

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

November 22, 2023

Daniel Puzak, AIA
Aria Studio Consultant, Inc.
100 Gold Ave. SW
Albuquerque, NM 87102

Re: NM Sol/ Phase 1 Tenant Addition
7401 Los Volcanes Rd. NW
Traffic Circulation Layout
Architect's Stamp 10-25-23 (J10D027)

Dear Mr. Puzak,

The revised TCL submittal received 11-22-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation. **AN APPROVED PLAT IS A CONDITION OF RELEASING FINAL CO.**

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



PROJECT DESCRIPTION

Construction of a new tilt-up concrete fully sprinkled cannabis agricultural warehouse to be used for cannabis cultivation.

GENERAL NOTES

- A. REFER TO AS102 FOR MORE DIMENSIONS
- B. REFER TO AS501 and AS502 FOR SITE DETAILS
- C. GUARDRAIL IS REQUIRED AT ANY PEDESTRIAN WALK AREA WHERE ADJACENT CHANGE IN ELEVATION IS 30" OR MORE. REFER TO AS501 FOR DETAIL, CIVIL GRADING PLAN FOR ELEVATIONS.
- D. CONTRACTOR TO VERIFY ALL RAMPS, WALKS, AND RAILS MEET CODE AND ADA GUIDELINES
- E. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2415B FOR CURB AND GUTTER DETAILS
- F. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2425B FOR DRIVEPAD WITH RAMP
- G. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430 FOR SIDEWALK DETAILS
- H. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

Notes and Parking

Code Referenced
City of Albuquerque IDO (effective 2022-12-25)
Non-Residential Business Park (NR-BP)

Address and Legal Description
7401 Los Volcanes Rd NW, Albuquerque, NM 87121
UPC 101005818513130104
Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico
1.6675 Acres

Type of Development & Occupancy

| Ray's Flooring (existing building) | |
|------------------------------------|-----------|
| Warehousing | 48,716 sf |
| Business | 13,501 sf |
| total | 62,217 sf |

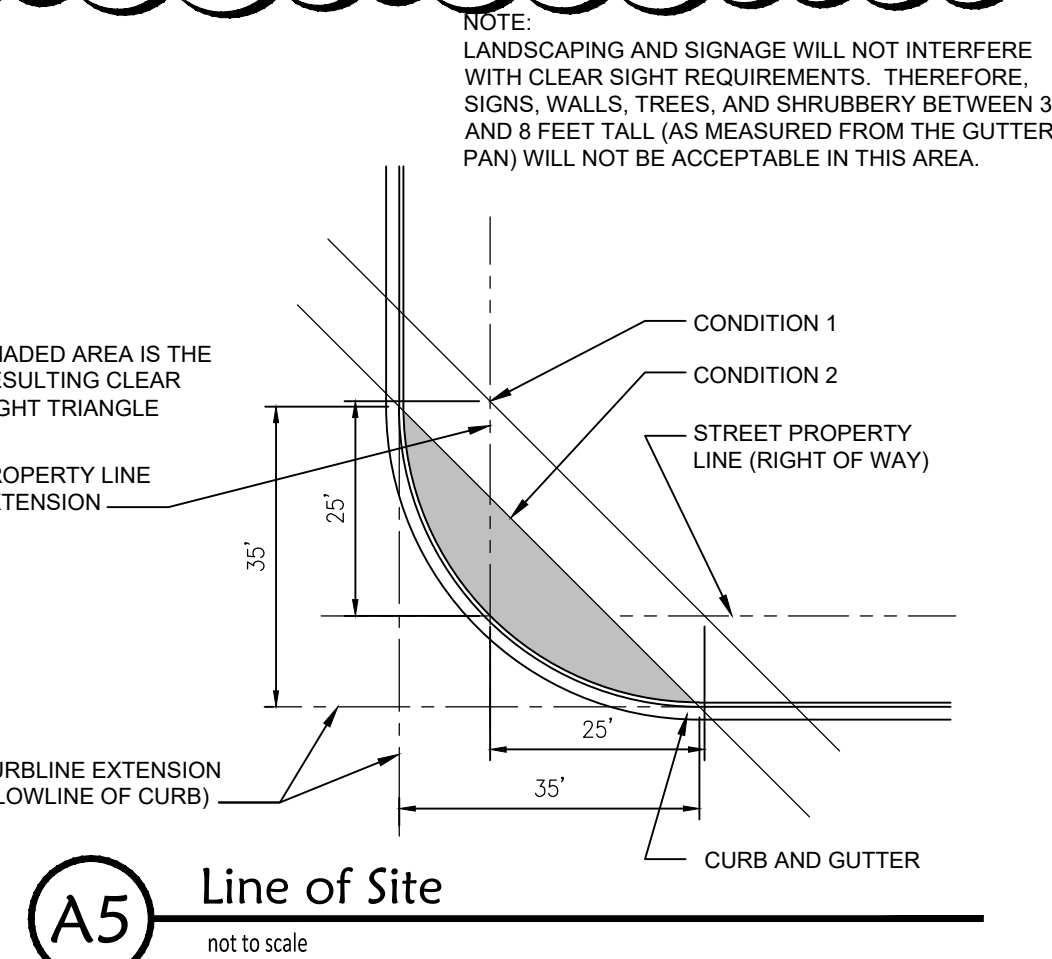
NM Sol (new building)

| | |
|--------------------------------|-----------|
| Cannabis Cultivation & Product | 23,924 sf |
| Production Facility | |

