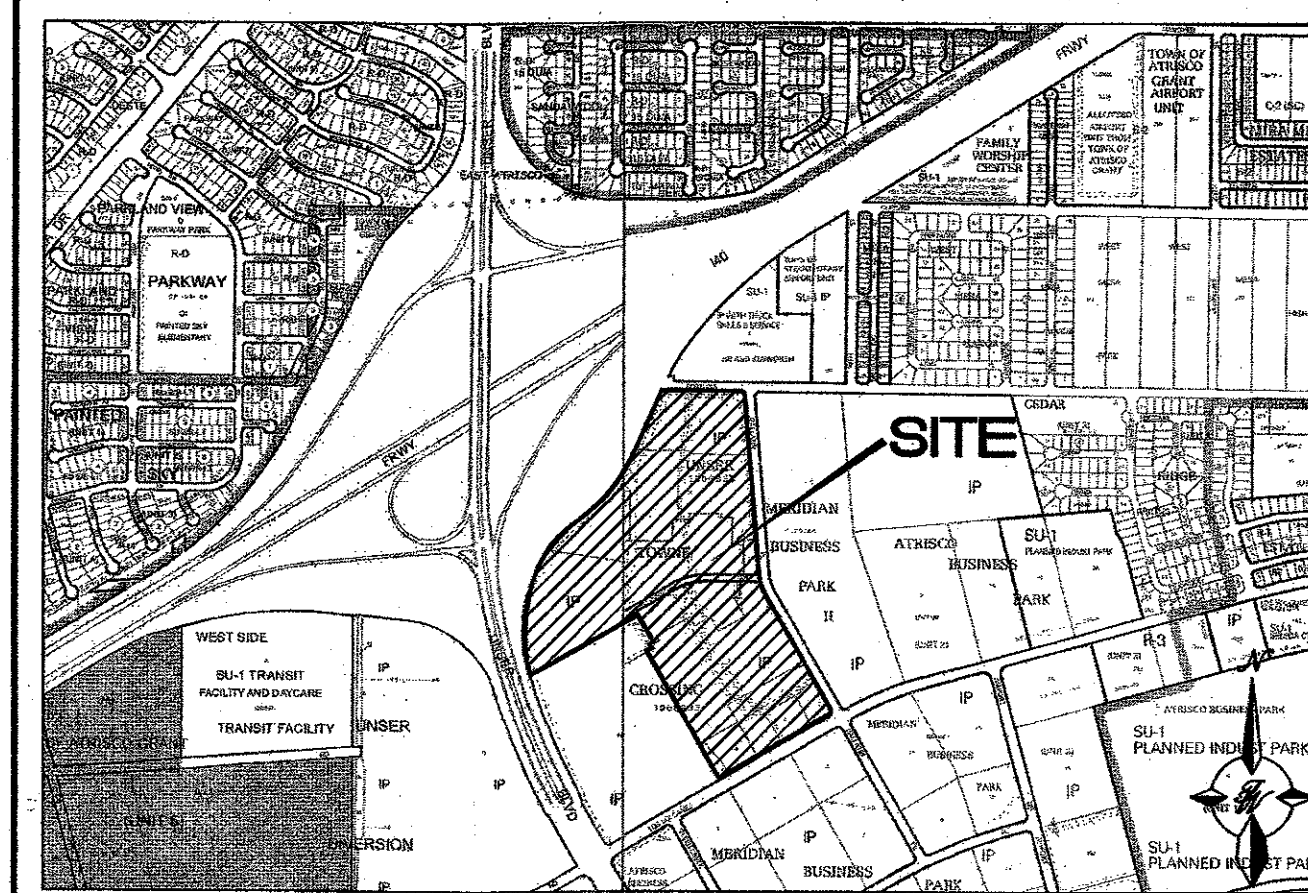
- KEYED NOTES**
1. TEMPORARY 6" HEADER CURB PER COA STD DWG 24158  
W/ 6" CURB CUTS AT 25' O.C.
  2. 2" CURB CUT
  3. 6' SIDEWALK CULVERT PER COA STD DWG 2236
  4. EXISTING EMERGENCY OVERFLOW TO REMAIN (REPAIR IF NECESSARY)

SEE SHEET C209 FOR TYPICAL SECTIONS

- EROSION CONTROL NOTES**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  8. PRIOR TO WORK WITHIN THE COA RIGHT-OF-WAY, A WORK ORDER PERMIT WILL BE REQUIRED.
  9. ALL DISTURBED AREAS MUST BE STABILIZED PRIOR TO ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
  10. FUTURE BUILDING AND PAVEMENT AREAS ARE TO BE GRADED IN PHASE 1 TO SUBGRADE ELEVATIONS. THESE AREAS SHALL BE STABILIZED IN PHASE 1 WITH GRAVEL MULCH AS NOTED ON THE LANDSCAPE PLAN. SEE SHEET C-208 FOR ULTIMATE BUILD OUT CONCEPTUAL GRADING AND DRAINAGE PLAN

A.G.R.S. MONUMENT "REWARD"  
STANDARD USGS, BRASS DISK  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,487,364.063  
E=1,491,190.819  
PUBLISHED EL=5319.688 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999875005  
DELTA ALPHA ANGLE=-0717'12.26"



VICINITY MAP J-29-Z-J-30-Z

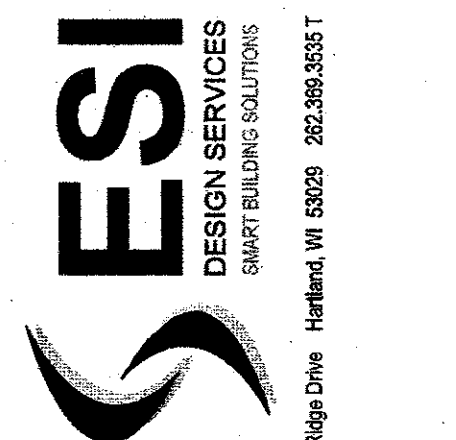


FLOOD MAP 35001C0326J, 35001C0328J

- LEGEND**
- CURB & GUTTER
  - - - BOUNDARY LINE
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - BUILDING
  - - - SIDEWALK
  - RETAINING WALL
  - 5010- CONTOUR MAJOR
  - 5011- CONTOUR MINOR
  - x 5048.25 SPOT ELEVATION (FLOWLINE)
  - FLOW ARROW
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING CONTOUR MAJOR
  - - - EXISTING CONTOUR MINOR
  - ASPHALT PAVING
  - PROPOSED BUILDING
  - x — PROPOSED FENCE

**CAUTION:**  
ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK, ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

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NEW DISTRIBUTION CENTER  
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Revision No.  
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Job No.  
2018014

CAD/CHK'D By:  
pm / vc

Date  
7-19-19

Sheet Title

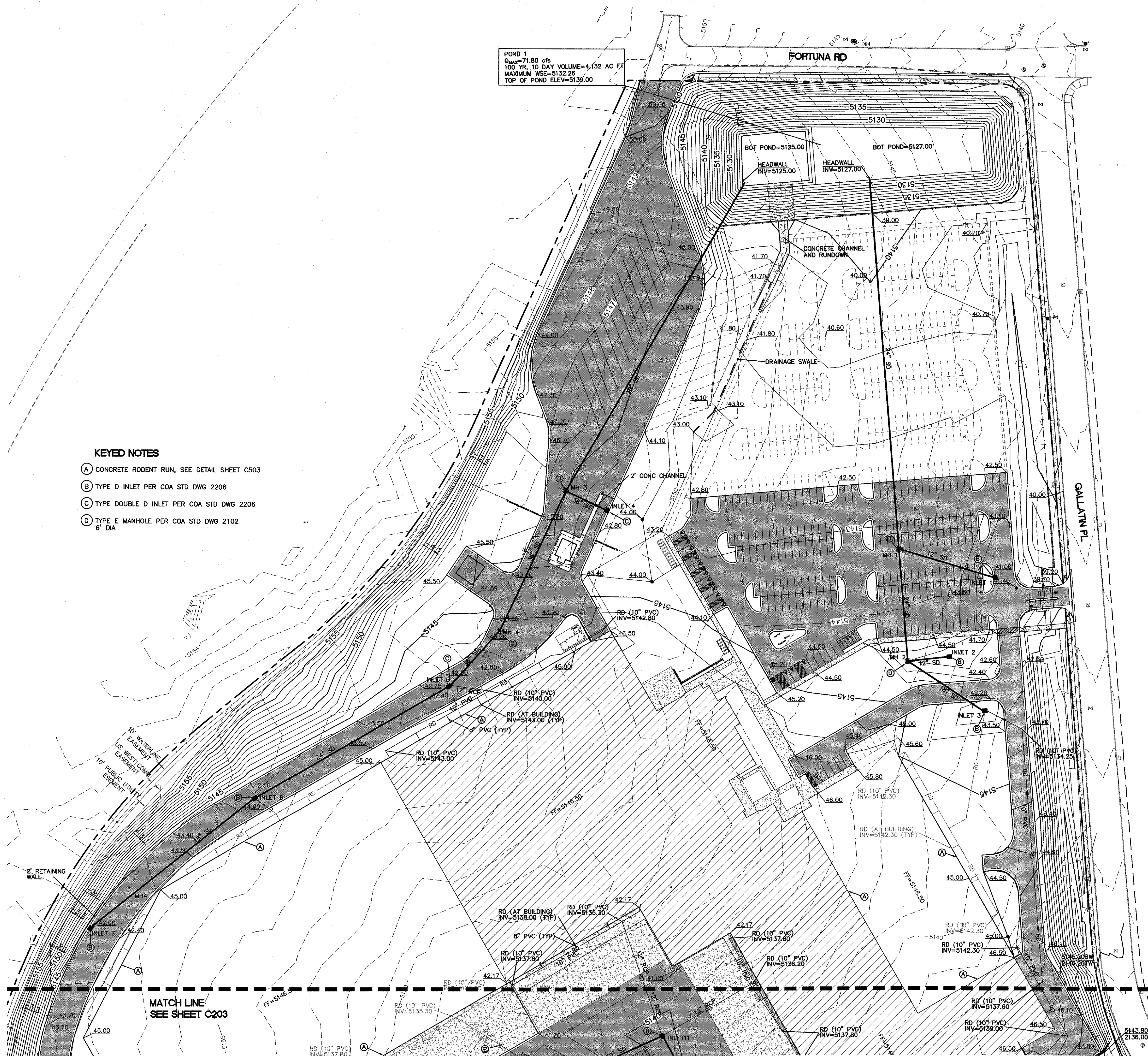
OVERALL  
GRADING PLAN

Sheet No.

C201

CIVIL





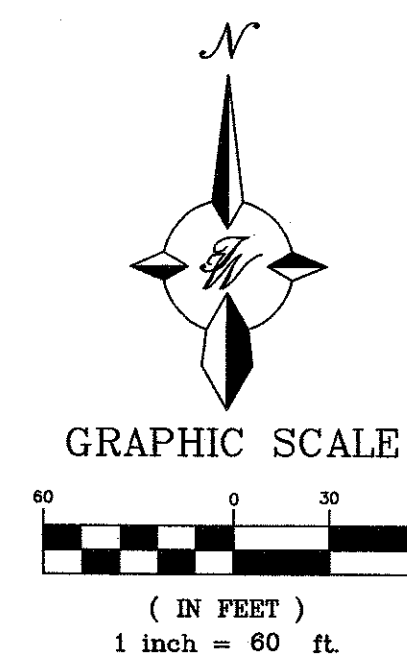
POND 1  
Q<sub>100</sub>=71.80 cfs  
100 YR. 10 DAY VOLUME=4,132 AC FT  
MAXIMUM WSE=5132.26  
TOP OF POND ELEV=5139.00

- KEYED NOTES**
- (A) CONCRETE RODENT RUN, SEE DETAIL SHEET C503
  - (B) TYPE D INLET PER COA STD DWG 2206
  - (C) TYPE DOUBLE D INLET PER COA STD DWG 2206
  - (D) TYPE E MANHOLE PER COA STD DWG 2102  
6" DIA

- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - ▬ BUILDING
  - ▬ SIDEWALK
  - ▬ RETAINING WALL
  - S010 — CONTOUR MAJOR
  - S011 — CONTOUR MINOR
  - x 5048.25 SPOT ELEVATION (FLOWLINE)
  - FLOW ARROW
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING CONTOUR MAJOR
  - - - EXISTING CONTOUR MINOR
  - ▬ ASPHALT PAVING
  - ▬ PROPOSED BUILDING
  - RD — ROOF DRAIN
  - - - X — PROPOSED FENCE

**STRUCTURE TABLE**

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH 1	6" DIA	5143.33	5131.73
MH 2	6" DIA	5142.00	5133.17
MH 3	6" DIA	5144.30	5129.77
MH 4	6" DIA	5142.69	5131.67
INLET 1	TYPE D	5142.00	5138.00
INLET 2	TYPE D	5142.00	5138.00
INLET 3	TYPE D	5142.00	5133.85
INLET 4	TYPE DOUBLE D	5142.80	5137.00
INLET 5	TYPE DOUBLE D	5142.10	5132.57
INLET 6	TYPE D	5142.10	5135.37
INLET 7	TYPE D	5142.00	5138.00



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ENGINEER'S SEAL



RONALD R. BOHANNAN  
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NEW DISTRIBUTION CENTER  
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CAD/CHK'D By:

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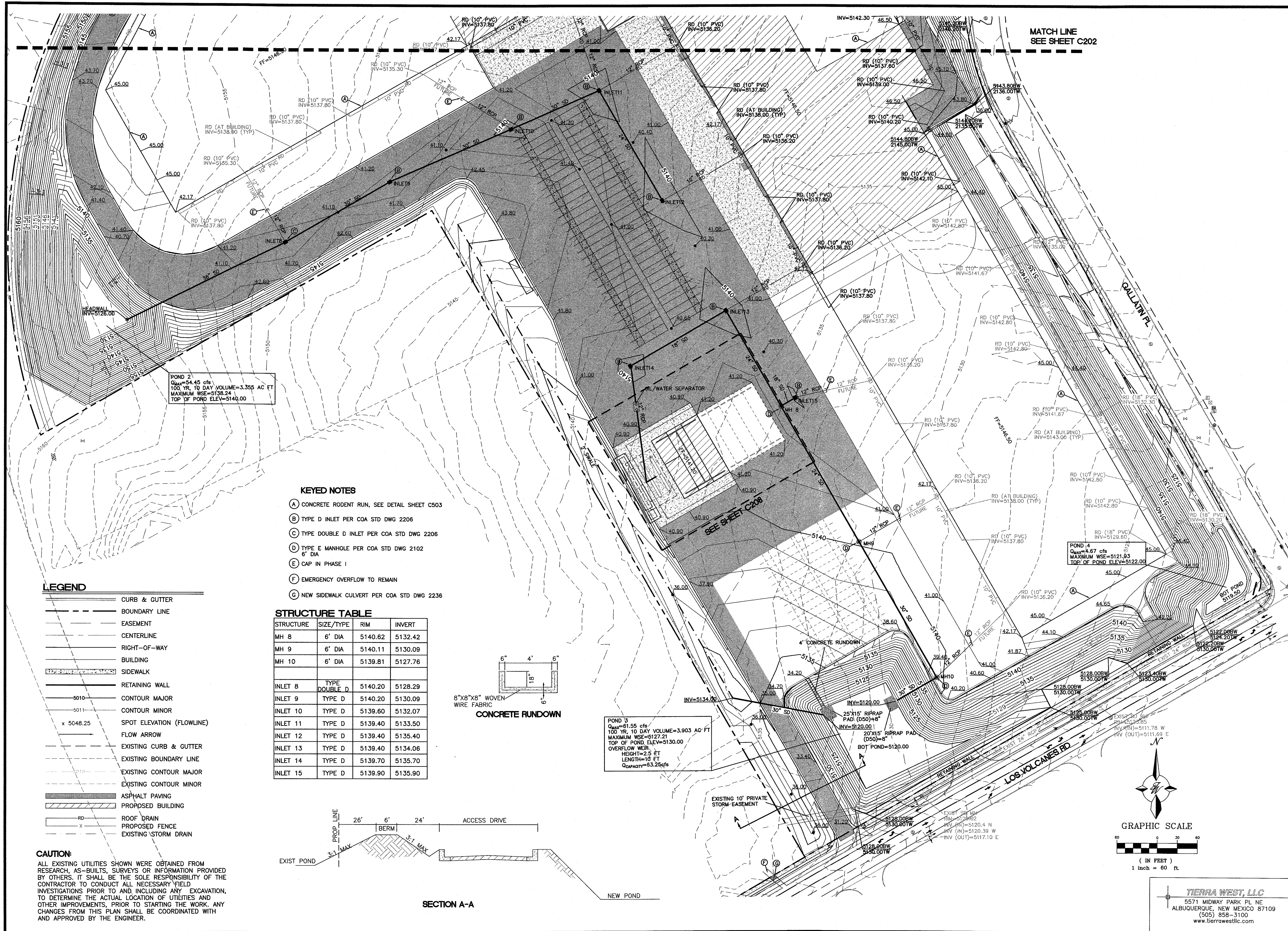
GRADING AND  
DRAINAGE PLAN

Sheet No.

