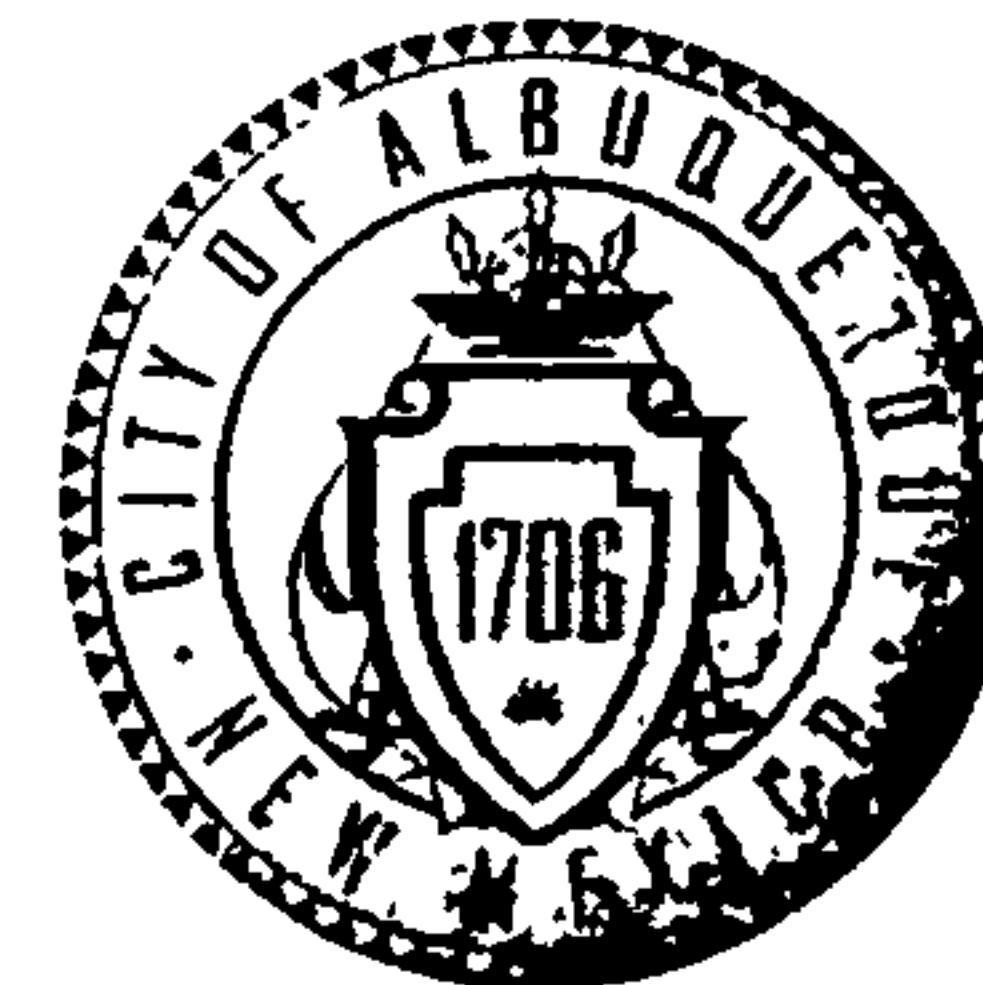


CITY OF ALBUQUERQUE



August 15, 2008

Bryan M Burger, P.E.
Lawrence A. Cates & Assoc., LLP
14800 Quorum Dr., Suite 200
Dallas, TX 75254

Re: Target at Unser Town Crossing, Grading and Drainage Plan
Engineer's Stamp dated 7-15-08 (J10/D002G1)

Dear Mr. Burger,

Based upon the information provided in your submittal received 7-16-08, the above referenced plan cannot be approved for Grading, Paving or Building Permit until the following comments are addressed:

- As mentioned on your plan, the allowable release rate for the site is 0.1 cfs/ac, which you are demonstrating adherence to with the exception of edge leakage (8.15 cfs). As previously discussed with Brad Bingham, some free discharge from the site is unavoidable at the drive entrances and landscape areas, but must be reduced in the landscape areas of Basins G2 and G5. The landscape area north of Pond 2 could be graded to drain to the inlet at the north end of the pond (berm may be required). The landscape area east of the Target building may be able to be graded to drain to the inlet in Basin F7. A wall may be required at this location.
- In general the City does not approve draining landscape areas over sidewalks, due to freezing conditions in the winter, wherein the sidewalks ice over and are a hazard.
- In the interim condition, a couple of areas will need to pond. These are the area in the northeast corner and the area consisting of proposed Basins D1, D2, C22, C23, C19, C17 and C18.
- Some clarification is required at your pond outlets. The weir in front of the pipe should be modeled as an orifice. Are the 24" and 18" orifices just the pipe? If so, they don't need a build note. The "open top" of the overflow protection should have a trash rack.
- Provide a copy of the archeological clearance. This is required on sites 5 ac and larger.
- As a suggestion, for Line 2.0 you may want to build a manhole neat STA 0+40 rather than the 2-45 degree fittings. This may provide the necessary clearance from the 8" SAS at STA 0+63.72 and you won't have to encase it. Similar comment for Line 1.0 at STA 2+80.
- To aid in compliance with our MS4 permit with the EPA, please send us a copy of your SWPPP on CD in pdf or MS Word format.
- In your next submittal please only provide sheets C-3.3 through C-11.2

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

CITY OF ALBUQUERQUE

If you have any questions, you can contact me at 924-3695.

Sincerely,



Curtis A. Cherne, P.E.
Senior Engineer, Planning Dept.
Development and Building Services

Copy: file

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

J-10/D002G1

PROJECT TITLE: Unser Towne Crossing ZONE MAP: J-9&J-10
 DRB#: 1006833 EPC#: _____ WORK ORDER#: _____

LEGAL DESCRIPTION: Lots 1-15 Unser Towne Crossing Addition
 CITY ADDRESS: Not Assigned

ENGINEERING FIRM: Lawrence A. Cates & Assoc., LLP CONTACT: Bryan M. Burger, P.
 ADDRESS: 14800 Quorum Dr., Suite 200 PHONE: 972-385-2272
 CITY, STATE: Dallas, TX ZIP CODE: 75254

OWNER: Weber & Company CONTACT: Mark Davis
 ADDRESS: 16000 Dallas Parkway, Suite 300 PHONE: 972-739-8400
 CITY, STATE: Dallas, TX ZIP CODE: 75248

ARCHITECT: George Rainhart Architects CONTACT: George Rainhart
 ADDRESS: 2325 San Pedro NE, Suite 2-B PHONE: 505-884-9110
 CITY, STATE: Albuquerque, NM ZIP CODE: 87110

SURVEYOR: Serv-Tek, Inc. CONTACT: Russ Hugg, NMPS
 ADDRESS: 9384 Valley View Drive N.W. PHONE: 505-897-3366
 CITY, STATE: Albuquerque, NM ZIP CODE: 87114

CONTRACTOR: Unknown At This Time CONTACT: _____
 ADDRESS: _____ PHONE: _____
 CITY, STATE: _____ ZIP CODE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☒ DRAINAGE PLAN 1" SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☒ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) _____

