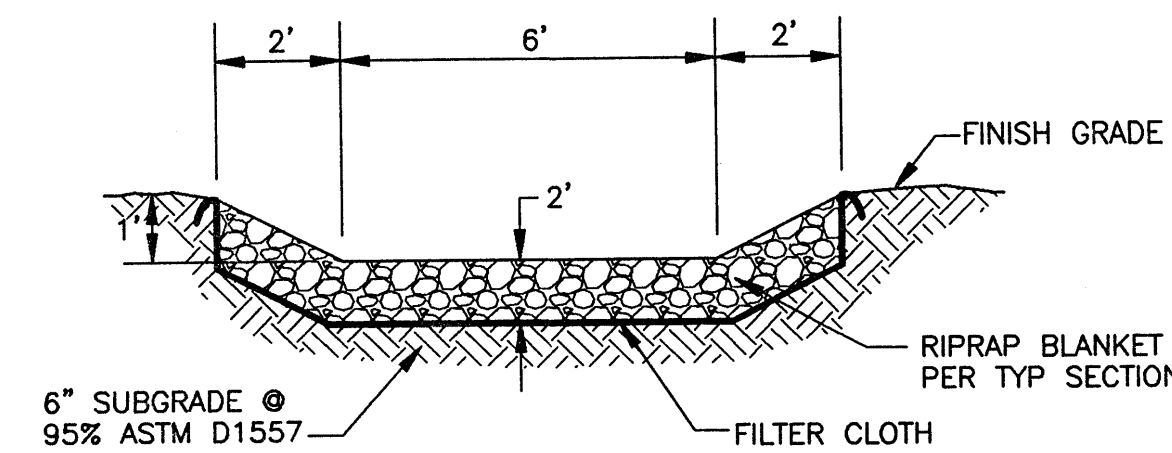
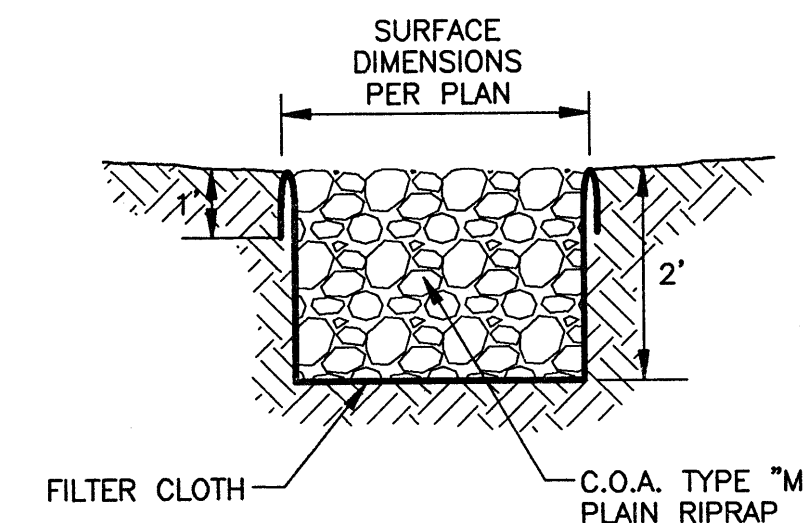


1. POND EXCAVATION AND FINE GRADING ($\pm 0.1'$), OUTLET CONSTRUCTION & RIP-RAP INSTALLATION SHALL BE DONE UNDER THIS CONTRACT.
2. LANDSCAPING IN AND AROUND THE POND SHALL BE INSTALLED BY OTHERS UNDER SEPARATE CONTRACT (SEE LANDSCAPE PLAN HEREIN).
3. THE CONTRACTOR SHALL MAINTAIN THE POND DURING CONSTRUCTION AND UNTIL SUCH TIME AS THE LANDSCAPE CONTRACTOR COMMENCES INSTALLATION OF THE POND LANDSCAPING. IN PARTICULAR, THE CONTRACTOR SHALL PROTECT AND MAINTAIN THE OUTLET FROM THE PROPOSED 24" STORM DRAIN TO PREVENT EROSION AT THE OUTLET. IT IS INTENDED THAT THE POND LANDSCAPING BE INSTALLED AS SOON AS IS PRACTICABLY POSSIBLE AFTER THE COMPLETION OF THE WORK INDICATED IN THIS SHEET. IF SIGNIFICANT DELAY IS ANTICIPATED, THE CONTRACTOR SHALL REVEGETATE WITH NATIVE GRASSES THE ENTIRE AREA DISTURBED BY THE CONSTRUCTION OF THE POND. THE MEANING OF 'SIGNIFICANT DELAY' SHALL BE DETERMINED BY THE OWNER AND ENGINEER DURING CONSTRUCTION.
4. STATION AND OFFSET INFORMATION ON THIS SHEET IS REFERENCED TO MERIDIAN PLACE CENTERLINE.



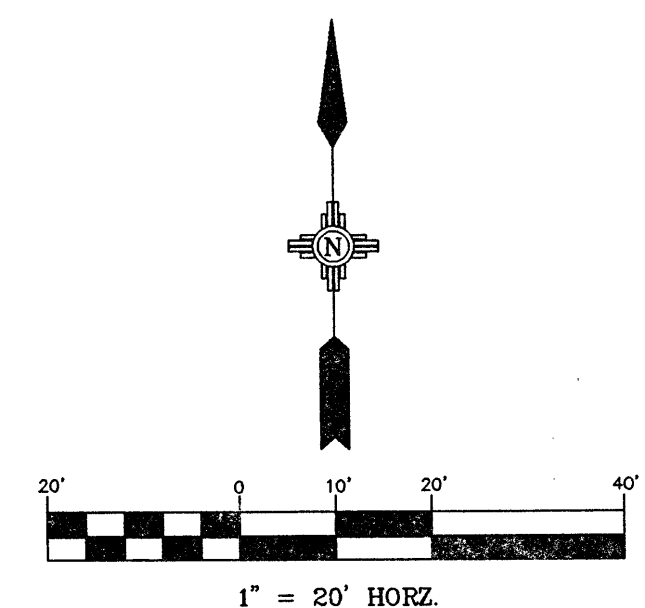
SECTION A-A
NTS



RIPRAP BLANKET SECTION
NTS

POINT NUMBER	STATION	OFFSET	FINISH GRADE ELEV (SEE NOTE 4)	DESCRIPTION
100	17+58.85	46.00' LT	5103.0	--
101	17+53.08	63.71' LT	5103.0	--
102	17+57.49	74.62' LT	5103.0	--
103	17+80.50	63.53' LT	5100.0	--
104	18+00.72	86.80' LT	5103.0	PC/PT
105	18+03.89	75.25' LT	5100.0	PC/PT
106	19+60.89	151.24' LT	5104.0	--
107	18+58.55	81.78' LT	5099.0	--
108	18+70.25	100.46' LT	5099.5	END RUNDOWN
109	18+61.18	115.94' LT	5102.5	TOP RUNDOWN
110	18+97.68	103.20' LT	5099.0	--
111	19+56.90	82.00' LT	5103.0	--
112	19+44.90	82.00' LT	5100.0	PC/PT
113	19+21.29	80.78' LT	5099.0	--
114	19+20.90	58.00' LT	5100.0	PC/PT
115	19+25.30	42.00' LT	5104.0	--
116	19+11.85	129.07' LT	5099.0	--
117	19+24.90	146.52' LT	5100.0	PC/PT
118	19+41.04	137.21' LT	5099.0	--
119	19+42.89	145.89' LT	SEE DETAIL	℄ RISER
120	19+16.64	156.85' LT	5103.0	PC/PT

CURVE	RADIUS	LENGTH	TANGENT	CHORD	BEARING	DELTA
(C1)	296.00'	144.69'	73.82'	143.25'	N43°57'54"E	28°00'26"
(C2)	284.00'	138.82'	70.83'	137.45'	N43°57'54"E	28°00'26"



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
MERIDIAN BUSINESS PARK
INFRASTRUCTURE IMPROVEMENTS
LOT 10 DETENTION POND GRADING PL

DESIGN REVIEW COMMITTEE				CITY ENGINEER APPROVAL		LAST DESIGN UPDATE		No./DAY/YR.		Mo./DAY/YR.	
CITY PROJECT No.				559781		ZONE MAP No.		J-10/K-10		SHEET 15 OF 30	

GRADING PERMIT SUBMITTAL
SHEET 1 OF 6

AS BUILT INFORMATION

BENCH MARKS

SURVEY INFORMATION

ENGINEER'S SEAL

LD	VERIFICATION BY	DATE
AWINGS		DATE

[illegible]

NEW MEXICO

CORDED BY _____ DATE _____

factor = 0.99967738
00'16'27"

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RECEIVED FROM
J. Edgar Hoover

00 10 27

[illegible]

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NO.	DATE	REMARKS	BY
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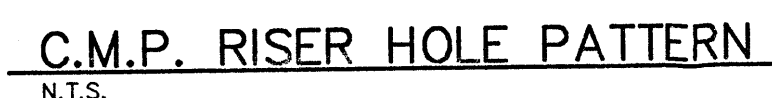
[illegible]

DESIGNED BY JML	DATE 11-96
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_____/DAY/_____
OF

DRAWN BY	DATE
JMM	11-96

30 YR.



STORM DRAIN/C.M.P. RISER CONNECTION
N.T.S.

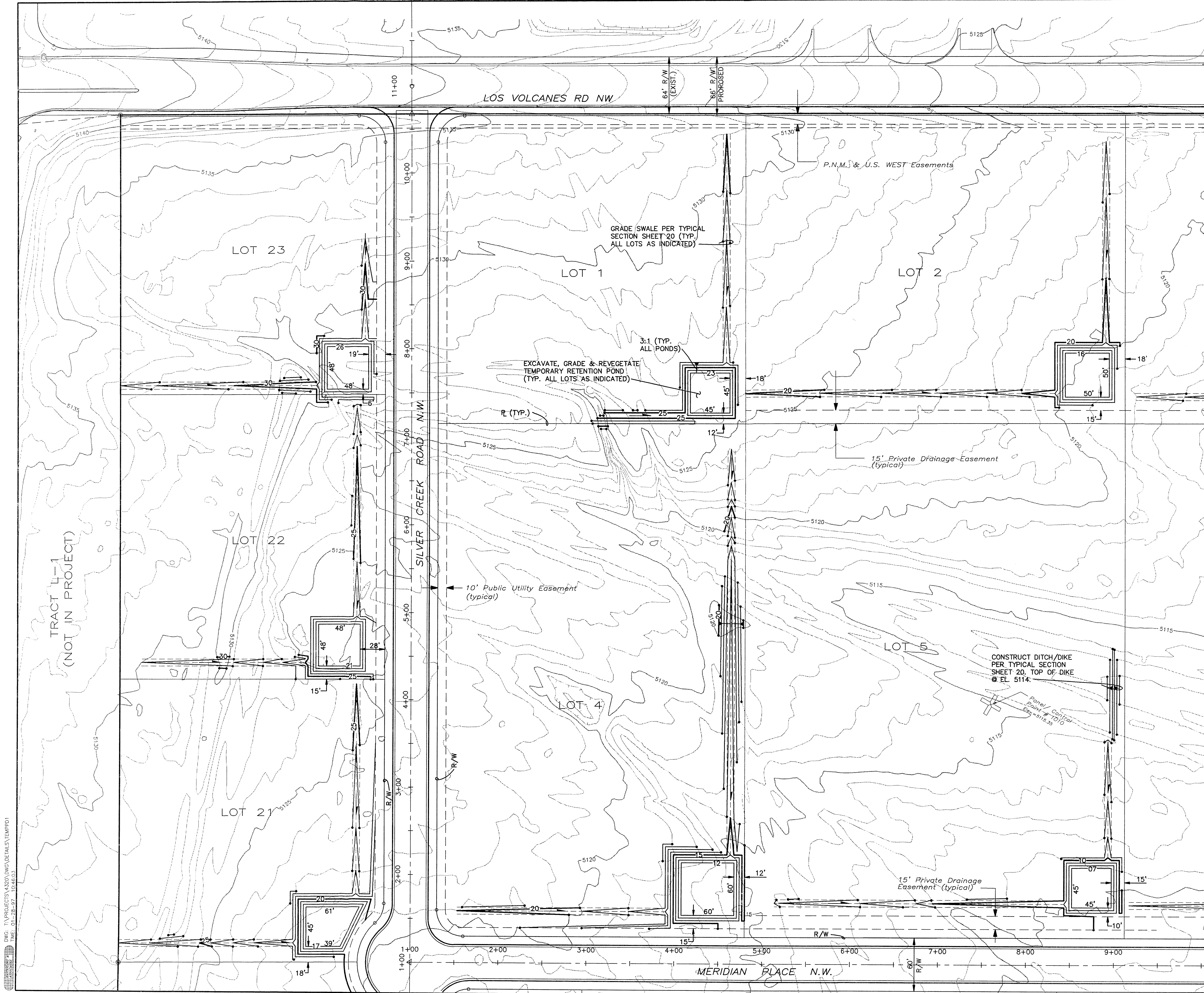


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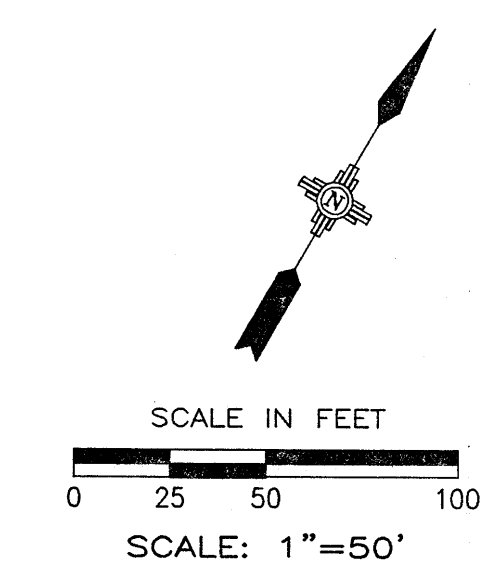
CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP

ENGINEERING DEVELOPMENT GROUP
MERIDIAN BUSINESS PARK
INFRASTRUCTURE IMPROVEMENTS
LOT 10 DETENTION POND OUTLET DETAILS

EOT TO DETENTION FORD COTYLE DETAILS				
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	LAST DESIGN UPDATE	Mo./DAY/YR.	Mo./DAY/YR.
CITY PROJECT No.	559781	ZONE MAP NO.	J-10/K-10	SHEET 16 OF 3



- NOTES:
1. A GRADING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE TEMPORARY PRIVATE DRAINAGE IMPROVEMENTS HEREON.
 2. SEE THE MERIDIAN BUSINESS PARK CONCEPTUAL MASTER GRADING & DRAINAGE PLAN (J-10/D-20) AND THE DESIGN ANALYSIS REPORT (COA PROJ. 559781) FOR DRAINAGE ANALYSIS.



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CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP
MERIDIAN BUSINESS PARK
TEMPORARY PRIVATE DRAINAGE IMPROVEMENTS
LOTS 1, 2, 4, 5, 21, 22 & 23

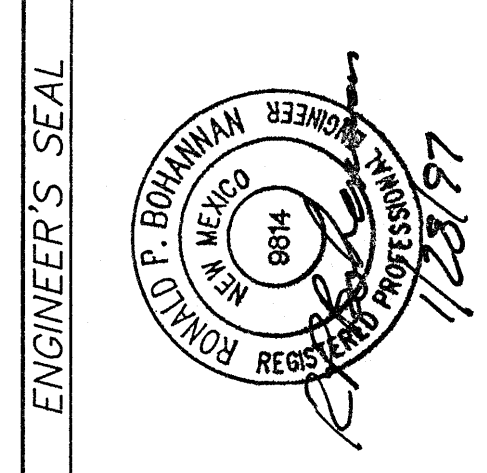
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.

CITY PROJECT No. 559781 ZONE MAP NO. J-10/K-10 SHEET 17 OF 30

AS BUILT INFORMATION			
CONTRACTOR	WORK	DATE	DATE
STARTED BY	DATE	DATE	DATE
ACCEPTANCE BY	DATE	DATE	DATE
CORRECTED BY	DATE	DATE	DATE
RECORDED BY	DATE	DATE	DATE

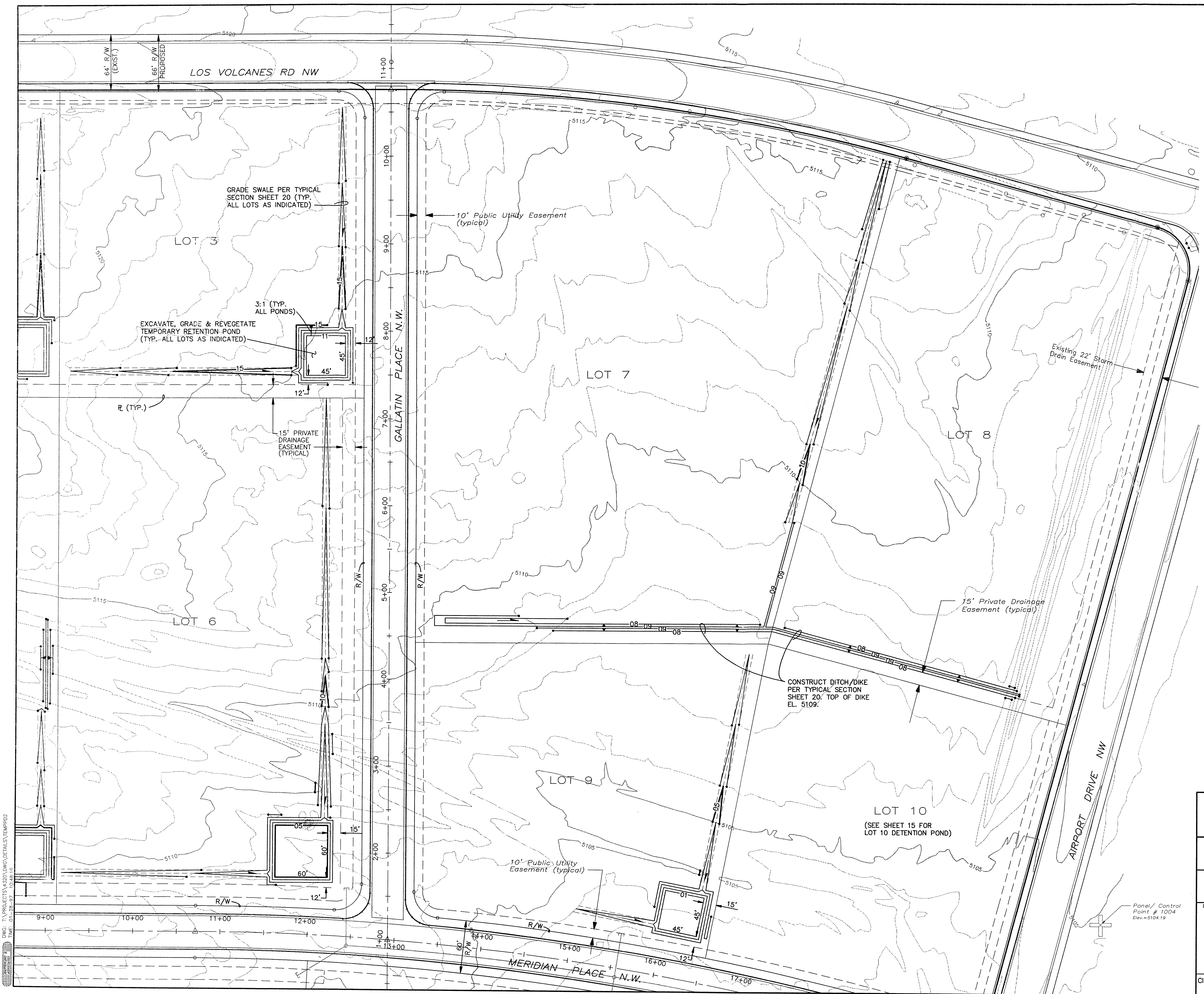
BENCH MARKS
Albuquerque Control Survey Monument "10-K10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1487056.22
X = 357375.04
Elevation = 5142.79 (SLD 1929)
Ground to grid factor = 0.99967738
Delta Alpha = - 00'16"27"

SURVEY INFORMATION		FIELD NOTES	
NO.	DATE	BY	DATE

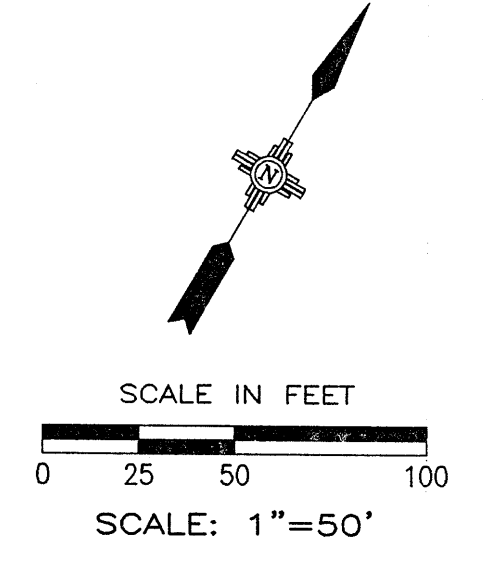


ENGINEER'S SEAL		REVISIONS	
NO.	DATE	BY	DATE

DESIGNED BY JML	DATE 11-96
DRAWN BY DWG	DATE 11-96
CHECKED BY RPB	DATE 11-96



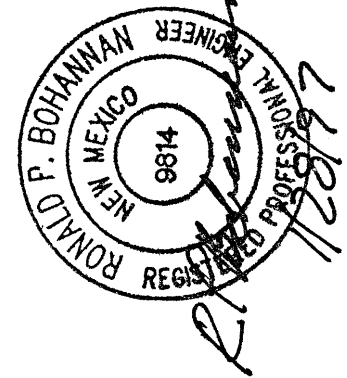
- NOTES:
1. A GRADING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE TEMPORARY PRIVATE DRAINAGE IMPROVEMENTS HEREON.
 2. SEE THE MERIDIAN BUSINESS PARK CONCEPTUAL MASTER GRADING & DRAINAGE PLAN (J-10/0-20) AND THE DESIGN ANALYSIS REPORT (COA PROJ. 559781) FOR DRAINAGE ANALYSIS.