C202

CIVIL





KEYED NOTES

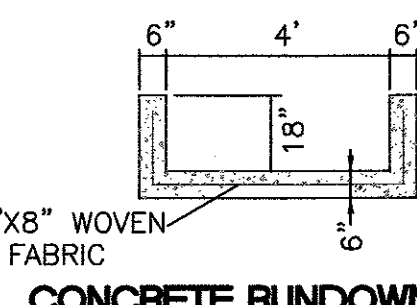
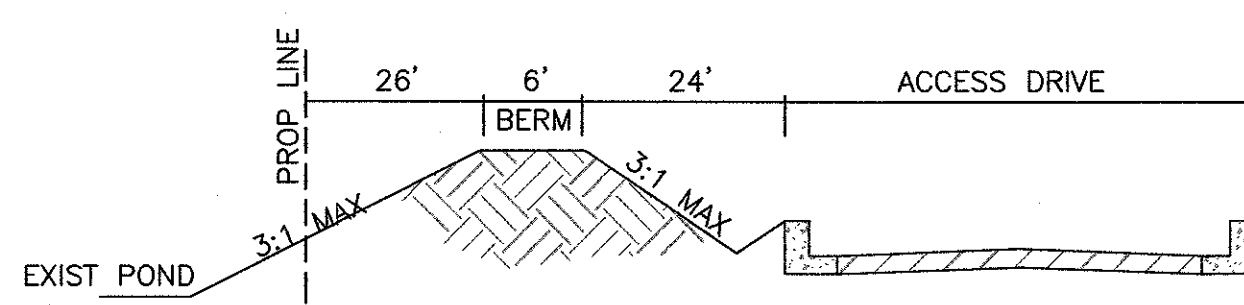
- (A) CONCRETE RODENT RUN, SEE DETAIL SHEET C503
- (B) TYPE D INLET PER COA STD DWG 2206
- (C) TYPE DOUBLE D INLET PER COA STD DWG 2206
- (D) TYPE E MANHOLE PER COA STD DWG 2102
- (E) CAP IN PHASE I
- (F) EMERGENCY OVERFLOW TO REMAIN
- (G) NEW SIDEWALK CULVERT PER COA STD DWG 2236

STRUCTURE TABLE

STRUCTURE	SIZE/TYPE	RIM	INVERT
MH 8	6" DIA	5140.62	5132.42
MH 9	6" DIA	5140.11	5130.09
MH 10	6" DIA	5139.81	5127.76
INLET 8	TYPE DOUBLE D	5140.20	5128.29
INLET 9	TYPE D	5140.20	5130.09
INLET 10	TYPE D	5139.60	5132.07
INLET 11	TYPE D	5139.40	5133.50
INLET 12	TYPE D	5139.40	5135.40
INLET 13	TYPE D	5139.40	5134.06
INLET 14	TYPE D	5139.70	5135.70
INLET 15	TYPE D	5139.90	5135.90

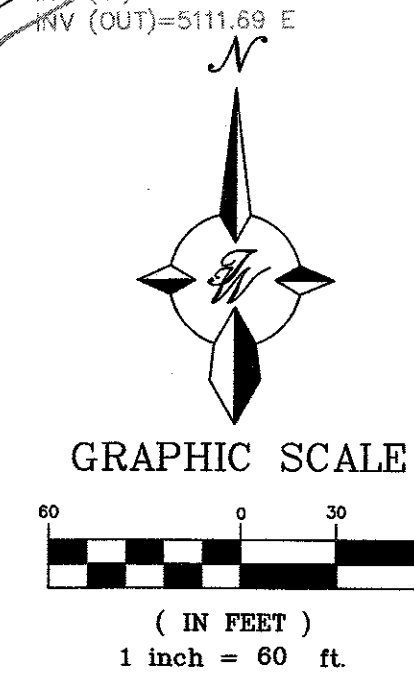
- LEGEND
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - RETAINING WALL
  - CONTOUR MAJOR
  - CONTOUR MINOR
  - SPOT ELEVATION (FLOWLINE)
  - FLOW ARROW
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
  - EXISTING CONTOUR MAJOR
  - EXISTING CONTOUR MINOR
  - ASPHALT PAVING
  - PROPOSED BUILDING
  - RD
  - ROOF DRAIN
  - PROPOSED FENCE
  - EXISTING STORM DRAIN

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POND 3  
Quarry=61.55 cfs  
100 YR. 10 DAY VOLUME=3.903 AC FT  
MAXIMUM WSE=5127.21  
TOP OF POND ELEV=5130.00  
OVERFLOW WEIR  
HEIGHT=2.5 FT  
LENGTH=10 FT  
Quarry=63.25 cfs

MATCH LINE  
SEE SHEET C202



ESI  
DESIGN SERVICES  
SMART BUILDING SOLUTIONS  
985 Walnut Ridge Drive, Highland, WI 53025 262.383.3535 T

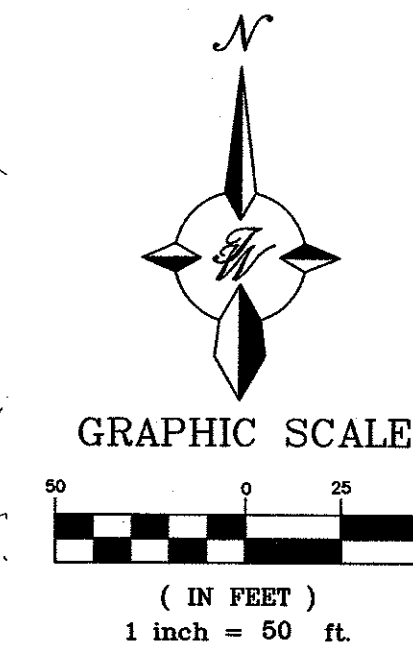
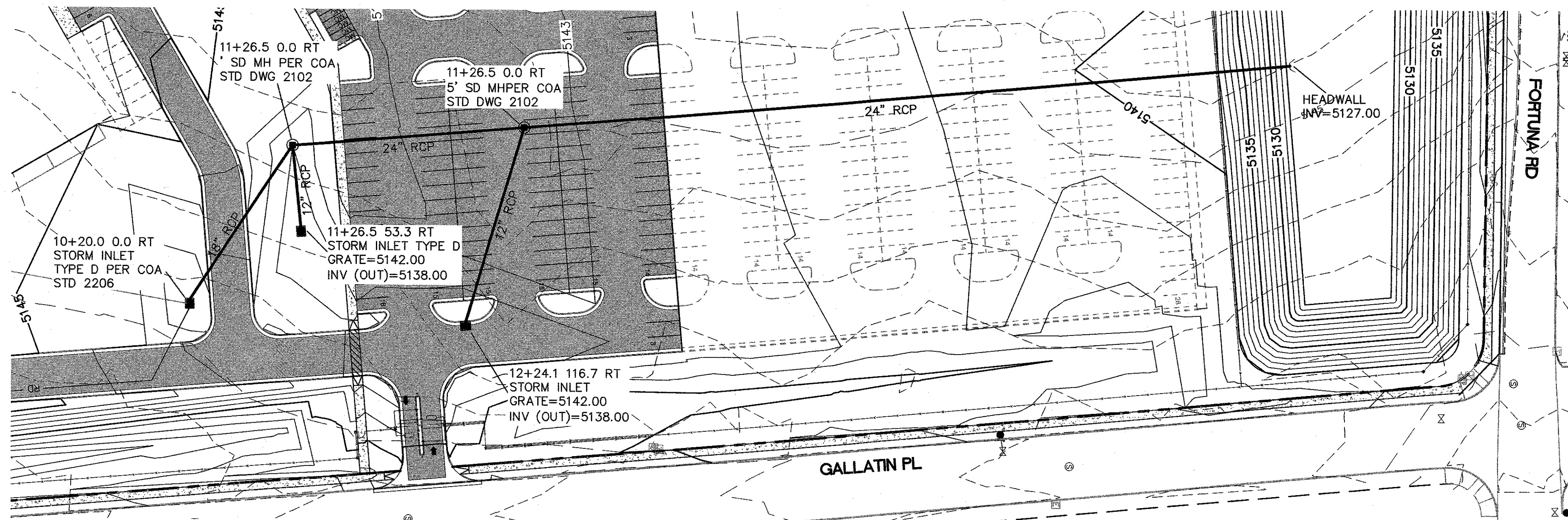
ENGINEER'S SEAL  
RONALD R. BOHANNAN  
P.E. #7868

NEW DISTRIBUTION CENTER  
BEN E KEITH  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

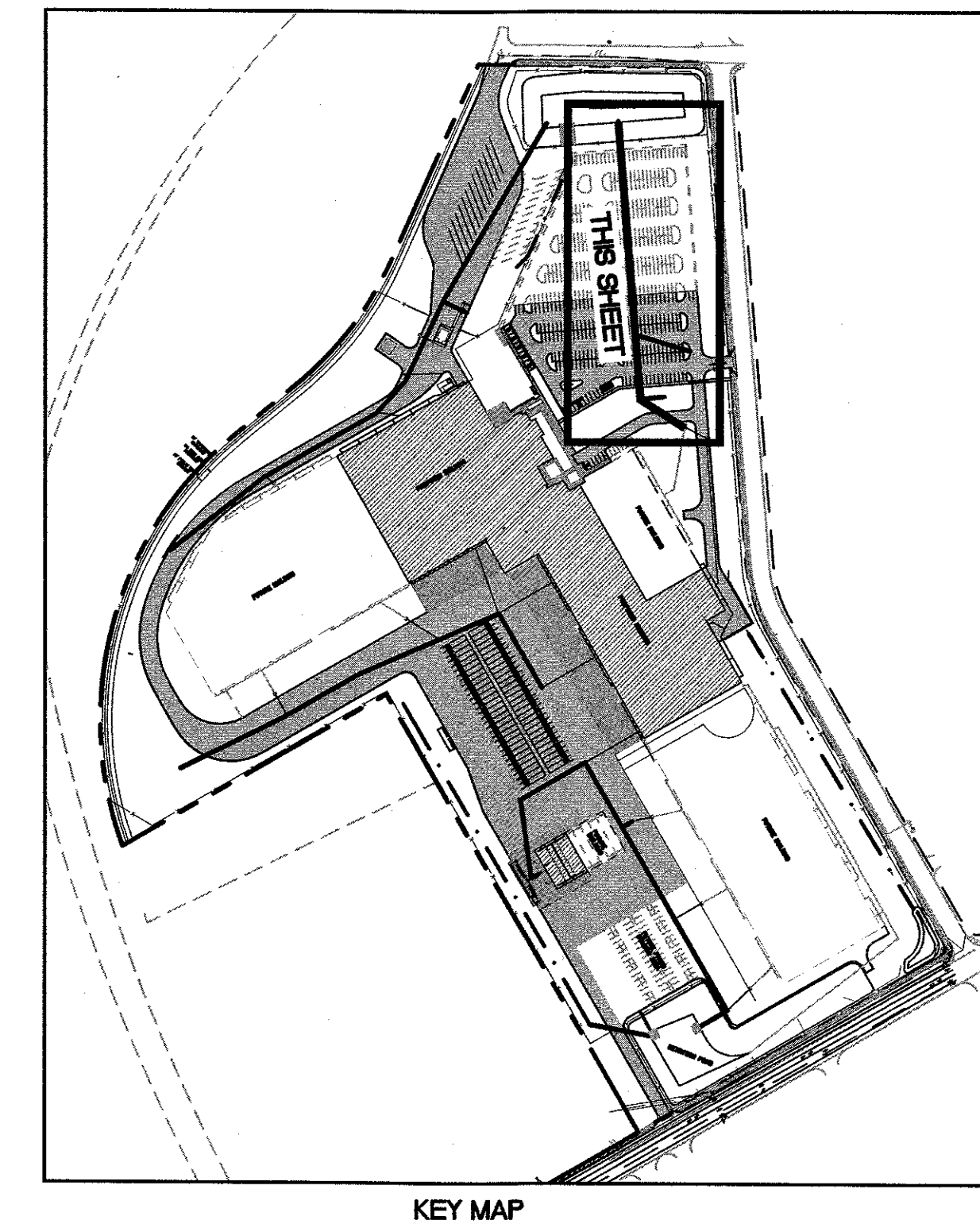
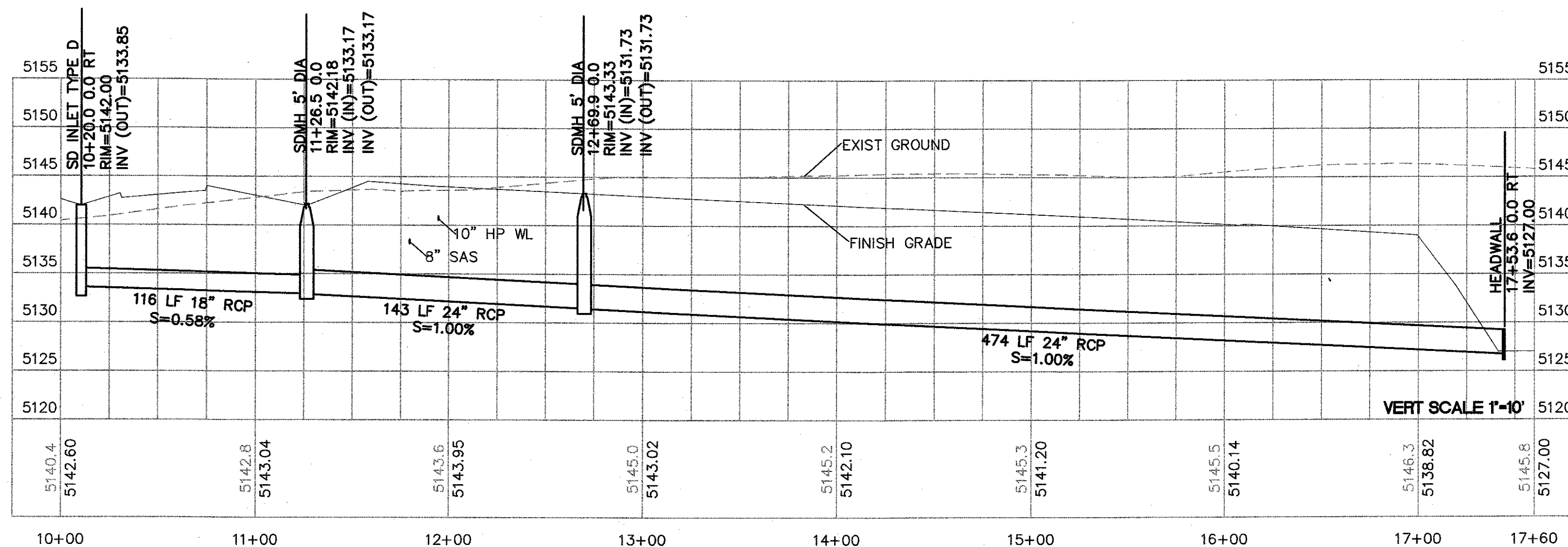
Revision No.  
Job No.  
2018014  
CAD/CHK'D By  
pm / vc  
Date  
7-19-19  
Sheet Title  
GRADING AND DRAINAGE PLAN  
Sheet No.  
C203  
CIVIL

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5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierwestllc.com