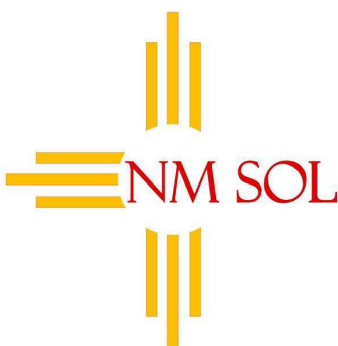
Parking Required (Table 5-5-1)

| | | |
|------------------------------|-------------------------|-------|
| Warehousing | no requirement | |
| Business | 3.5 spaces per 1000 GFA | 47.25 |
| Cannabis Cultivation | 1 space per 1000 GFA | 23.92 |
| Total spaces required | | 71 |
| | Motorcycle | 1.00 |
| | Bicycle | 3.00 |
| Total spaces provided | 84 spaces | |
| NM Sol | | 24 |
| | ADA | 1 |
| | Motorcycle | 2 |
| | Bicycle | 3 |
| Ray's Flooring | | 55 |
| | ADA | 3 |
| | Motorcycle | 4 |
| | Bicycle | 6 |

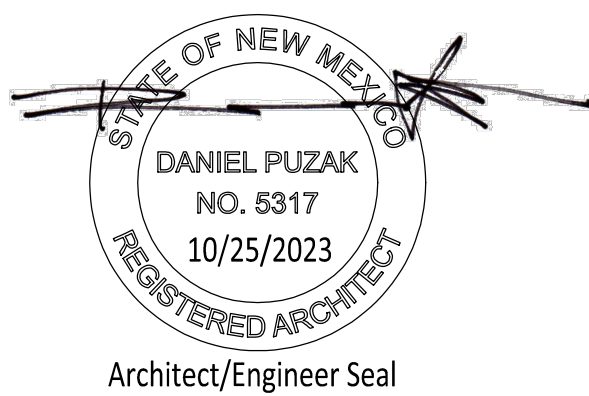
Executive Summary
Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation. Existing parking for Ray's Flooring (existing warehouse) to be divided wherein the new counts for each of the structures meet all requirements. Shared parking agreement is on file.



STUDIO CONSULTANTS, INC
100 Gold Ave. SW, Suite 205,
Albuquerque, NM 87102
Daniel@ariascinc.com (505) 506-2314



NM SOL
A New Agricultural Facility
7431 Los Volcanes Road NW
Albuquerque, NM 87121



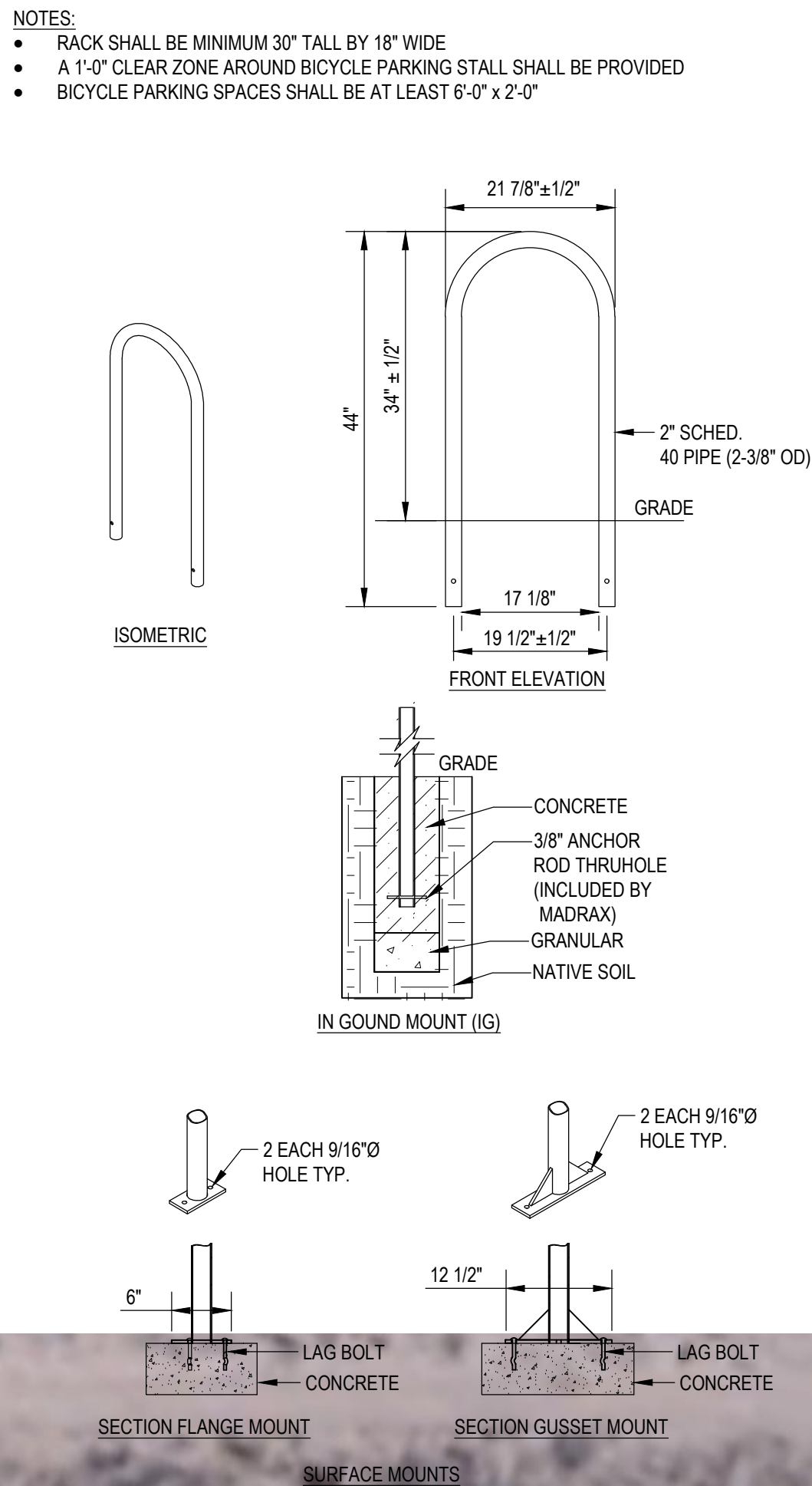
| mark | date | description |
|------------|-----------------|---------------------|
| 1 | 11/21/2023 | COA PERMIT COMMENTS |
| 2 | 11/08/2023 | COA PERMIT COMMENTS |
| 3 | 08/29/2023 | ADDRESS ASSIGNMENT |
| 4 | 08/07/2023 | TCL COMMENTS |
| 5 | 05/20/2023 | OWNER CHANGES |
| 6 | 05/12/2023 | COA PERMIT COMMENTS |
| 7 | 04/26/2023 | TCL COMMENTS |
| revisions | | |
| issue | Permit CDs | |
| project no | 2219 | |
| drawn by | DGP | |
| checked by | DGP | |
| date | AUGUST 10, 2023 | |