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CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
MERIDIAN BUSINESS PARK TEMPORARY PRIVATE DRAINAGE IMPROVEMENTS LOTS 3, 6, 7, 8 & 9	
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL
LAST DESIGN UPDATE	Mo./DAY/YR.
CITY PROJECT No.	559781
ZONE MAP NO.	J-10/K-10
SHEET	18
OF	30

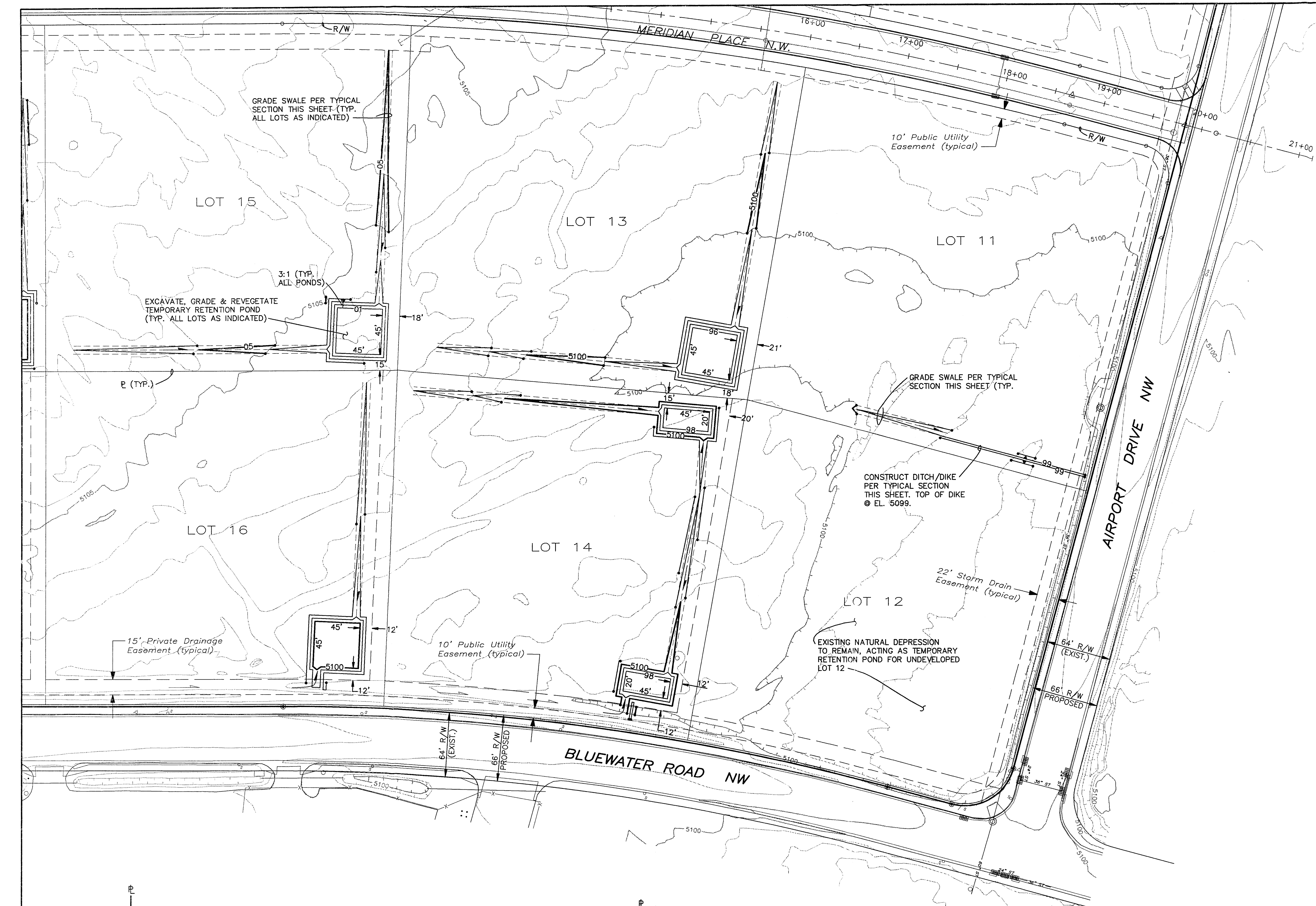
ENGINEER'S SEAL		SURVEY INFORMATION		BENCH MARKS		AS BUILT INFORMATION		
 RONALD P. BOHANNAN NEW MEXICO 9814 MECHANICAL ENGINEERING REGISTERED PROFESSIONAL ENGINEER  12/19/77		FIELD NOTES		Albuquerque Control Survey Monument "10-K10"		CONTRACTOR		
		NO.	BY	DATE	New Mexico State Plane Coordinates, Central		WORK	DATE
					Zone (NAD 27) as published:		STAKED BY	DATE
					Y = 1487056.22		ASCEPANCE BY	DATE
					X = 357375.04		VERIFICATION BY	DATE
					Elevation = 5142.79 (SID 1929)		DRAWINGS	DATE
					Ground to grid factor = 0.99967738		CORRECTED BY	DATE
					Delta Alpha = - 00'16"27"		RECORDED BY	DATE
							NO.	



NO.	DATE	REVISIONS	BY
		DESIGN	
DESIGNED BY	JML	DATE	11-96
DRAWN BY	DWG	DATE	11-96
CHECKED BY	RPB	DATE	11-96

THIS IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE USER TO OBTAIN NECESSARY PERMITS AND TO VERIFY THE ACCURACY OF THE DATA PROVIDED.

DWG: T:\PROJECTS\4320\DWG\DETAILS\TEMP04
TIME: 01-28-97 10:58:45



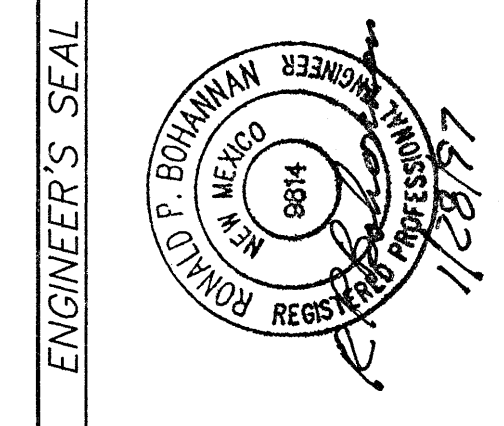
NOTES:

1. A GRADING PERMIT IS REQUIRED FOR THE CONSTRUCTION OF THE TEMPORARY PRIVATE DRAINAGE IMPROVEMENTS HEREON.
2. SEE THE MERIDIAN BUSINESS PARK CONCEPTUAL MASTER GRADING & DRAINAGE PLAN (J-10/D-20) AND THE DESIGN ANALYSIS REPORT (COA PROJ. 559781) FOR DRAINAGE ANALYSIS.

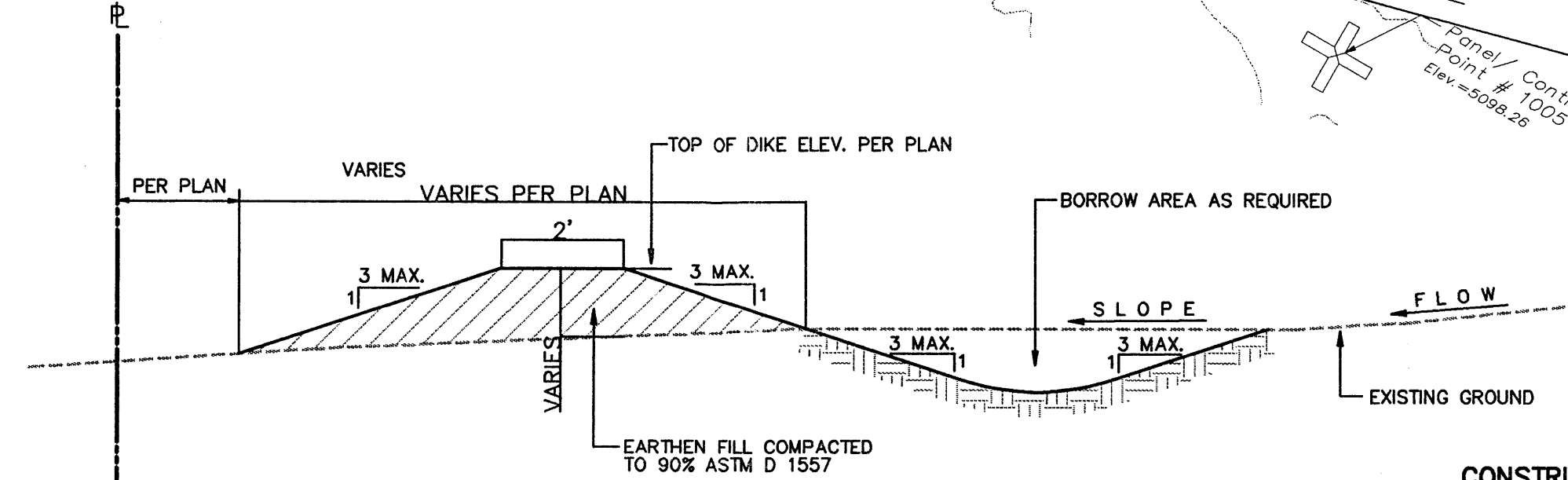
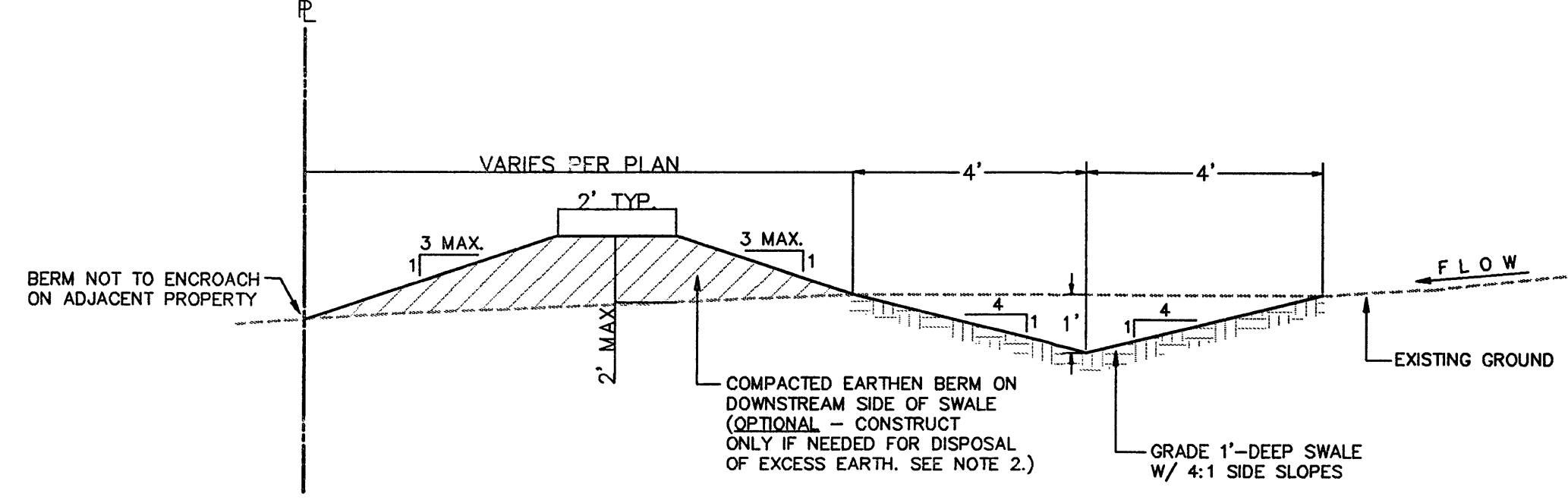
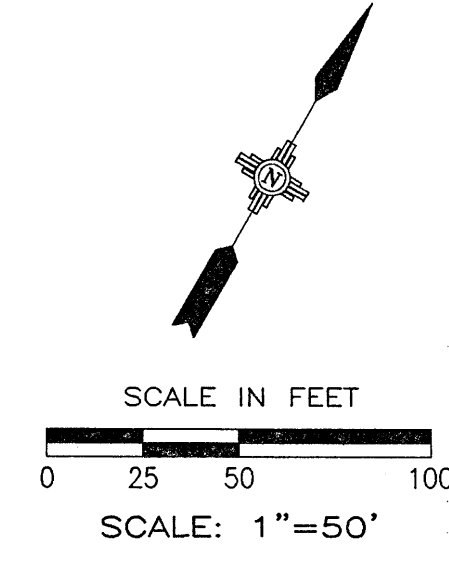
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STARTED BY	DATE		
ACCEPTANCE BY	DATE		
FIELD DRAWING BY	DATE		
CORRECTED BY	DATE		
MICRO-FILM INFORMATION			
RECORDED BY	DATE		
NO.			

BENCH MARKS			
Albuquerque Control Survey Monument "10-K10"			
New Mexico State Plane Coordinates, Central Zone (NAD 27) as published:			
Y = 1487056.22			
X = 357375.04			
Elevation = 5142.79 (SLD 1929)			
Ground to grid factor = 0.99967738			
Delta Alpha = -00'16"27"			