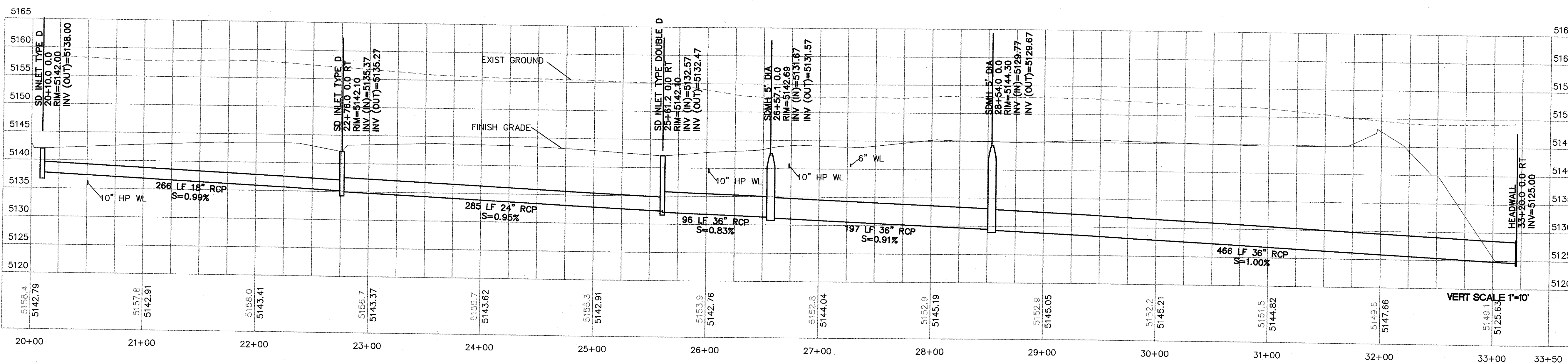
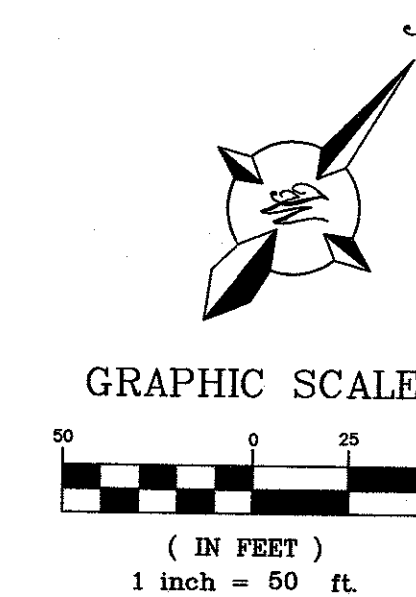
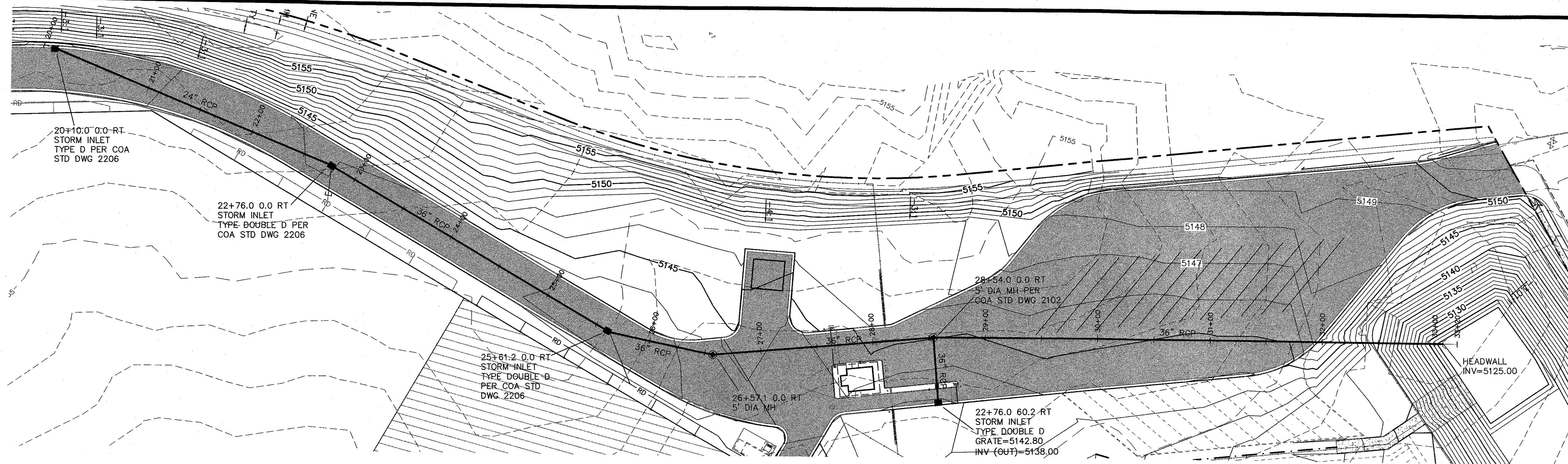
LEGEND	
	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	CENTERLINE
	RIGHT-OF-WAY
	BUILDING
	SIDEWALK
	RETAINING WALL
	CONTOUR MAJOR
	CONTOUR MINOR
	SPOT ELEVATION (FLOWLINE)
	FLOW ARROW
	EXISTING CURB & GUTTER
	EXISTING BOUNDARY LINE
	EXISTING CONTOUR MAJOR
	EXISTING CONTOUR MINOR
	ASPHALT PAVING
	PROPOSED BUILDING
	ROAD
	ROOF DRAIN



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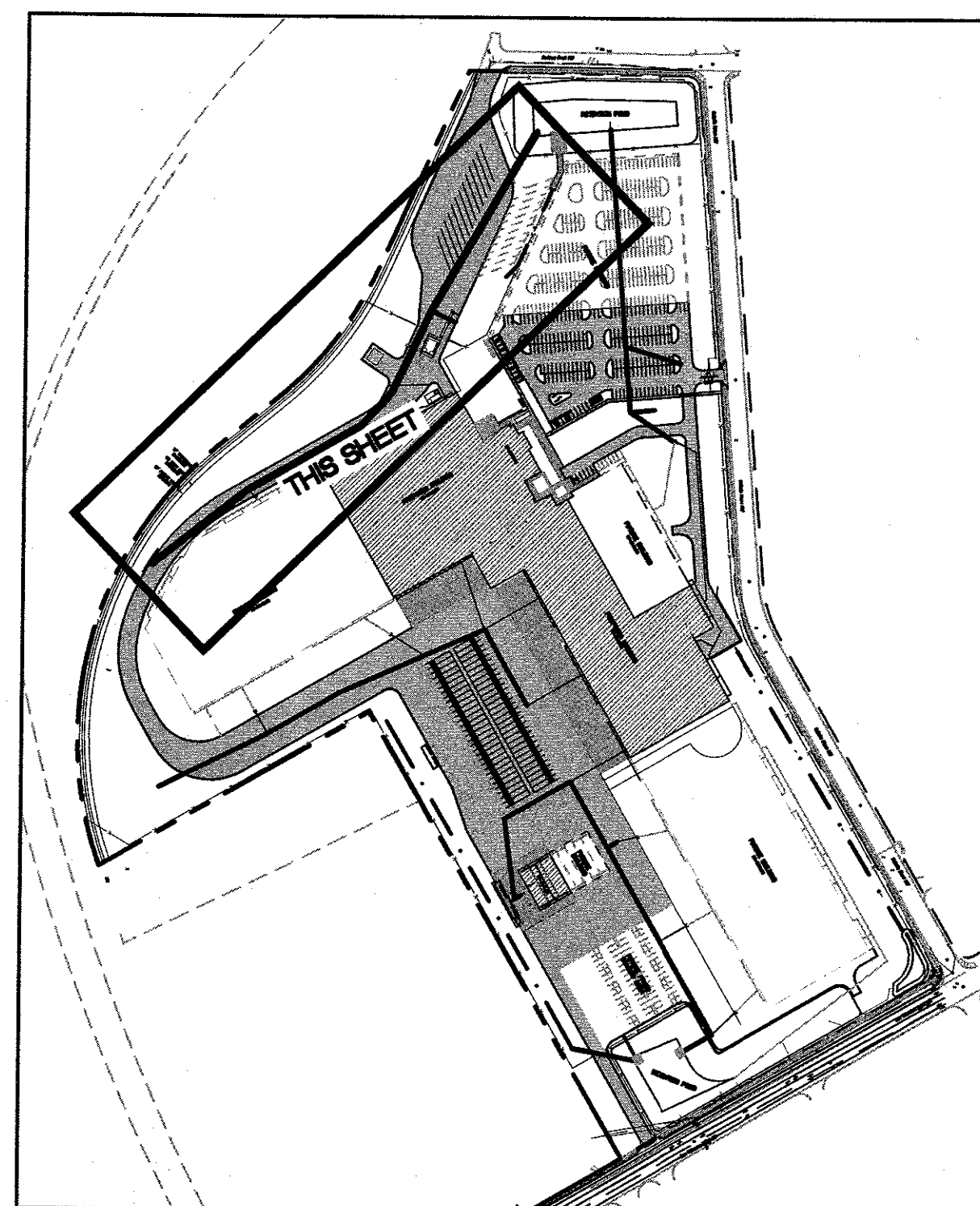
**TERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com





# LEGEND

- CURB & GUTTER
- - - BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- - - BUILDING
- - - SIDEWALK
- - - RETAINING WALL
- - - CONTOUR MAJOR
- - - CONTOUR MINOR
- x 5048.25 SPOT ELEVATION (FLOWLINE)
- - - FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- - - ASPHALT PAVING
- - - PROPOSED BUILDING
- - - ROOF DRAIN



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**ESI**  
DESIGN SERVICES  
SMART BUILDING SOLUTIONS  
950 Walnut Ridge Drive, Highland, WI 53029 262.369.5557

ENGINEER'S SEAL  
RONALD R. BOHANNAN  
NEW MEXICO  
PROFESSIONAL ENGINEER  
1989  
P.E. #7868

NEW DISTRIBUTION CENTER  
BEN E KEITH  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

Revision No.



Job No.

2018014

CAD/CHK'D By:

pm / vc

Date

7-19-19

Sheet Title

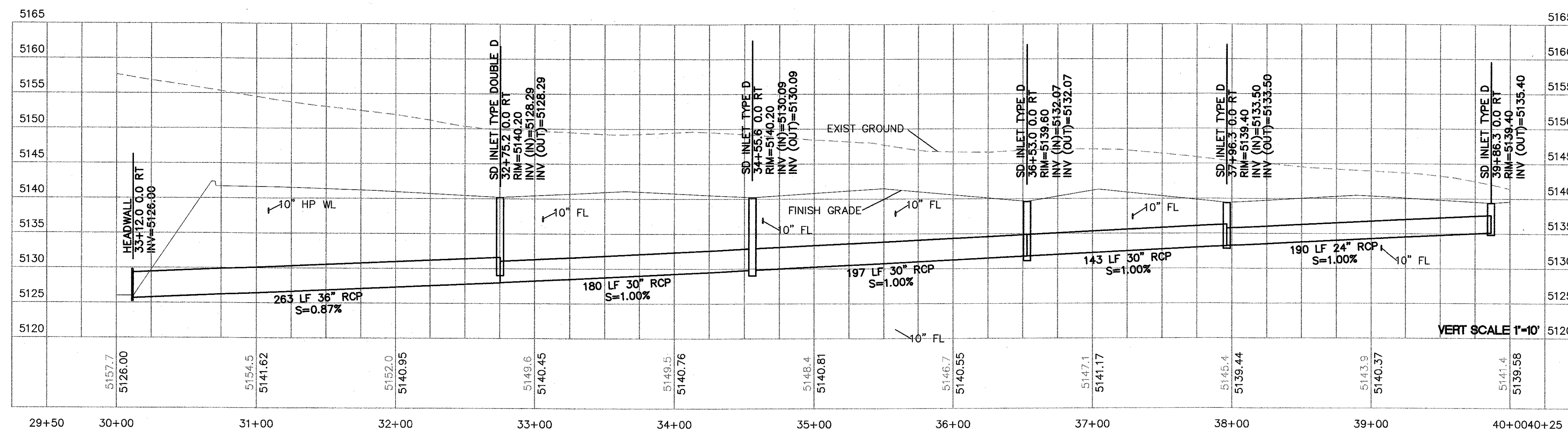
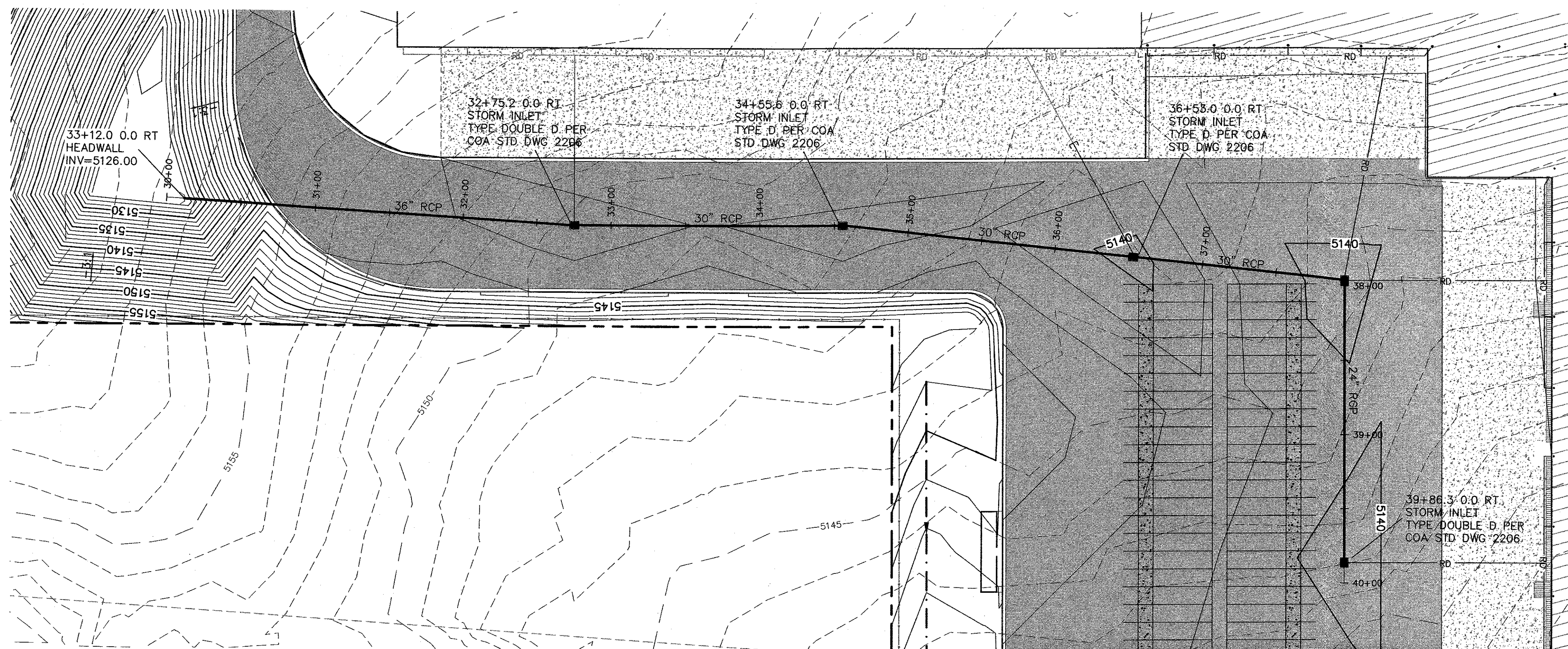
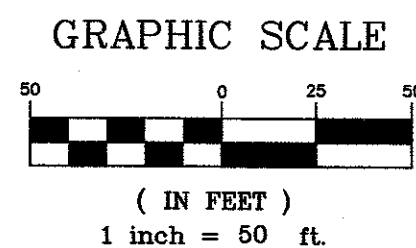
STORM SEWER  
PLAN AND PROFILE

Sheet No.