ARCHITECTURAL SITE PLAN
Overall
Traffic Circulation Layout

AS101 (TCL)

TRAFFIC CIRCULATION
LAYOUT APPROVED

Ernest Amigo 11/22/2023
Signed Date



GENERAL SITE NOTES

- For dimensions, refer to A102 series. All dimensions are to grid, framing or face of concrete, unless noted otherwise. Clear or minimum dimensions are to finish.
- Refer to grading and drainage plan for reference and drain in sidewalk detail
- All exterior concrete to slope away from the building at 1/8" per foot minimum and have a broom finish.
- Guardrail is required at any pedestrian walk area where adjacent change in elevation is 30" or more. Refer to civil grading plan for elevations.
- Contractor to verify all ramps, walks, and rails meet ADA guidelines.

SITE PLAN / TCL NOTES

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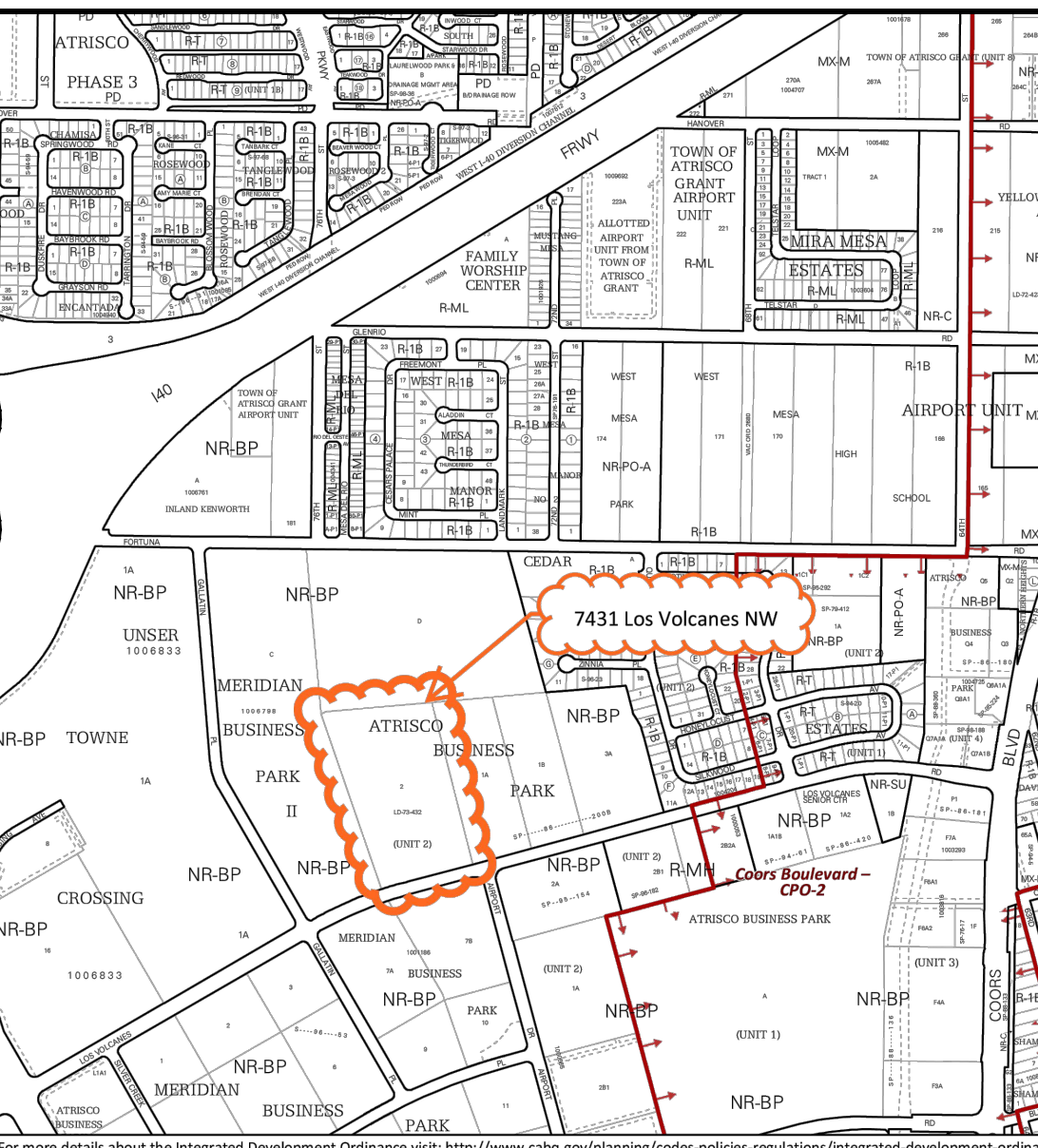
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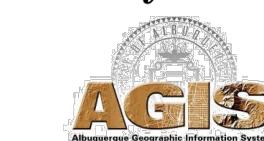
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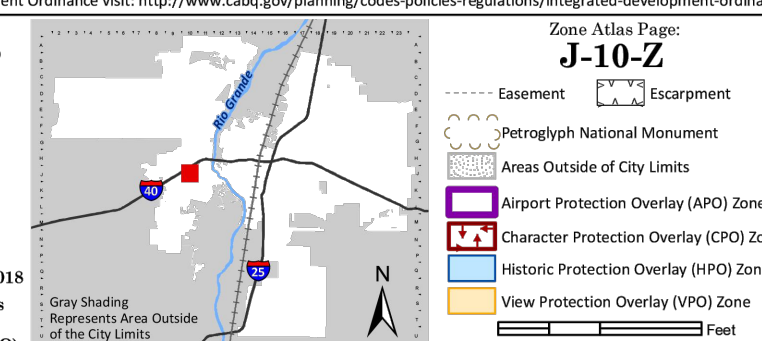
ZONE ATLAS



IDO Zone Atlas
May 2018



DO Zoning information as of May 17, 2018
The Zone Districts and Overlay Zones
are established by the
Integrated Development Ordinance (IDO).

