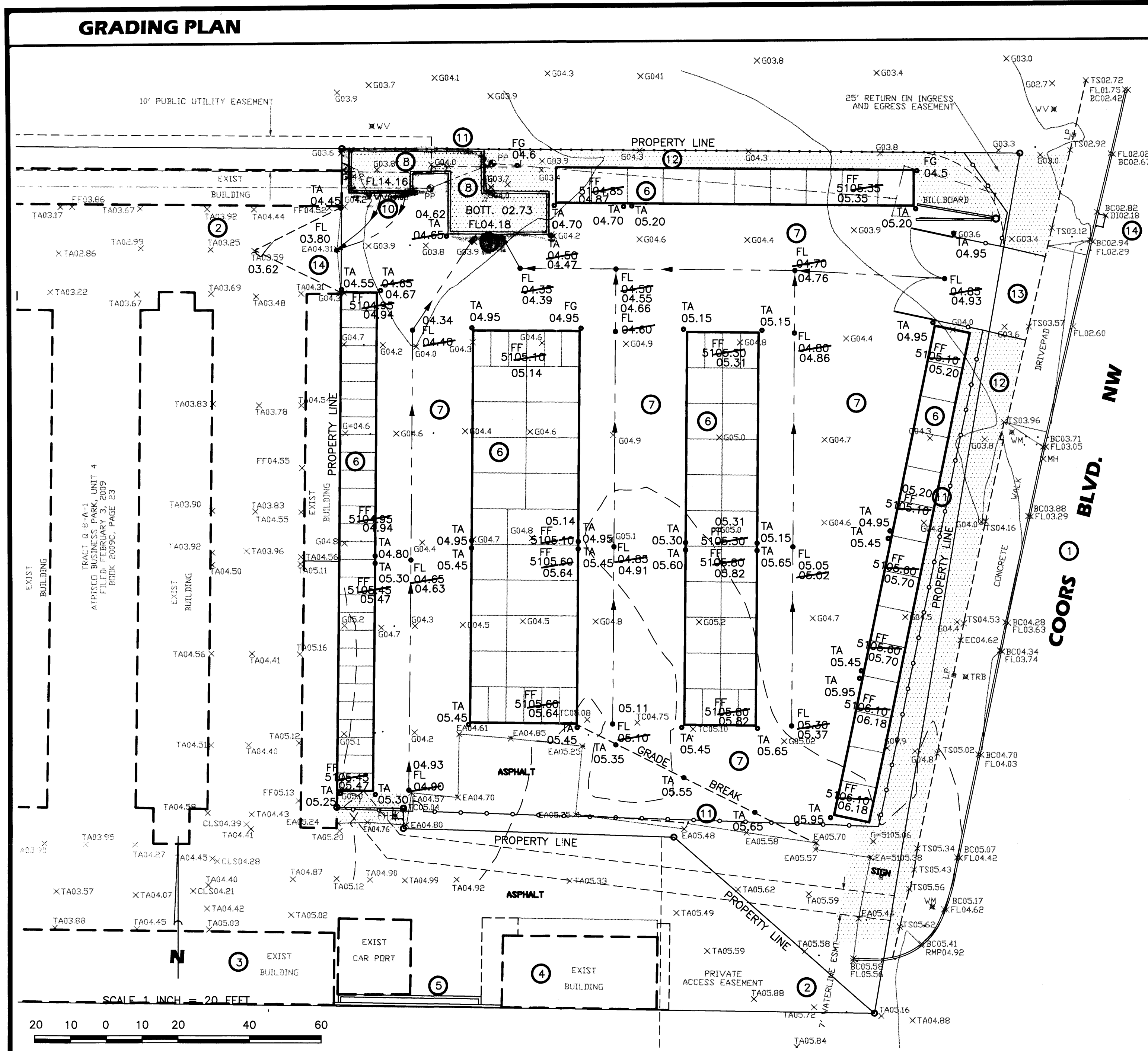


**KEYED NOTES**

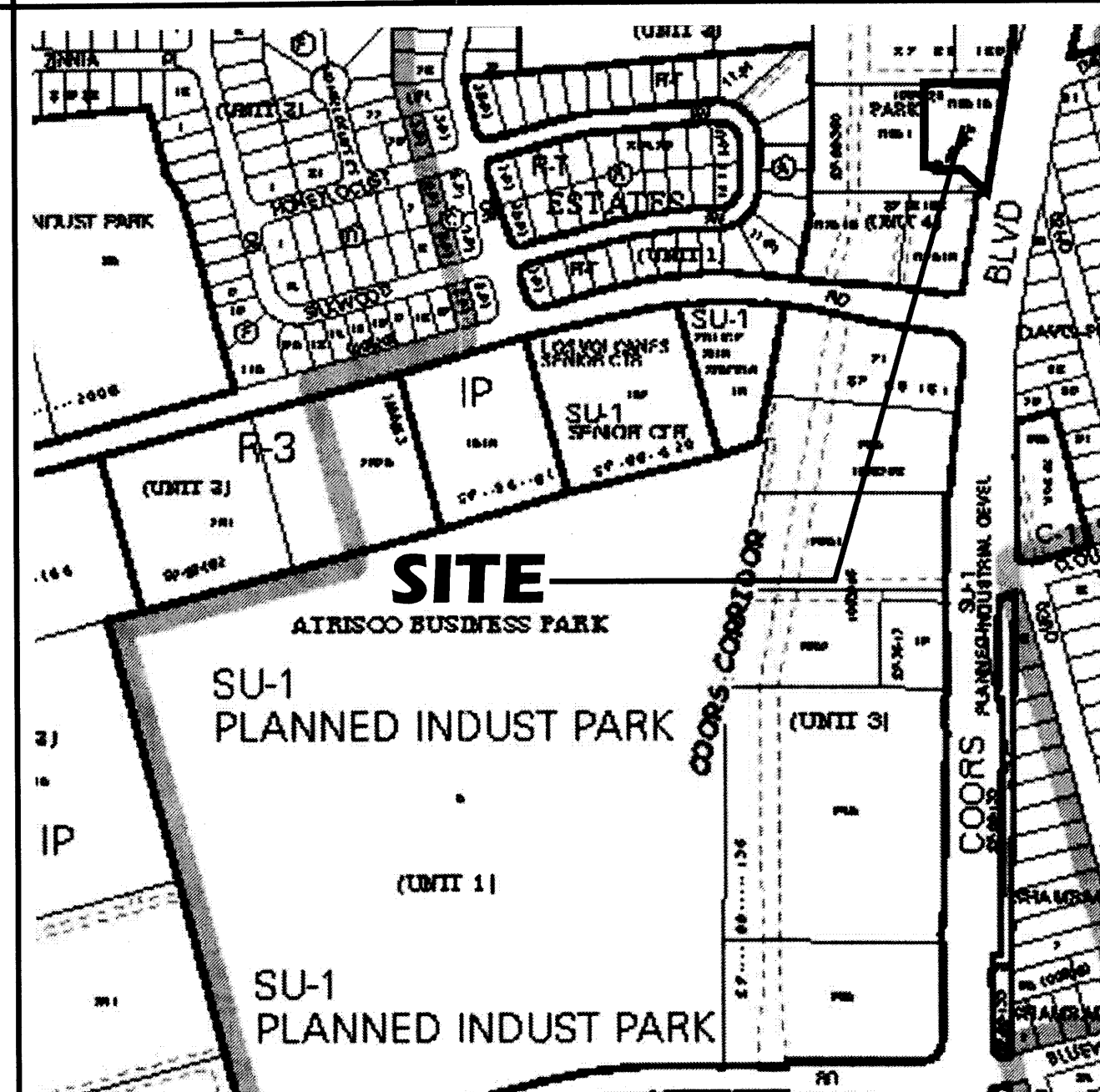
- EXISTING PAVED PUBLIC STREET w/ STD. CURB & GUTTER AND SIDEWALK
- EXISTING ASPHALT DRIVE TO MULTIPLE LOTS.
- EXISTING STORAGE UNIT FACILITY.
- EXISTING OFFICE FOR BOTH EXISTING AND NEW STORAGE UNIT FACILITY.
- EXISTING CMU YARD/RETAINING WALL.
- NEW STORAGE UNITS.
- ASPHALT MILLINGS SURFACE.
- POND FOR INITIAL RUNOFF RETENTION. 8" CMU RETAINING WALL AT PERIMETER AND AROUND POWER POLE (4.5'x4.5' INSIDE DIMENSION). ALL CELLS SHALL BE FILLED WITH CONCRETE. TOP OF WALL ELEVATION 5104.70. BOTTOM OF POND ELEVATION 5102.70.
- 7' OPENING FOR STORM WATER ENTRY TO POND. ELEVATION OF ENTRY 5104.20.
- 7' OPENING FOR STORM WATER EXIT FROM POND. ELEVATION OF EXIT 5104.20.
- NEW WROUGHT IRON FENCE. SEE LANDSCAPING PLAN.
- LANDSCAPED AREA. SEE LANDSCAPING PLAN.
- EXISTING 50' DRIVEPAD. NORTHERLY 24' TO BE USED AS A LOCKED GATES. EMERGENCY ACCESS PER DRB APPROVED SITE DEVELOPMENT PLAN, PROJECT NO. 1004725. BALANCE OF EXISTING DRIVEPAD CONTROLLED BY NM DOT AGREEMENT.
- REMOVE EXISTING ASPHALT, REGRADE AND REPLACE ASPHALT.

GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

- THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
- THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
- THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP J-10**FEMA FIRM PANEL NO. 329H****ENGINEER'S CERT.**

I, JEAN J. BORDENAVE, NMPEALS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED OCTOBER 31, 2013. THE RECORD INFORMATION ENTERED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: RETENTION POND CONSTRUCTED w/ RAILROAD TIES BACKED WITH FILTER FABRIC.

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

**NEW PARKING AREA
FIRST FLUSH STORAGE VOLUME**

REQUIRED
(31032)/(0.44-0.1)/12 = 879 C.F.

PROVIDED
DEPTH = 879/642 = 1.37 FT. MINIMUM
USE 18" DEPTH
THEREFORE VOLUME = 1005 C.F.

DRAINAGE DATA

CONDITION	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
	year	(table 4)	sq. ft.	in.	(table 9)	cu. ft.	cfs
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	0	0.22	0.76	0	0.00
		C	0	0.44	1.49	0	0.00
		D	34905	1.24	2.89	3607	2.32
		TOTAL	34905			3607	2.32
	100	A	0	0.44	1.29	0	0.00
		B	0	0.67	2.03	0	0.00
		C	0	0.99	2.87	0	0.00
		D	34905	1.97	4.37	5730	3.50
		TOTAL	34905			5730	3.50
PROPOSED	10	A	0	0.08	0.24	0	0.00
		B	3873	0.22	0.76	0	0.00
		C	0	0.44	1.49	1138	1.08
		D	31032	1.24	2.89	3207	2.06
		TOTAL	34905			4344	3.12
	100	A	0	0.44	1.29	0	0.00
		B	3873	0.67	2.03	216	0.18
		C	0	0.99	2.87	0	0.00
		D	31032	1.97	4.37	5094	3.11
		TOTAL	34905			5311	3.29

OFFSITE DRAINAGE DATA

THERE ARE NO OFFSITE FLOWS ENTERING THE PROPERTY.

LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS MATER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD OR C	ROOF DRAINAGE POINT
BC	TOP OF CURB		
TP	TOP OF EARTH PAD		
TS	TOP OF SIDEWALK		
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		

DRAINAGE NOTES

- THE SITE WAS PREVIOUSLY DEVELOPED AS A CAR WASH. THE BUILDINGS HAVE BEEN REMOVED AS HAS MOST OF THE ASPHALT. THE SITE PREVIOUSLY DISCHARGED STORM RUNOFF TO THE VACANT PROPERTY TO THE NORTH OF THE SITE. THE PROPOSED DESIGN WILL ENLARGE THE EXISTING STORAGE UNIT FACILITY. THE EXISTING AND PROPOSED STORAGE UNIT FACILITIES ARE IN COMMON OWNERSHIP. STORM WATER RUNOFF WILL BE DIRECTED TO THE EXISTING STORAGE FACILITY WHICH DISCHARGES TO VACANT PROPERTY TO THE NORTH AND A LARGE STORMWATER INLET WHICH DISCHARGES TO THE WEST MESA POND.
- THE SITE IS LOCATED IN RAINFALL ZONE 1. MOST OF THE SITE IS ROUTED VIA ASPHALT SWALES TO A FIRST FLUSH RETENTION POND. OVERFLOW FROM THE POND IS ROUTED VIA ASPHALT SWALES TO OFFSITE STORMWATER COLLECTION AND STORAGE FACILITIES.
- THE SITE IS LOCATED IN 'ZONE X' PER FEMA FIRM MAP NO. 329H, DATED AUGUST, 2012.
- TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY HARRIS SURVEYING, INC. IN DECEMBER, 2014.

LEGAL DESCRIPTION

TRACT Q-6-A-1-A. ATRISCO BUSINESS PARK, UNIT 4

PERMANENT BENCHMARK

ACS 13-K10 ELEVATION 5146.610 (NAVD 1988)

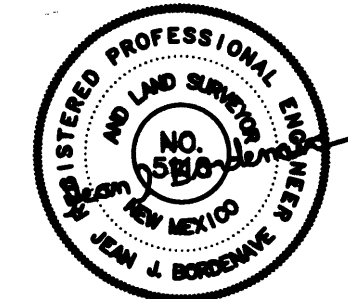
**STUDIO
SW
ARCHITECTS**

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

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CONSULTANTS

BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199-1194
PH (505)823-1344 FAX (505)821-9105
CELL 480-6812 jakebordenave@mindspring.com