C205

CIVIL



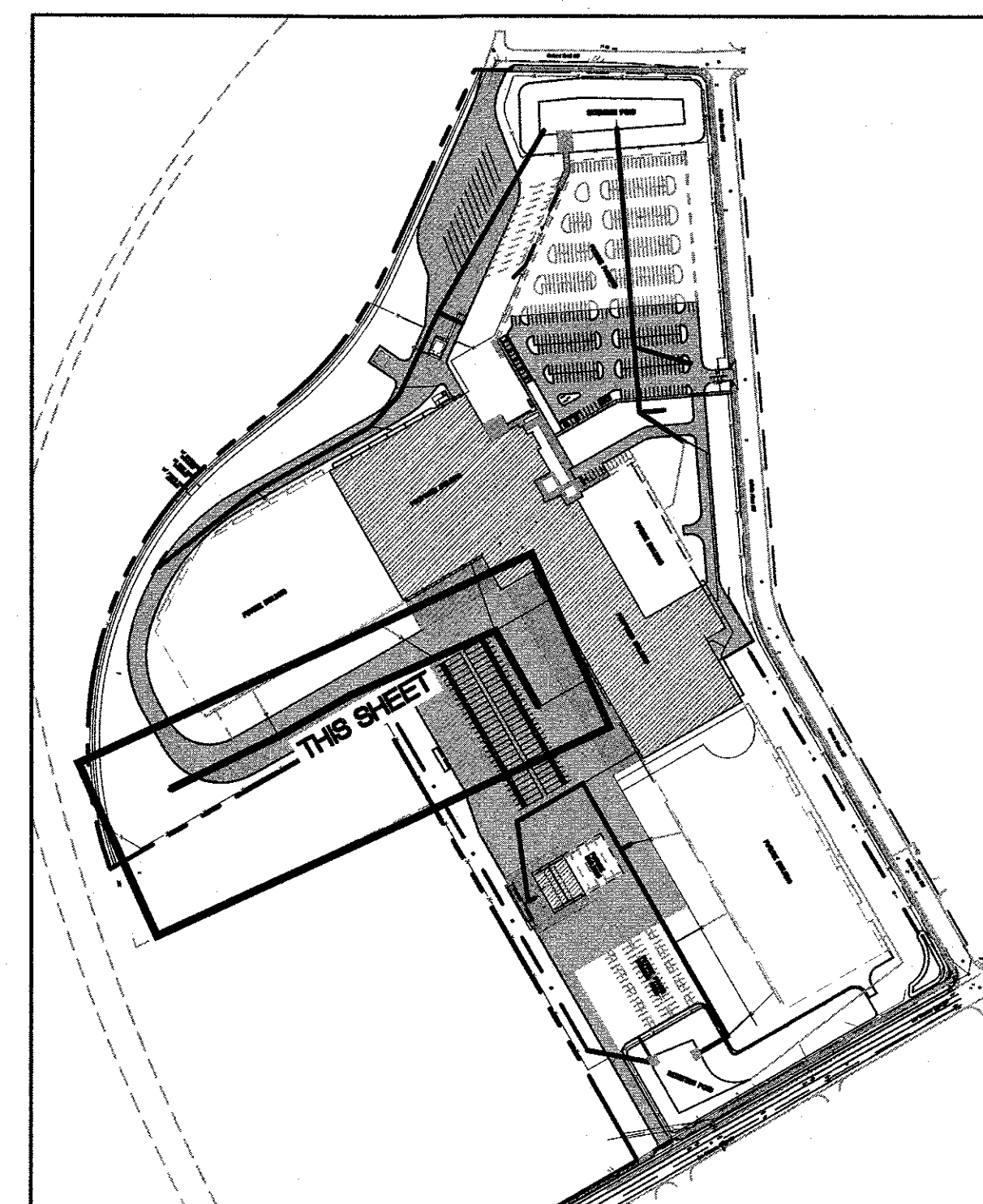


- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - RETAINING WALL
  - CONTOUR MAJOR
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  - SPOT ELEVATION (FLOWLINE)
  - FLOW ARROW
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
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  - EXISTING CONTOUR MINOR
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**TERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com



KEY MAP

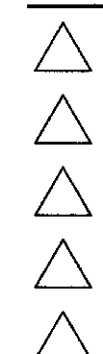
ENGINEER'S SEAL



RONALD R. BOHANNAN  
P.E. #7868

NEW DISTRIBUTION CENTER  
BEN E KEITH  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

Revision No.



Job No.

2018014

CAD/CHK'D By.

pm / vc

Date

7-19-19

Sheet Title

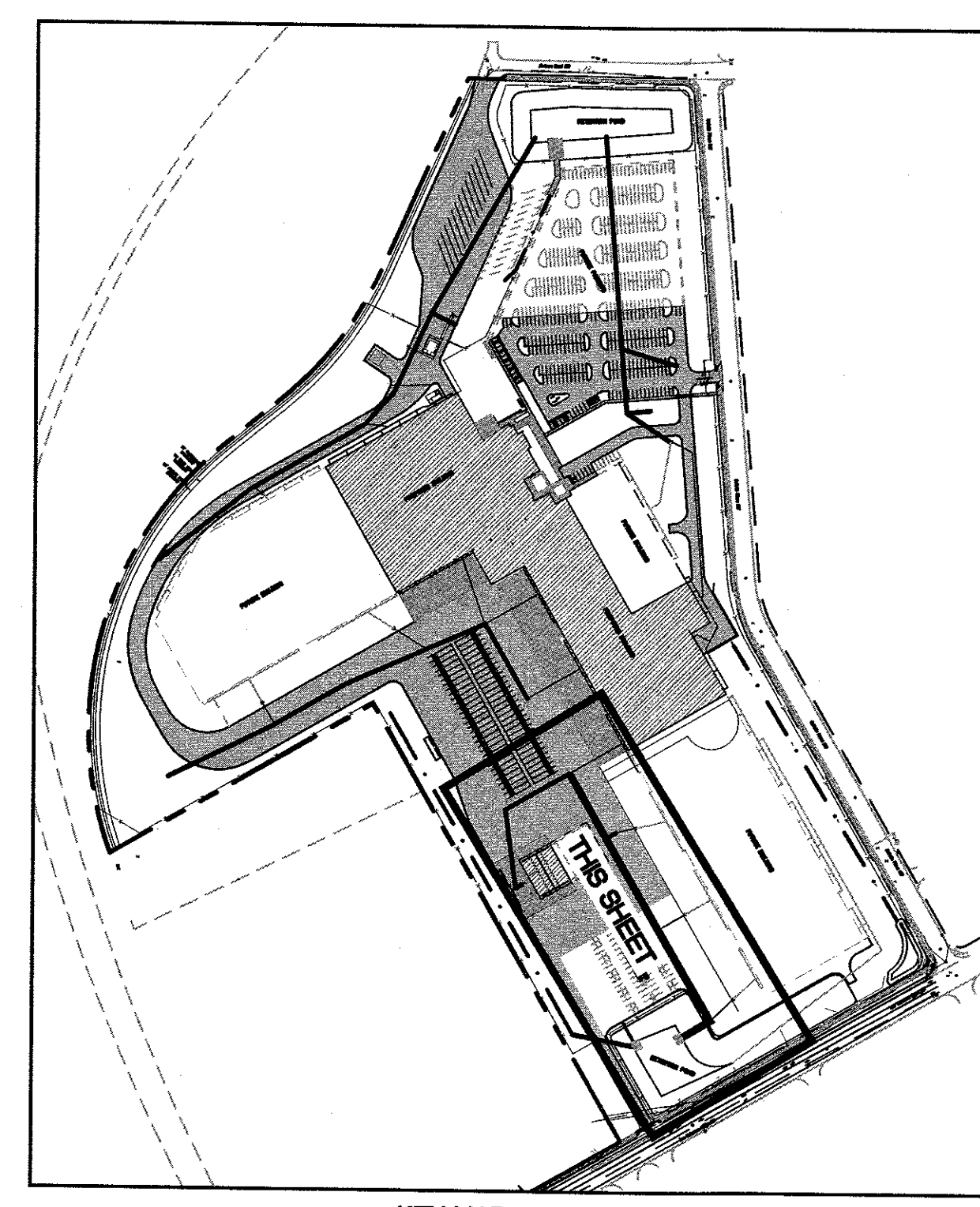
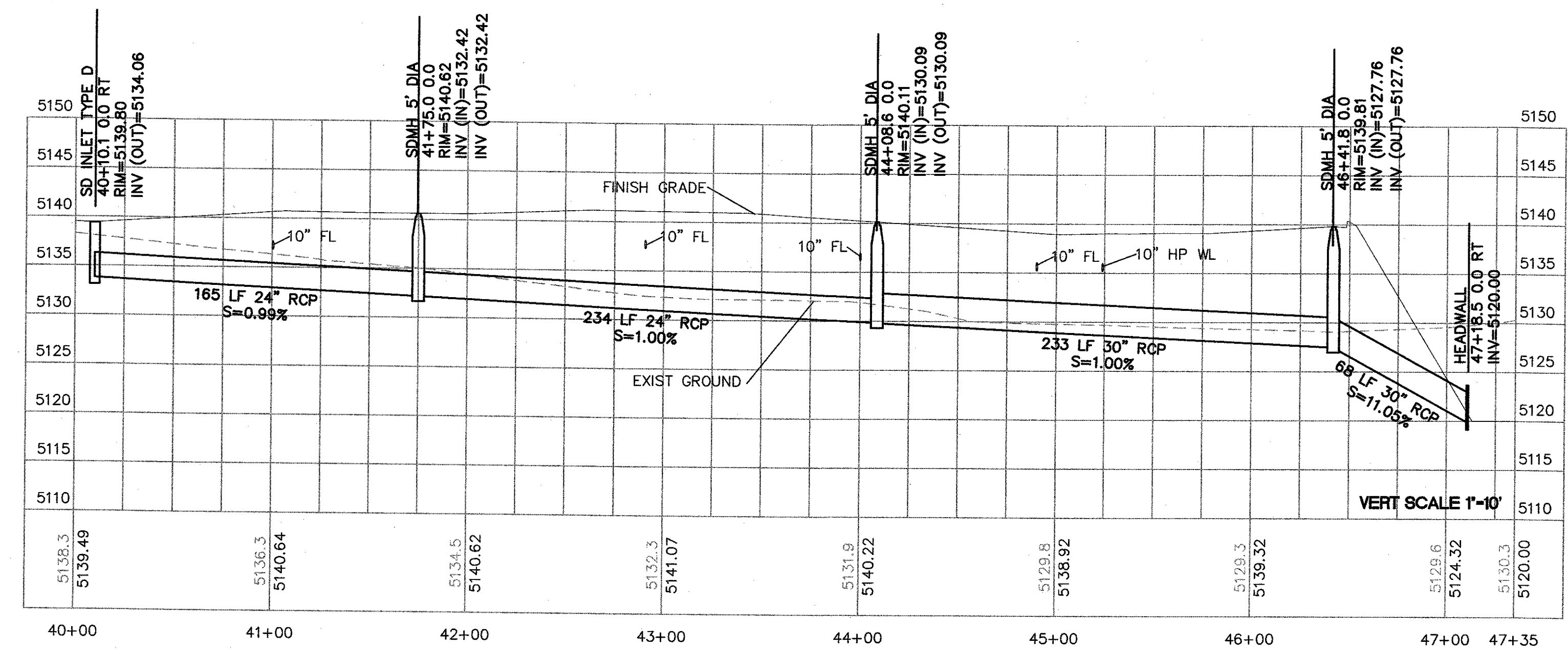
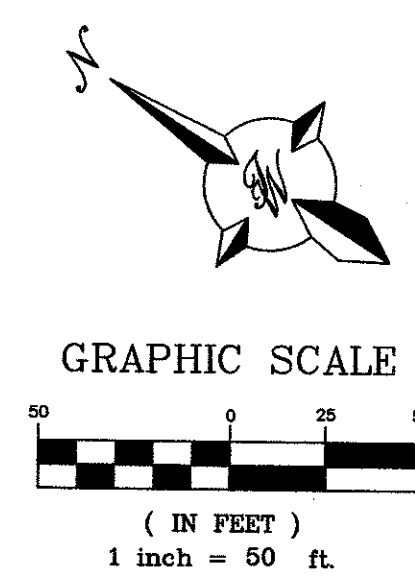
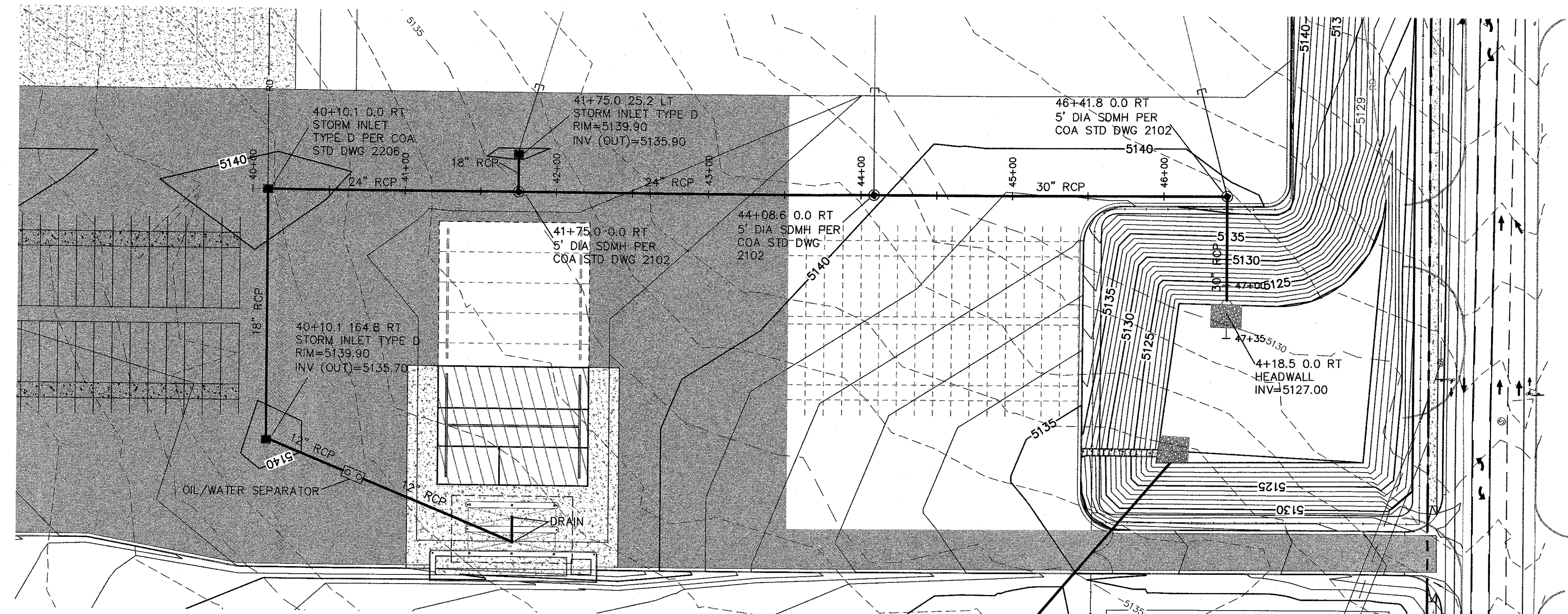
STORM SEWER  
PLAN AND PROFILE

Sheet No.