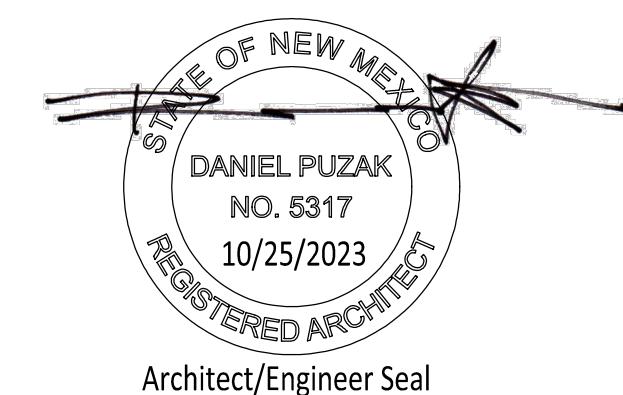


ARIA

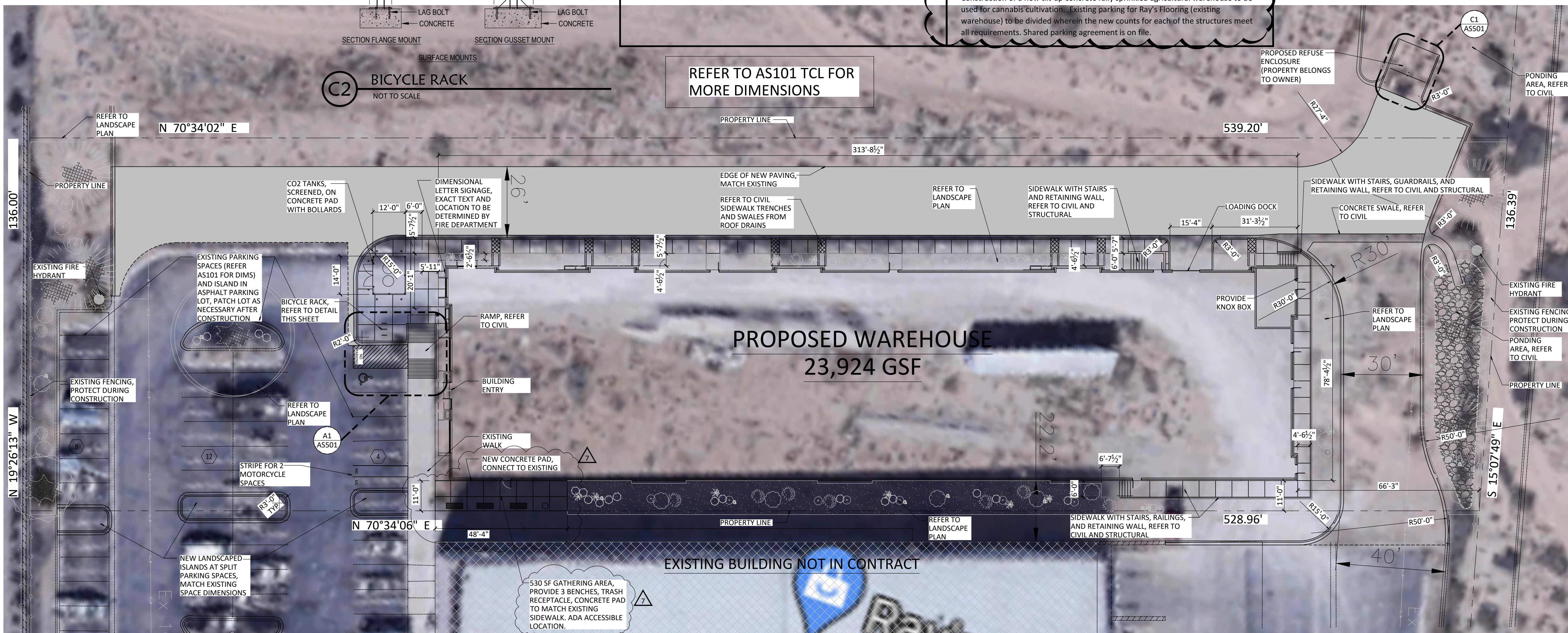
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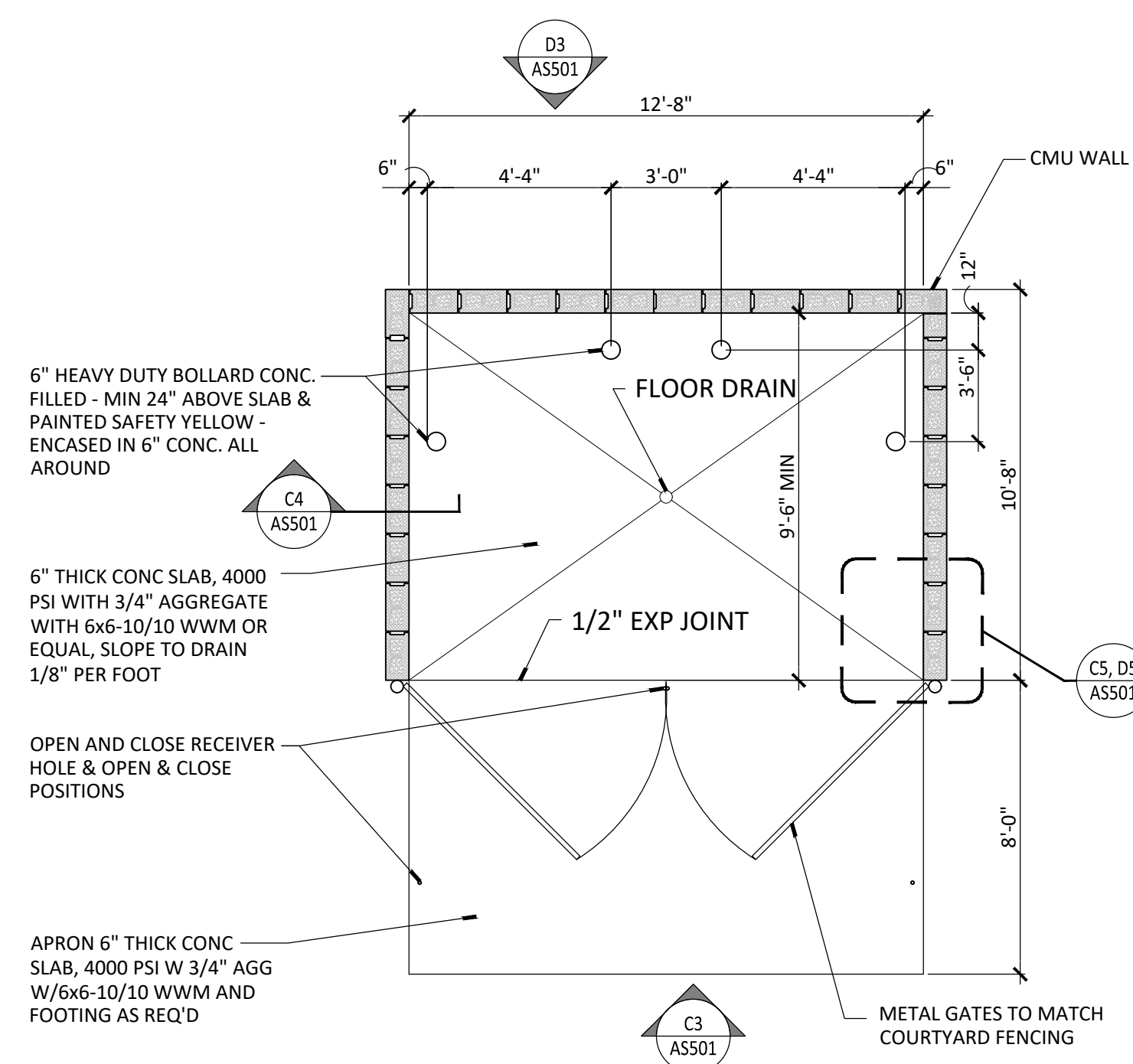
PROPOSED WAREHOUSE
23,924 GSF