03/30/15

**NORTH COORS
SELF STORAGE
PHASE 3**
615B COORS BLVD NW
ALBUQUERQUE, NM

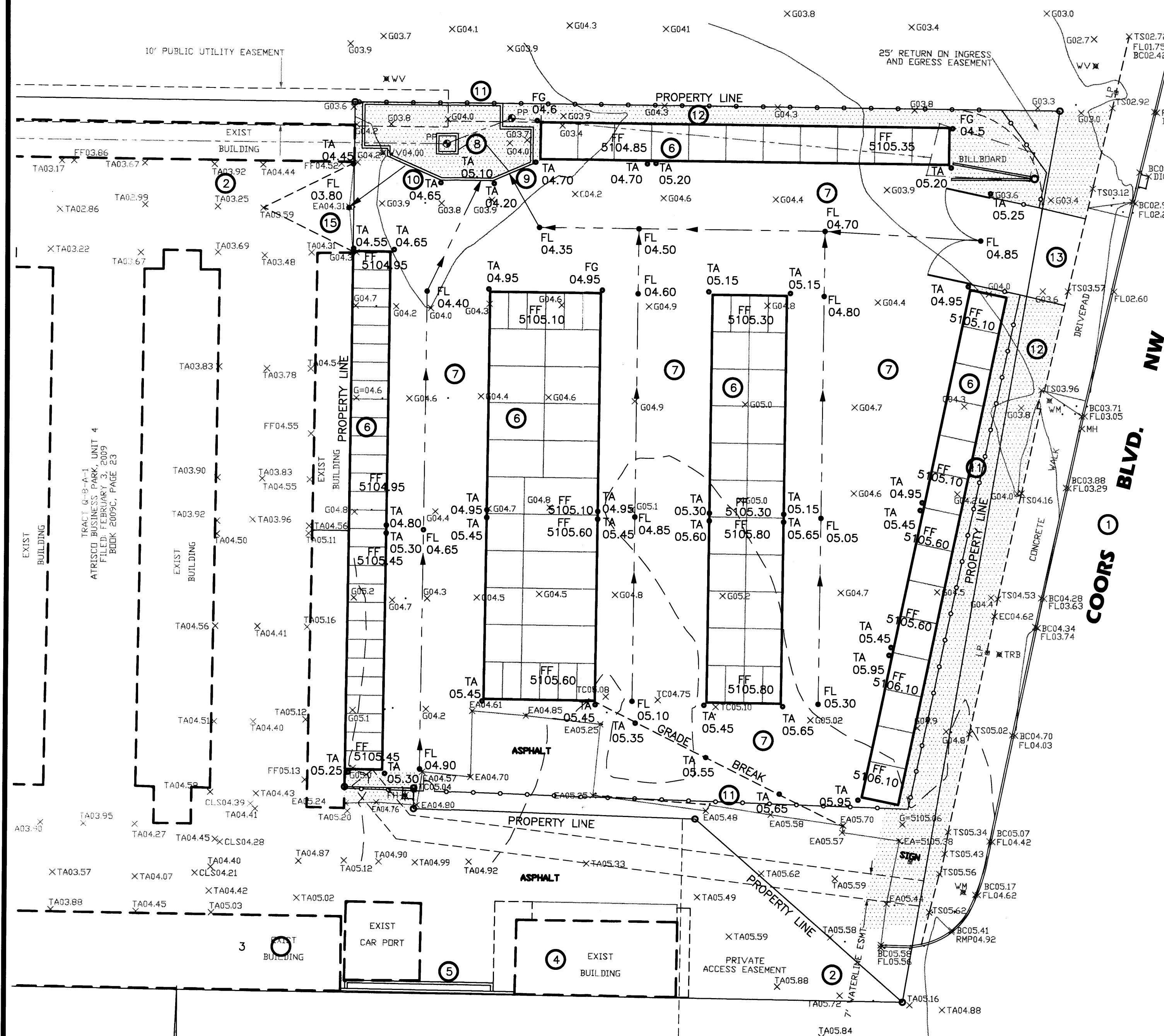
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ISSUE:		SITE DEVELOPMENT
PROJECT NO:	1452.1	
CAD DWG FILE:	1452-C001.DWG	
DRAWN BY:	MELO	
CHECKED BY:	JJB	
DATE:	12/12/2014	

SHEET TITLE

**GRADING
AND
DRAINAGE**

C-001

GRADING PLAN



KEYED NOTES

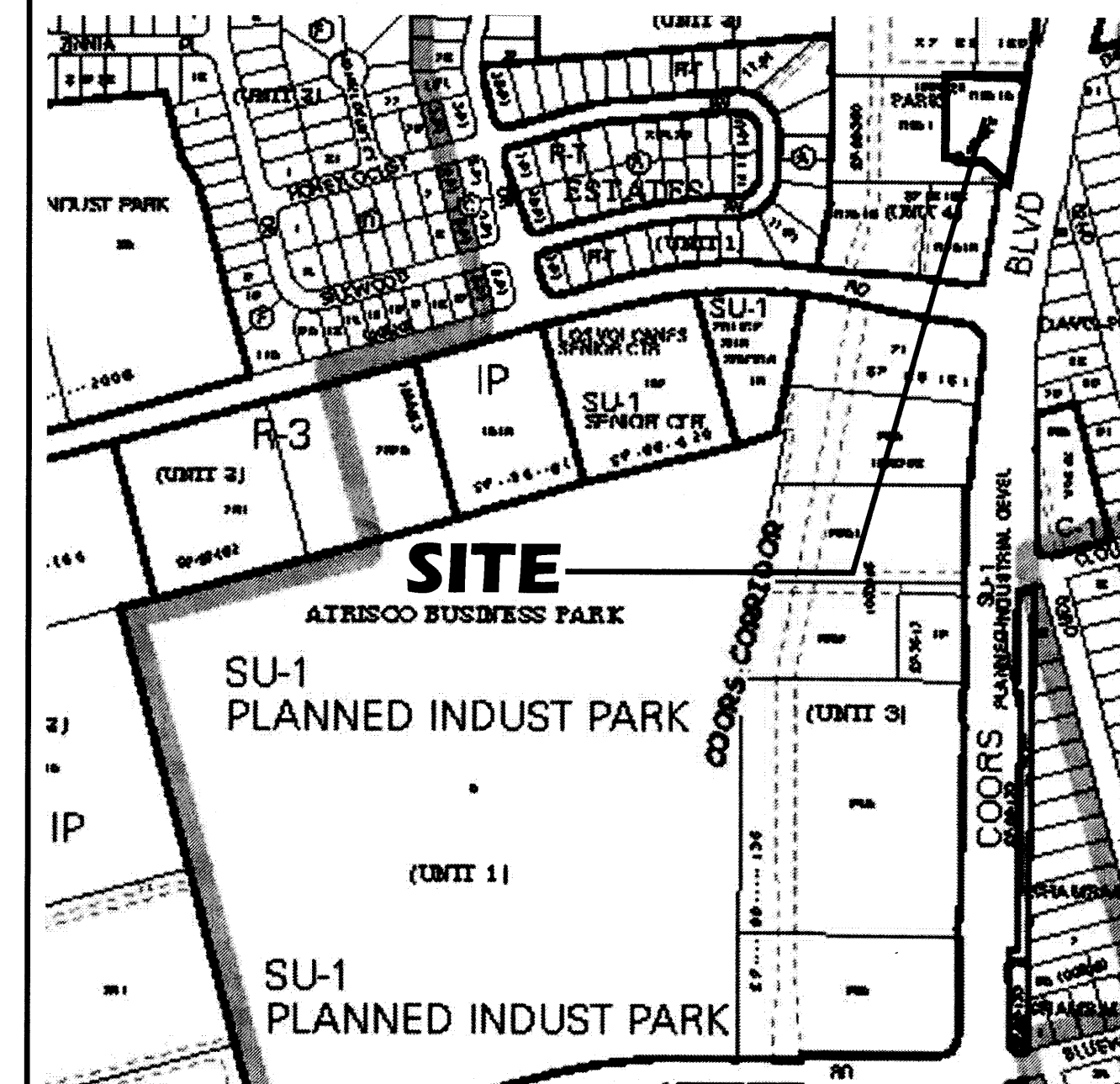
1. EXISTING PAVED PUBLIC STREET w/ STD. CURB & GUTTER AND SIDEWALK
2. EXISTING ASPHALT DRIVE TO MULTIPLE LOTS.
3. EXISTING STORAGE UNIT FACILITY.
4. EXISTING OFFICE FOR BOTH EXISTING AND NEW STORAGE UNIT FACILITY.
5. EXISTING CMU YARD/RETAINING WALL.
6. NEW STORAGE UNITS.
7. CRUSHER FINES SURFACE.
8. POND FOR INITIAL RUNOFF RETENTION. 8" CMU RETAINING WALL AT PERIMETER AND AROUND POWER POLE (4.5'x4.5' INSIDE DIMENSION). ALL CELLS SHALL BE FILLED WITH CONCRETE. TOP OF WALL ELEVATION 5104.70. BOTTOM OF POND ELEVATION 5102.70.
9. 7" OPENING FOR STORM WATER ENTRY TO POND. ELEVATION OF ENTRY 5104.20.
10. 7" OPENING FOR STORM WATER EXIT FROM POND. ELEVATION OF EXIT 5104.20.
11. NEW WROUGHT IRON FENCE. SEE LANDSCAPING PLAN.
12. LANDSCAPED AREA. SEE LANDSCAPING PLAN.
13. EXISTING 50' DRIVEPAD. NORTHERLY 24' TO BE USED AS A LOCKED GATES EMERGENCY ACCESS PER DRB APPROVED SITE DEVELOPMENT PLAN, PROJECT NO. 1004725. BALANCE OF EXISTING DRIVEPAD CONTROLLED BY NM DOT AGREEMENT.
14. REMOVE EXISTING ASPHALT, REGRADE AND REPLACE ASPHALT.