SURVEY INFORMATION			
FIELD NOTES		DATE	
NO.	BY		



ENGINEER'S SEAL			
NO.	DATE	REMARKS	BY
REVISIONS			
DESIGNED BY	DATE		
DRAWN BY	DATE		
CHECKED BY	DATE		

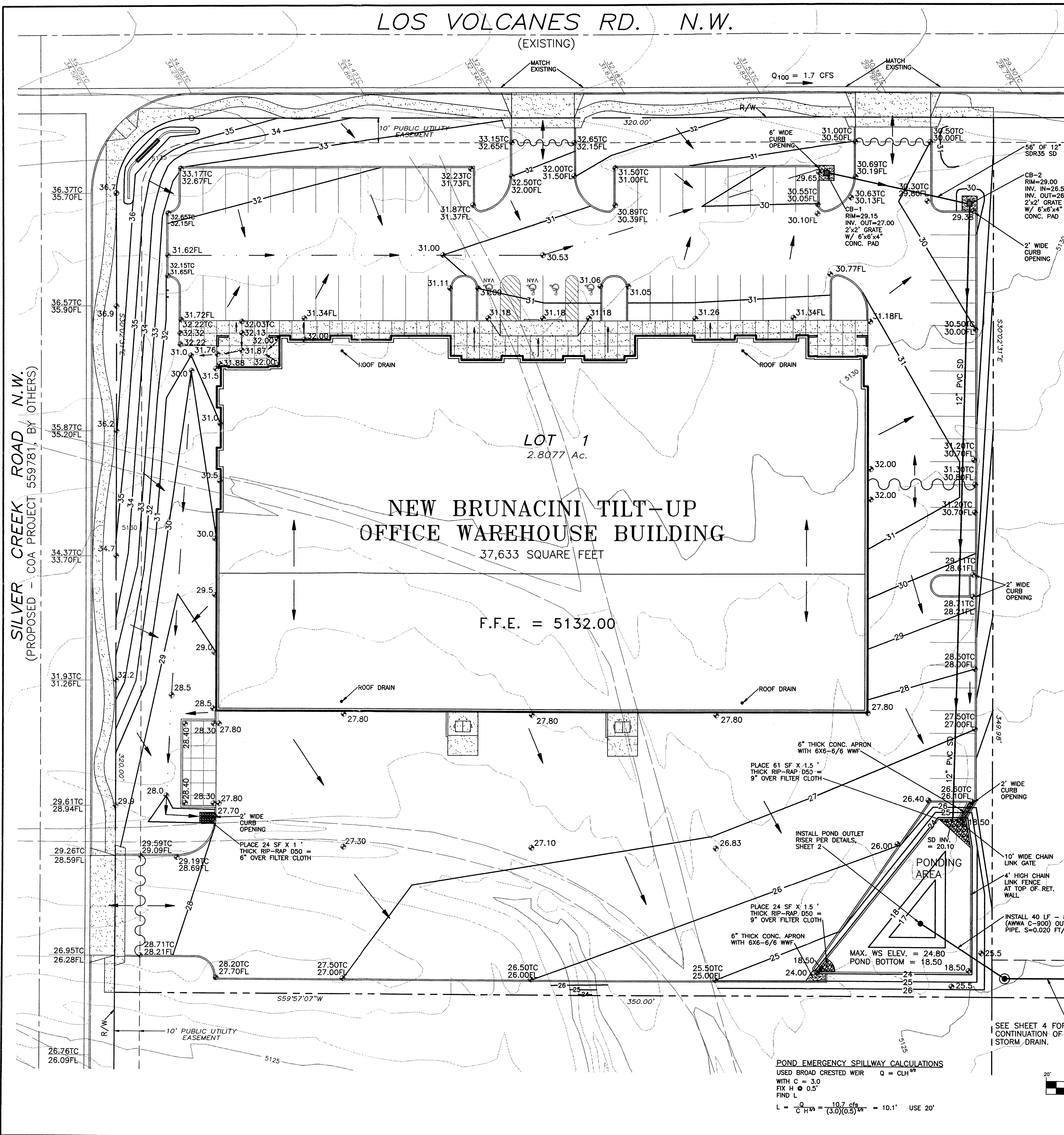


CONSTRUCTION NOTES

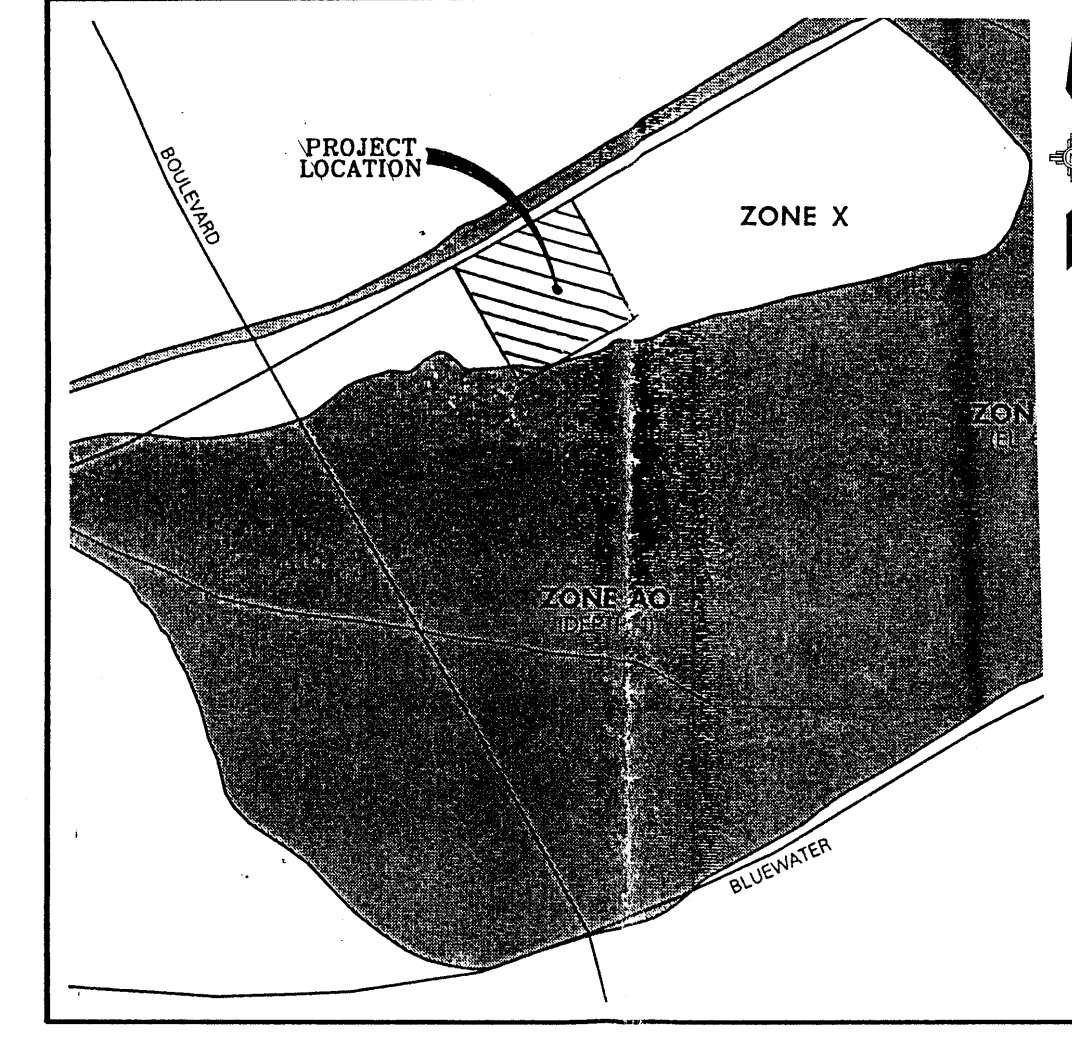
1. REVEGETATE ALL DISTURBED AREAS, INCLUDING ALL NEW EXCAVATION AND EMBANKMENT SURFACES
2. BERMS ADJACENT TO SWALES SHALL BE CONSTRUCTED ONLY IF EXCESS EARTH EXISTS AFTER BACKFILL OF PROPOSED UTILITY TRENCHES AND FILL CONSTRUCTION FOR PROPOSED ROADWAYS, AND THE DEVELOPER DOES NOT REQUIRE SAID EXCESS EARTH TO BE STOCKPILED AT SPECIFIED LOCATIONS.

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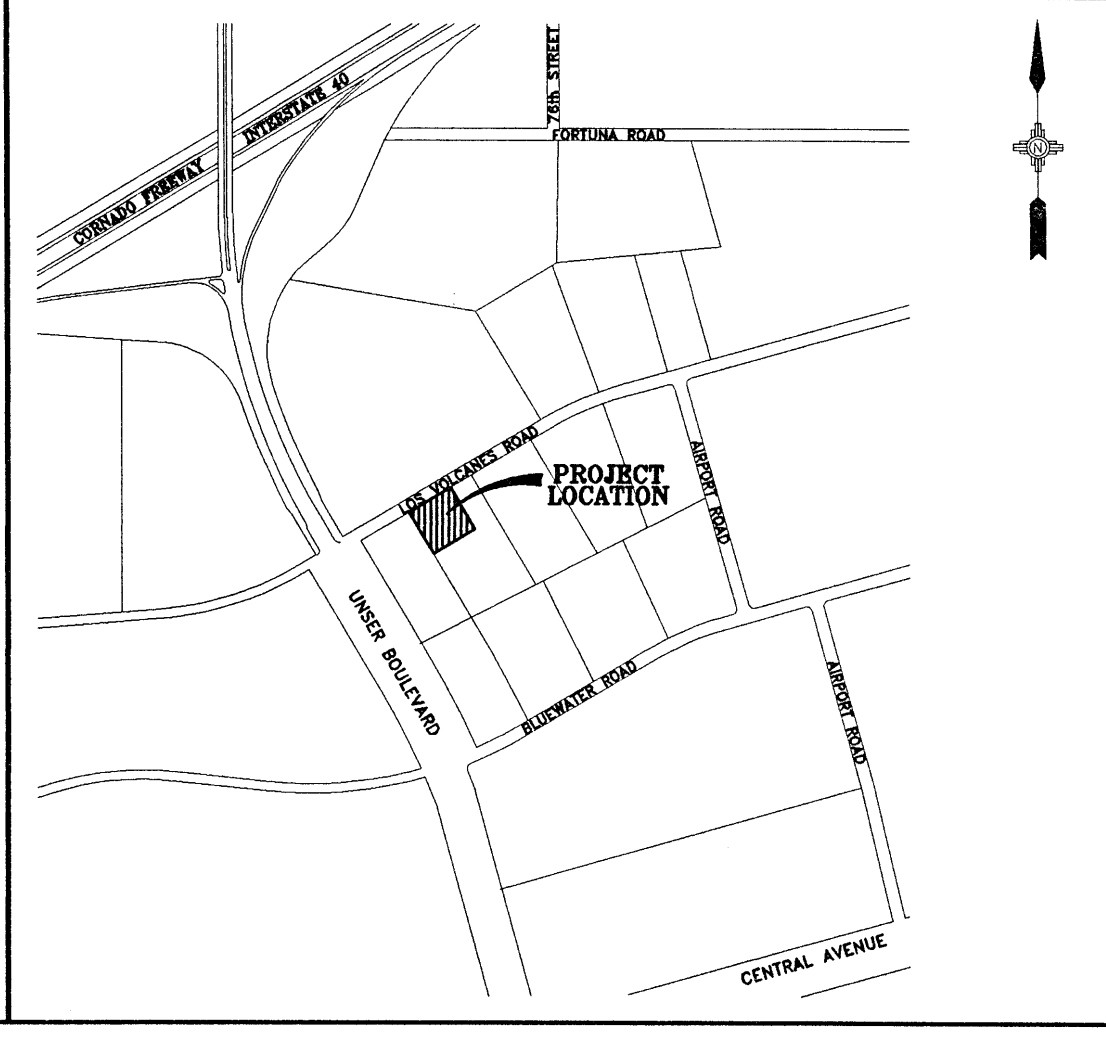
CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP MERIDIAN BUSINESS PARK TEMPORARY PRIVATE DRAINAGE IMPROVEMENTS LOTS 11, 13, 14, 15 & 16			
DESIGN REVIEW COMMITTEE	CITY ENGINEER APPROVAL	Mo./DAY/YR.	Mo./DAY/YR.
LAST DESIGN UPDATE			
CITY PROJECT No.		ZONE MAP No.	SHEET OF
559781		J-10/K-10	20 30



FIRM MAP
No. 35001C0328 D



VICINITY MAP
ZONE ATLAS MAP NO. K-10



EXISTING CONDITIONS

LOT 1 OF MERIDIAN BUSINESS PARK IS CURRENTLY UNDEVELOPED. THE 2.8 ACRE SITE IS COVERED BY SPARSE NATIVE VEGETATION. SITE SOILS ARE COMPOSED OF SANDY AND SILTY SAND SOILS.

OFF-SITE FLOWS

WITH THE CONSTRUCTION OF SILVER CREEK ROAD ON THE SITE'S WEST BOUNDARY AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH ITS CONSTRUCTION (COA PROJECT 559781), THERE WILL BE NO OFF-SITE FLOWS ENTERING THIS SITE. THE 100 YEAR FLOW RATE AND DEPTH IN LOS VOLCANES ROAD ARE 1.7 CFS AND 0.25 FT. WATER BLOCKS ARE PROPOSED IN BOTH DRIVEWAYS ONTO LOS VOLCANES ROAD AT 0.6 FT. HIGH.

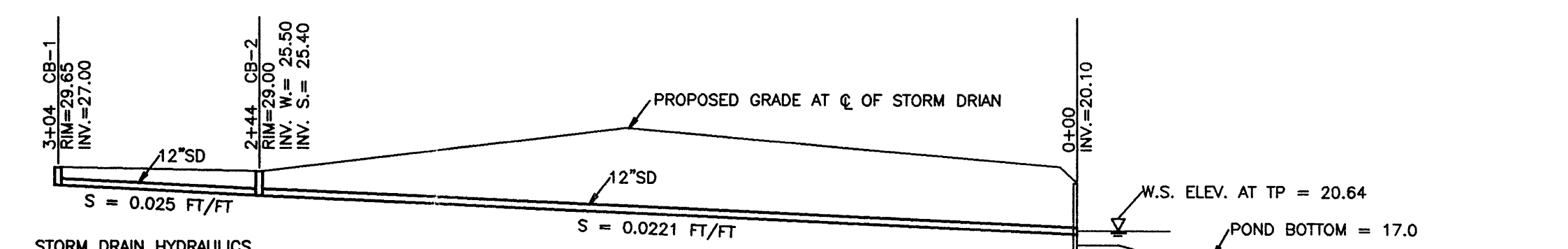
ON-SITE DRAINAGE

THIS SITE IS BEING DEVELOPED IN ACCORDANCE WITH THE "ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN" EASTERLING & ASSOCIATES, INC. 1993 (K-10, D-23) AND IN ACCORDANCE WITH THE "CONCEPTUAL MASTER GRADING AND DRAINAGE PLAN, LOTS 1-23 MERIDIAN BUSINESS PARK", EASTERLING & ASSOCIATES, INC. 1996 (J-10/D-20). THOSE PLANS PROVIDE FOR AN ALLOWABLE DISCHARGE FROM DEVELOPED SITES OF 0.1 CFS/ACRE TO A SYSTEM OF PRIVATE AND PUBLIC STORM DRAINS.

A 17,363 CUBIC FOOT DETENTION POND IS PROPOSED FOR THE SOUTHEAST CORNER OF THE SITE. THE POND IS SUBSTANTIALLY DRAINED AT THE 0.28 CFS RELEASE RATE WITHIN 24 HOURS (LESS THAN 10% OF 100 YEAR STORM VOLUME REMAINS). THE POND CAN SAFELY PASS RUNOFF FROM AN ADDITIONAL 100-YEAR STORM AT THAT TIME AS ONLY 1,773 CUBIC FEET REMAIN IN THE POND AFTER 24 HOURS. AN ADDITIONAL ROUTING WAS PERFORMED AFTER SUBTRACTING THAT VOLUME FROM THE AVAILABLE POND CAPACITY. THE POND WILL NOT OVERFLOW THROUGH ITS EMERGENCY SPILLWAY IN A SECOND 100-YEAR STORM. (SEE ATTACHED HYDRO 194 MODEL RUNS.)

THE POND WILL DISCHARGE THROUGH A 24" CMP RISER/TRASH RACK WITH THE OUTFLOW LIMITED TO 28 CFS BY MEANS OF A 2" ORIFICE IN THE OUTFLOW LINE. THE POND WILL BE CONNECTED TO A 10" PVC PRIVATE STORM DRAIN TO BE CONSTRUCTED IN CONJUNCTION WITH THIS PROJECT. THIS PRIVATE STORM DRAIN WILL CONNECT TO A PUBLIC STORM DRAIN (COA PROJECT 559781). CONSISTENT WITH THE ATRISCO BUSINESS PARK DRAINAGE MASTER PLAN, PLEASE SEE ACCOMPANYING SHEETS FOR STORM DRAIN PLAN AND PROFILE.

THE 10" STORM DRAIN HAS BEEN SIZED BASED ON MAINTENANCE RATHER THAN HYDRAULIC CONSIDERATIONS DUE TO THE EXTREMELY SMALL ALLOWABLE FLOW RATES ON LOTS DRAINING TO THIS LINE. THE HQL IS CONTAINED WITHIN THE PIPE THROUGHOUT ITS LENGTH.



STORM DRAIN HYDRAULICS

CHECK ORIFICE FOR HEAD REQUIRED TO OPERATE SD @ INLETS
 $Q = CA \sqrt{2gh}$ $C = 0.6$ $A = 0.785 \text{ FT}^2$
INLET 1 $Q = (0.6)(0.785)(\sqrt{2(32.2)(29.5 - 27.5)})$
 $Q = 5.34 \text{ CFS} > 5.0 \text{ OK}$
INLET 2 $h_2 = 29.00 - 26.00 = 3' > h_1 \text{ OK}$
POND ELEV. WHEN PEAK FLOW OF 5.0 CFS ENTERS POND IS 20.64 $\leq$ TOP OF PIPE
NON-PRESSURE FLOW

HYDROLOGY SUMMARY

PROJECT NAME: MERIDIAN BUSINESS PARK, LOT 1									
JOB NUMBER:	4320	AREA	LAND TREATMENTS			Q	2 YEAR		10 YEAR
BASIN	COND.	DESCRIPTION	(acres)	A	B	C	(cfs)	VOLUME (ac.ft.)	Q
L1	UNDEV	LOT 1	2.81	100.0%	0.0%	0.0%	0.0	0.0000	0.0000
L1	DEV	LOT 1	2.81	0.0%	21.0%	0.0%	3.8	0.1337	0.1706
							6.9	0.2402	0.2970
							10.9	0.3974	0.4825

INPUT DATA:

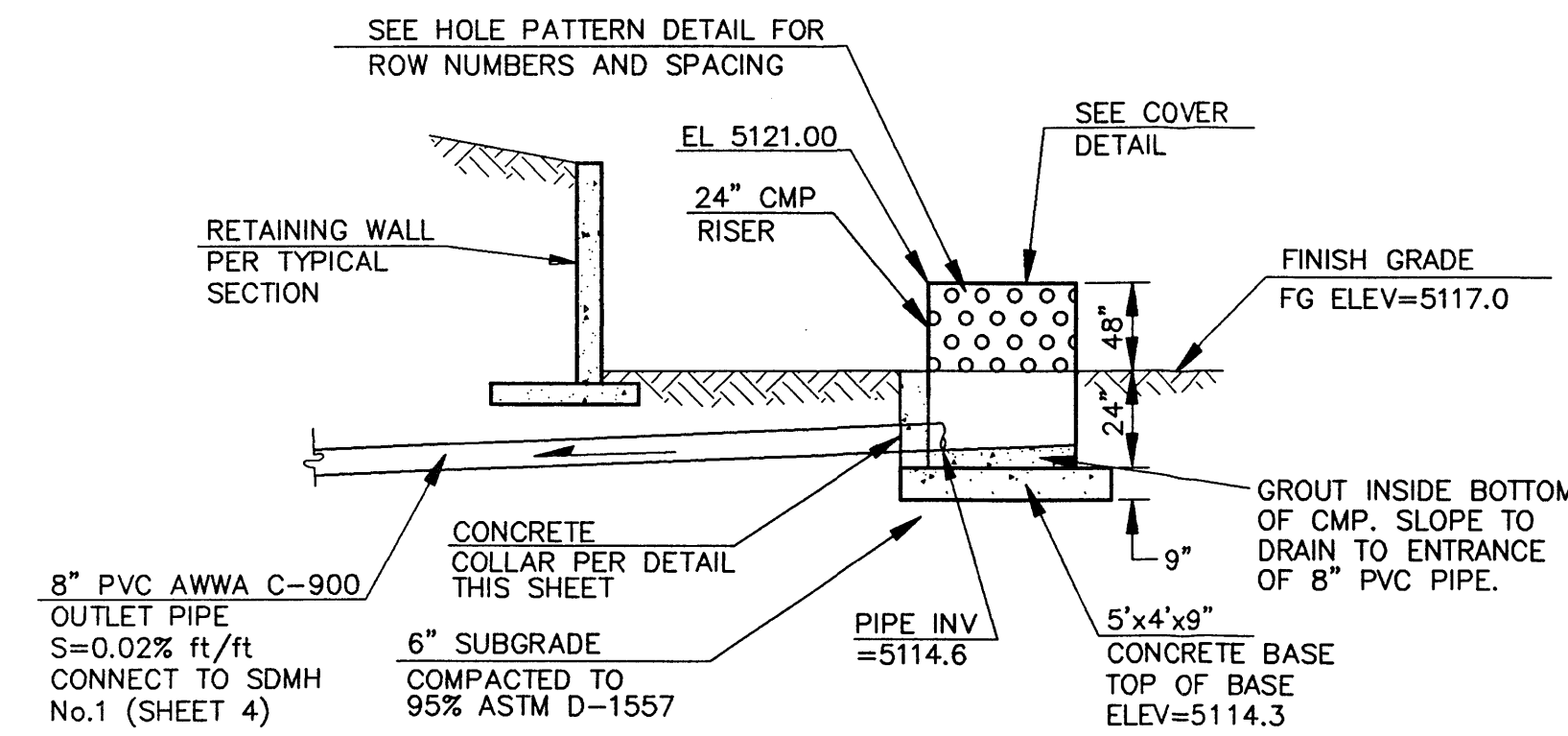
PRECIP.	RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM				
ZONE	1 HOUR	6 HOUR	24 HOUR	4 DAY	10 DAY
1	1.87	2.20	2.66	3.12	3.67

LEGAL DISCRIPTION
LOT 1, MERIDIAN BUSINESS PARK
(BEING) A REPLAY OF LOTS 1 THRU
9 IN TRACT M, ATRISCO BUSINESS
PARK UNIT 2,
CITY OF ALBUQUERQUE, BERNALILLO
COUNTY, NEW MEXICO
AUG. 1996