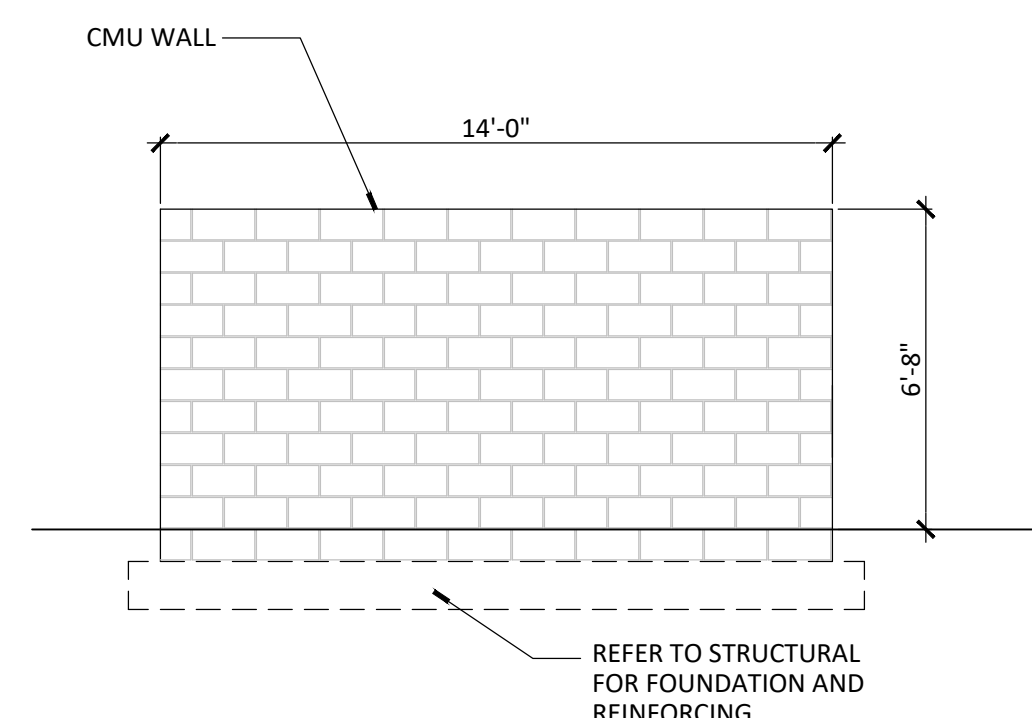
ENCLOSURE NOTES:

1. SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION. INSPECTIONS WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.
2. REAR BOLLARDS ARE TO MEASURE NO MORE THAN 12" FROM BACK CMU WALL TO CENTER. BOLLARDS ARE TO MEASURE A MINIMUM OF 24" ABOVE CONCRETE.