GRADING NOTES

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2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

VICINITY MAP J-10**FEMA FIRM PANEL NO. 329H**

DRAINAGE DATA

CONDITION	B A S I N	STORM RETURN PERIOD	TREATMENT TYPE	TREATMENT AREA	EXCESS PRECIPITATION	PEAK RUNOFF	RUNOFF VOLUME	RUNOFF RATE
-	-	year	(table 4)		(table 8)	(table 9)		
EXISTING	S I T E	10	A	0	0.08	0.24	0	0.00
			B	0	0.22	0.76	0	0.00
			C	0	0.44	1.49	0	0.00
			D	34905	1.24	2.89	3607	2.32
			TOTAL	34905			3607	2.32
		100	A	0	0.44	1.29	0	0.00
			B	0	0.67	2.03	0	0.00
			C	0	0.99	2.87	0	0.00
			D	34905	1.97	4.37	5730	3.50
			TOTAL	34905			5730	3.50
PROPOSED	S I T E	10	A	0	0.08	0.24	0	0.00
			B	3873	0.22	0.76	0	0.00
			C		0.44	1.49	1138	1.06
			D	31032	1.24	2.89	3207	2.06
			TOTAL	34905			4344	3.12
		100	A	0	0.44	1.29	0	0.00
			B	3873	0.67	2.03	216	0.18
			C		0.99	2.87	0	0.00
			D	31032	1.97	4.37	5094	3.11
			TOTAL	34905			5311	3.29

OFFSITE DRAINAGE DATA

THERE ARE NO OFFSITE FLOWS ENTERING THE PROPERTY.

LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS METER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD OR C ►	ROOF DRAINAGE POINT
BC	TOP OF CURB		FEMA FLOODPLAIN BOUNDARY
TP	TOP OF EARTH PAD		DRAINAGE BASIN BOUNDARY
TS	TOP OF SIDEWALK		EROSION SETBACK LINE
TW	TOP OF WALL		EXISTING CONTOUR
FH	FIRE HYDRANT		PROPOSED CONTOUR
WM	WATER METER	XX.XX	EXISTING SPOT ELEVATION
WV	WATER VALVE	XX.XX	PROPOSED SPOT ELEVATION
MH	MANHOLE	XX.XX	RECORD SPOT ELEVATION
CB	CATCH BASIN GRATE	XX.XX	

DRAINAGE NOTES

1. THE SITE WAS PREVIOUSLY DEVELOPED AS A CAR WASH. THE BUILDINGS HAVE BEEN REMOVED AS HAS MOST OF THE ASPHALT. THE SITE PREVIOUSLY DISCHARGED STORM RUNOFF TO THE VACANT PROPERTY TO THE NORTH OF THE SITE. THE PROPOSED DESIGN WILL ENLARGE THE EXISTING STORAGE UNIT FACILITY. THE EXISTING AND PROPOSED STORAGE UNIT FACILITIES ARE IN COMMON OWNERSHIP. STORM WATER RUNOFF WILL BE DIRECTED TO THE EXISTING STORAGE FACILITY WHICH DISCHARGES TO VACANT PROPERTY TO THE NORTH AND A LARGE STORMWATER INLET WHICH DISCHARGES TO THE WEST MESA POND.
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4. TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY HARRIS SURVEYING, INC. IN DECEMBER, 2014.

LEGAL DESCRIPTION

TRACT Q-6-A-1-A. ATRISCO BUSINESS PARK, UNIT 4

PERMANENT BENCHMARK

ACS 13-K10 ELEVATION 5146.610 (NAVD 1988)



STUDIO

SW

ARCHITECTS

STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
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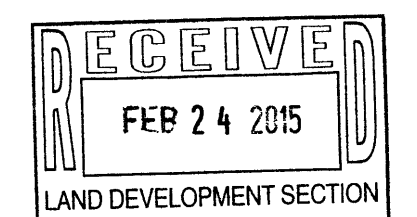
BORDENAVE DESIGNS

P.O. BOX 91194, ALBUQUERQUE, NM 87199-1194
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CELL 480-6812 jakebordenave@mindspring.com



02/20/15

**NORTH COORS
SELF STORAGE
PHASE 3**
615B COORS BLVD NW
ALBUQUERQUE, NM



MARK	DATE	DESCRIPTION
ISSUE:		SITE DEVELOPMENT
PROJECT NO:	1452.1	
CAD DWG FILE:	1452-C001.DWG	
DRAWN BY:	METO	
CHECKED BY:	JJB	
DATE:	12/12/2014	