C206

CIVIL



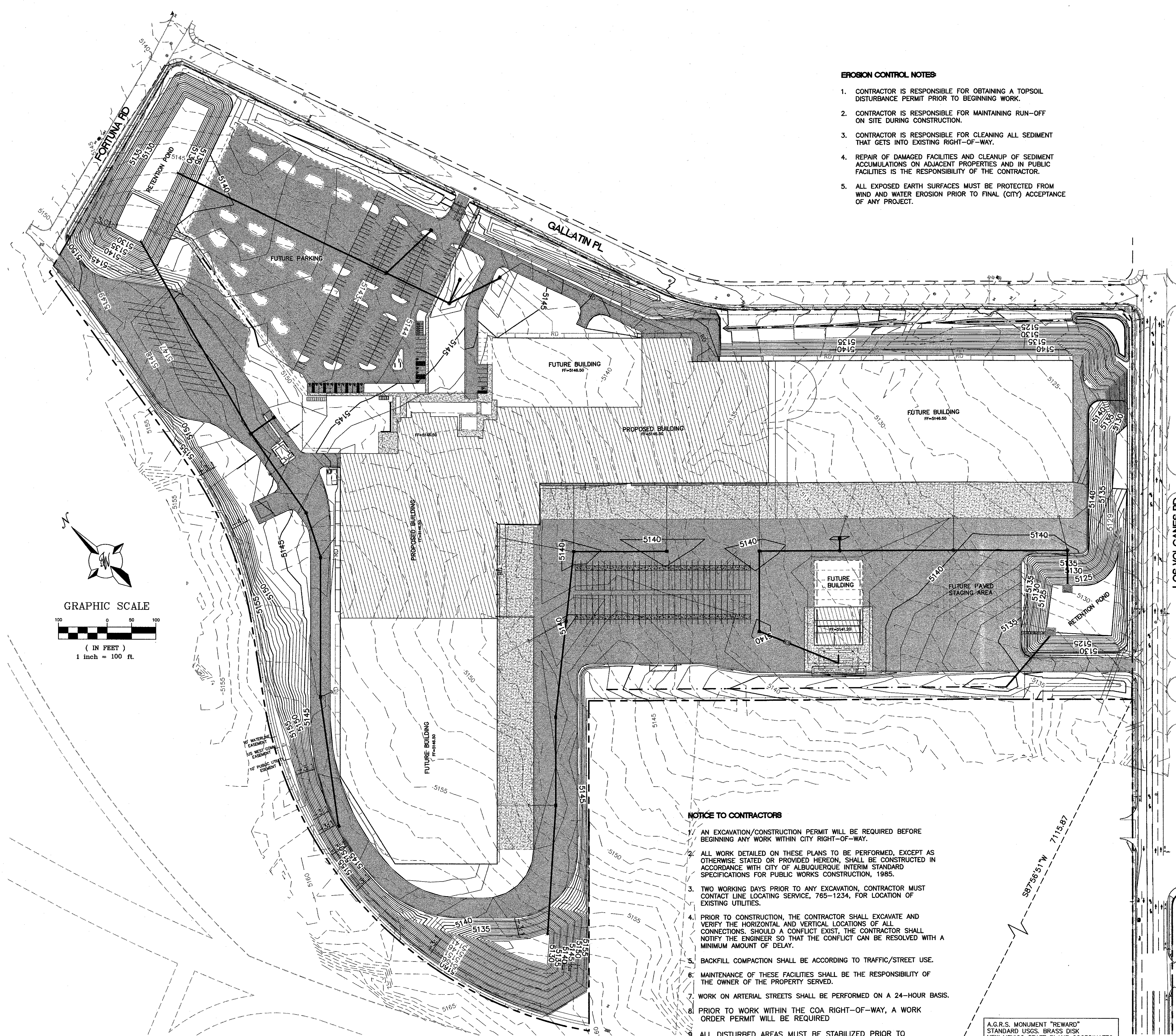


- LEGEND**
- CURB & GUTTER
  - BOUNDARY LINE
  - EASEMENT
  - CENTERLINE
  - RIGHT-OF-WAY
  - BUILDING
  - SIDEWALK
  - RETAINING WALL
  - CONTOUR MAJOR
  - CONTOUR MINOR
  - x 5048.25 SPOT ELEVATION (FLOWLINE)
  - FLOW ARROW
  - EXISTING CURB & GUTTER
  - EXISTING BOUNDARY LINE
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5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierrawestllc.com

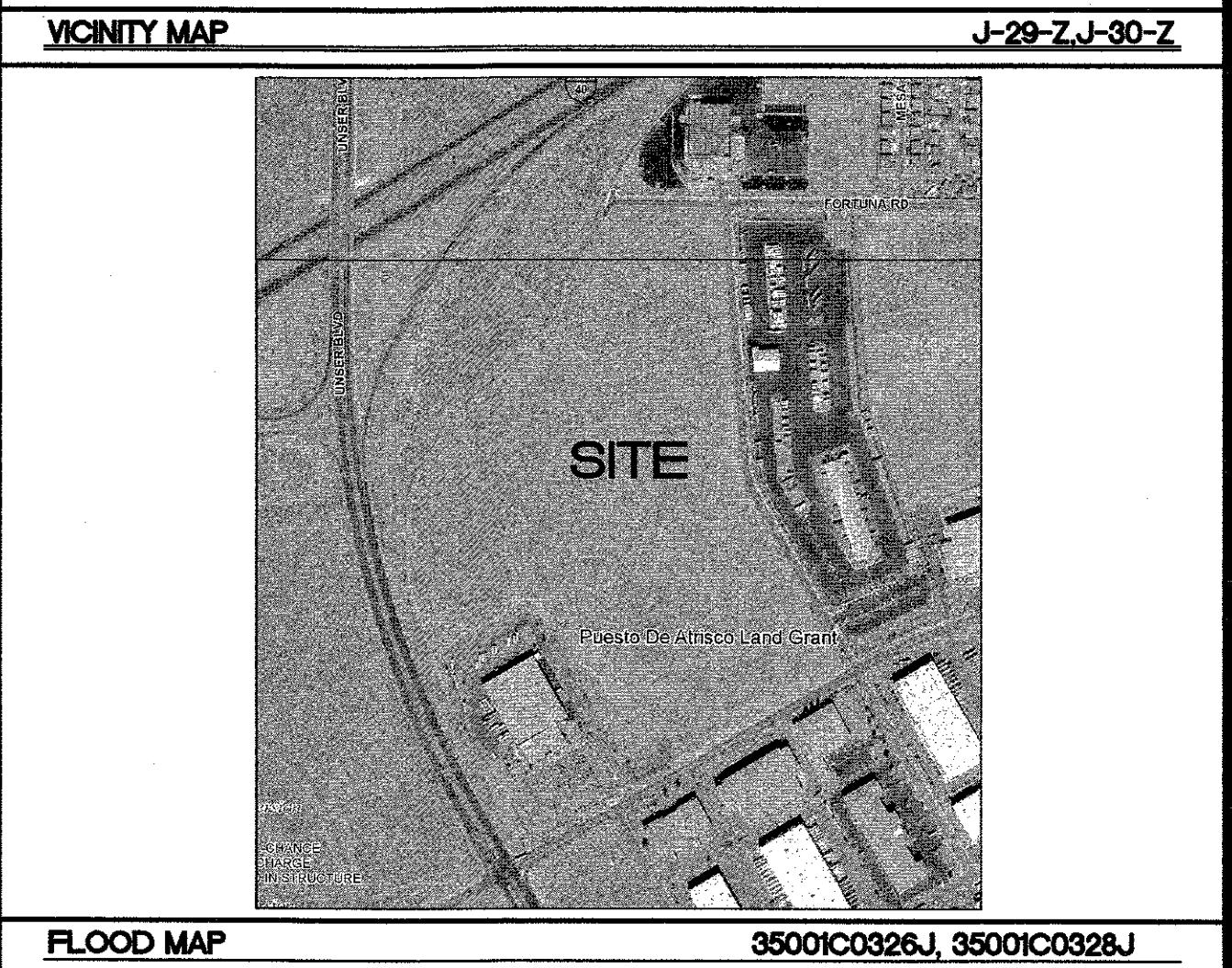
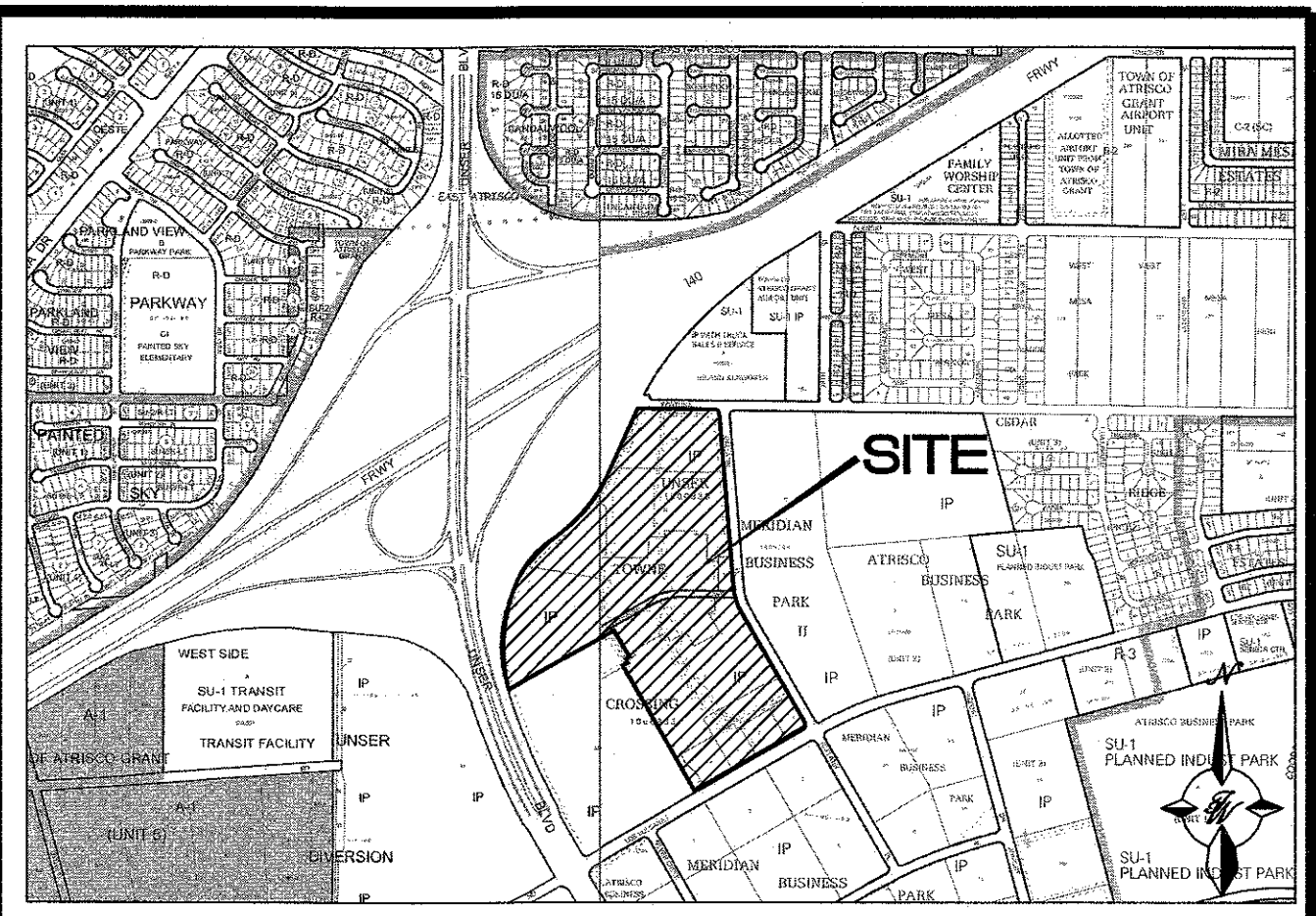




- EROSION CONTROL NOTES:**
1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
  2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
  3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
  4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
  5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

- NOTICE TO CONTRACTORS**
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
  2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
  3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
  4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
  5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
  6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
  7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
  8. PRIOR TO WORK WITHIN THE COA RIGHT-OF-WAY, A WORK ORDER PERMIT WILL BE REQUIRED.
  9. ALL DISTURBED AREAS MUST BE STABILIZED PRIOR TO ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY

A.G.R.S. MONUMENT "REWARD"  
STANDARD U.S.G.S. BRASS DISK  
NEW MEXICO STATE PLANE COORDINATES  
(CENTRAL ZONE-N.A.D. 1983)  
N=1,487,364.063  
E=1,491,190.819  
PUBLISHED EL=5319.688 (NAVD 1988)  
GROUND TO GRID FACTOR=0.999675005  
DELTA ALPHA ANGLE=-01°12'26"



- LEGEND**
- CURB & GUTTER
  - - - BOUNDARY LINE
  - - - EASEMENT
  - - - CENTERLINE
  - - - RIGHT-OF-WAY
  - ▬ BUILDING
  - ▬ SIDEWALK
  - ▬ RETAINING WALL
  - 5010 CONTOUR MAJOR
  - 5011 CONTOUR MINOR
  - x 5048.25 SPOT ELEVATION (FLOWLINE)
  - FLOW ARROW
  - - - EXISTING CURB & GUTTER
  - - - EXISTING BOUNDARY LINE
  - - - EXISTING CONTOUR MAJOR
  - - - EXISTING CONTOUR MINOR
  - ▬ ASPHALT PAVING
  - ▬ PROPOSED BUILDING
  - x PROPOSED FENCE

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**TERRA WEST, LLC**  
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ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
www.tierwestllc.com

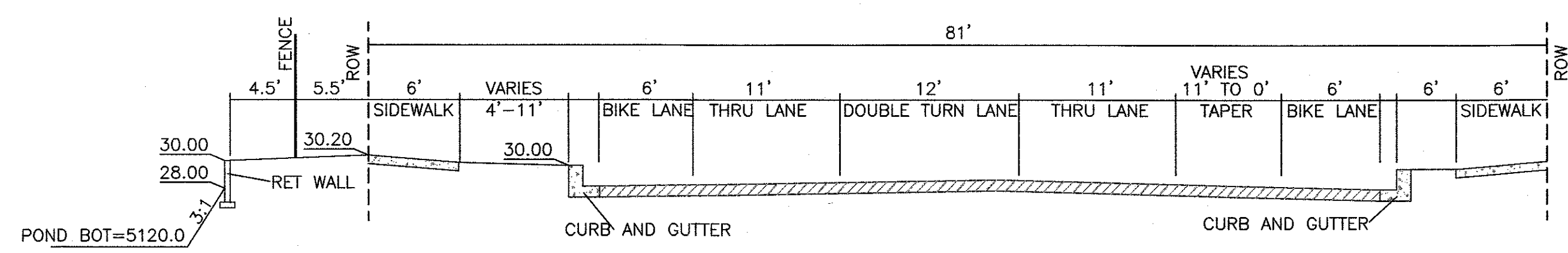
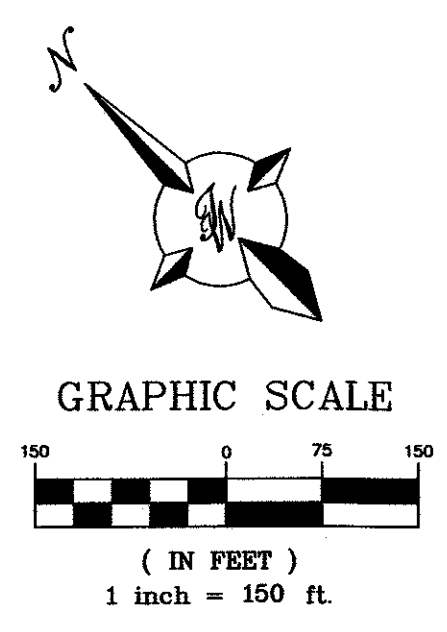
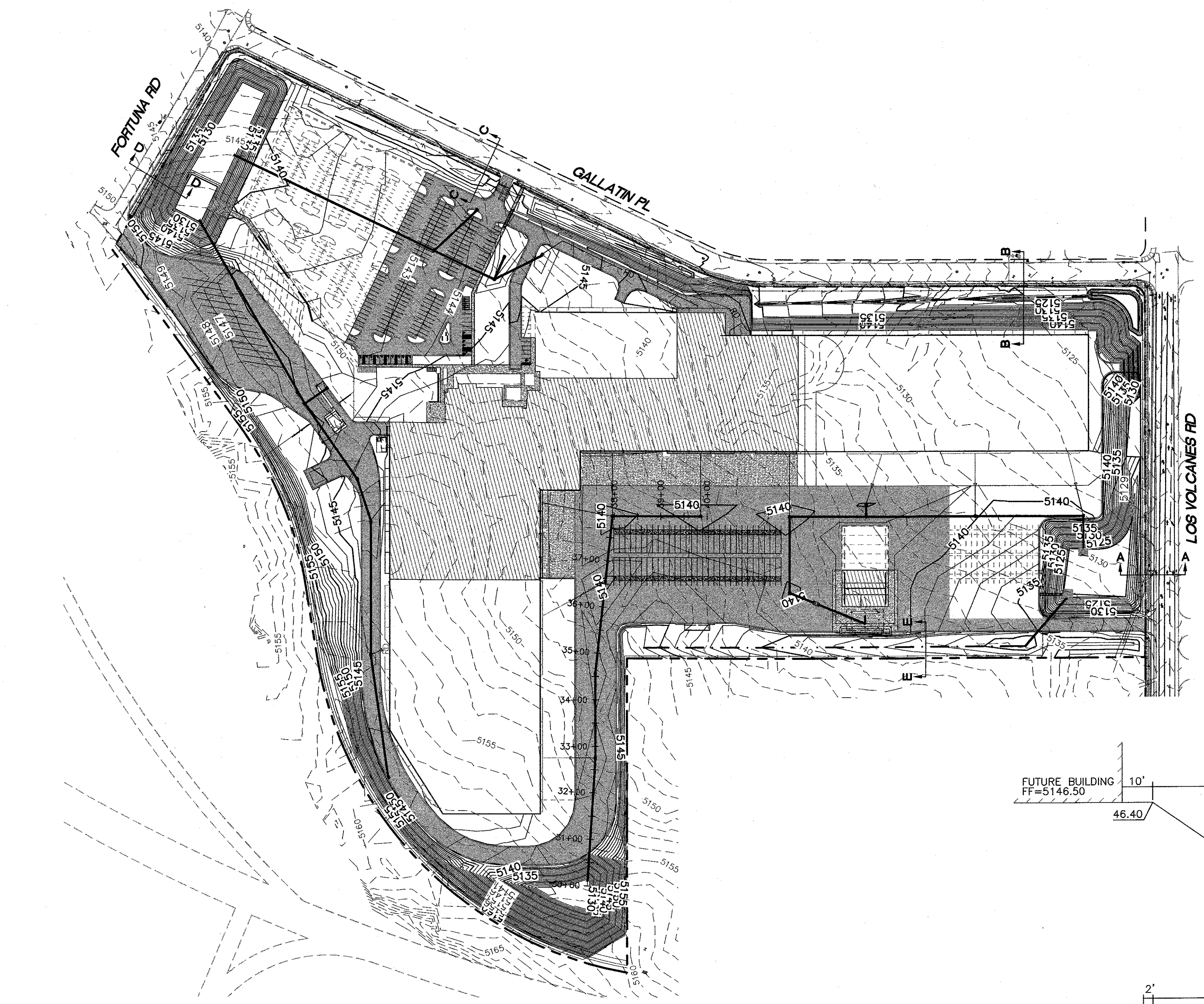
ESI  
DESIGN SERVICES  
SMART BUILDING SOLUTIONS  
160 Walnut Ridge Drive Hartford, WI 53029 262.366.3535 F.