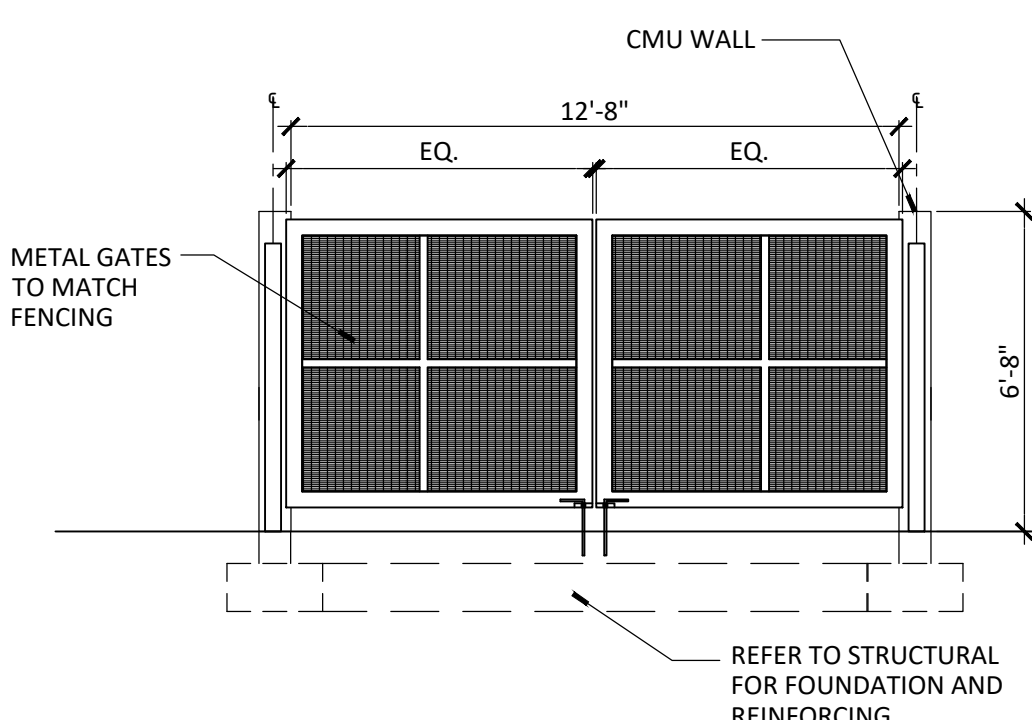
Ernest Armijo 11/22/2023
Signed Date



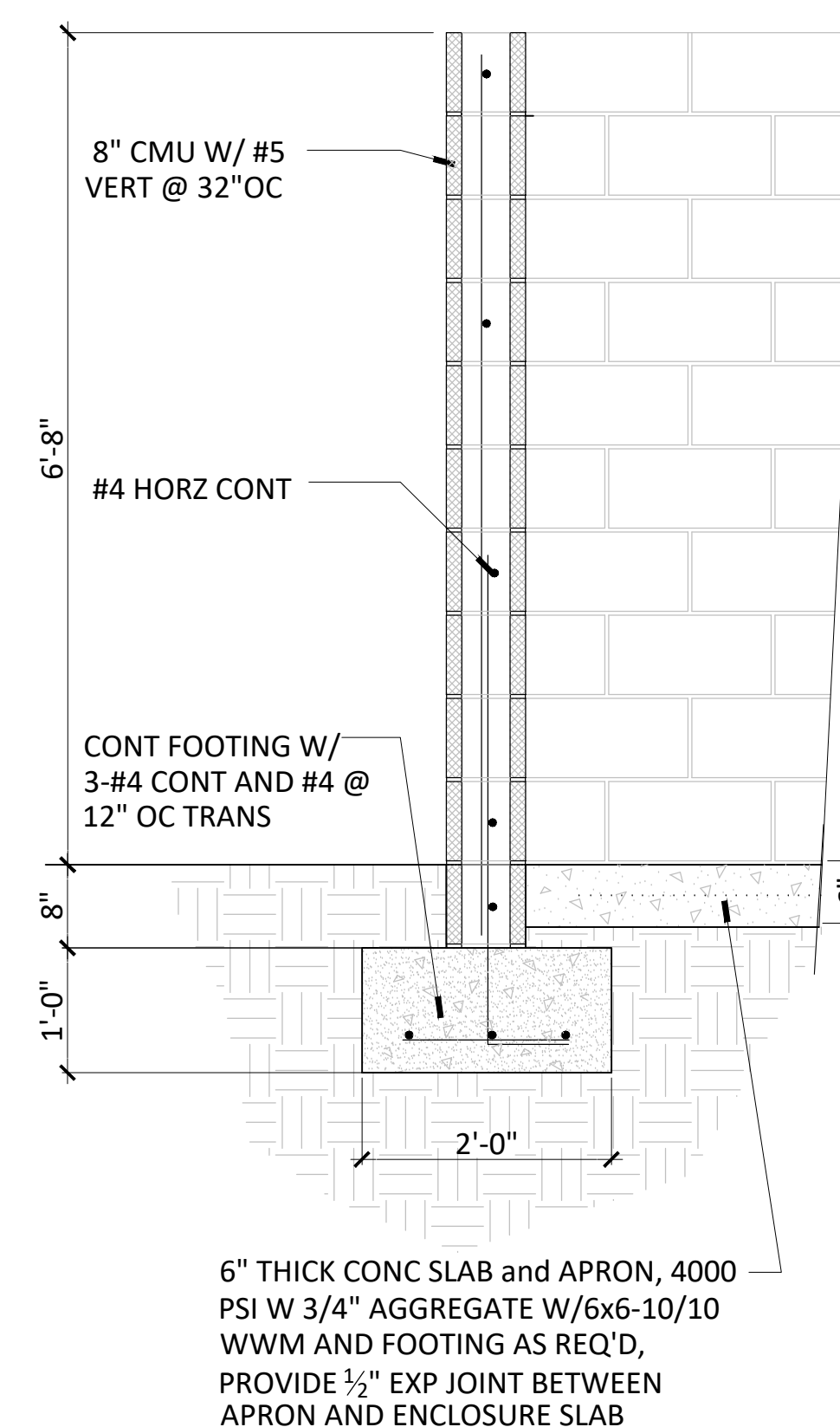
1/4" = 1'-0"



