

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 23, 2021

Vince Carrica
Tierra West, LLC
5571 Midway Park Place NE
Albuquerque, NM 87109

**RE: Ben E Keith Distribution Center
601 Gallatin Pl. NW
Request for Certificate of Occupancy - Permanent
Hydrology Final Inspection –Approved
Grading and Drainage Plan Stamp Date: 7/21/19
Certification Dated: 7/8/21
Drainage File: J10D003G1**

PO Box 1293

Dear Mr. Carrica:

Albuquerque

Based on the submittal received on 7/12/21 and field inspection 7/23/21, this certification is approved in support of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, please contact me at 924-3986 or earmijo@cabq.gov.

NM 87103

Sincerely,

www.cabq.gov

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: BEK Distribution Facility **Building Permit #:** _____ **Hydrology File #:** FJ10D002G1
DRB#: PR-2018-001361 **EPC#:** _____ **Work Order#:** _____
Legal Description: LT 1-A AD LOT 8-A UNSER TOWNE CROSSING
City Address: 601 GALLATIN PL NW ALBUQUERQUE NM 87121

Applicant: TIERRA WEST LLC **Contact:** VINCE CARRICA
Address: 5571 MIDWAY PARK PLACE NE ALBUQUERQUE NM 87109
Phone#: 505-858-3100 **Fax#:** 505-858-1118 **E-mail:** vcarrica@tierrawestllc.com

Other Contact: _____ **Contact:** _____
Address: _____
Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☒ ENGINEER/ARCHITECT CERTIFICATION
☐ PAD CERTIFICATION
☐ CONCEPTUAL G & D PLAN
☒ GRADING PLAN
☐ DRAINAGE REPORT
☐ DRAINAGE MASTER PLAN
☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
☐ ELEVATION CERTIFICATE
☐ CLOMR/LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ STREET LIGHT LAYOUT
☐ OTHER (SPECIFY) _____
☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

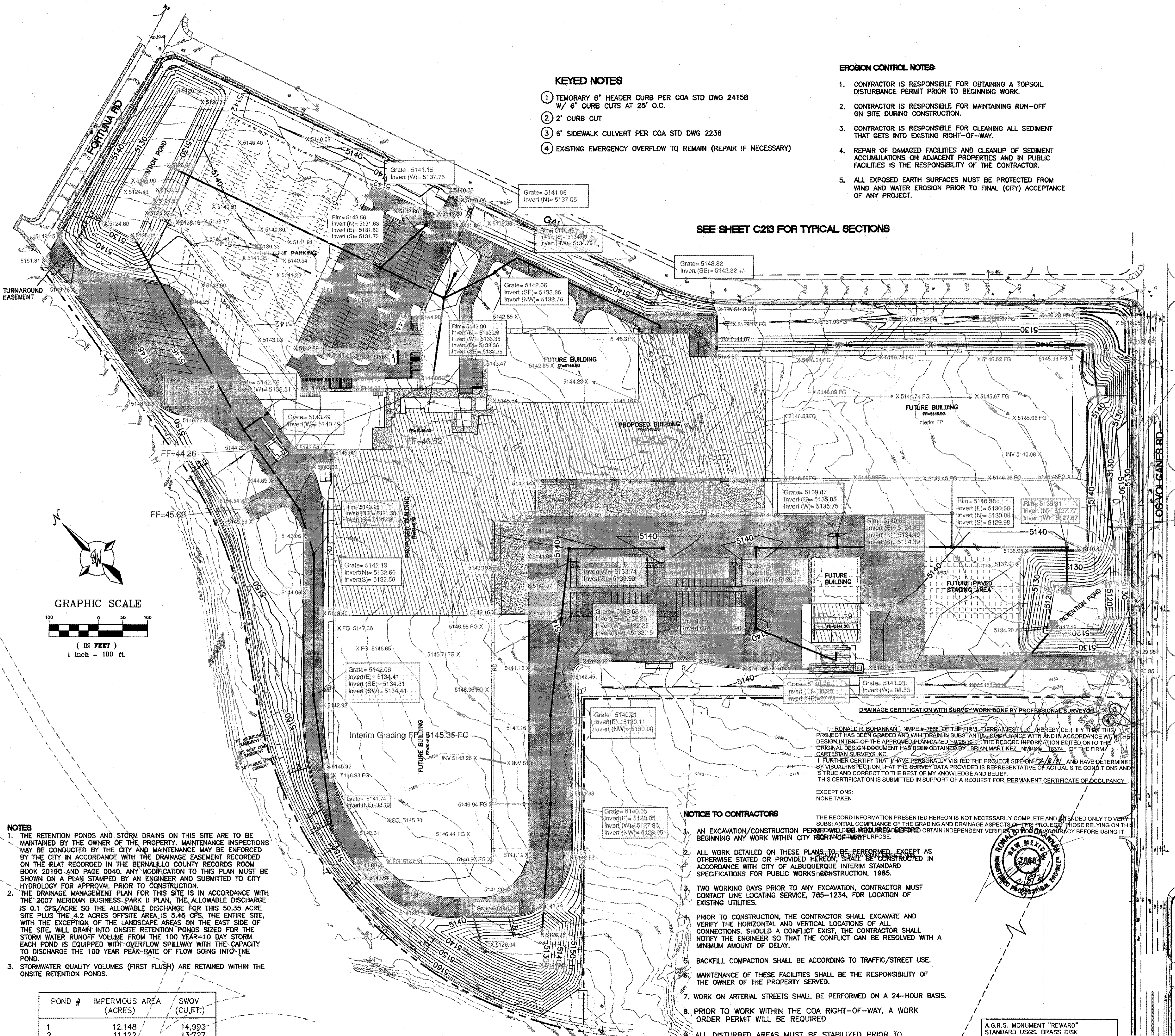
- ☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (Permanent)
☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL
☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ GRADING PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR
☐ FLOODPLAIN DEVELOPMENT PERMIT
☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 07/09/2021 **By:** Vince Carrica