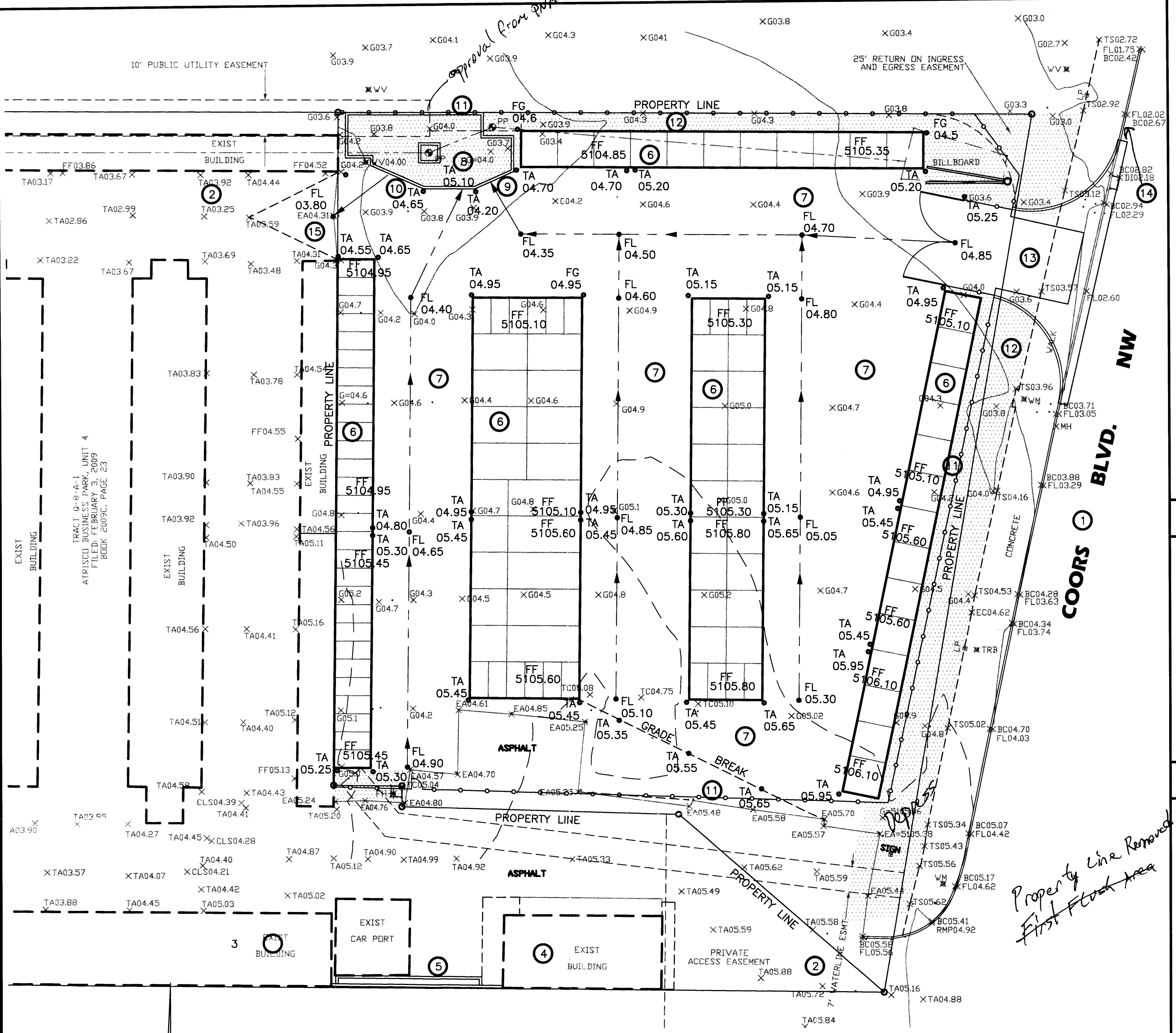
SHEET TITLE

GRADING AND DRAINAGE

C-001

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GRADING PLAN



NEW PARKING AREA FIRST FLUSH STORAGE VOLUME

REQUIRED
(31032)(0.44-0.1)/12 = 879 C.F.

PROVIDED
DEPTH = 87% = 1.31 ft.
USE 18" DEPTH

DRAINAGE DATA

CONDITION	B RETURN S PERIOD IN year	TREATMENT TYPE	TREATMENT AREA sq. ft.	EXCESS PRECIPITATION in.	PEAK RUNOFF cfs/acre	RUNOFF VOLUME cu. ft.	RUNOFF RATE cfs
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	0	0.22	0.76	0	0.00
		C	0	0.44	1.49	0	0.00
		D	34905	1.24	2.89	3607	2.32
		TOTAL	34905			3607	2.32
PROPOSED	100	A	0	0.44	1.29	0	0.00
		B	0	0.67	2.03	0	0.00
		C	0	0.99	2.87	0	0.00
		D	34905	1.97	4.37	5730	3.50
		TOTAL	34905			5730	3.50
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	3873	0.22	0.76	0	0.00
		C	0	0.44	1.49	1138	1.06
		D	31032	1.24	2.89	3207	2.06
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PROPOSED	100	A	0	0.44	1.29	0	0.00
		B	3873	0.67	2.03	216	0.18
		C	0	0.99	2.87	0	0.00
		D	31032	1.97	4.37	5094	3.11
		TOTAL	34905			5311	3.29

KEYED NOTES

- EXISTING PAVED PUBLIC STREET w/ STD. CURB & GUTTER AND SIDEWALK
- EXISTING ASPHALT DRIVE TO MULTIPLE LOTS.
- EXISTING STORAGE UNIT FACILITY.
- EXISTING OFFICE FOR BOTH EXISTING AND NEW STORAGE UNIT FACILITY.
- EXISTING CMU YARD/RETAINING WALL.
- NEW STORAGE UNITS.
- NEW ASPHALT PAVEMENT.
- POND FOR FIRST FLUSH FLOW RETENTION. 8" CMU RETAINING WALL AT PERIMETER AND AROUND POWER POLE. ALL CELLS SHALL BE FILLED WITH CONCRETE. TOP OF WALL ELEVATION 5104.70. BOTTOM OF POND ELEVATION 5102.70.
- 7' OPENING FOR STORM WATER ENTRY TO POND. ELEVATION OF ENTRY 5104.20.
- 7' OPENING FOR STORM WATER EXIT FROM POND. ELEVATION OF EXIT 5104.20.
- NEW WROUGHT IRON FENCE. SEE LANDSCAPING PLAN.
- LANDSCAPED AREA. SEE LANDSCAPING PLAN.
- 24' WIDE PRIVATE ENTRANCE DETAIL PER COA STD DETAIL 2426 w/ 25' RADIUS RETURNS.
- REMOVE SINGLE 'C' CATCH BASIN. CONSTRUCT DOUBLE 'D' CATCH BASIN ON EXISTING OUT PIPE.
- REMOVE EXISTING ASPHALT, REGRADE AND REPLACE ASPHALT.