ENGINEER'S SEAL  
RONALD R. BOHANNAN  
REGISTERED PROFESSIONAL ENGINEER  
P.E. #1868

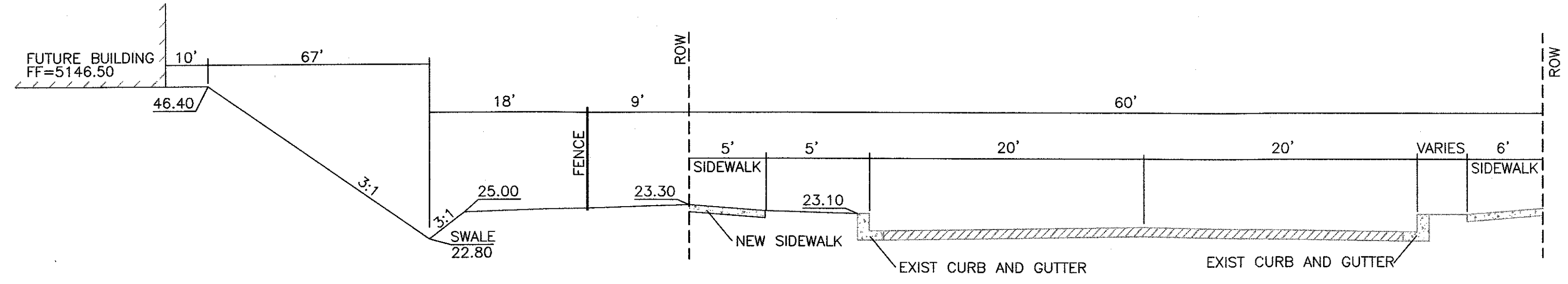
NEW DISTRIBUTION CENTER  
BEN E KEITH  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

Revision No.  
Job No.  
2018014  
CAD/CHK'D By.  
pm / vc  
Date  
7-19-19  
Sheet Title  
ULTIMATE BUILD OUT  
CONCEPTUAL GRADING  
AND DRAINAGE PLAN  
Sheet No.  
C208  
CIVIL

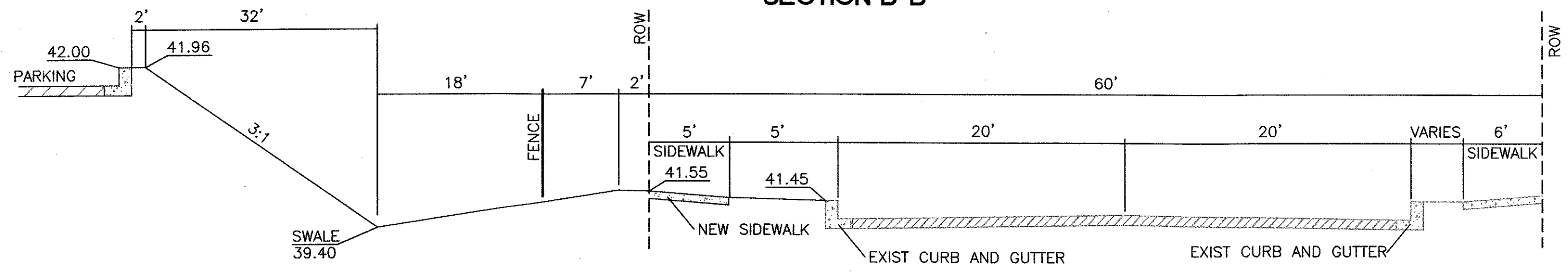




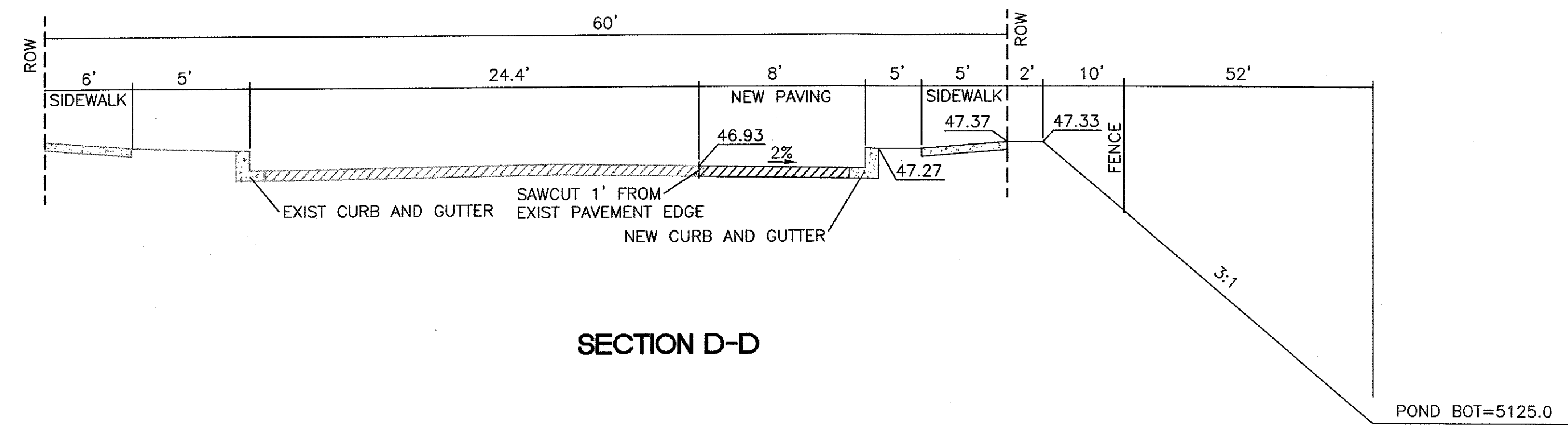
SECTION A-A



SECTION B-B

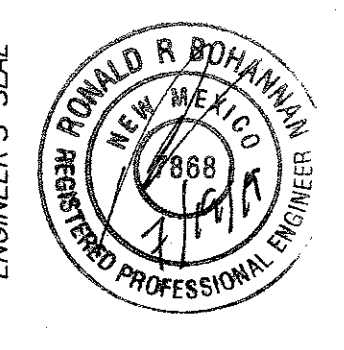


SECTION C-C



SECTION D-D

**TIERRA WEST, LLC**  
 5571 MIDWAY PARK PL NE  
 ALBUQUERQUE, NEW MEXICO 87109  
 (505) 858-3100  
 www.tierrawestllc.com



**NEW DISTRIBUTION CENTER**  
**BEN E KEITH**  
**601 GALLATIN PL NW**  
**ALBUQUERQUE, NM 87121**

Revision No.	
Job No.	2018014
CAD/CHK'D By:	pm / vc
Date	7-19-19
Sheet Title	

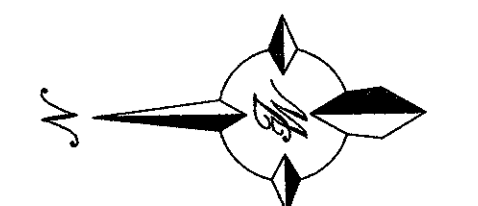
TYPICAL SECTIONS

Sheet No.

C209

CIVIL





GRAPHIC SCALE  
( IN FEET )  
1 inch = 100 ft.

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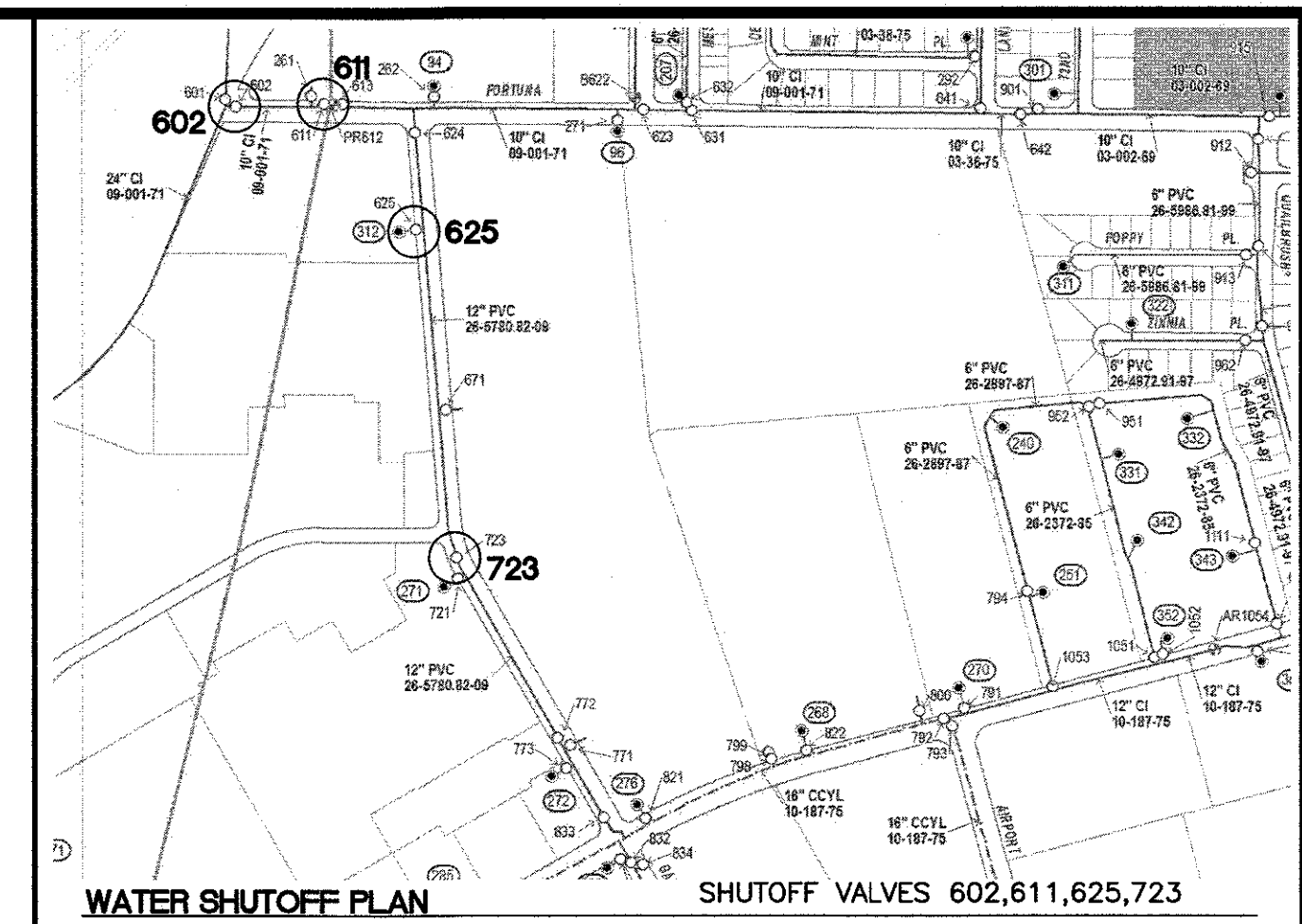
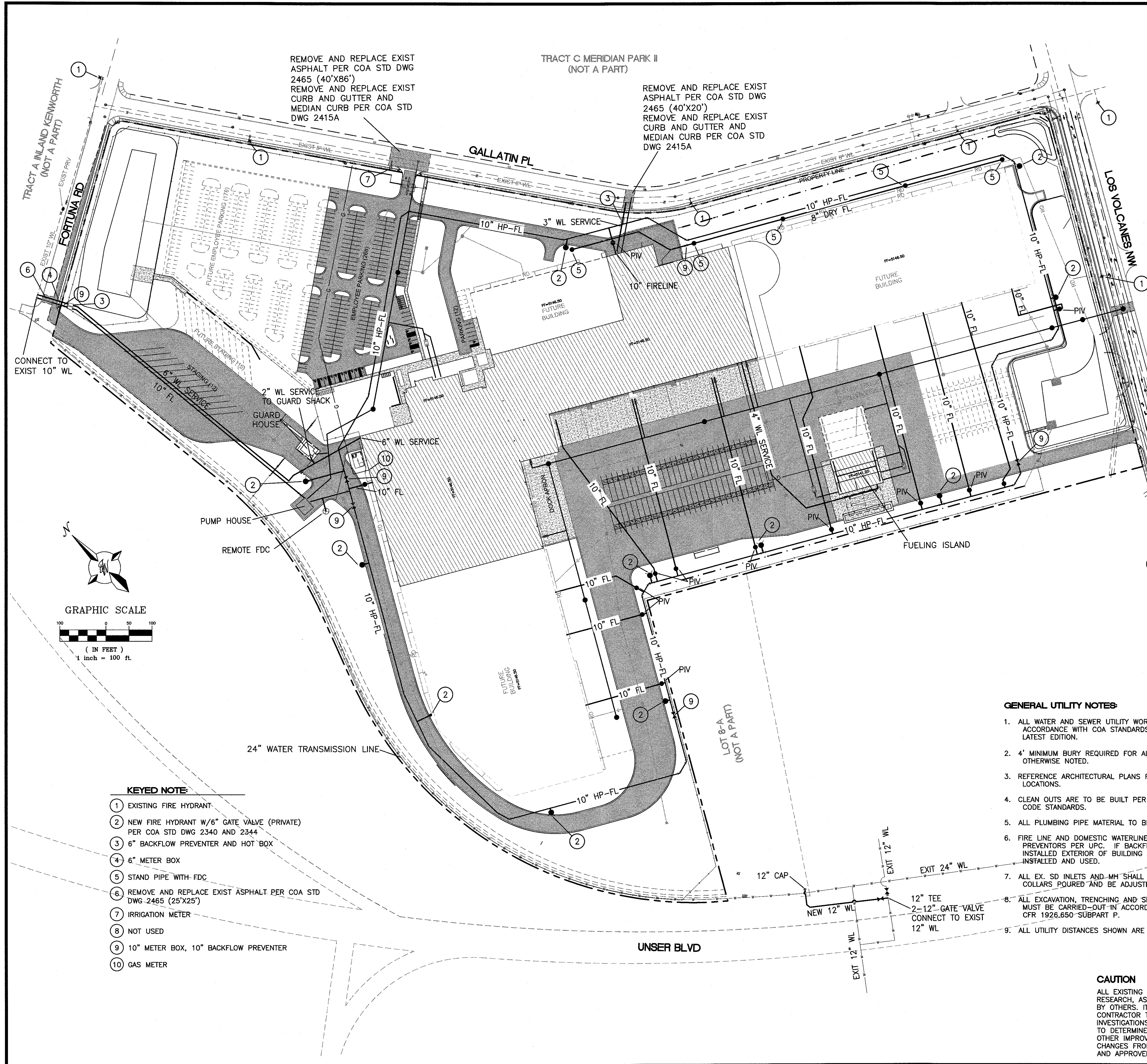
NEW DISTRIBUTION CENTER  
BEN E KEITH  
601 GALLATIN PL NW  
ALBUQUERQUE, NM 87121