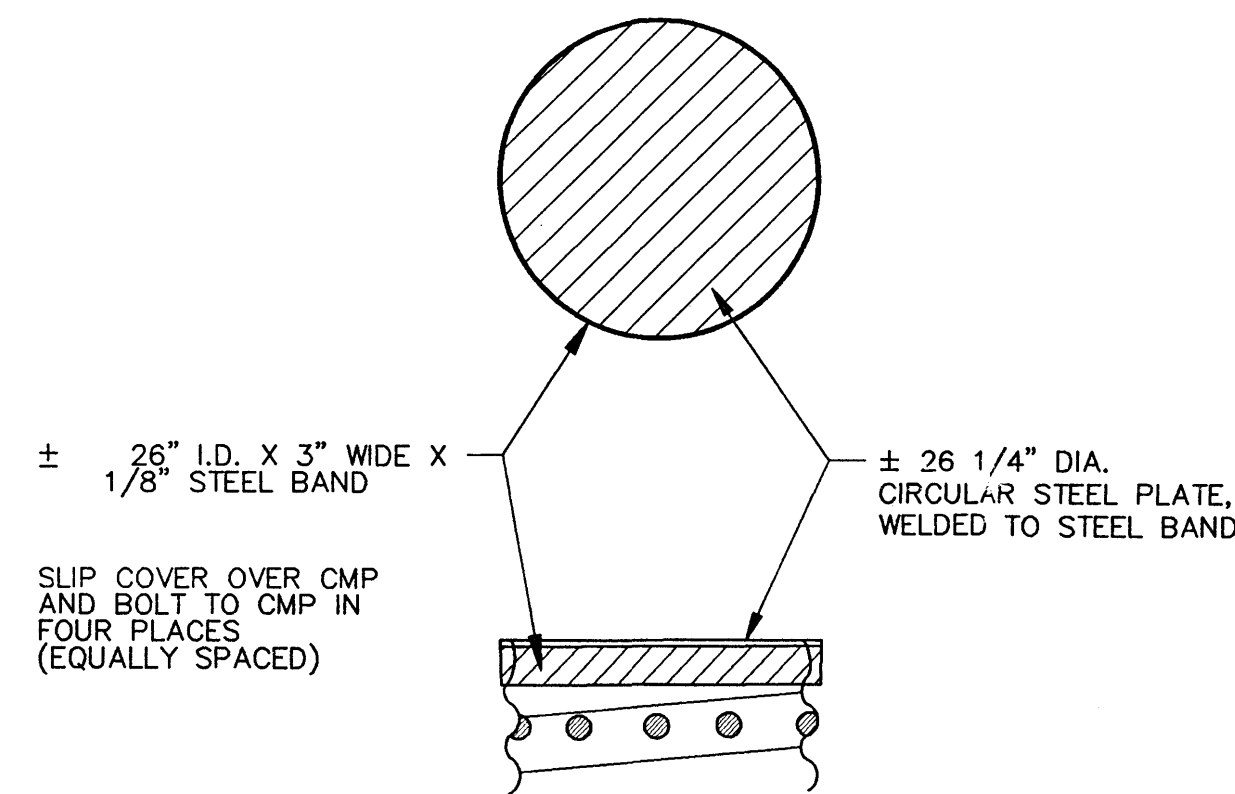
BENCHMARK
"10-K10" ELEV. = 5142.79
LOCATED 54.0' EAST OF UNSER
BLVD. CENTERLINE AND 20.4'
SOUTH OF NORTH END OF BACK
OF CURB OF TRAFFIC ISLAND.
ASC 3 1/4" ALUM CAP SET
FLUSH IN THE TOP OF CURB.

POND EMERGENCY SPILLWAY CALCULATIONS
USED BROAD CRESTED WEIR $Q = CLH^{3/2}$
WITH $C = 3.0$
FIX $H = 0.5'$
FIND L
 $L = \frac{Q}{C H^{3/2}} = \frac{10.7 \text{ cfs}}{(3.0)(0.5)^{3/2}} = 10.1'$ USE 20'

NO.	REVISIONS	BY	DATE
MERIDIAN BUSINESS PARK LOT 1 OFFICE / WAREHOUSE GRADING & DRAINAGE PLAN			
Easterling & Associates, Inc. CONSULTING ENGINEERS 10131 Coors Rd., NW, Suite H-7 Albuquerque, New Mexico 87114 (505) 898-8021 FAX (505) 898-8501			
DESIGNED BY CME	DRAWN BY DEC	CHECKED BY CME	SHEET 1
JOB NO 4320	DATE 1-97	OF 4	

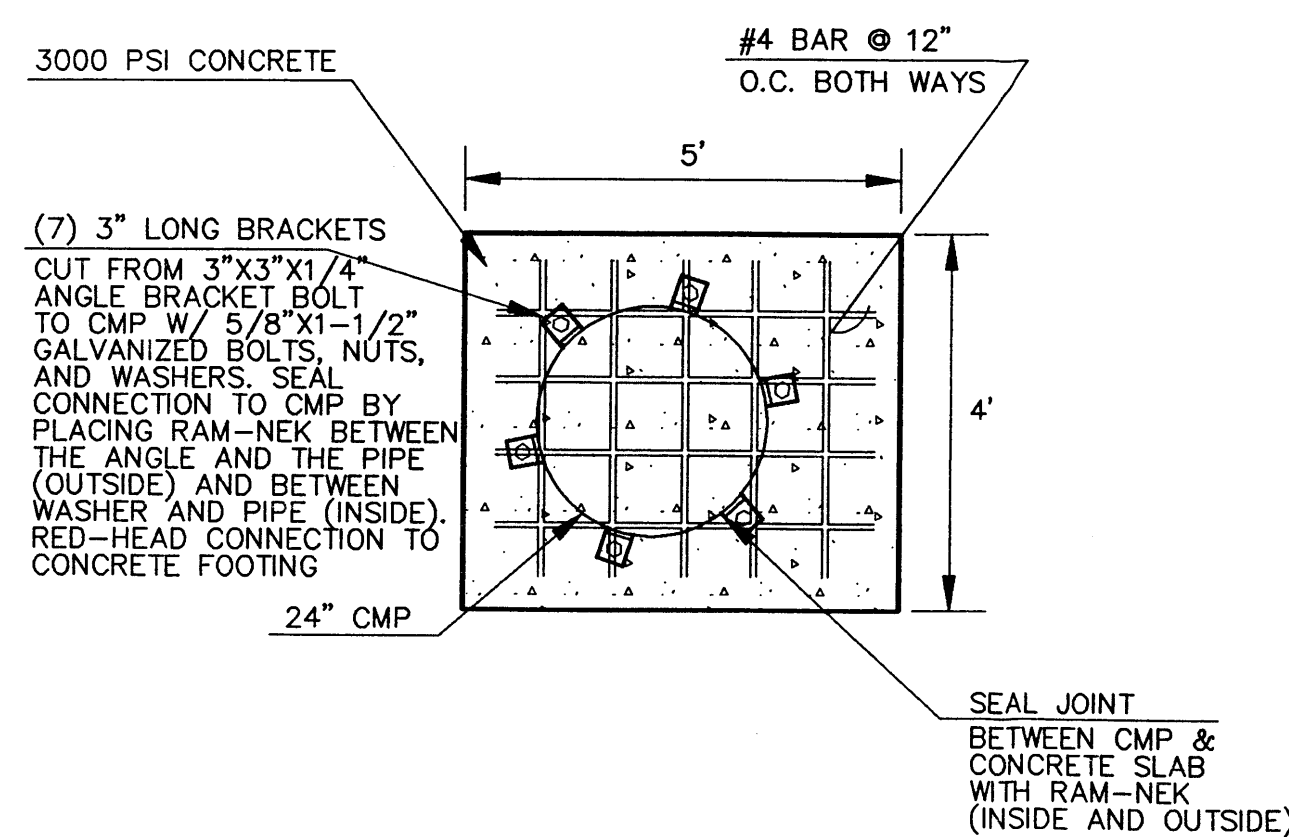


POND OUTLET C.M.P. RISER SECTION
N.T.S.

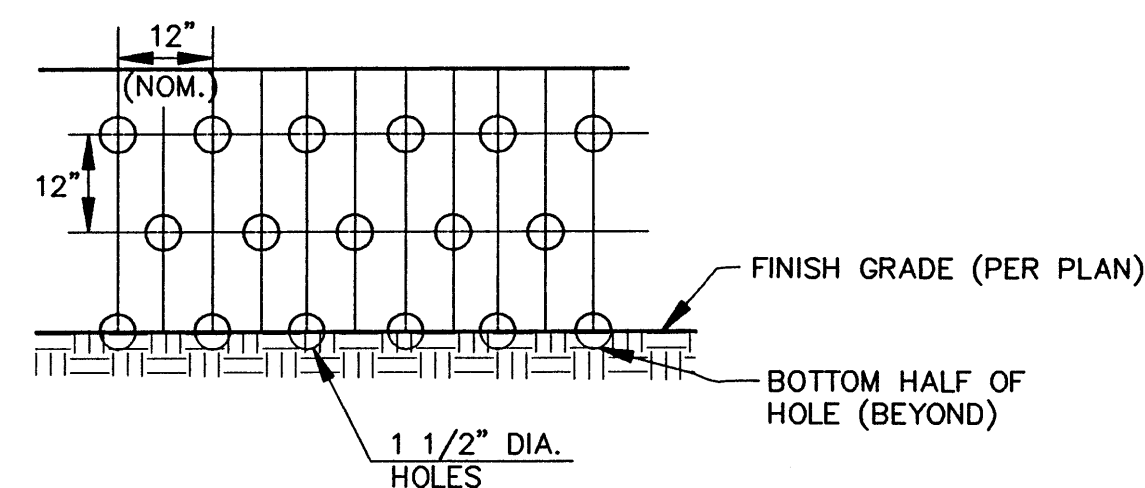


C.M.P. RISER COVER DETAIL
N.T.S.

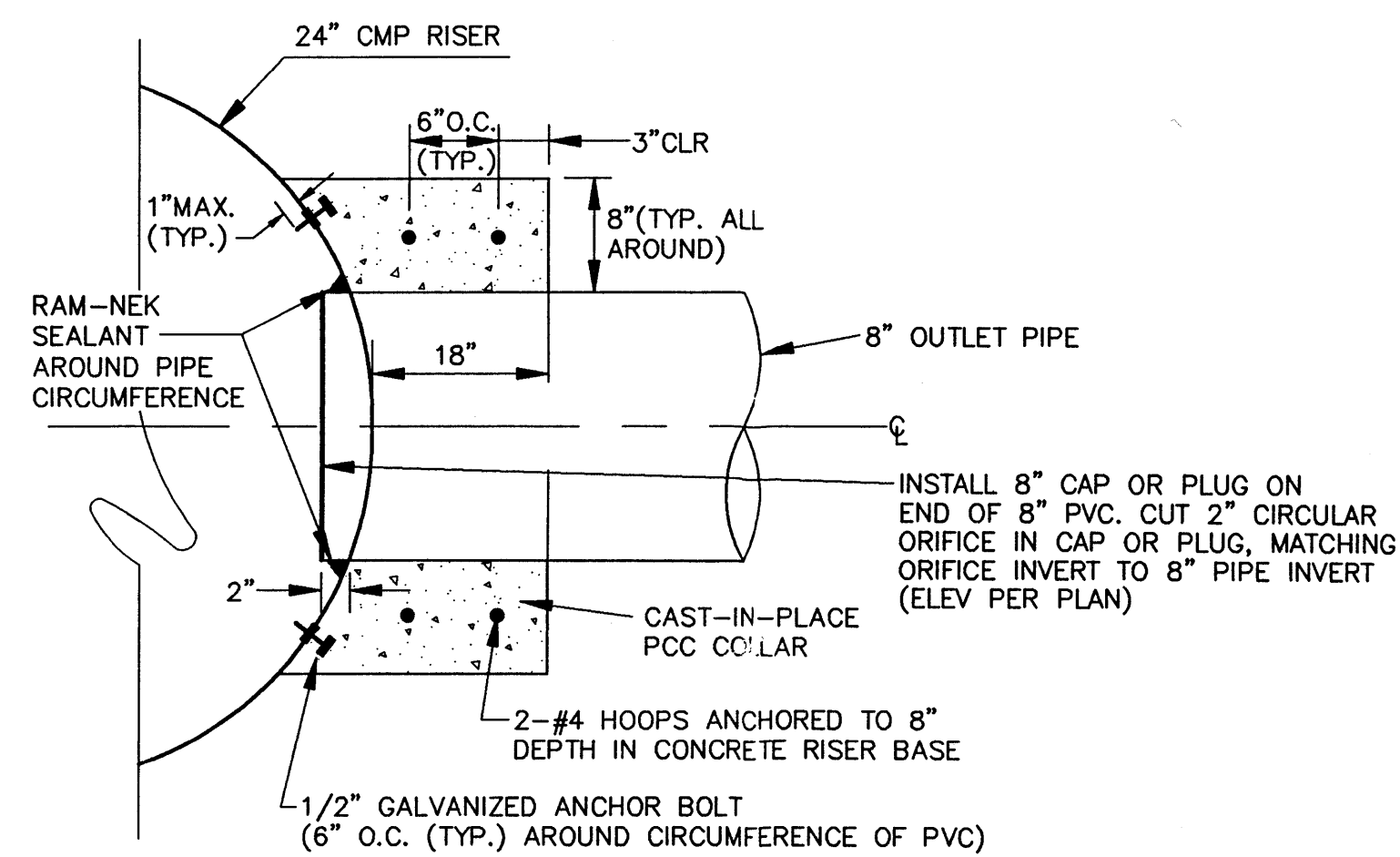
NOTE: ALL EXPOSED METAL SHALL BE "HOT DIP" OR FIELD GALVANIZED



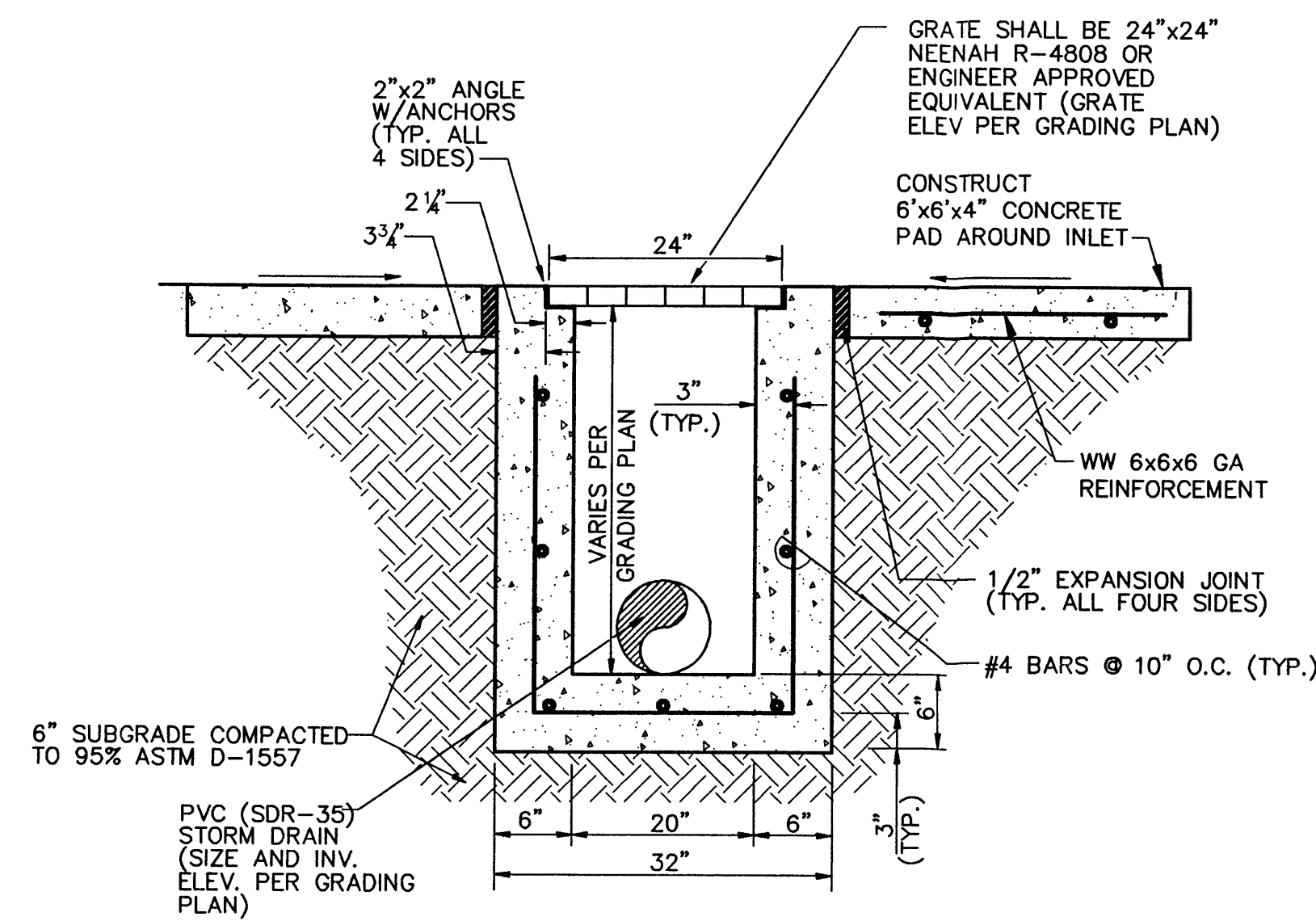
C.M.P. RISER BASE PLAN
N.T.S.



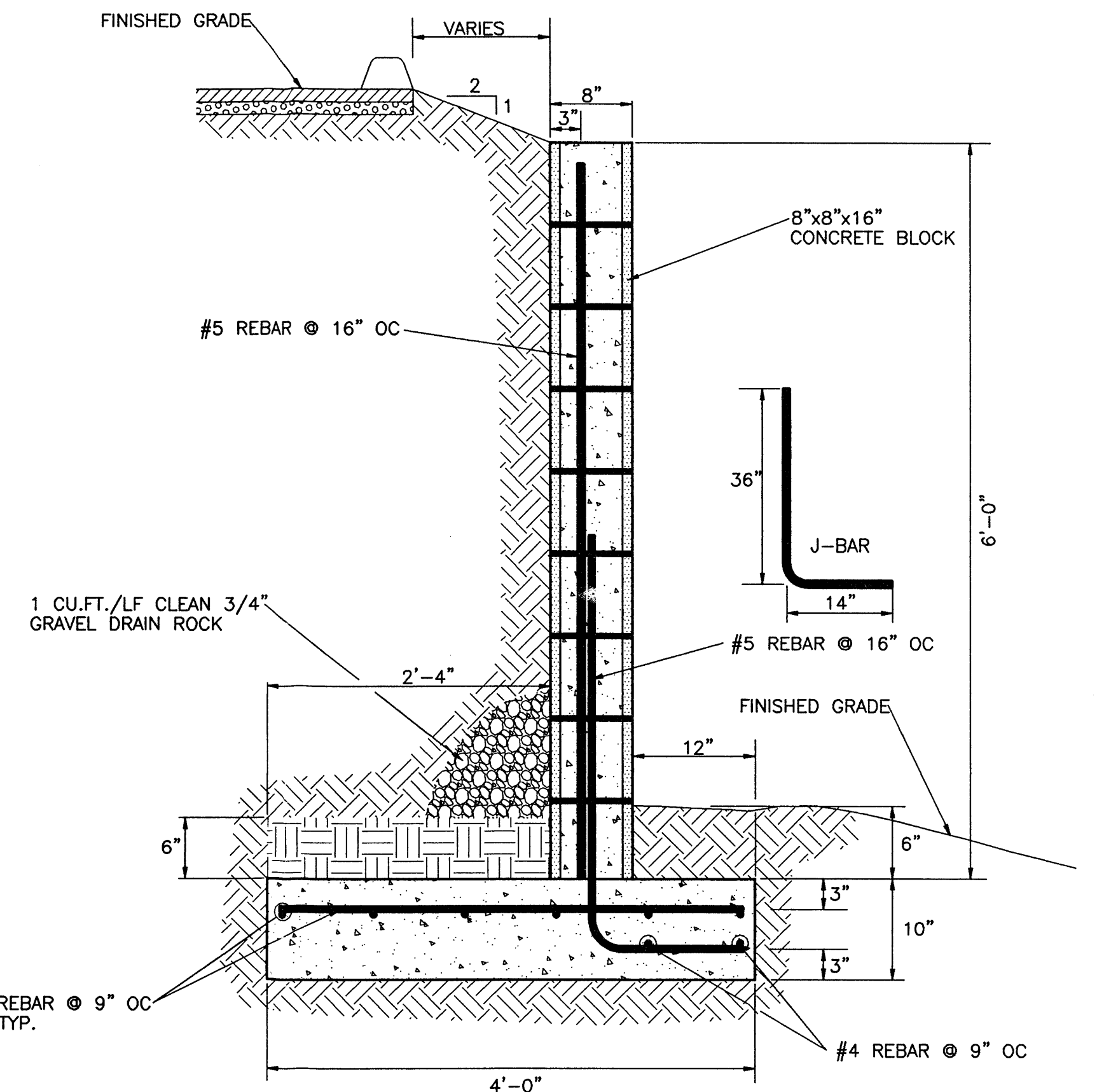
C.M.P. RISER HOLE PATTERN
N.T.S.