GRADING NOTES

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
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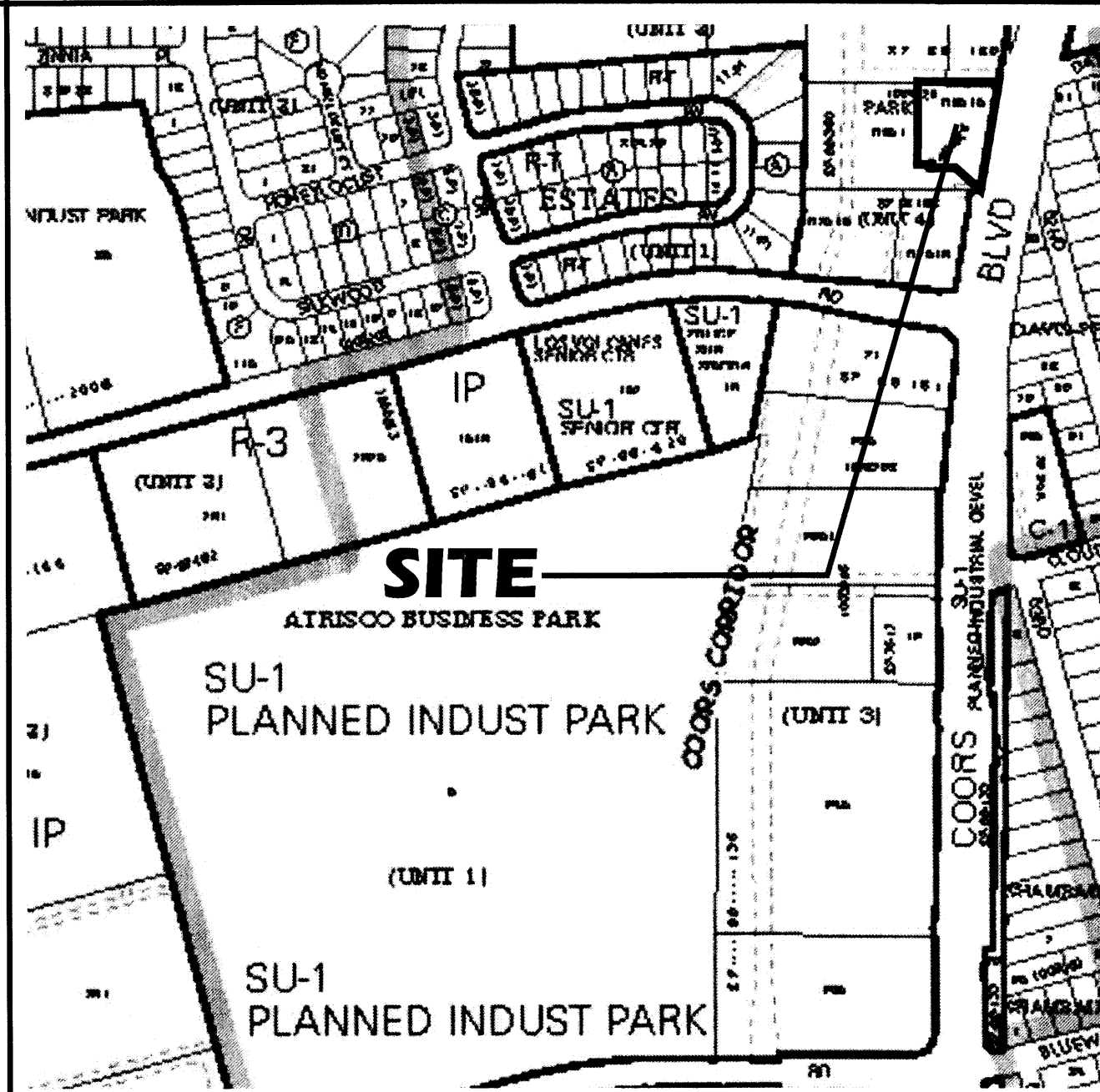
OFFSITE DRAINAGE DATA

THERE ARE NO OFFSITE FLOWS ENTERING THE PROPERTY.

LEGEND

TBM	TEMPORARY BENCHMARK	GM	GAS MATER
G	GROUND	GV	GAS VALVE
FF	FINISH FLOOR	LP	LIGHT POLE
FG	FINISH GRADE	PP	POWER POLE
FL	FLOWLINE	GW	GUY WIRE
TA	TOP OF ASPHALT	PED	ELEC. OR TEL. PEDESTAL
TC	TOP OF CONCRETE	RD OR C	ROOF DRAINAGE POINT
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TS	TOP OF SIDEWALK		
TW	TOP OF WALL		
FH	FIRE HYDRANT		
WM	WATER METER		
WV	WATER VALVE		
MH	MANHOLE		
CB	CATCH BASIN GRATE		

VICINITY MAP J-10



FEMA FIRM PANEL NO. 329H



DRAINAGE NOTES

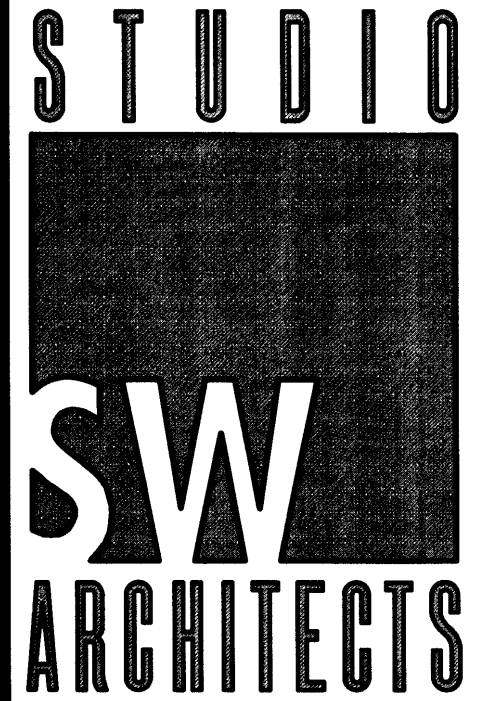
- THE SITE WAS PREVIOUSLY DEVELOPED AS A CAR WASH. THE BUILDINGS HAVE BEEN REMOVED AS HAS MOST OF THE ASPHALT. THE SITE PREVIOUSLY DISCHARGED STORM RUNOFF TO THE VACANT PROPERTY TO THE NORTH OF THE SITE. THE PROPOSED DESIGN WILL ENLARGE THE EXISTING STORAGE UNIT FACILITY. THE EXISTING AND PROPOSED STORAGE UNIT FACILITIES ARE IN COMMON OWNERSHIP. STORM WATER RUNOFF WILL BE DIRECTED TO THE EXISTING STORAGE FACILITY WHICH DISCHARGES TO VACANT PROPERTY TO THE NORTH AND A LARGE STORMWATER INLET WHICH DISCHARGES TO THE WEST MESA POND.
- THE SITE IS LOCATED IN RAINFALL ZONE 1. MOST OF THE SITE IS ROUTED VIA ASPHALT SWALES TO A FIRST FLUSH RETENTION POND. OVERFLOW FROM THE POND IS ROUTED VIA ASPHALT SWALES TO OFFSITE STORMWATER COLLECTION AND STORAGE FACILITIES.
- THE SITE IS LOCATED IN 'ZONE X' PER FEMA FIRM MAP NO. 329H, DATED AUGUST, 2012.
- TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY HARRIS SURVEYING, INC. IN DECEMBER, 2014.