Revision No. \_\_\_\_\_  
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Job No. \_\_\_\_\_  
2018014  
CAD/CHK'D By. \_\_\_\_\_  
pm / vc  
Date \_\_\_\_\_  
6-27-19  
Sheet Title \_\_\_\_\_

DEVELOPED DRAINAGE  
BASINS

Sheet No. \_\_\_\_\_  
1  
CIVIL



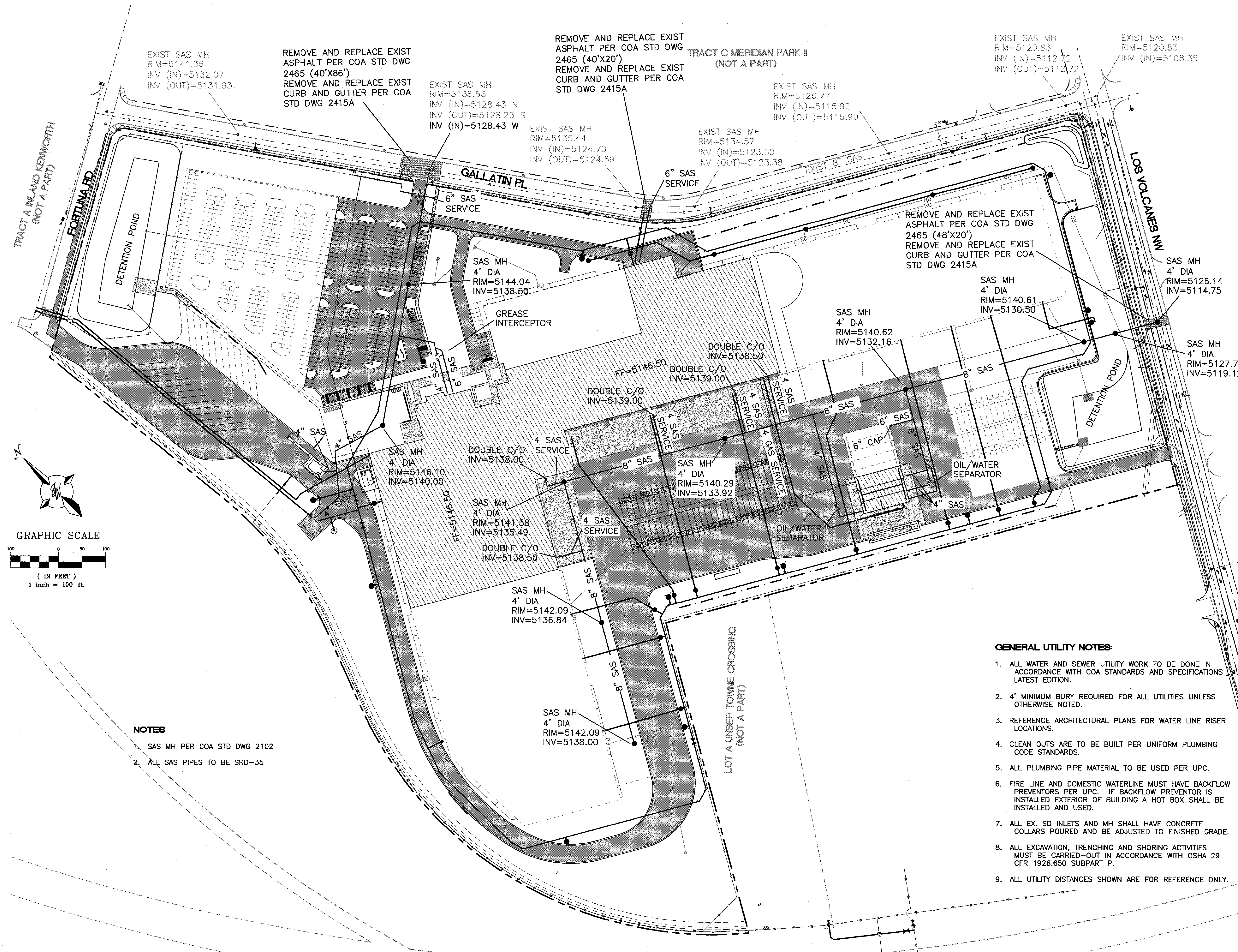


THE CONTRACTOR SHALL COORDINATE WITH THE WATER AUTHORITY SEVEN (7) DAYS IN ADVANCE OF PERFORMING WORK THAT WILL AFFECT THE PUBLIC WATER OR SANITARY SEWER INFRASTRUCTURE. WORK REQUIRING SHUTOFF OF FACILITIES DESIGNATED AS MASTER PLAN FACILITIES MUST BE COORDINATED WITH THE WATER AUTHORITY 14 DAYS IN ADVANCE OF PERFORMING SUCH WORK. ONLY WATER AUTHORITY CREWS ARE AUTHORIZED TO OPERATE PUBLIC VALVES. SHUTOFF REQUESTS MUST BE MADE ONLINE AT [HTTP://ABCWUA.ORG/CONTENT/VIEW/463/729/](http://abcwua.org/content/view/463/729/).

# LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED GAS
	PROPOSED POWER
	PROPOSED TELEPHONE





# LEGEND

	CURB & GUTTER
	BOUNDARY LINE
	EASEMENT
	BUILDING
	SIDEWALK
	EXISTING CURB & GUTTER
	STORM SEWER LINE
	SANITARY SEWER LINE
	WATERLINE
	SINGLE CLEAN OUT
	DOUBLE CLEAN OUT
	EXISTING SD MANHOLE
	EXISTING INLET
	EXISTING SAS MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING WATER METER
	EXISTING POWER POLE
	EXISTING GAS VALVE
	EXISTING GAS
	EXISTING SANITARY SEWER LINE
	EXISTING WATER LINE
	EXISTING STORM SEWER LINE
	PROPOSED GAS
	PROPOSED POWER
	PROPOSED TELEPHONE

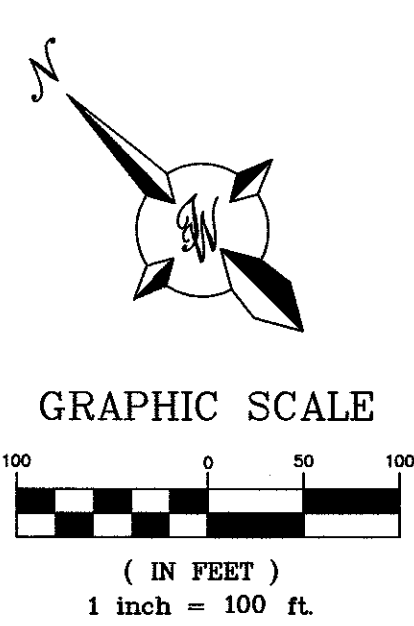
## GENERAL UTILITY NOTES:

- ALL WATER AND SEWER UTILITY WORK TO BE DONE IN ACCORDANCE WITH COA STANDARDS AND SPECIFICATIONS LATEST EDITION.
- 4' MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS OTHERWISE NOTED.
- REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATIONS.
- CLEAN OUTS ARE TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
- ALL PLUMBING PIPE MATERIAL TO BE USED PER UPC.
- FIRE LINE AND DOMESTIC WATERLINE MUST HAVE BACKFLOW PREVENTORS PER UPC. IF BACKFLOW PREVENTOR IS INSTALLED EXTERIOR OF BUILDING A HOT BOX SHALL BE INSTALLED AND USED.
- ALL EX. SD INLETS AND MH SHALL HAVE CONCRETE COLLARS POURED AND BE ADJUSTED TO FINISHED GRADE.
- ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
- ALL UTILITY DISTANCES SHOWN ARE FOR REFERENCE ONLY.
- PNM HAS NUMEROUS ELECTRIC FACILITIES AT THIS SITE CURRENTLY SERVING EXISTING CUSTOMERS. THE APPLICANT SHALL COORDINATE WITH PNM REGARDING THESE EXISTING FACILITIES. ANY RELOCATION, CHANGES OR REALIGNMENT OF EXISTING ELECTRIC UTILITIES WILL BE THE DEVELOPER EXPENSE. IN SOME CASES, RELOCATION OR CHANGES TO EXISTING FACILITIES MAY NOT BE FEASIBLE DUE TO PHYSICAL, USE OR SAFETY CLEARANCE CONSTRAINTS.
- PNM WILL REVIEW ALL TECHNICAL NEEDS, ISSUES AND SAFETY CLEARANCES FOR ITS ELECTRIC POWER SYSTEMS. ANY EXISTING AND PROPOSED PUBLIC UTILITY EASEMENTS SHALL BE INDICATED ON THE SITE PLAN UTILITY SHEET PRIOR TO DRB REVIEW. PNM'S STANDARD FOR PUBLIC UTILITY EASEMENTS IS 10 FEET IN WIDTH TO ENSURE ADEQUATE, SAFE CLEARANCES.
- SCREENING SHALL BE DESIGNED TO ALLOW FOR ACCESS TO UTILITY FACILITIES. IT IS NECESSARY TO PROVIDE ADEQUATE CLEARANCE OF TEN FEET SURROUNDING ALL GROUND-MOUNTED UTILITIES FOR SAFE OPERATION, MAINTENANCE AND REPAIR PURPOSES.
- ALL BUILDINGS - CONSTRUCTION TYPE IS II-B
- THRUST BLOCKING SHALL BE INSTALLED AT ALL CHANGES OF DIRECTION AND ELEVATION, ON ALL WATERMAIN. STAINLESS STEEL RODDING SHALL BE EXTENDED ALONG THE NEXT FULL-LENGTH PIPE AND ANCHORED ON THE PIPE BELL, OR MECHANICAL FITTING, ADDITIONALLY, AT ALL LOCATIONS OF THRUST-BLOCKING. MEGA-LUGS ARE NOT TO BE ALLOWED.

## CAUTION

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PL NE  
ALBUQUERQUE, NEW MEXICO 87109  
(505) 858-3100  
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## NOTES

- SAS MH PER COA STD DWG 2102
- ALL SAS PIPES TO BE SRD-35







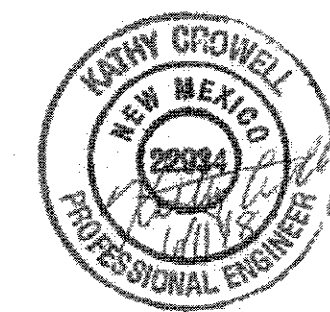


12 INCH REINFORCED				CONCRETE MASONRY WALL	
H	A	B	T	Y-BARS	X-BARS
ft.-in.	in.	ft.-in.	in.		
5'-4"	14"	3'-8"	10"	#6 @18" O.C.	#4 @24" O.C.
6'-0"	15"	4'-2"	12"	#6 @16" O.C.	#4 @18" O.C.
6'-8"	16"	4'-6"	12"	#6 @24" O.C.	#5 @18" O.C.
7'-4"	18"	4'-10"	12"	#6 @16" O.C.	#5 @18" O.C.
8'-0"	20"	5'-4"	12"	#7 @18" O.C.	#6 @12" O.C.
8'-8"	20"	5'-8"	12"	#7 @16" O.C.	#6 @12" O.C.

1. ALL CONCRETE IS TO BE 4000 PSI @ 28 DAYS.
2. MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM. D 1557 FOR A DEPTH OF 12" MOISTURE CONTENT IS TO BE  $\pm$  2.0%.
3. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND COMPACTED.
4. ALL BARS ARE TO BE GRADE 60, ASTM 615.
5. TRUSS TYPE DUR-O-WALL EVERY OTHER COURSE.
6. DOWELS SHALL BE AT LEAST EQUAL IN SIZE AND SPACING TO V-BARS. SHALL PROJECT A MINIMUM OF 30 BAR DIA. INTO THE FILL BLOCK CORES, AND SHALL EXTEND TO THE TOE OF THE FOOTING.
7. PROVIDE KEY FOR 8" AND 12" WALLS WHERE H EXCEEDS 6'-0"
8. USE EITHER EXPANSION JOINTS ON 20' CENTERS OR PILASTERS EVERY 16'.
9. BOND BEAM, 1-#4 BARS FOR WALLS UNDER 3'-4", 2-#4 BARS FOR WALLS UNDER 5'-4", 2-#5 BARS FOR WALLS OVER 5'-4".



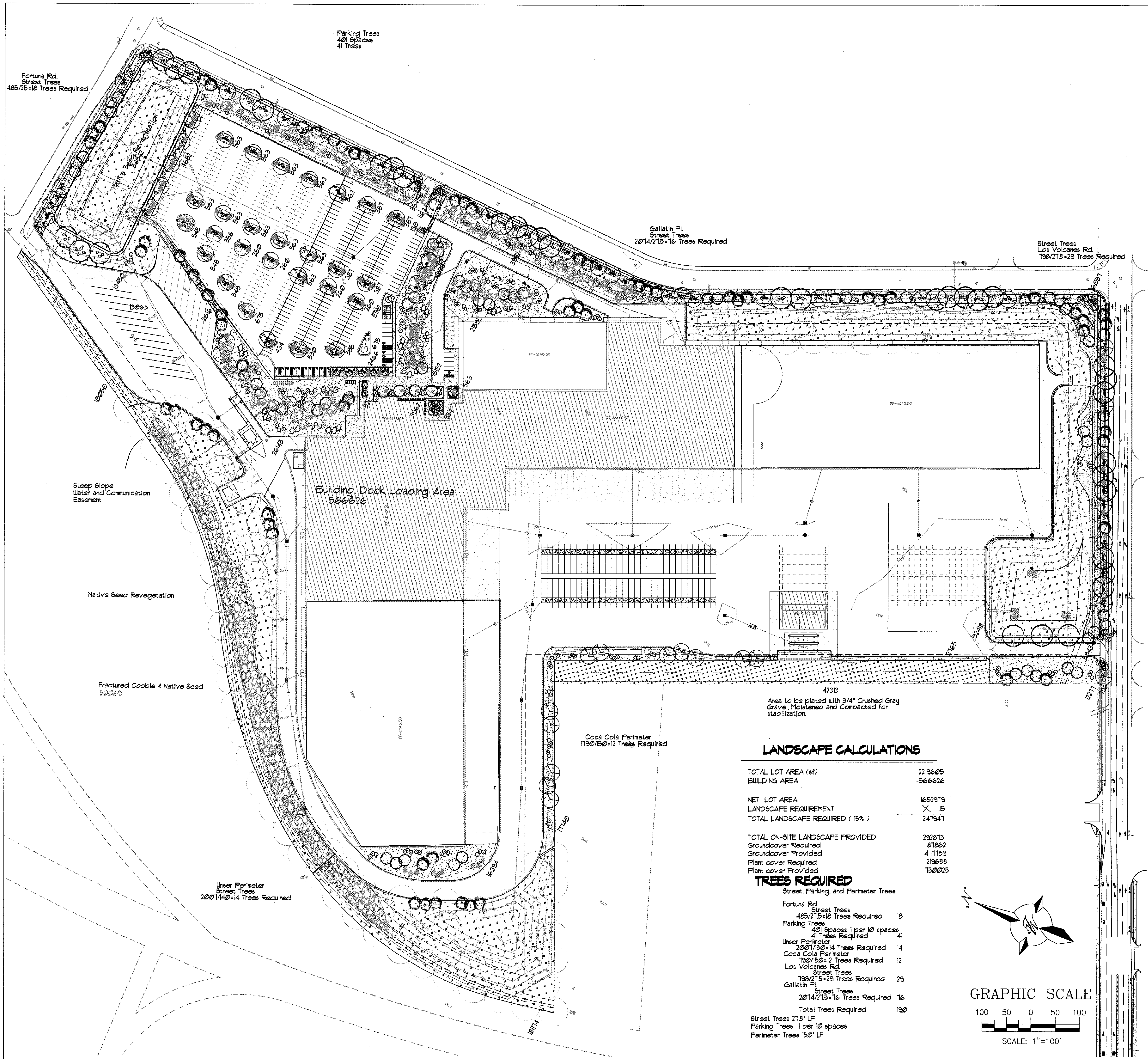
DESIGNED BY: YML DRAWN BY: SKI/REE CHECKED BY: KHC