STORM DRAIN/C.M.P. RISER CONNECTION
N.T.S.



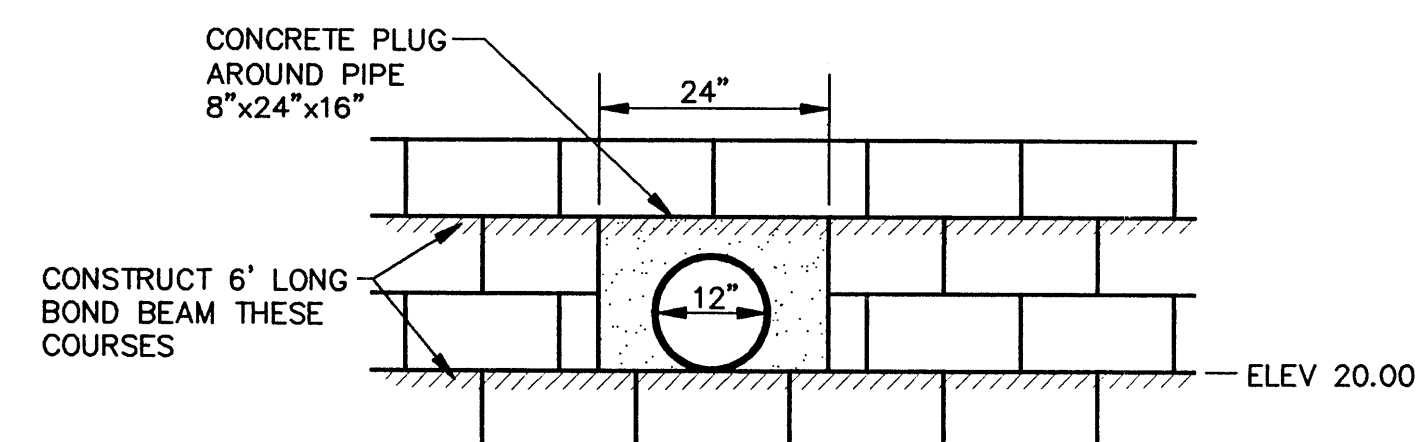
TYPICAL STORM INLET SECTION
N.T.S.



RETAINING WALL
N.T.S.

NOTES

1. Compact subgrade to 95% maximum density (12" min. depth) (ASTM D1557). If clay or loose sand is encountered, contact engineer before proceeding.
2. Compact backfill to 90% of maximum density (ASTM D1557)
3. Maintain 2" minimum clearance between all reinforcing bars and outside surface of concrete.
4. All block and pilaster cells are to be grouted solid.
5. Concrete for footings and filling of cells is to be 3,000 p.s.i. at 28 days, with 3/4" maximum size aggregate and a maximum slump of 5".
6. Concrete for mortar is to be 2,000 p.s.i. at 28 days.
7. Wall blocks are to be standard masonry units (8"x8"x16"), and pilaster blocks are to be sized appropriately for the intended application.
8. Install Dur-O-Wal (or engineer approved equal), or bond beam with 2 @ #4 rebar longitudinal, every third course (24" O.C. max.).
9. Construct pilasters at 16' on centers (maximum), and as appropriate for corners, junctions, angle points and ends.
10. Drainage for retained earth will be provided by aggregate backfill.
11. The top course of block shall use solid masonry units as caps.
12. The top of pilasters shall use 2 solid masonry units each of appropriate size.



PIPE PENETRATION OF RETAINING WALL
N.T.S.

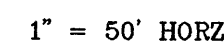
NOTES:

1. WRAP PIPE WITH 1"x12" PLASTIZOTE OR APPROVED EQUAL AT WALL PENETRATION PRIOR TO PLACING CONCRETE PLUG
2. CONTINUE VERTICAL STEEL THRU PLUG WHERE ENCOUNTERED

NO.	REVISIONS	BY	DATE
MERIDIAN BUSINESS PARK LOT 1 GRADING & DRAINAGE PLAN DETAILS AND SECTIONS			
Easterling & Associates, Inc. CONSULTING ENGINEERS 10131 Coors Rd., NW, Suite H-7 Albuquerque, New Mexico 87114 (505) 898-8021 FAX (505) 898-8501			
DESIGNED BY CME	DRAWN BY DWG	CHECKED BY CME	SHEET 2
JOB NO. 4320	DATE 1-97	OF 4	



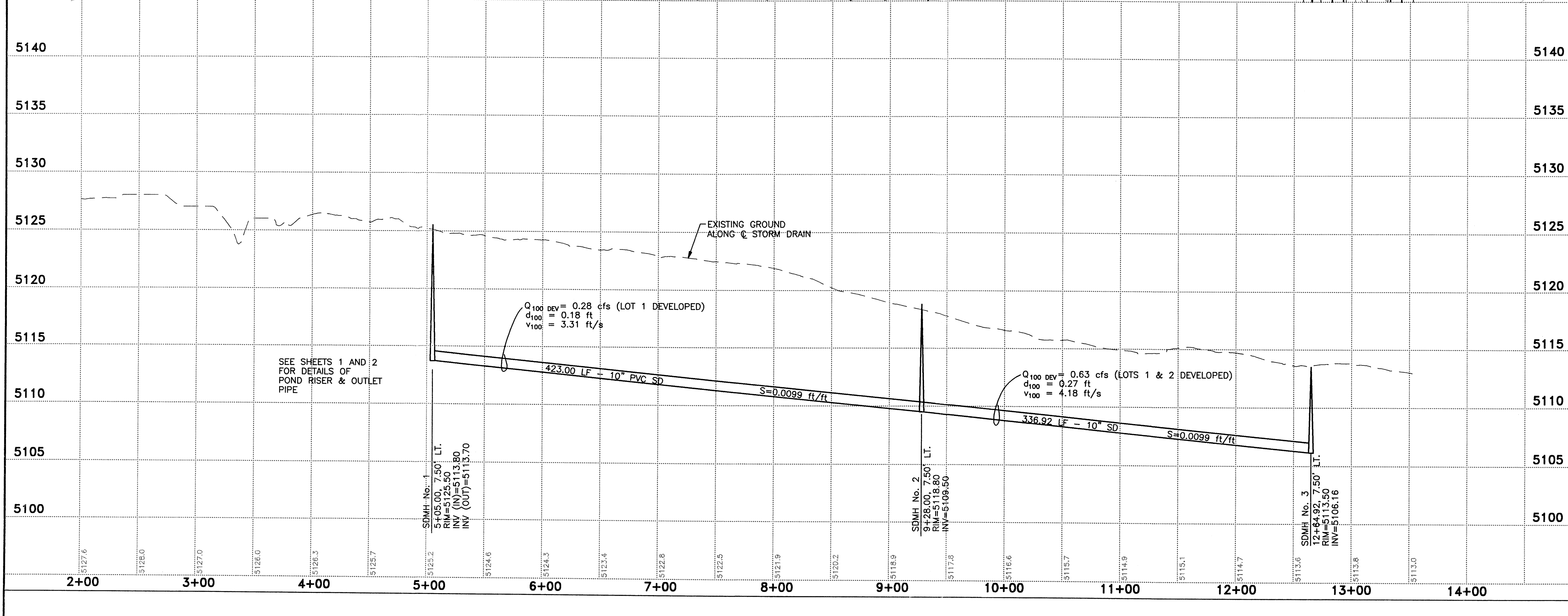
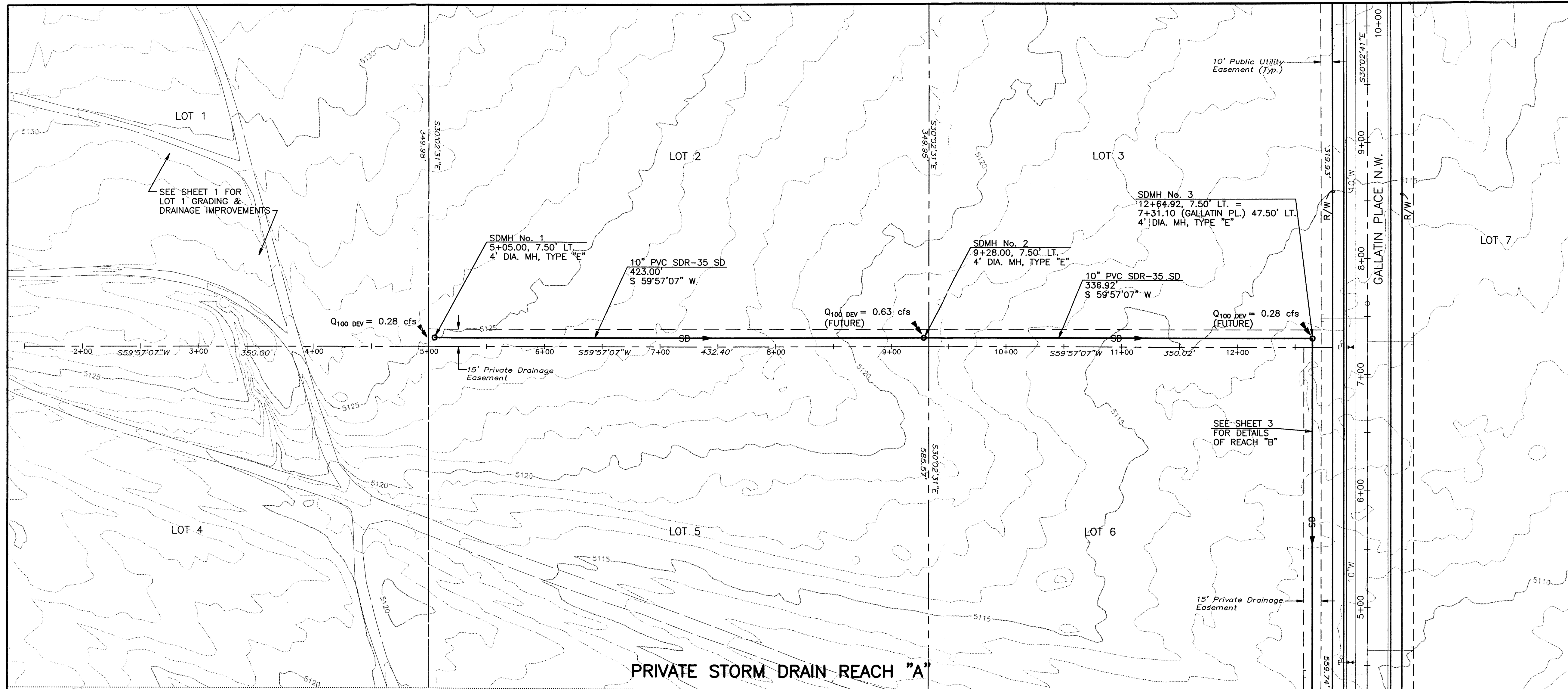
1. REFER TO SEPARATE PLANS BY EASTERLING & ASSOCIATES FOR DETAILS OF GALLATIN PLACE PAVING, WATER & SEWER IMPROVMENTS
(C.O.A. PROJ. 559781)
2. REACH "A" STATIONING IS ALONG THE SOUTH PROPERTY LINES OF LOTS 1,2, AND 3. REACH "B" STATIONING IS ALONG THE CL OF GALLATIN PLACE NW



MERIDIAN BUSINESS PARK
 LOT 1
 GRADING & DRAINAGE PLAN
 PRIVATE STORM DRAIN, REACH "B"

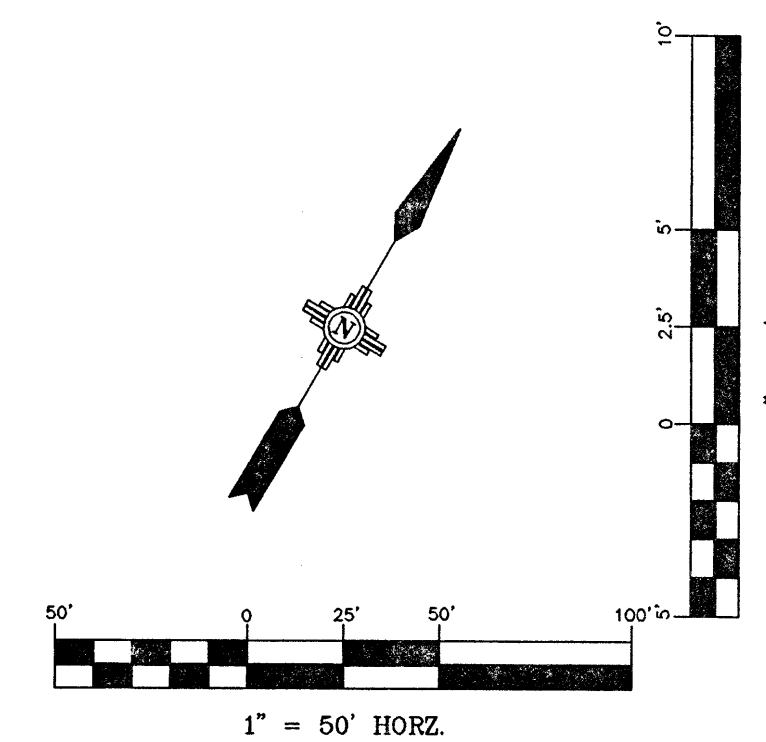
DESIGNED BY JML	DRAWN BY: DEC	CHECKED BY: CME	SHEET 3 OF 4
JOB NO: 4320		DATE: 1-97	

DWG: T:\PROJECTS\4320\DWG\JOI\PLANBASE\PRIVSIM
TIME: 01-28-97 10:14:28



NOTES:

1. REFER TO SEPARATE PLANS BY EASTERLING & ASSOCIATES FOR DETAILS OF GALLATIN PLACE PAVING, WATER & SEWER IMPROVEMENTS (C.O.A. PROJ. 559781)
2. REACH "A" STATIONING IS ALONG THE SOUTH PROPERTY LINES OF LOTS 1, 2, AND 3. REACH "B" STATIONING IS ALONG THE CL OF GALLATIN PLACE NW

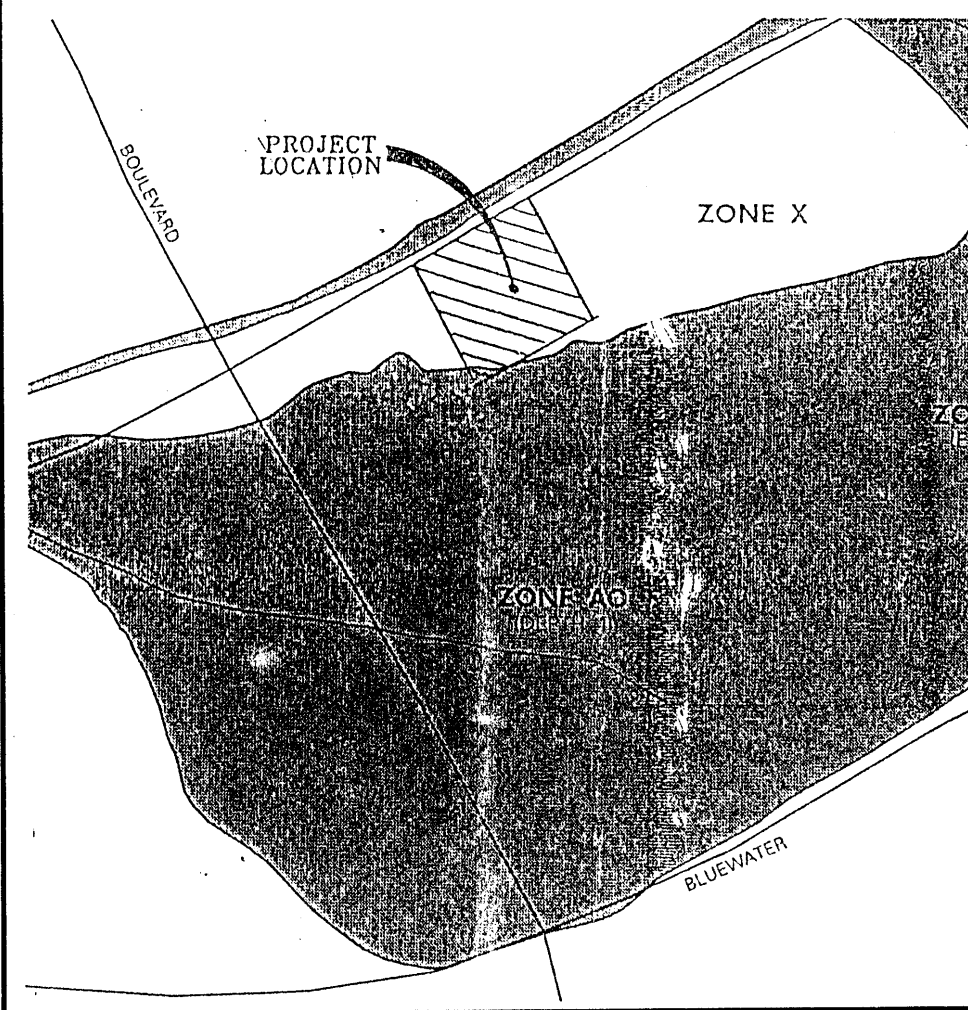
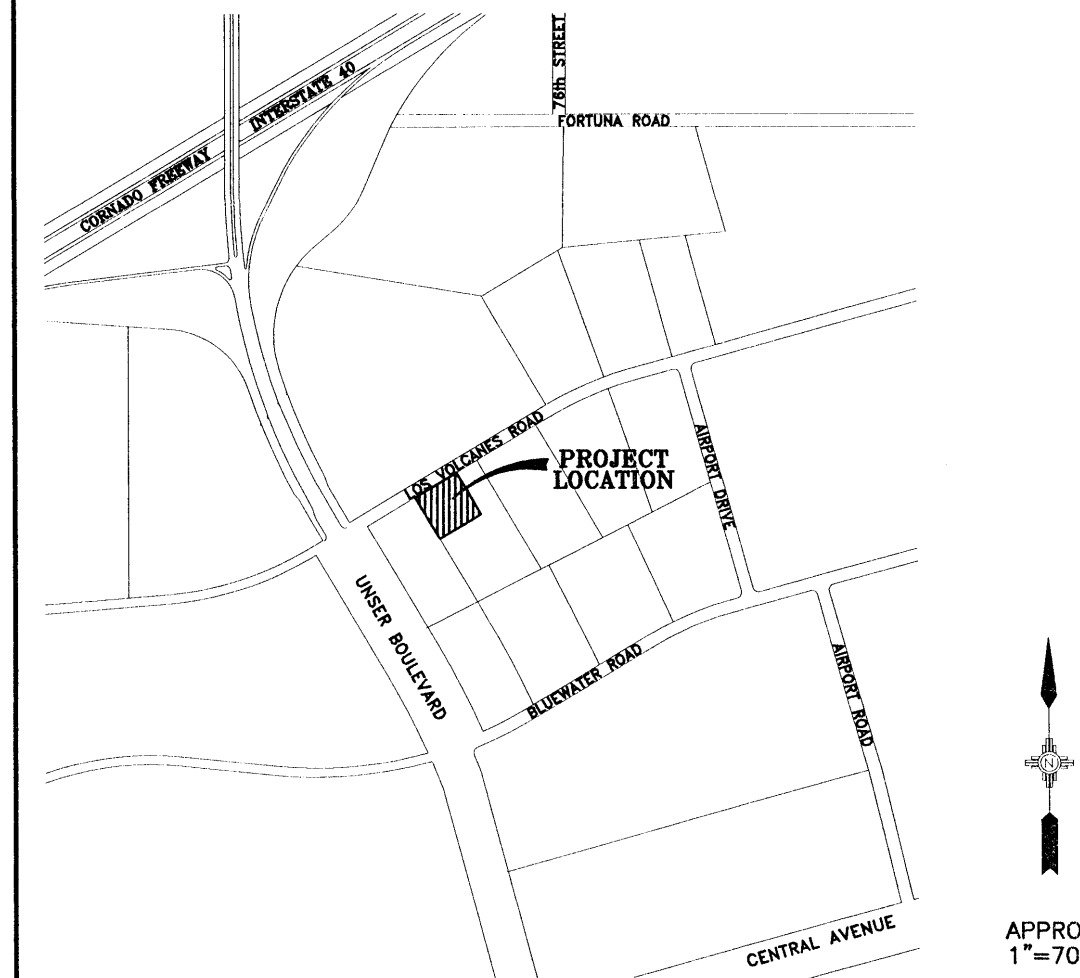