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



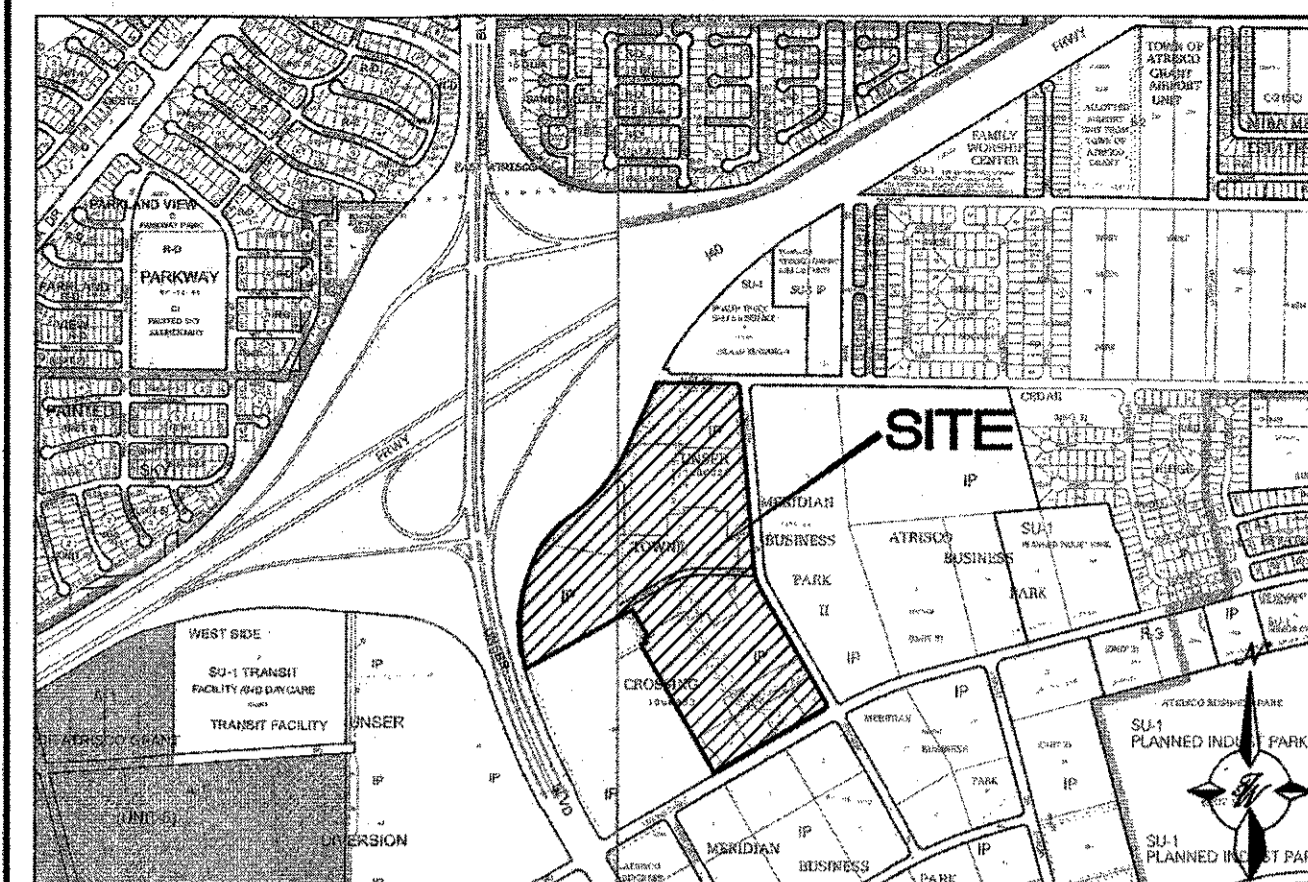
KEYED NOTES

1. TEMPORARY 6" HEADER CURB PER COA STD DWG 24158 W/ 6" CURB CUTS AT 25' O.C.
2. 2' CURB CUT
3. 6" SIDEWALK CULVERT PER COA STD DWG 2236
4. EXISTING EMERGENCY OVERFLOW TO REMAIN (REPAIR IF NECESSARY)

EROSION CONTROL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING RUN-OFF ON SITE DURING CONSTRUCTION.
3. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT THAT GETS INTO EXISTING RIGHT-OF-WAY.
4. REPAIR OF DAMAGED FACILITIES AND CLEANUP OF SEDIMENT ACCUMULATIONS ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL (CITY) ACCEPTANCE OF ANY PROJECT.

SEE SHEET C213 FOR TYPICAL SECTIONS



VICINITY MAP

J-29-Z, J-30-Z



FLOOD MAP

35001C0326J, 35001C0328J

LEGEND

- CURB & GUTTER
- BOUNDARY LINE
- - - EASEMENT
- - - CENTERLINE
- - - RIGHT-OF-WAY
- ▭ BUILDING
- ▨ SIDEWALK
- ▩ RETAINING WALL
- 5010— CONTOUR MAJOR
- 5011— CONTOUR MINOR
- x 5048.25 SPOT ELEVATION (FLOWLINE)
- FLOW ARROW
- - - EXISTING CURB & GUTTER
- - - EXISTING BOUNDARY LINE
- - - EXISTING CONTOUR MAJOR
- - - EXISTING CONTOUR MINOR
- ▨ ASPHALT PAVING
- ▨ PROPOSED BUILDING
- - - PROPOSED FENCE

SURVEYOR'S CERTIFICATION

I, BRIAN J. MARTINEZ, A DULY QUALIFIED REGISTERED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF NEW MEXICO, DO HEREBY CERTIFY THAT THE 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS OBTAINED FROM FIELD CONSTRUCTION AND 'AS-BUILT' INFORMATION SHOWN ON THESE DRAWINGS WAS ADDED BY ME OR UNDER MY SUPERVISION, AND THAT THIS 'AS-BUILT' INFORMATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I AM NOT RESPONSIBLE FOR ANY OF THE DESIGN CONCEPTS, CALCULATIONS, ENGINEERING, OR INTENT OF THE RECORD DRAWINGS.

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.