LEGAL DESCRIPTION

TRACT Q-6-A-1-A. ATRISCO BUSINESS PARK, UNIT 4

PERMANENT BENCHMARK

ACS 13-K10 ELEVATION 5146.610 (NAVD 1988)



STUDIO SOUTHWEST ARCHITECTS, INC.
2101 Mountain Rd. NW, Albuquerque, NM 87104
505.843.9639 fax 505.843.9683
Web Site: www.studioswarch.com
E-Mail: mail@studioswarch.com

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CONSULTANTS



BORDENAVE DESIGNS
P.O. BOX 91194, ALBUQUERQUE, NM 87199-1194
PH (505)823-1344 FAX (505)821-9105
CELL 480-6812 jakebordenave@mindspring.com

Architect Engineer

NOT FOR
CONSTRUCTION

NORTH COORS SELF STORAGE PHASE 3

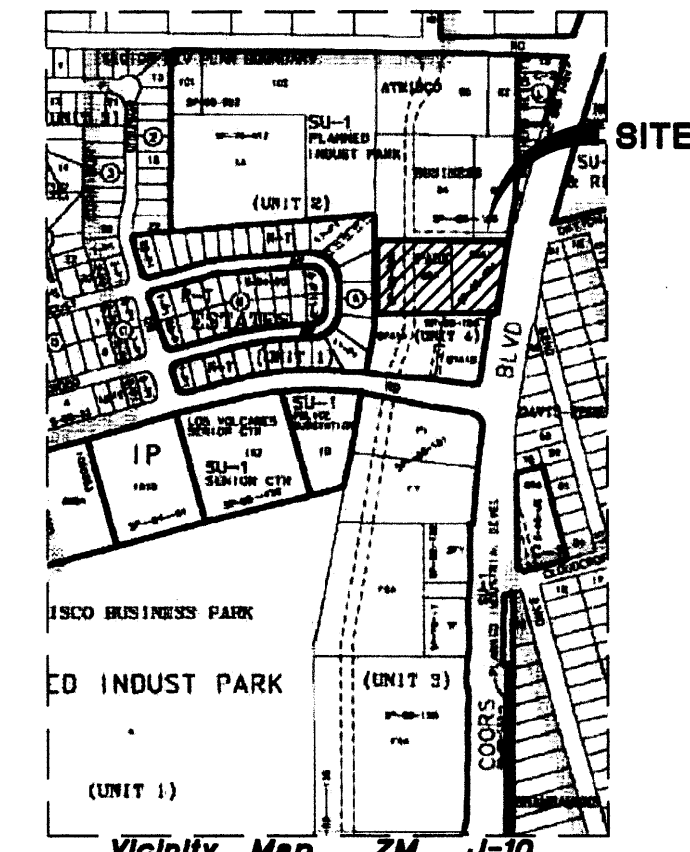
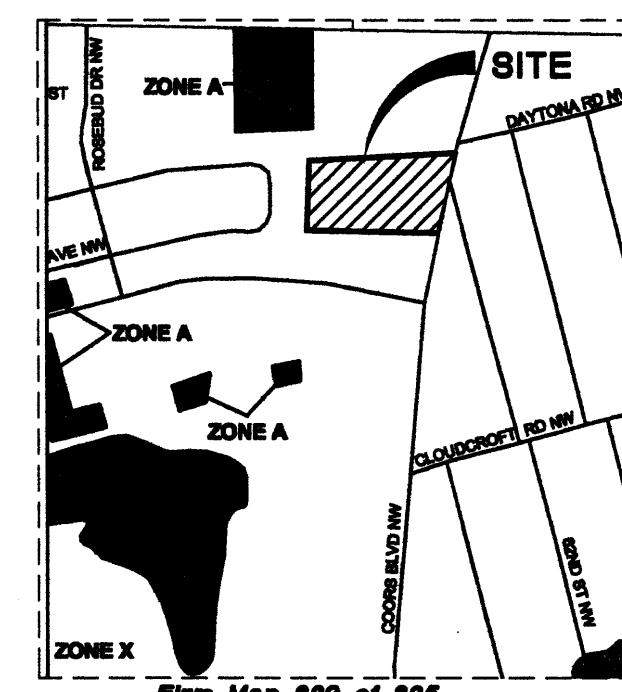
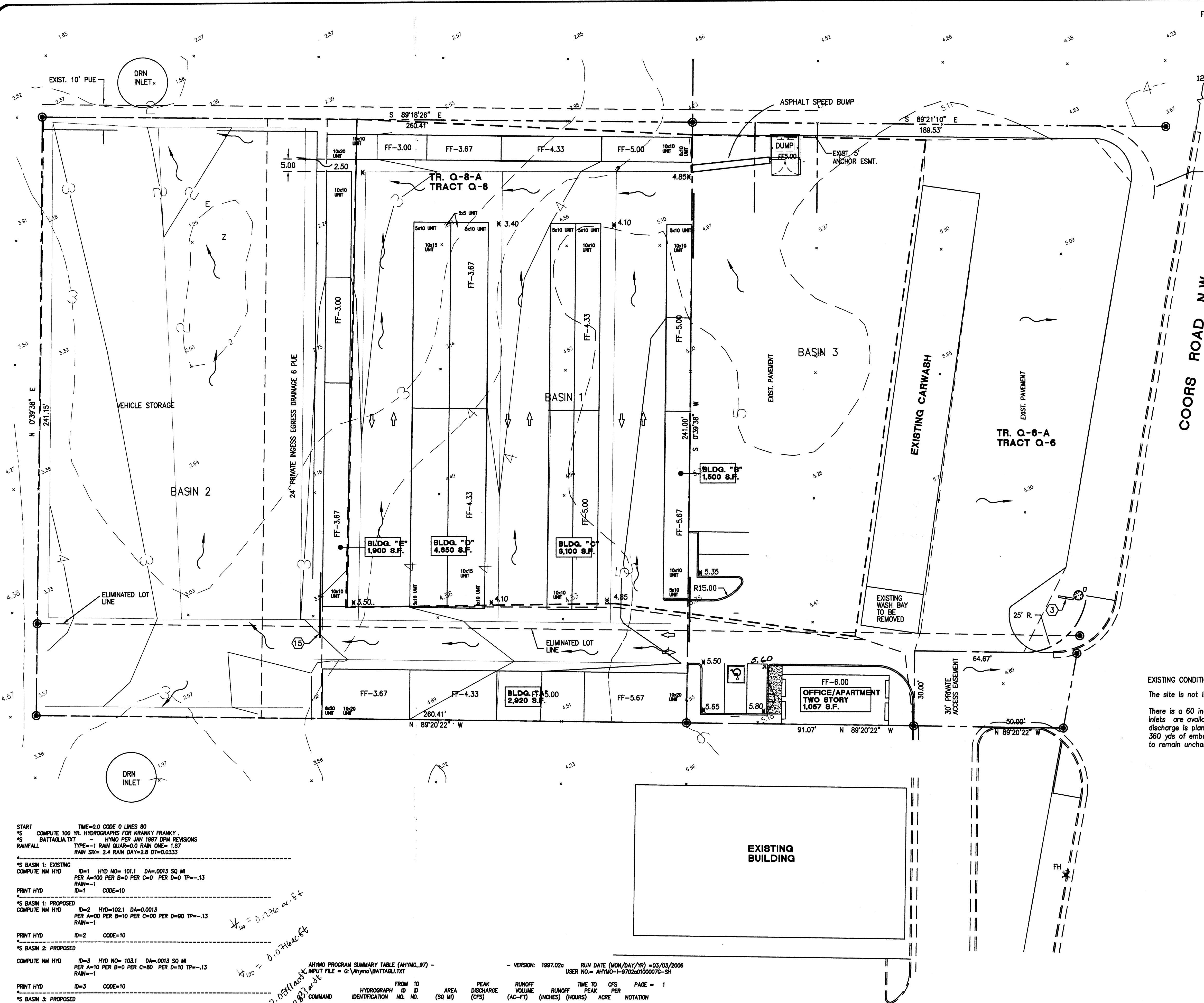
615B COORS BLVD NW
ALBUQUERQUE, NM