NO.	REVISIONS	BY	DATE
MERIDIAN BUSINESS PARK LOT 1 GRADING & DRAINAGE PLAN PRIVATE STORM DRAIN, REACH "A"			
Easterling & Associates, Inc. CONSULTING ENGINEERS 10131 Coors Rd., NW, Suite H-7 Albuquerque, New Mexico 87114 (505) 898-8021 FAX (505) 898-8501			
DESIGNED BY JML	DRAWN BY DEC/DWG	CHECKED BY CME	SHEET 4
JOB NO. 4320	DATE 1-28-97	1-97	OF 4

LOS VOLCANES RD. N.W.
(EXISTING)

	TC	FL
1	31.15	30.48
2	30.49	30.49
3	31.17	30.50

	TC	FL
1	30.60	29.93
2	29.53	29.53
3	29.79	29.12

FIRM MAP
No. 35001C0328 DVICINITY MAP
ZONE ATLAS MAP NO. K-10

EXISTING CONDITIONS

LOT 1 OF MERIDIAN BUSINESS PARK IS CURRENTLY UNDEVELOPED. THE 2.8 ACRE SITE IS COVERED BY SPARSE NATIVE VEGETATION. SITE SOILS ARE COMPOSED OF SANDY AND SILTY SAND SOILS.

OFF-SITE FLOWS

WITH THE CONSTRUCTION OF SILVER CREEK ROAD ON THE SITE'S WEST BOUNDARY AND DRAINAGE IMPROVEMENTS ASSOCIATED WITH ITS CONSTRUCTION (COA PROJECT 559781), THERE WILL BE NO OFF-SITE FLOWS ENTERING THIS SITE. THE 100 YEAR FLOW RATE AND DEPTH IN LOS VOLCANES ROAD ARE 1.7 CFS AND 0.25 FT. WATER BLOCKS ARE PROPOSED IN BOTH DRIVEWAYS ON LOS VOLCANES ROAD AT 0.6 FT HIGH.

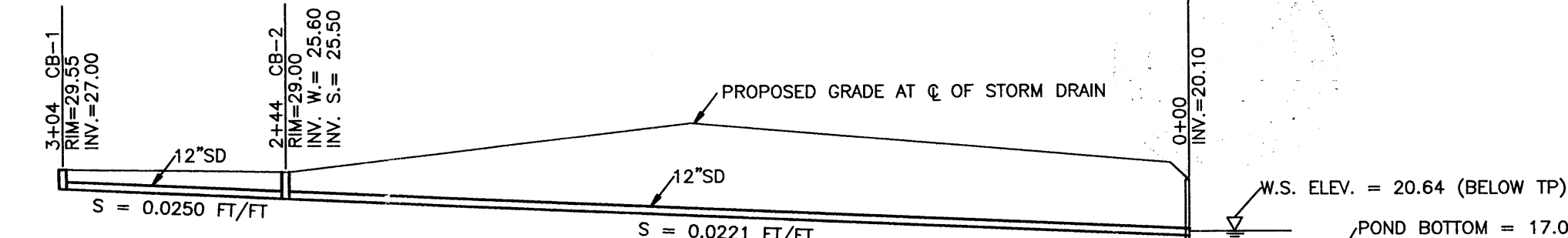
ON-SITE DRAINAGE

THIS SITE IS BEING DEVELOPED IN ACCORDANCE WITH THE "ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN," EASTERLING & ASSOCIATES, INC. 1993 (K-10, D-23) AND IN ACCORDANCE WITH THE "CONCEPTUAL MASTER GRADING AND DRAINAGE PLAN, LOTS 1-23 MERIDIAN BUSINESS PARK," EASTERLING & ASSOCIATES, INC. 1996 (J-10/D-20). THOSE PLANS PROVIDE FOR AN ALLOWABLE DISCHARGE FROM DEVELOPED SITES OF 0.1 CFS/ACRE TO A SYSTEM OF PRIVATE AND PUBLIC STORM DRAINS.

A 17,363 CUBIC FOOT DETENTION POND IS PROPOSED FOR THE SOUTHEAST CORNER OF THE SITE. THE POND IS SUBSTANTIALLY DRAINED AT THE 0.28 CFS RELEASE RATE WITHIN 24 HOURS (LESS THAN 10% OF 100 YEAR STORM VOLUME REMAINS). THE POND CAN SAFELY PASS RUNOFF FROM AN ADDITIONAL 100-YEAR STORM AT THAT TIME AS ONLY 1,773 CUBIC FEET REMAIN IN THE POND AFTER 24 HOURS. AN ADDITIONAL ROUTING WAS PERFORMED AFTER SUBTRACTING THAT VOLUME FROM THE AVAILABLE POND CAPACITY. THE POND WILL NOT OVERFLOW THROUGH ITS EMERGENCY SPILLWAY IN A SECOND 100-YEAR STORM. (SEE ATTACHED AH/MO 194 MODEL RUNS.)

THE POND WILL DISCHARGE THROUGH A 24" CMP RISER/TRASH RACK WITH THE OUTFLOW LIMITED TO .28 CFS BY MEANS OF A 2" ORIFICE IN THE OUTFLOW LINE. THE POND WILL BE CONNECTED TO A 12" PVC PRIVATE STORM DRAIN TO BE CONSTRUCTED IN CONJUNCTION WITH THIS PROJECT. THIS PRIVATE STORM DRAIN WILL CONNECT TO A PUBLIC STORM DRAIN (COA PROJECT 559781), CONSISTENT WITH THE ATRISCO BUSINESS PARK DRAINAGE MASTER PLAN. PLEASE SEE ACCOMPANYING SHEETS FOR STORM DRAIN PLAN AND PROFILE.

THE 10" STORM DRAIN HAS BEEN SIZED BASED ON MAINTENANCE RATHER THAN HYDRAULIC CONSIDERATIONS DUE TO THE EXTREMELY SMALL ALLOWABLE FLOW RATES ON LOTS DRAINING TO THIS LINE. THE HGL IS CONTAINED WITHIN THE PIPE THROUGHOUT ITS LENGTH.



STORM DRAIN HYDRAULICS

CHECK ORIFICE FOR HEAD REQUIRED TO OPERATE SD @ INLETS

$$Q = CA\sqrt{2gh} \quad C = 0.6 \quad A = 0.785 \text{ FT}^2$$

$$Q = 5.34 \text{ CFS} > 5.0 \text{ OK}$$

$$Q = 5.34 \text{ CFS} > 5.0 \text{ OK}$$

$$Q = 5.34 \text{ CFS} > 5.0 \text{ OK}$$

POND ELEV. WHEN PEAK FLOW OF 5.0 CFS ENTERS POND IS 20.64 ≤ TOP OF PIPE NON-PRESSURE FLOW

HYDROLOGY SUMMARY

PROJECT NAME: MERIDIAN BUSINESS PARK, LOT 1

JOB NUMBER: 4320

BASIN COND. DESCRIPTION LOT 1

L1 UNDEV LOT 1

L1 DEV LOT 1

AREA (acres) A 2.81

LAND TREATMENTS B 0.0%

C 0.0%

D 0.0%

Q 0.0

Q 0.0000

Q 0.0000

Q 0.0187

Q 0.0187

Q 3.6

Q 0.1030

Q 0.1030

Q 0.3974

Q 0.4825

INPUT DATA:

PRECIP. RAINFALL DEPTHS (INCHES) AT 100-YEAR STORM

ZONE 1

1 HOUR 1.87

6 HOUR 2.20

24 HOUR 2.66

4 DAY 3.12

10 DAY 3.67

LEGAL DESCRIPTION

LOT 1, MERIDIAN BUSINESS PARK (BEING A REPEAT OF LOTS 1 THRU 9 IN TRACT M, ATRISCO BUSINESS PARK UNIT 2) CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO AUG. 1996

BENCHMARK

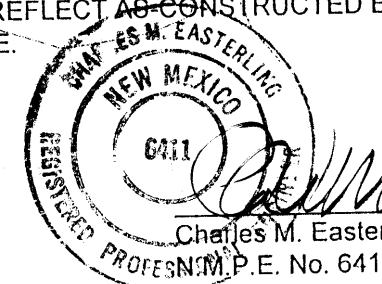
10-KNOT ELEV. = 5142.79 LOCATED 54.0' EAST OF UNSER BLVD. CENTERLINE AND 20.4' SOUTH OF NORTH END OF BACK OF CURB OF TRAFFIC ISLAND. ASC 3 1/4" ALUM CAP SET FLUSH IN THE TOP OF CURB.

NEW BRUNACINI TILT-UP
OFFICE WAREHOUSE BUILDING
37,633 SQUARE FEET

F.F.E. = 5132.00
31.96

CERTIFICATION FOR CERTIFICATE OF OCCUPANCY

I HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE GRADING AND DRAINAGE IMPROVEMENTS AND THAT THEY HAVE BEEN CONSTRUCTED AND ARE EXPECTED TO FUNCTION IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. THE AS-CONSTRUCTED INFORMATION SHOWN ON THIS PLAN WAS PROVIDED BY OTHERS. PROPOSED CONTOURS HAVE NOT BEEN REVISED TO REFLECT AS-CONSTRUCTED ELEVATIONS AND SHOULD BE CONSIDERED APPROXIMATE.



3-23-98

POND EMERGENCY SPILLWAY CALCULATIONS

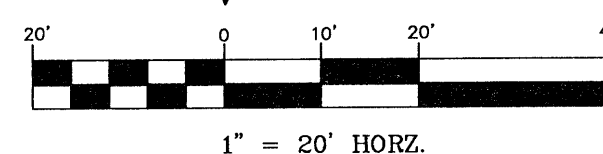
USED BROAD CRESTED WEIR $Q = CLH^{3/2}$

WITH $C = 3.0$

FIX $H = 0.5'$

FIND L

$$L = \frac{Q}{C H^{3/2}} = \frac{10.7 \text{ cfs}}{(3.0)(0.5)^{3/2}} = 10.1' \text{ USE } 20'$$



NO. REVISIONS BY DATE

MERIDIAN BUSINESS PARK
LOT 1
OFFICE / WAREHOUSE
GRADING & DRAINAGE PLAN

Easterling & Associates, Inc.