- NOTES
1. THE RETENTION PONDS AND STORM DRAINS ON THIS SITE ARE TO BE MAINTAINED BY THE OWNER OF THE PROPERTY. MAINTENANCE INSPECTIONS MAY BE CONDUCTED BY THE CITY AND MAINTENANCE MAY BE ENFORCED BY THE CITY IN ACCORDANCE WITH THE DRAINAGE EASEMENT RECORDED ON THE PLAT RECORDED IN THE BERNALILLO COUNTY RECORDS ROOM BOOK 2019C AND PAGE 0040. ANY MODIFICATION TO THIS PLAN MUST BE SHOWN ON A PLAN STAMPED BY AN ENGINEER AND SUBMITTED TO CITY HYDROLOGY FOR APPROVAL PRIOR TO CONSTRUCTION.
 2. THE DRAINAGE MANAGEMENT PLAN FOR THIS SITE IS IN ACCORDANCE WITH THE 2007 MERIDIAN BUSINESS PARK II PLAN. THE ALLOWABLE DISCHARGE IS 0.1 CFS/ACRE SO THE ALLOWABLE DISCHARGE FOR THIS 50.35 ACRE SITE PLUS THE 4.2 ACRES OFFSITE AREA IS 5.48 CFS. THE ENTIRE SITE, WITH THE EXCEPTION OF THE LANDSCAPE AREAS ON THE EAST SIDE OF THE SITE, WILL DRAIN INTO ONSITE RETENTION PONDS SIZED FOR THE STORM WATER RUNOFF VOLUME FROM THE 100 YEAR-10 DAY STORM. EACH POND IS EQUIPPED WITH OVERFLOW SPILLWAY WITH THE CAPACITY TO DISCHARGE THE 100 YEAR PEAK-RATE OF FLOW GOING INTO THE POND.
 3. STORMWATER QUALITY VOLUMES (FIRST FLUSH) ARE RETAINED WITHIN THE ONSITE RETENTION PONDS.

POND #	IMPERVIOUS AREA (ACRES)	SWQV (CU.FT.)
1	12.148	14,993
2	11.122	13,727
3	12.324	15,211
4	0.064	79

STORM WATER QUALITY VOLUME, SWQV = IMPERVIOUS AREA (ACRES) X43,560 X 0.34"/12

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY PURPOSE.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONNECTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.
8. PRIOR TO WORK WITHIN THE COA RIGHT-OF-WAY, A WORK ORDER PERMIT WILL BE REQUIRED.
9. ALL DISTURBED AREAS MUST BE STABILIZED PRIOR TO ENGINEERS CERTIFICATION FOR CERTIFICATE OF OCCUPANCY.
10. FUTURE BUILDING AND PAVEMENT AREAS ARE TO BE GRADED IN PHASE 1 TO SUBGRADE ELEVATIONS. THESE AREAS SHALL BE STABILIZED IN PHASE 1 WITH GRAVEL MULCH AS NOTED ON THE LANDSCAPE PLAN. SEE SHEET C-208 FOR ULTIMATE BUILD OUT CONCEPTUAL GRADING AND DRAINAGE PLAN.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS PROJECT HAS BEEN OBTAINED AND WHILE DRAINAGE COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLANDZD 9/28/15. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BRIAN MARTINEZ, NMPS# 18374 OF THE FIRM CARTESIAN SURVEYS, INC.

I FURTHER CERTIFY THAT I HAVE PERSONALLY VISITED THE PROJECT SITE ON 7/8/21 AND HAVE DETERMINED BY VISUAL INSPECTION THAT THE SURVEY DATA PROVIDED IS REPRESENTATIVE OF ACTUAL SITE CONDITIONS AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR PERMANENT CERTIFICATE OF OCCUPANCY.

EXCEPTIONS: NONE TAKEN



A.C.R.S. MONUMENT "REWARD" STANDARD U.S.G.S. BRASS DISK NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983) N=1,487,364.063 E=1,491,190.819 PUBLISHED EL=5319.688 (NAVD 1988) GROUND TO GRID FACTOR=0.999675005 DELTA ALPHA ANGLE=-017'12.26"

ENGINEER'S SEAL



NEW DISTRIBUTION CENTER
BEN E KEITH
601 GALLATIN PL NW
ALBUQUERQUE, NM 87121

Revision No.

- △
- △
- △
- △
- △
- △

Job No.

2018014

CAD/CHK'D By:

pm / vc

Date

8-16-19

Sheet Title

OVERALL
GRADING PLAN

Sheet No.

C201

CIVIL

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5571 MIDWAY PARK PL NE
ALBUQUERQUE, NEW MEXICO 87109
(505) 858-3100
www.tierrowestllc.com

ESI
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SMART BUILDING SOLUTIONS
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