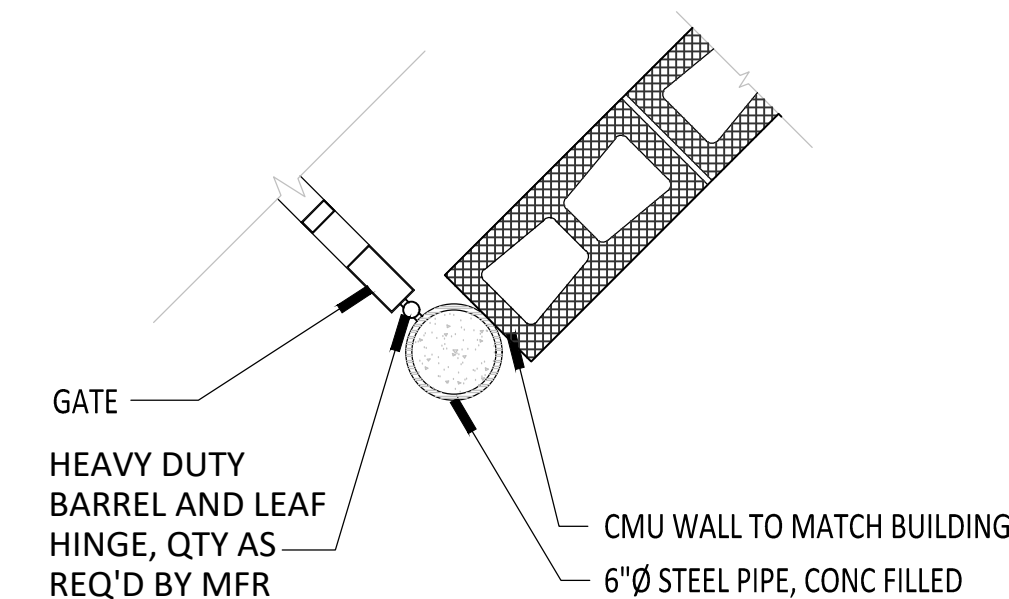
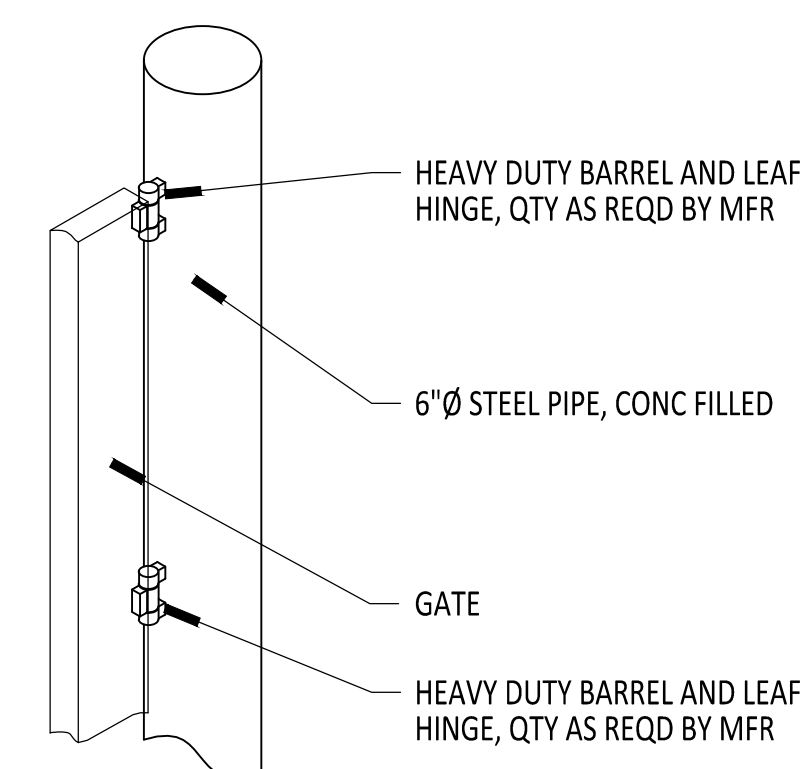
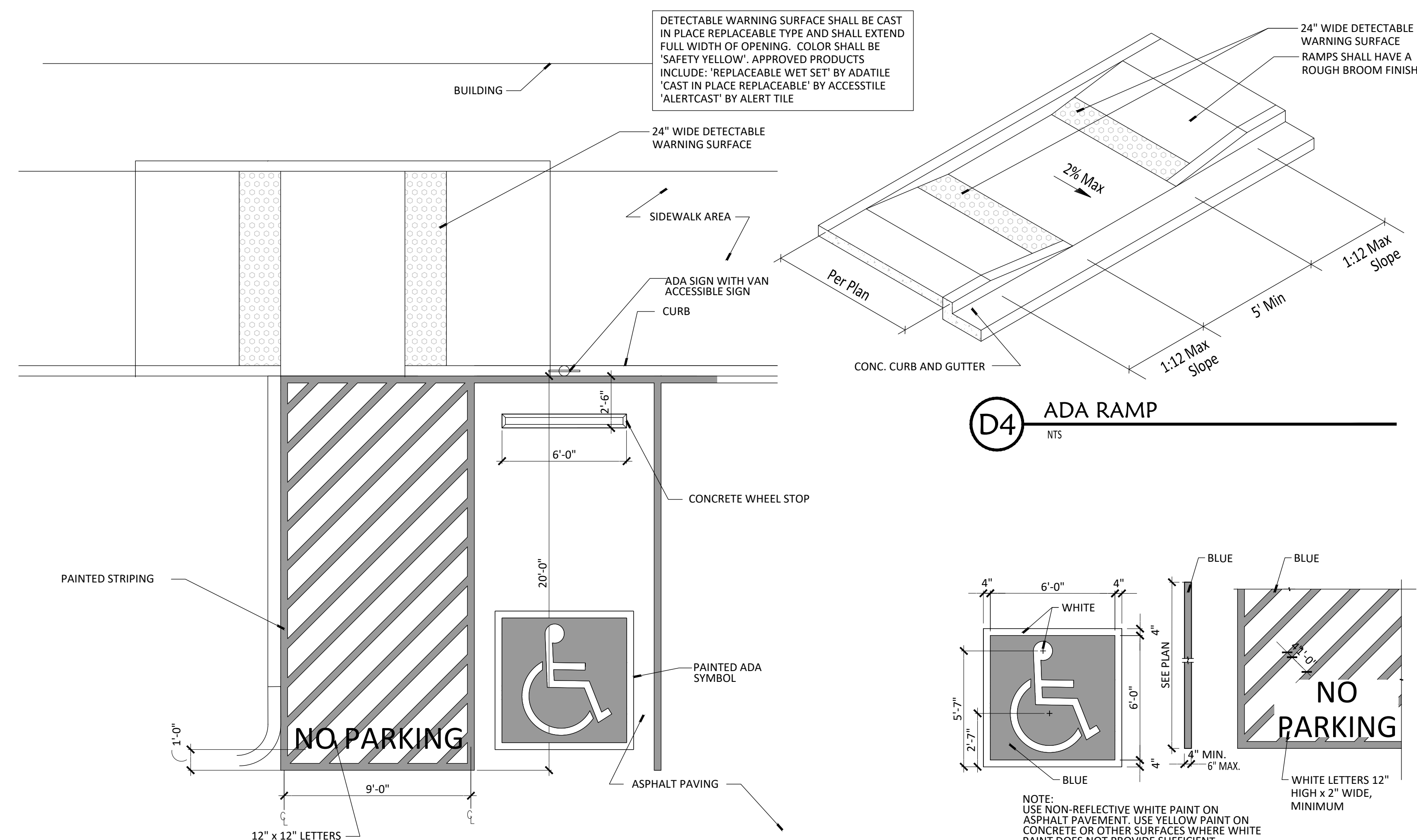