CONSULTING ENGINEERS

10131 Coors Rd., NW, Suite H-7

Albuquerque, New Mexico 87114

(505) 898-8021 FAX (505) 898-8501

DESIGNED BY CME

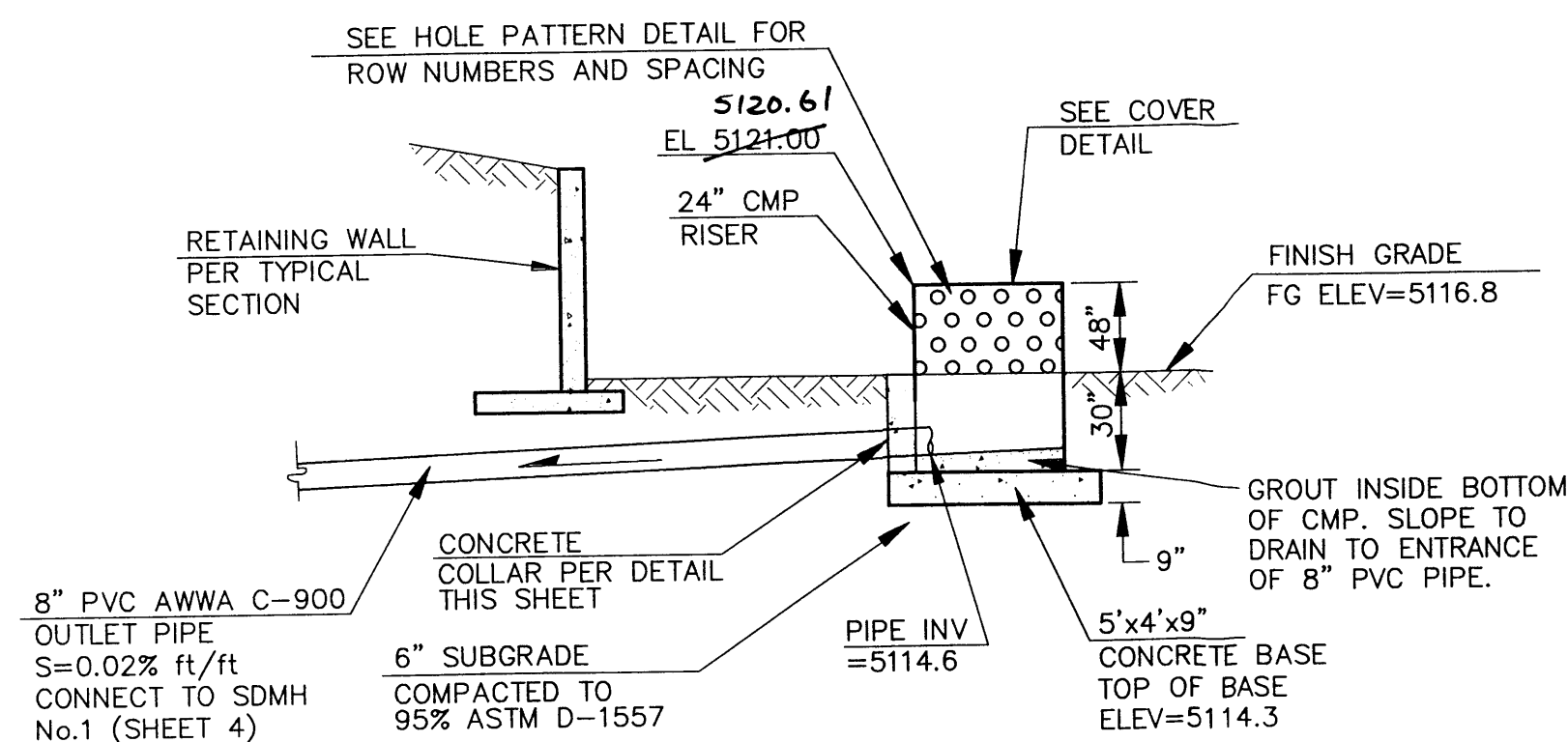
DRAWN BY DEC

CHECKED BY CME

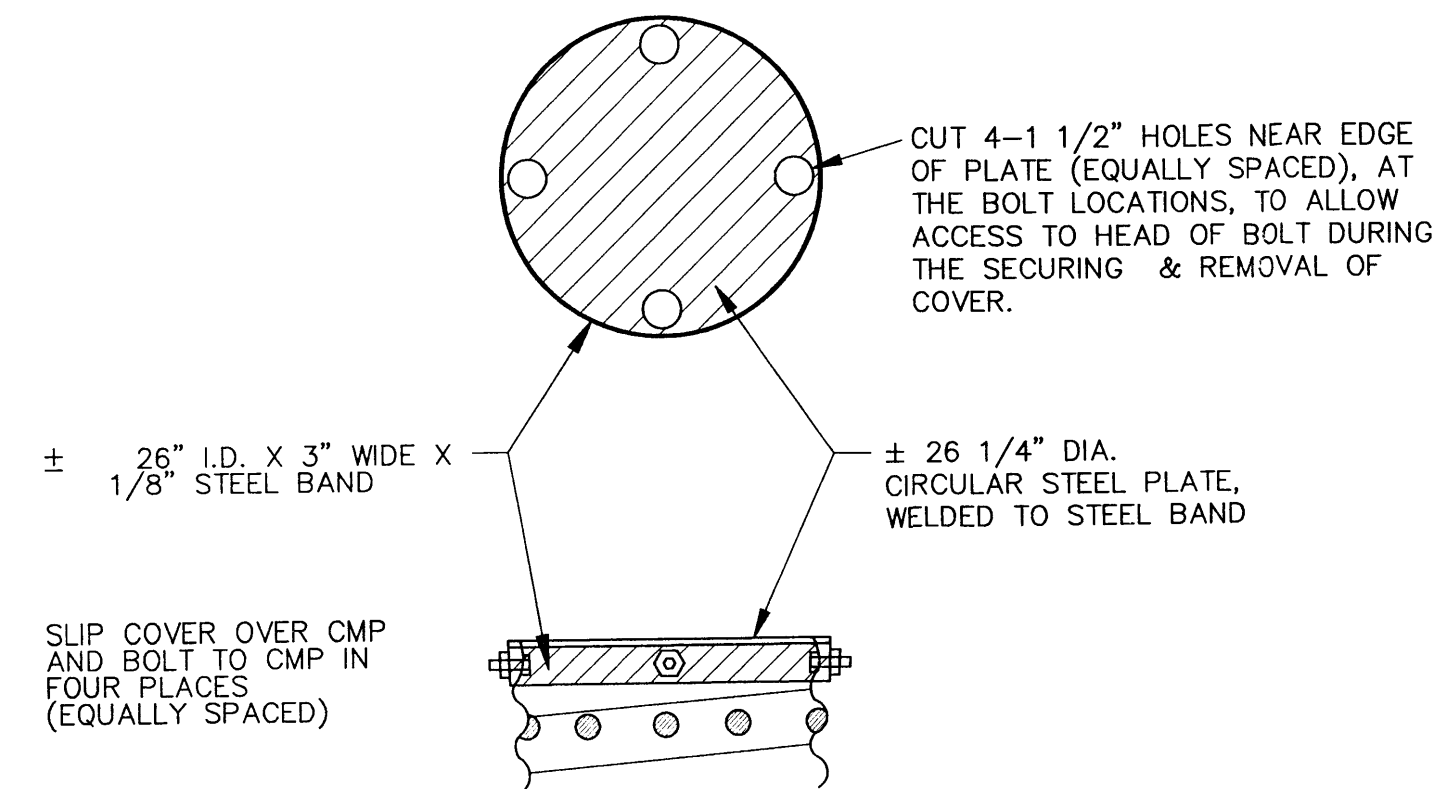
JOB NO. 4320

DATE: 1-97

SHEET 1 OF 4

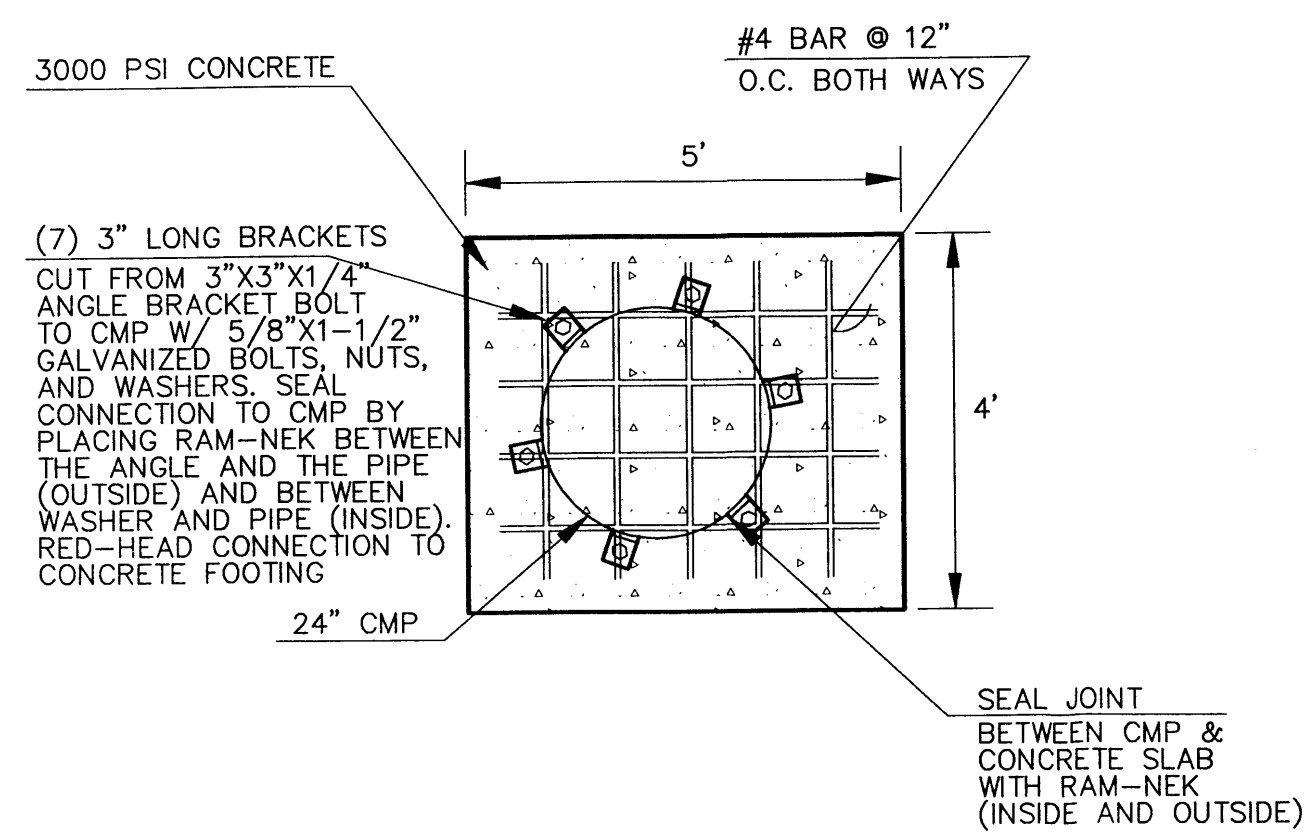


POND OUTLET C.M.P. RISER SECTION
N.T.S.

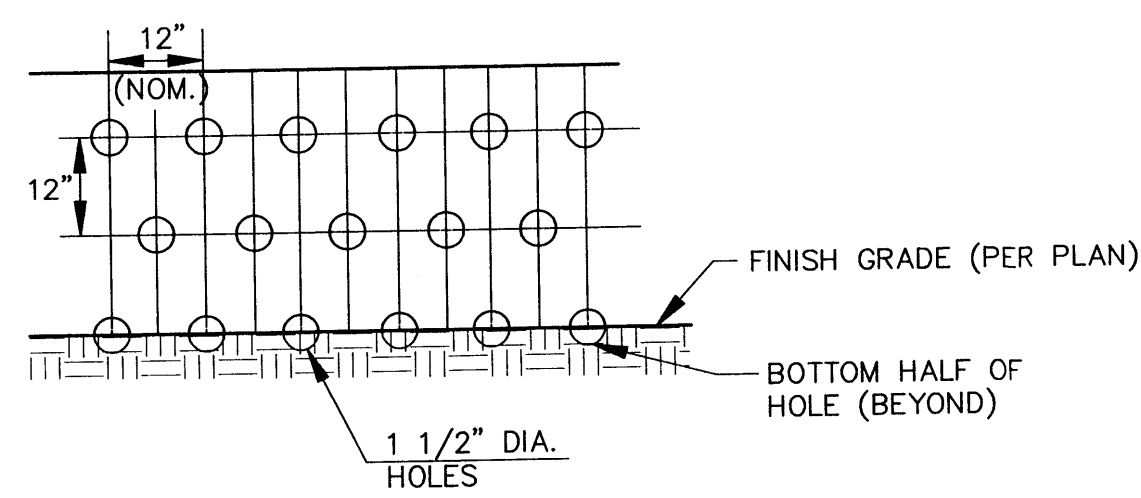


C.M.P. RISER COVER DETAIL
N.T.S.

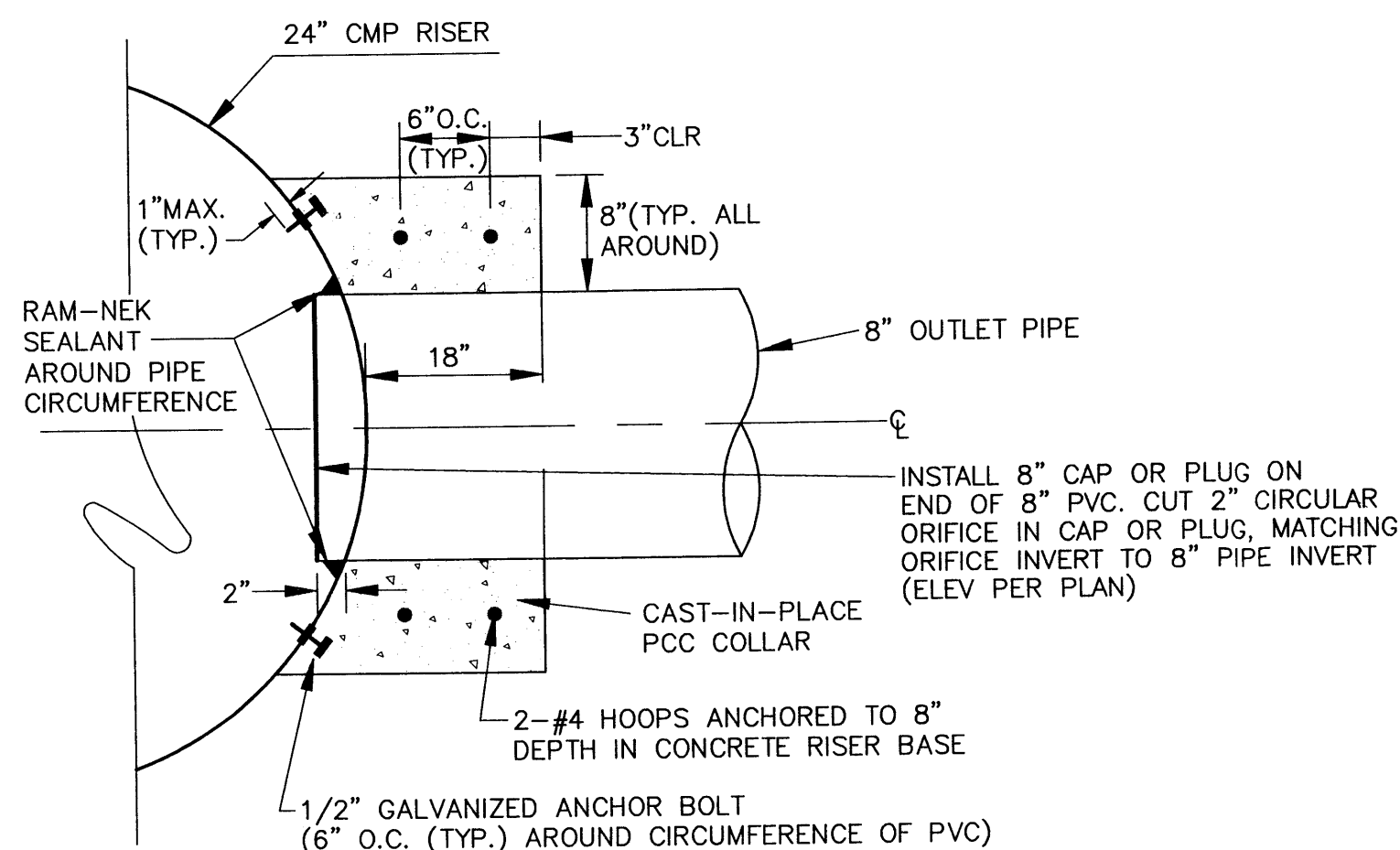
NOTE: ALL EXPOSED METAL SHALL BE "HOT DIP" OR FIELD GALVANIZED



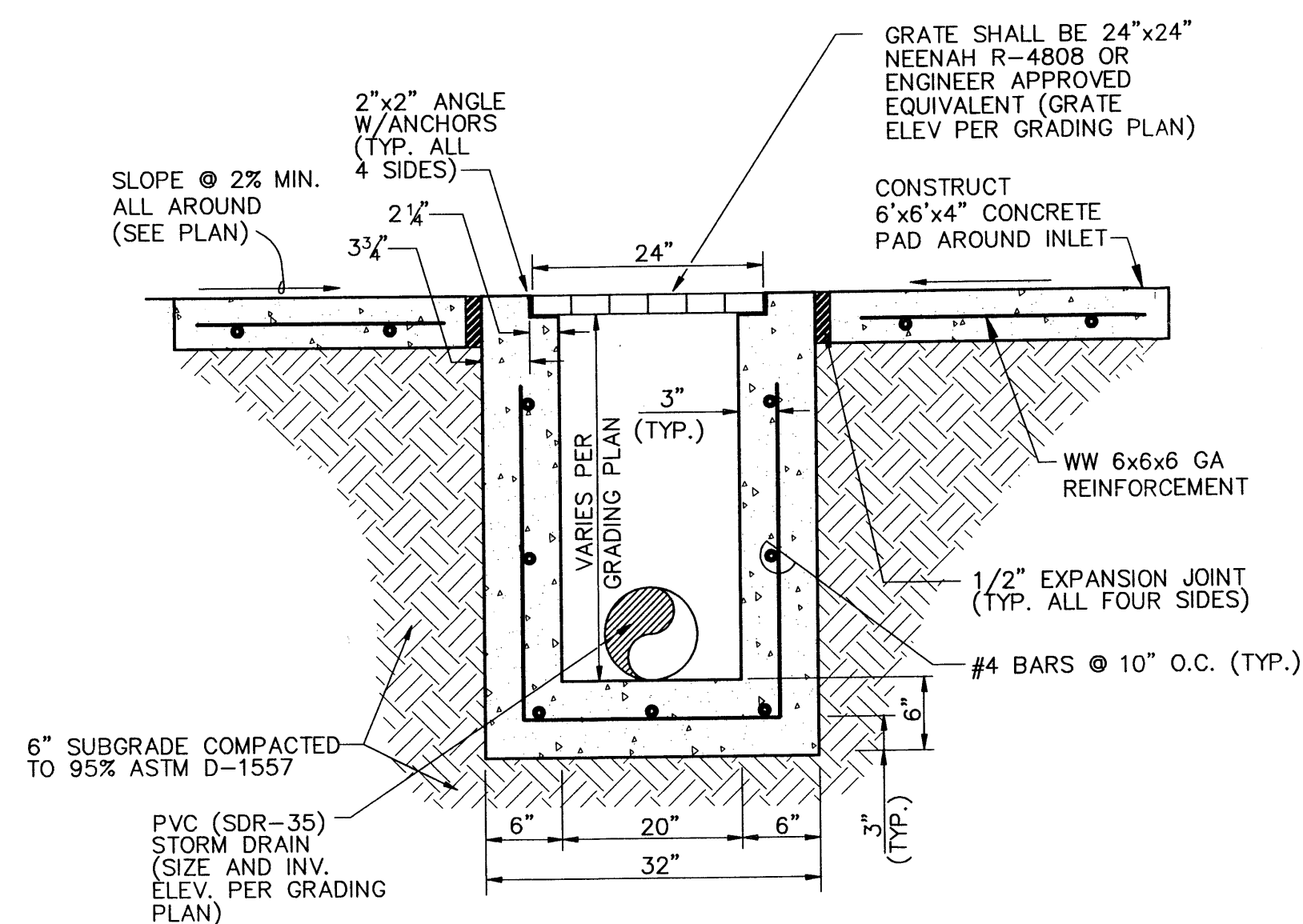
C.M.P. RISER BASE PLAN
N.T.S.



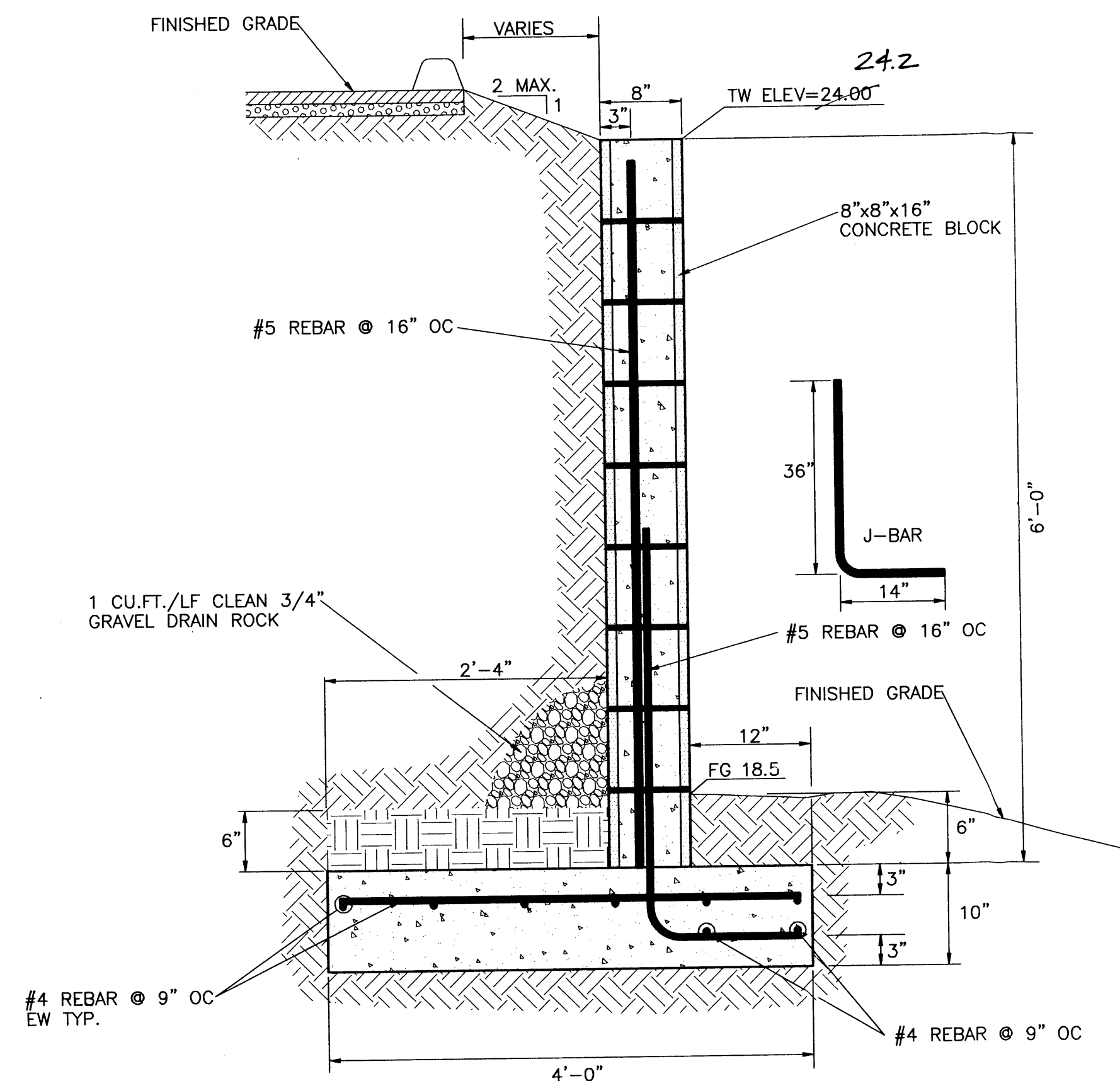
C.M.P. RISER HOLE PATTERN
N.T.S.



STORM DRAIN/C.M.P. RISER CONNECTION
N.T.S.



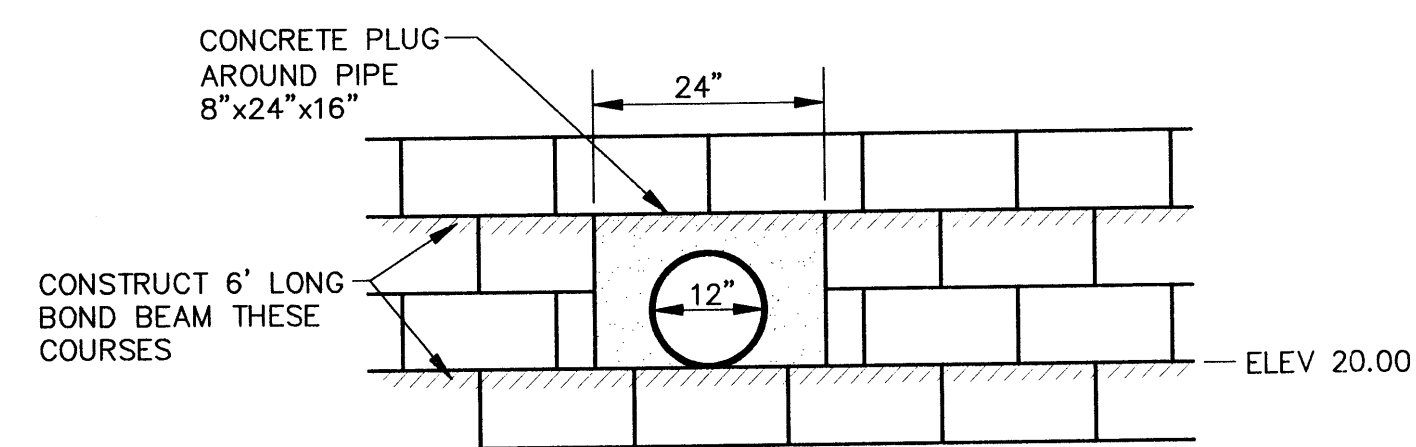
TYPICAL STORM INLET SECTION
N.T.S.



RETAINING WALL
N.T.S.