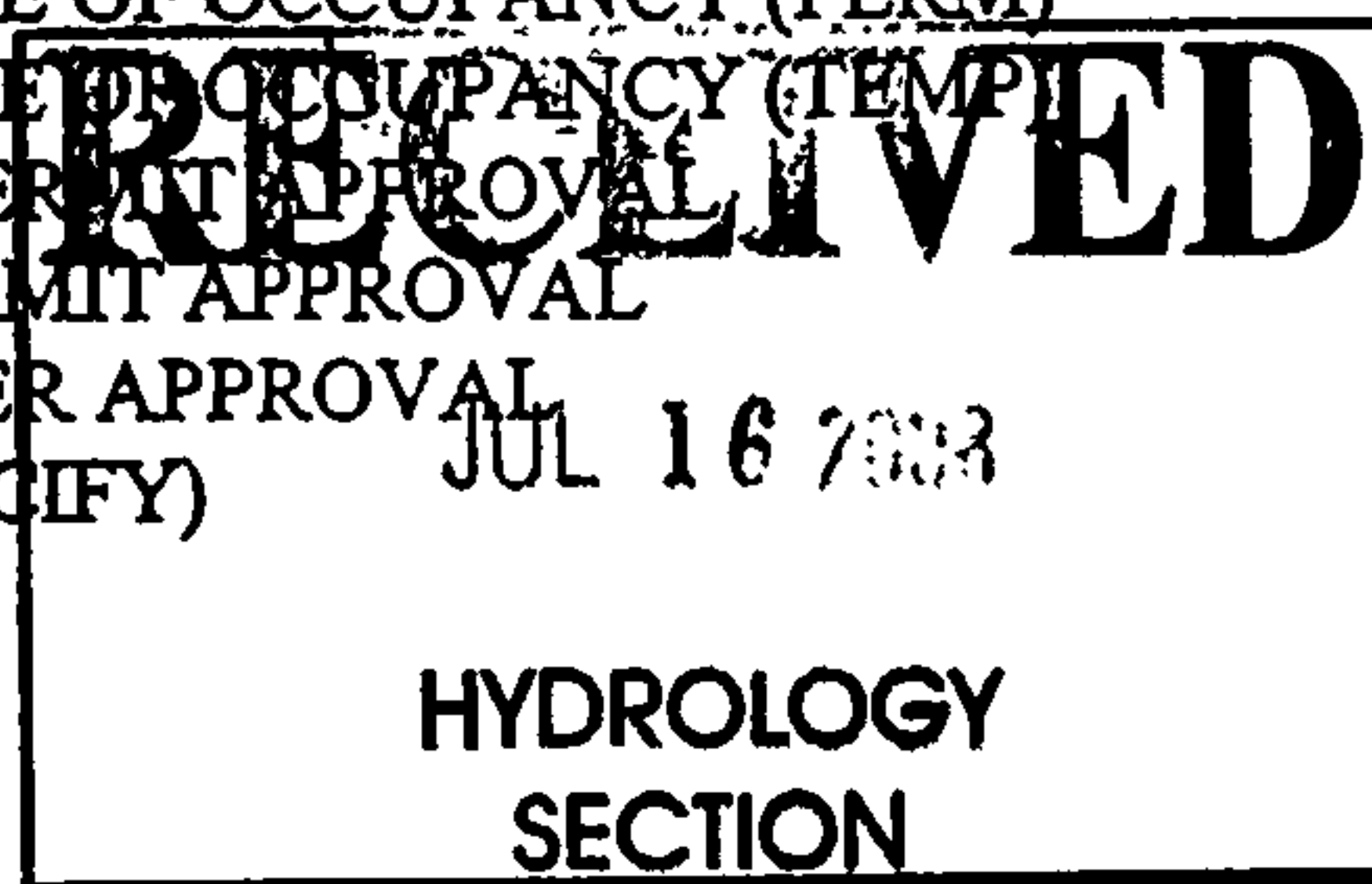
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SLA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP)
- ☒ GRADING PERMIT APPROVAL
- ☒ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) _____

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☒ YES
- ☐ NO
- ☐ COPY PROVIDED

\$50.00



DATE SUBMITTED: July 16, 2008 BY: Bryan M. Burger, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

[Handwritten signatures and notes at the bottom of the page, including "Rose", "Pete", and "M. H. Hugg"]