511-03-1/2

Sheet 511-03





LANDSCAPE LEGEND

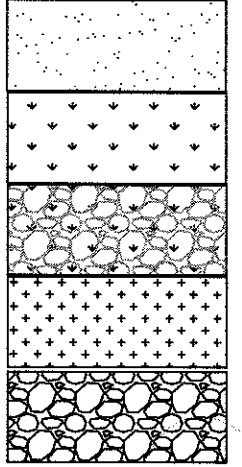
QTY SIZE COMMON BOTANICAL H2O USE

Trees

78	2" cal	Netleaf Hackberry	40x35	1225	35550M+
		Celtis reticulata			
35	2" cal	Honey Locust	50x45	2025	10875 M
		Gleditsia triacanthos			
66	6 - 8'	Austrian Pine	35x25	625	41250 M
		Pinus nigra			
1	15 Gal.	Crape Myrtle	20x20	400	400 M
		Lagerstroemia indica			
2	4 - 6'	Palm Yucca	15x6	36	72 M
		Yucca faxoniana			
30	15 Gal.	Oklahoma Redbud	15x12	144	4320 M
		Cercis reniformis			
63	15 Gal.	Desert Willow	20x25	625	39375 M
		Chilopsis linearis			
215	Trees Provided				
				251842	Tree Coverage

Shrubs & Groundcovers

165	5 Gal.	India Hawthorne	3x5	25	4125 M
		Raphiolepis indica			
18	5 Gal.	Feather Reed Grass	2.5x2	4	72 M
		Calamagrostis acutiflora			
102	5 Gal.	Wintergreen Barberry	5x5	25	2550 M
		Berberis julianae			
8	5 Gal.	Butterfly Bush	5x5	25	200 M
		Buddleia davidii			
33	5 Gal.	Winter Jasmine	4x12	144	4152 M
		Jasminum nudiflorum			
116	5 Gal.	Buffalo Juniper	1x12	144	16704 M
		Juniperus sabina 'Buffalo'			
9	5 Gal.	Cherry Sage	2x3	9	81 M
		Salvia greggii			
24	5 Gal.	Blue Mist	3x4	16	384 M
		Caryopteris x clandonensis			
79	5 Gal.	Fern Bush	5x6	36	2844 L
		Chamaebatiaria millefolium			
113	5 Gal.	Apache Plume	6x1	49	5537 L
		Fallugia paradoxa			
157	5 Gal.	Chamisa	5x7	49	7633 L
		Chrysanthamnus nauseosus			
54	5 Gal.	Knock Out Roses	3x4	16	864 L
		Rosa 'Knock Out'			
845	Total Shrub				
78	Boulders				
				45806	Plant Coverage
					To be placed at contractor discretion



LANDSCAPE NOTES:  
Landscape maintenance shall be the responsibility of the Property Owner. The Property Owner shall maintain street trees in a living, healthy, and attractive condition.

It is the intent of this plan to comply with the City Of Albuquerque Water Conservation Landscaping and Water Waste Ordinance planning restriction approach. Approval of this plan does not constitute or imply exemption from water waste provisions of the Water Conservation Landscaping and Water Waste Ordinance.

Water management is the sole responsibility of the Property Owner. All landscaping will be in conformance with the City of Albuquerque Zoning Code, Street Tree Ordinance, Pollen Ordinance, and Water Conservation Landscaping and Water Waste Ordinance. In general, water conservative, environmentally sound landscape principles will be followed in design and installation.

Landscape Gravel over Filter Fabric to a minimum depth of 3" shall be placed in all landscape areas which are not designated to receive native seed.

IRRIGATION NOTES:  
Irrigation shall be a complete underground system with Trees to receive 1 Netain spiral (50' length) with 3 loops at a final radius of 45' from tree trunk, pinned in place. Netain shall have emitters 12" o.c. with a flow of 6 gph. Shrubs to receive (2) 1/2" GPH Drip Emitters. Drip and Bubbler systems to be tied to 1/2" polytube with flush caps at each end. Trees and shrubs shall be on separate valves.

Run time per each shrub drip valve will be approximately 15 minutes per day. Tree drip valve shall run 15 hours, 3 times per week. Run time will be adjusted according to the season.

Point of connection for Irrigation system is unknown at current time and will be coordinated in the field. Irrigation will be operated by automatic controller.

Location of controller to be field determined and power source for controller to be provided by others.

Irrigation maintenance shall be the responsibility of the Property Owner.

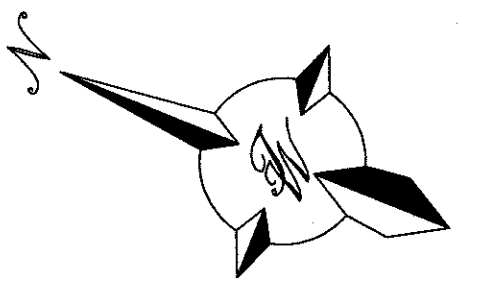
Water and Power source shall be the responsibility of the Developer/Builder.

LANDSCAPE CALCULATIONS

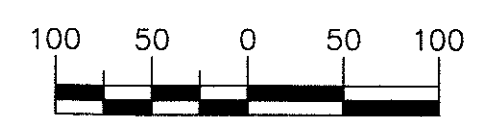
TOTAL LOT AREA (sf)	2219605
BUILDING AREA	-566626
NET LOT AREA	1652979
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	247847
TOTAL ON-SITE LANDSCAPE PROVIDED	292873
Groundcover Required	81862
Groundcover Provided	411153
Plant cover Required	219655
Plant cover Provided	150025

TREES REQUIRED

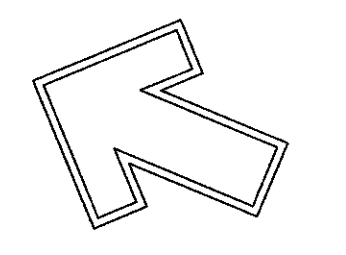
Street, Parking, and Perimeter Trees	
Fortuna Rd. Street Trees	
485/215=18 Trees Required	18
Parking Trees	
401 Spaces 1 per 10 spaces	41
41 Trees Required	
User Perimeter	
2007/140=14 Trees Required	14
Coca Cola Perimeter	
1190/150=12 Trees Required	12
Los Volcanes Rd. Street Trees	
190/215=23 Trees Required	23
Gallatin Pl. Street Trees	
2074/215=16 Trees Required	16
Total Trees Required	130
Street Trees 215' LF	
Parking Trees 1 per 10 spaces	
Perimeter Trees 150' LF	



GRAPHIC SCALE



SCALE: 1"=100'



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danny@hilltoplandscaping.com

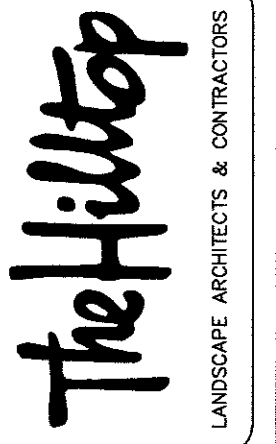
Landscape Architect



Ben E. Keith  
Los Volcanes Rd. NW  
Albuquerque, NM

Landscape Plan

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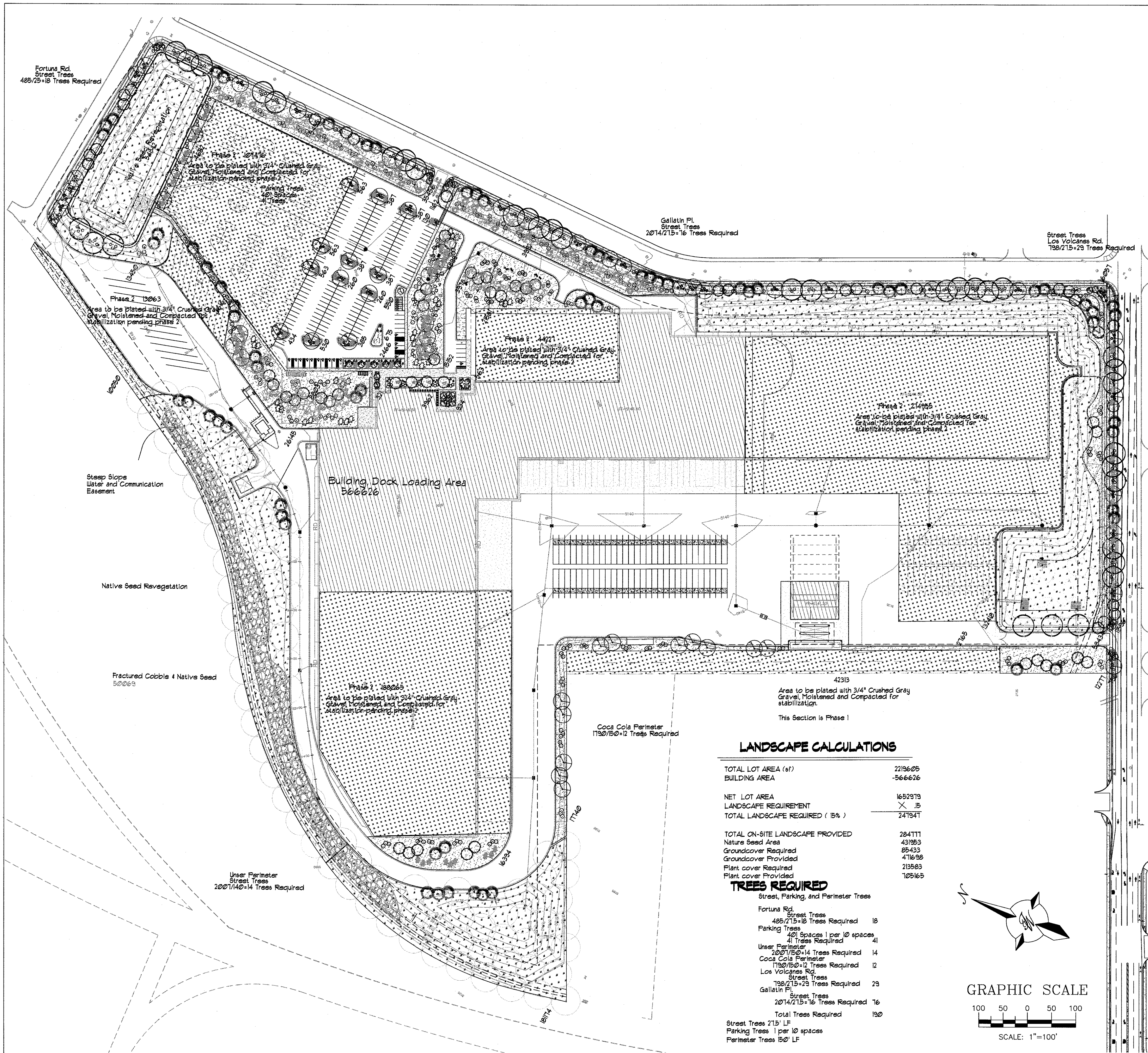


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REVISION  
DATE  
7/17/2013

SHEET #

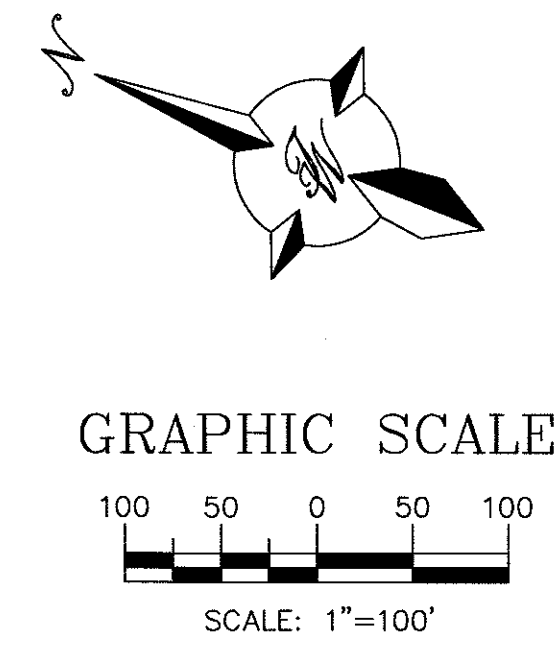
LS-101





LANDSCAPE CALCULATIONS	
TOTAL LOT AREA (sf)	2213625
BUILDING AREA	-566626
NET LOT AREA	1652933
LANDSCAPE REQUIREMENT	X .15
TOTAL LANDSCAPE REQUIRED (15%)	247941
TOTAL ON-SITE LANDSCAPE PROVIDED	284111
Nature Seed Area	431953
Groundcover Required	85433
Groundcover Provided	41638
Plant cover Required	219583
Plant cover Provided	105165

TREES REQUIRED	
Street, Parking, and Perimeter Trees	
Fortuna Rd. Street Trees	18
485/25=18 Trees Required	
Parking Trees	41
401 spaces 1 per 10 spaces	
41 Trees Required	
Under Perimeter	14
2027/140=14 Trees Required	
Coca Cola Perimeter	12
1750/150=12 Trees Required	
Los Volcanes Rd.	23
Street Trees	
738/215=23 Trees Required	
Gallatin Pl.	16
Street Trees	
2014/215=16 Trees Required	
Total Trees Required	130
Street Trees 215 LF	
Parking Trees 1 per 10 spaces	
Perimeter Trees 150 LF	



### PHASE 1 LANDSCAPE LEGEND

QTY	SIZE	COMMON/BOTANICAL	H2O USE
<b>Trees</b>			
63	2" cal	Chinese Platane 40x35 <i>Pistacia chinensis</i>	1225 11115 M+
35	2" cal	Honey Locust 50x45 <i>Gleditsia triacanthos</i>	2025 10875 M
66	6 - 8'	Austrian Pine 35x25 <i>Pinus nigra</i>	625 41250 M
1	15 Gal	Crape Myrtle 20x20 <i>Lagerstroemia indica</i>	400 400 M
2	4 - 6'	Palm Yucca 15x6 <i>Yucca taxoniana</i>	36 72 M
30	15 Gal	Oklahoma Redbud 15x12 <i>Cercis reniformis</i>	144 4320 M
63	15 Gal	Desert Willow 20x25 <i>Chilopsis linearis</i>	625 39375 M
260	Trees Provided		233461 Tree Coverage

Shrubs & Groundcovers					
120	5 Gal	India Hawthorn <i>Raphiolepis indica</i>	3x5	25	3000 M
18	5 Gal	Feather Reed Grass <i>Calamagrostis acutiflora</i>	25x2	4	32 M
102	5 Gal	Wintergreen Barberry <i>Berberis julianae</i>	5x5	25	2550 M
8	5 Gal	Butterfly Bush <i>Buddleia davidii</i>	5x5	25	200 M
33	5 Gal	Winter Jasmine <i>Jasminum nudiflorum</i>	4x12	144	4752 M
82	5 Gal	Buffalo Juniper <i>Juniperus sabina 'Buffalo'</i>	1x12	144	11808 M
9	5 Gal	Cherry Sage <i>Salvia greggii</i>	2x3	9	81 M
24	5 Gal	Blue Mist <i>Caryopteris x clandonensis</i>	3x4	16	384 M
79	5 Gal	Fern Bush <i>Chamaebatiaria millefolium</i>	5x6	36	2844 L
113	5 Gal	Apache Plume <i>Fallugia paradoxa</i>	6x1	49	5531 L
151	5 Gal	Chamisa <i>Chrysothamnus nauseosus</i>	5x1	49	1633 L
54	5 Gal	Knock Out Rose <i>Rosa 'Knock Out'</i>	3x4	16	864 L
799	Total Shrub				39745 Plant Coverage
18	2-3cf	Boulders			

251610	Boulders	To be placed at contractor discretion
301884	Landscaping Gravel / Filter Fabric	7/8" Crushed Grey Gravel
502063	Native Seed Revegetation, Stretch Irrigation	West Side Mix
627106	2-4" Fractured Rock Paving	West Side Mix
27161	Plate with 2-4" fractured rock after seeding	Phase Two, Stabilization
	3/4" Crush Gray Gravel 2" Thick	No Filter Fabric
	2-4" Cobble	
284111	Large Area Stretch Irrigation System	213212 Plant/Tree Coverage
		431953 Native Seed
		105165 Total

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Landscape Architect

Ben E. Keith  
Los Volcanes Rd. NW  
Albuquerque, NM

Phasing I Landscape Plan

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**The Hilltop**  
LANDSCAPE ARCHITECTS & CONTRACTORS

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AM			7/15/2018

SHEET #

LS-101B



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