MARK	DATE	DESCRIPTION
ISSUE:		SITE DEVELOPMENT
PROJECT NO:		1452.1
CAD DWG FILE:		1452-C001.DWG
DRAWN BY:		METO
CHECKED BY:		JLB
DATE:		12/12/2014

SHEET TITLE

GRADING
AND
DRAINAGE

C-001



SYMBOLS

- | | | | |
|-------|------------------------------|-----|---------------------------|
| --- | EXISTING FENCE | MH | EXISTING MANHOLE |
| - - - | PROPOSED FENCE | ● | PROPOSED MANHOLE |
| --- | EXISTING PAVED ROAD | ○ | EXISTING POWER POLE |
| --- | EXISTING UNDERGROUND UTILITY | ○ | EXISTING POWER POLE W/GUY |
| --- | PROPOSED UNDERGROUND UTILITY | + | THRUST BLOCK |
| --- | RIGHT OF WAY | + | FIRE HYDRANT |
| --- | DECIDUOUS TREE | + | WATER VALVE |
| --- | CONIFEROUS TREE | + | EXISTING GATE VALVE |
| --- | EXISTING LIGHT STANDARD | + | FITTING |
| --- | PROPOSED LIGHT STANDARD | + | WATER METER |
| --- | CURB AND GUTTER | --- | FLOW ARROW |
| --- | EX. SPOT ELEVATION | --- | PROPOSED STORM INLET |
| --- | CONTOUR | --- | SANITARY SEWER SERVICE |
| | | --- | PLUG PIPE |
| | | --- | EXISTING SIGN |
| | | --- | PROPOSED SIGN |

EXISTING CONDITIONS:
The site is not in a flood plain. The area to be developed is vacant of any structures.
There is a 60 inch storm drain in the rear of the property. Two large, area drain inlets are available to receive runoff. They are on each side of the property. Direct discharge is planned for this site. Earthwork calcs indicate 413 yds. of excavation and 360 yds of embankment are required to construct this project. The front of the site is to remain unchanged.

among bldgs	vehicle storage
2" asph. pavement	4" gran. base cs.
4" gran. base cs.	compacted native soil
compacted native soil	

Recommended paving

START
COMPUTE 100 YR. HYDROGRAPHS FOR KRANKY FRANKY.
BATTAGLIA.TXT - HYMO PER JAN 1997 DPM REVISIONS
TYPE=1 RAIN QUAR=0.0 RAIN ONE=1.27
RAINFALL TYPE=1 RAIN SIX=2.4 RAIN DAY=2.5 DT=0.0333

COMPUTE NM HYD ID=1 HYD NO=101.1 DA=0.0013 SQ MI PER A=100 PER B=0 PER C=0 PER D=0 TP=-.13
PRINT HYD ID=1 CODE=10

COMPUTE NM HYD ID=2 HYD NO=102.1 DA=0.0013 SQ MI PER A=100 PER B=10 PER C=0 PER D=90 TP=-.13
PRINT HYD ID=2 CODE=10

COMPUTE NM HYD ID=3 HYD NO=103.1 DA=0.0013 SQ MI PER A=10 PER B=0 PER C=80 PER D=10 TP=-.13
PRINT HYD ID=3 CODE=10

COMPUTE NM HYD ID=4 HYD NO=104.1 DA=0.0008 SQ MI PER A=0 PER B=0 PER C=0 PER D=100 TP=-.13
PRINT HYD ID=4 CODE=10

COMPUTE NM HYD ID=5 HYD NO=105.1 DA=0.0008 SQ MI PER A=0 PER B=0 PER C=0 PER D=100 TP=-.13
PRINT HYD ID=5 CODE=10

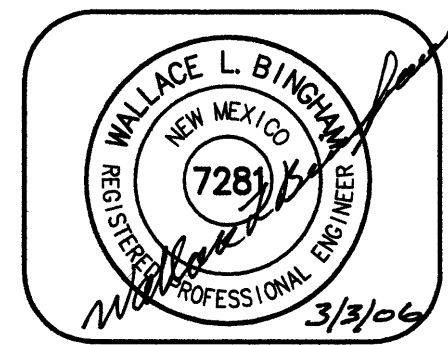
COMPUTE NM HYD ID=6 HYD NO=106.1 DA=0.0008 SQ MI PER A=0 PER B=0 PER C=0 PER D=100 TP=-.13
PRINT HYD ID=6 CODE=10

HYMO PROGRAM SUMMARY TABLE (HYMO_97) -
INPUT FILE = C:\hymo\BATTAGLIA.TXT

VERSION: 1997.02a RUN DATE (MON/DAY/YR) = 03/03/2006
USER NO. = AHYMO-1-9702a01000070-SH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START	COMPUTE 100 YR. HYDROGRAPHS FOR KRANKY FRANKY.									1
COMPUTE NM HYD	BATTAGLIA.TXT									
RAINFALL	TYPE=1									
COMPUTE NM HYD	TYPE=1									
COMPUTE NM HYD	TYPE=1	101.1	1	.00130	1.27	.035	.51183	1.499	1.526 PER IMP=	.00
COMPUTE NM HYD	TYPE=1	102.1	2	.00130	3.53	.139	2.00613	1.499	4.238 PER IMP=	90.00
COMPUTE NM HYD	TYPE=1	103.1	3	.00130	2.53	.076	1.10153	1.499	3.046 PER IMP=	10.00
COMPUTE NM HYD	TYPE=1	104.1	4	.00080	2.28	.092	2.14664	1.499	4.451 PER IMP=	100.00
COMPUTE NM HYD	TYPE=1	106.1	6	.00210	5.81	.231	2.05943	1.499	4.319	

BINGHAM ENGINEERING
6344 Belcher NE
Albuquerque, New Mexico 87109
505 797 4699



Water World Carwash - STORAGE
615 Coors Blvd.
Grading and Drainage Plan