NOTES

1. Compact subgrade to 95% maximum density (12" min. depth) (ASTM D1557). If clay or loose sand is encountered, contact engineer before proceeding.
2. Compact backfill to 90% of maximum density (ASTM D1557)
3. Maintain 2" minimum clearance between all reinforcing bars and outside surface of concrete.
4. All block and pilaster cells are to be grouted solid.
5. Concrete for footings and filling of cells is to be 3,000 p.s.i. at 28 days, with 3/4" maximum size aggregate and a maximum slump of 5".
6. Concrete for mortar is to be 2,000 p.s.i. at 28 days.
7. Wall blocks are to be standard masonry units (8"x8"x16"), and pilaster blocks are to be sized appropriately for the intended application.
8. Install Dur-O-Wal (or engineer approved equal), or bond beam with 2 @ #4 rebar longitudinal, every third course (24" O.C. max.).
9. Construct pilasters at 16' on centers (maximum), and as appropriate for corners, junctions, angle points and ends.
10. Drainage for retained earth will be provided by aggregate backfill.
11. The top course of block shall use solid masonry units as caps.
12. The top of pilasters shall use 2 solid masonry units each of appropriate size.



PIPE PENETRATION OF RETAINING WALL
N.T.S.

NOTES

1. WRAP PIPE WITH 1"x12" PLASTIZOTE OR APPROVED EQUAL AT WALL PENETRATION PRIOR TO PLACING CONCRETE PLUG
2. CONTINUE VERTICAL STEEL THRU PLUG WHERE ENCOUNTERED

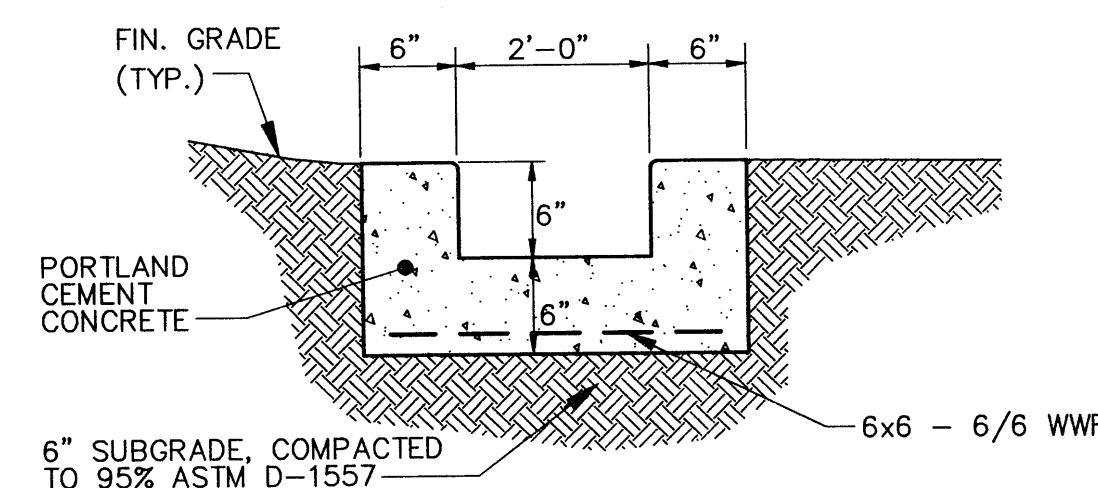
GENERAL NOTES FOR GRADING AND DRAINAGE

1. All work detailed on these plans, except as otherwise stated or provided hereon, shall be constructed in accordance with City Of Albuquerque Standard Specifications for Public Works Construction. Supplemental earthwork procedures & specifications, and paving design & specifications shall conform to site plan and project specifications.
2. A Construction permit will be required before beginning any work within City Right-of-Way. An approved copy of this plan must be submitted at the time of application for this permit.
3. Two working days prior to any excavation, Contractor must contact line locating service, 260-1990, for location of existing utilities.
4. Disposal of all waste material shall be the responsibility of the Contractor.
5. Construction Safety: These drawings do not include necessary components for construction safety which shall remain entirely the responsibility of the Contractor.
6. The design of planters and landscaped areas is not part of this plan. All planters and landscaped areas adjacent to buildings shall be provided with positive drainage to avoid any ponding adjacent to structures. For construction details, refer to the landscaping and architectural plans.
7. The Contractor shall ensure that no soil erodes from the site into public right-of-way or onto private property. This can be achieved by constructing temporary berms at the property lines and wetting the soil to keep it from blowing.
8. The Contractor shall promptly clean up any material excavated within the public right-of-way so that the excavated material is not susceptible to being washed down the street.
9. Refer to architectural site plan for site geometry and details of site features.
10. The Contractor shall coordinate with the Contractor for City of Albuquerque Project 559781 if construction proceeds simultaneously.
11. Engineer's certification of the grading and drainage improvements will be required prior to Certificate of Occupancy (C.O.) issuance. The Contractor shall coordinate with the Engineer in advance of the date on which the C.O. is required, in order to perform such certification. The Contractor shall furnish "as-built" grading and drainage information to the Engineer at this time.

CERTIFICATION FOR CERTIFICATE OF OCCUPANCY

I HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE GRADING AND DRAINAGE IMPROVEMENTS AND THAT THEY HAVE BEEN CONSTRUCTED AND ARE EXPECTED TO FUNCTION IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED GRADING AND DRAINAGE PLAN. THE AS-CONSTRUCTED INFORMATION SHOWN ON THIS PLAN WAS PROVIDED BY OTHERS. PROPOSED CONTOURS HAVE NOT BEEN REVISED TO REFLECT AS-CONSTRUCTED ELEVATIONS AND SHOULD BE CONSIDERED APPROXIMATE.

3-23-98
Date: _____
Professional Engineer
Charles M. Easterling, P.E.
No. 6410



TYPICAL CONCRETE RUNDOWN SECTION
N.T.S.

NO.	REVISIONS	BY	DATE
MERIDIAN BUSINESS PARK LOT 1 GRADING & DRAINAGE PLAN DETAILS AND SECTIONS			
Easterling & Associates, Inc. CONSULTING ENGINEERS 10131 Coors Rd., NW, Suite H-7 Albuquerque, New Mexico 87114 (505) 898-8021 FAX (505) 898-8501			
DESIGNED BY CME	DRAWN BY DWG	CHECKED BY CME	SHEET 2
JOB NO: 4320	DATE: 1-97	OF 4	

Albuquerque Control Survey Monument "10-K10"
New Mexico State Plane Coordinates, Central
Zone (NAD 27) as published:
Y = 1487056.22
X = 352735.04
Elevation = 5142.79 (SLD 1929)
Ground to grid factor = 0.99987738
Delta Alpha = -00'16.27"

SEE SHEET 1 FOR
LOT 1 GRADING &
DRAINAGE IMPROVEMENTS

LOT 1

LOT 2

LOT 3

LOT 7

LOT 4

LOT 5

LOT 6

PRIVATE STORM DRAIN REACH "A"

10' Public Utility
Easement (Typ.)

GALLATIN PLACE N.W.

SEE SHEET 3
FOR DETAILS
OF REACH "B"

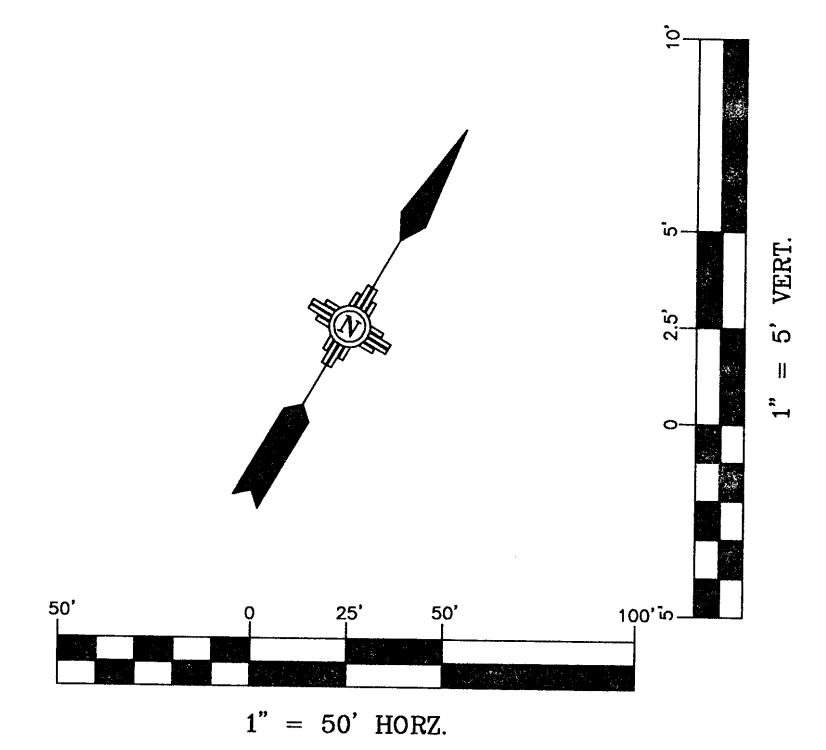
15' Private Drainage
Easement

CERTIFICATION FOR CERTIFICATE OF OCCUPANCY
I HEREBY CERTIFY THAT I HAVE INSPECTED THE SITE GRADING AND DRAINAGE
IMPROVEMENTS AND THAT THEY HAVE BEEN CONSTRUCTED AND ARE EXPECTED TO
FUNCTION IN SUBSTANTIAL COMPLIANCE WITH THE INTENT OF THE APPROVED
GRADING AND DRAINAGE PLAN. THE AS-CONSTRUCTED INFORMATION SHOWN ON
THIS PLAN WAS PROVIDED BY OTHERS. PROPOSED CONTOURS HAVE NOT BEEN
REVISED TO REFLECT AS-CONSTRUCTED ELEVATIONS AND SHOULD BE CONSIDERED
APPROXIMATE.

CHARLES M. EASTERLING, P.E.
Charles M. Easterling, P.E.
N.M.P.E. No. 8411
Date: 3-23-98

NOTES:

1. REFER TO SEPARATE PLANS BY
EASTERLING & ASSOCIATES FOR
DETAILS OF GALLATIN PLACE
PAVING, WATER & SEWER
IMPROVEMENTS
(C.O.A. PROJ. 559781)
2. REACH "A" STATIONING IS ALONG
THE SOUTH PROPERTY LINES OF
LOTS 1, 2, AND 3. REACH "B"
STATIONING IS ALONG THE CL
OF GALLATIN PLACE NW



SEE SHEETS 1 AND 2
FOR DETAILS OF
POND RISER & OUTLET
PIPE

EXISTING GROUND
ALONG "C" STORM DRAIN

$Q_{100} \text{ DEV} = 0.28 \text{ cfs (LOT 1 DEVELOPED)}$
 $Q_{100} = 0.18 \text{ ft}$
 $V_{100} = 3.31 \text{ ft/s}$

$Q_{100} \text{ DEV} = 0.63 \text{ cfs (LOTS 1 \& 2 DEVELOPED)}$
 $Q_{100} = 0.27 \text{ ft}$
 $V_{100} = 4.18 \text{ ft/s}$

SDMH No. 1
5+05.00, 7.50' LT.
RM=5126.50' 25.60
INV (IN)=5113.80' INV (CENTER)
INV (OUT)=5113.70' = 13.9'

SDMH No. 2
9+28.00, 7.50' LT.
RM=5113.50' 12.91
INV=5108.50' 06.76

SDMH No. 3
12+64.92, 7.50' LT.
RM=5113.50' 12.91
INV=5108.16' 06.25

REVISIONS				BY	DATE
NO.					

**MERIDIAN BUSINESS PARK
LOT 1
GRADING & DRAINAGE PLAN
PRIVATE STORM DRAIN, REACH "A"**

Easterling & Associates, Inc.
CONSULTING ENGINEERS
10131 Coors Rd., NW, Suite H-7
Albuquerque, New Mexico 87114
(505) 898-8021 FAX (505) 898-8501

DESIGNED BY JML	DRAWN BY DEC/DWG	CHECKED BY CME	SHEET 4 OF 4
JOB NO: 4320	DATE: 1-97		

SHEET of

PROJECT CRITERIA

PROJECT: NEW TENANT DEVELOPMENT OFFICE/WAREHOUSE/BUILDING ADDITION

TENANT: HEALTHCARE LAUNDRY SERVICES

ARCHITECT: CHARLIE M. OTERO ARCHITECT

LEGAL DESCRIPTION: LOT 1 MERIDIAN BUSINESS PARK

ZONING ATLAS MAP: K-10-Z

ZONING CLASSIFICATION: IP

BUILDING TYPE: OFFICE/WAREHOUSE

CONSTRUCTION TYPE: II N - SPRINKLERED

OCCUPANT LOAD:

EXISTING OFFICE AREA = 8875 SQ. FT./100=9

WAREHOUSE AREA = 18,700/200=93.5

TOTAL OCCUPANT LOAD = 103

OCCUPANCY GROUP: B (LAUNDRY)

NUMBER OF FLOORS: 1

GROSS SQUARE FOOTAGE: 21,760

ALLOWABLE AREA: 48,000'

BASE AREA FOR II N = 12,000'

WITH SPRINKLERS = 12,000(2) = 24,000'

SEPARATION ON THREE SIDES WITH 70'-0" MIN. = 50(2.5%)=100%

24,000(2) = 48,000'

48,000' TOTAL ALLOWABLE AREA

EXIT WIDTH REQUIRED: (OCCUPANT LOAD) 103(0.2) = 20.6'

EXIT WIDTH PROVIDED: 108'

NUMBER OF EXITS PROVIDED: 5

BUILDING HEIGHT ABOVE GRADE: 29'-0" (EXISTING)

SEISMIC ZONE: 2B 24'-0" (NEW)

PARKING ANALYSIS: (EXISTING)

OFFICE AREA = 5,888' S.F./200 = 29 REQ'D SPACES

WAREHOUSE AREA = 37,445 S.F./2,000 = 19 REQ'D SPACES

TOTAL SPACES REQUIRED = 48

TOTAL SPACES PROVIDED = 72

HANDICAP SPACES REQUIRED = 3

HANDICAP SPACES PROVIDED = 4

PARKING SPACES SIZES:

REGULAR SPACES - 9'-0" X 18'-0"

HANDICAP SPACES - 9'-0" X 18'-0"

2 SPACES W/ A 5'-0" ACCESS AISLE - 2 SPACES W/ AN 8'-0" AISLE

BICYCLE SPACES:

1 BICYCLE SPACE PER 20 REQ'D AUTO PARKING SPACES

PARKING SPACES REQ'D = 48/20 = 2.40

TOTAL BICYCLE PARKING REQ'D = 3

TOTAL BICYCLE PARKING PROVIDED = 4

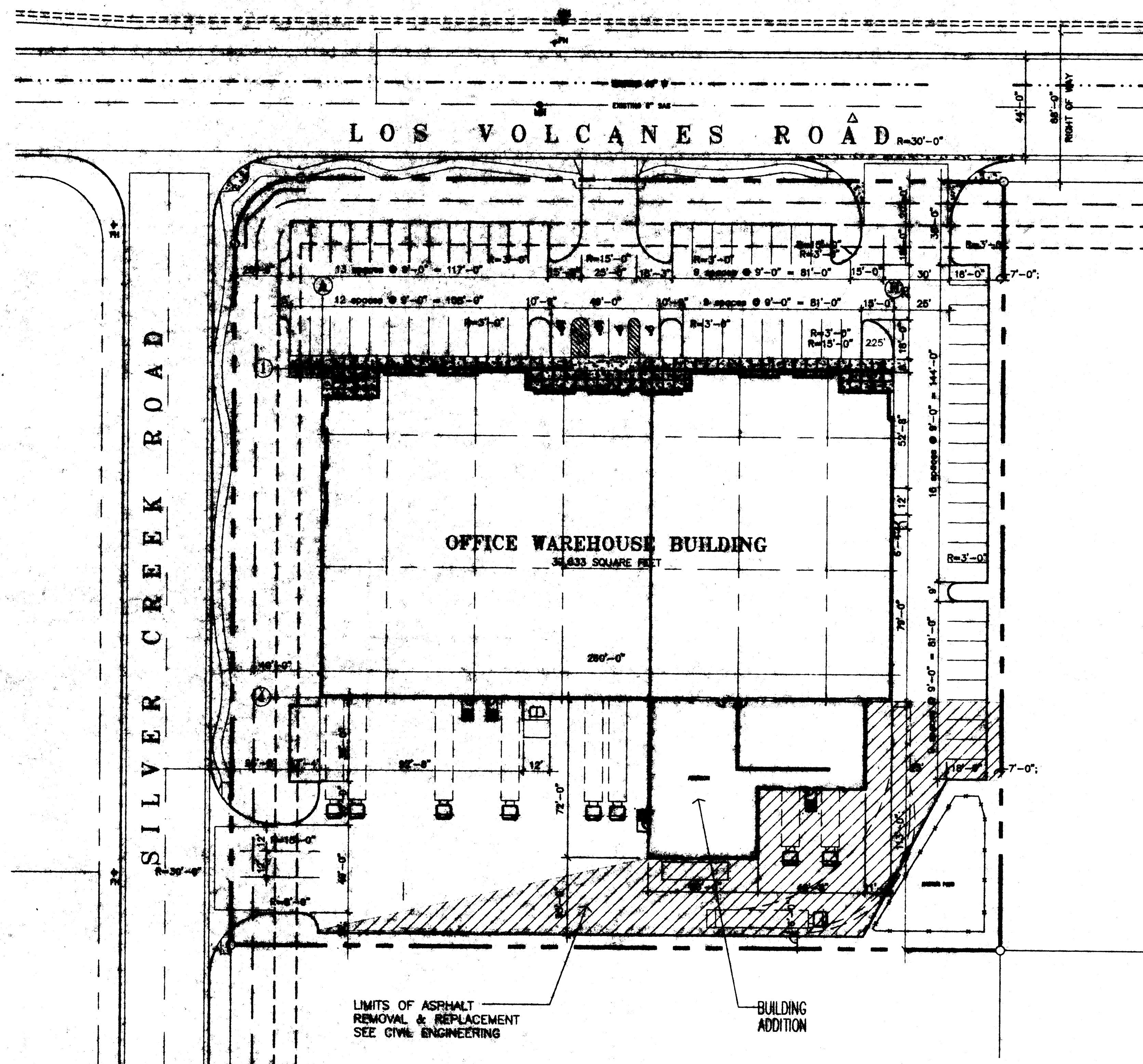
(2 POSTS W/ 2 HITCHES EACH)

SITE LIGHTING: (EXISTING)

SITE LIGHTING SHALL BE LOCATED SO AS NOT TO GLARE ONTO ADJACENT SITES. LIGHTS SHALL BE LOCATED ON THE SITE AND THE BUILDING.

LIGHTING SHALL NOT GLARE ON TO ANY PUBLIC RIGHT-OF-WAY AND SHALL NOT HAVE AN OFF-SITE LUMINANCE OF GREATER THAN 100 FOOT LAMBERTS.

TOTAL LOT AREA: 122,303 = 2.8 ACRES



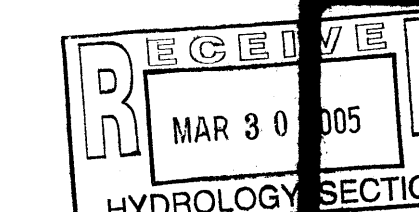
SITE PLAN/TRAFFIC CIRCULATION
SCALE: 1"=30'



ADDITION/REMODEL
HEALTHCARE LAUNDRY
SERVICES
7600 LOS VOLCANES, NW
ALBUQUERQUE, NM

05-02
PROJECT NO

03-2005
DATE



TRAFFIC
CIRCULATION
PLAN