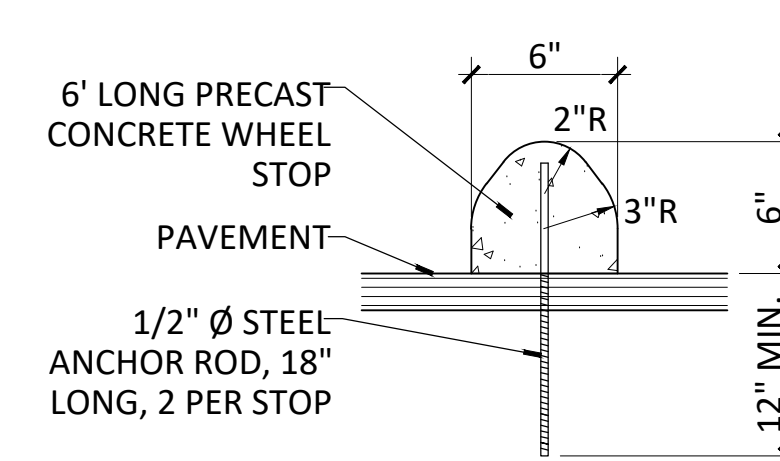
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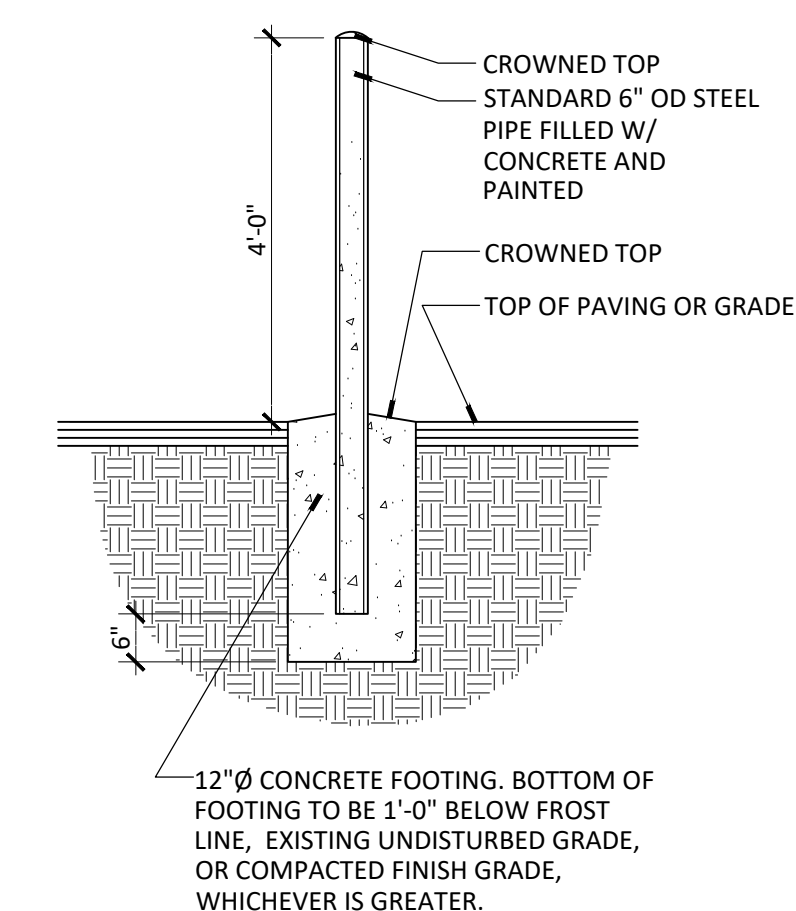
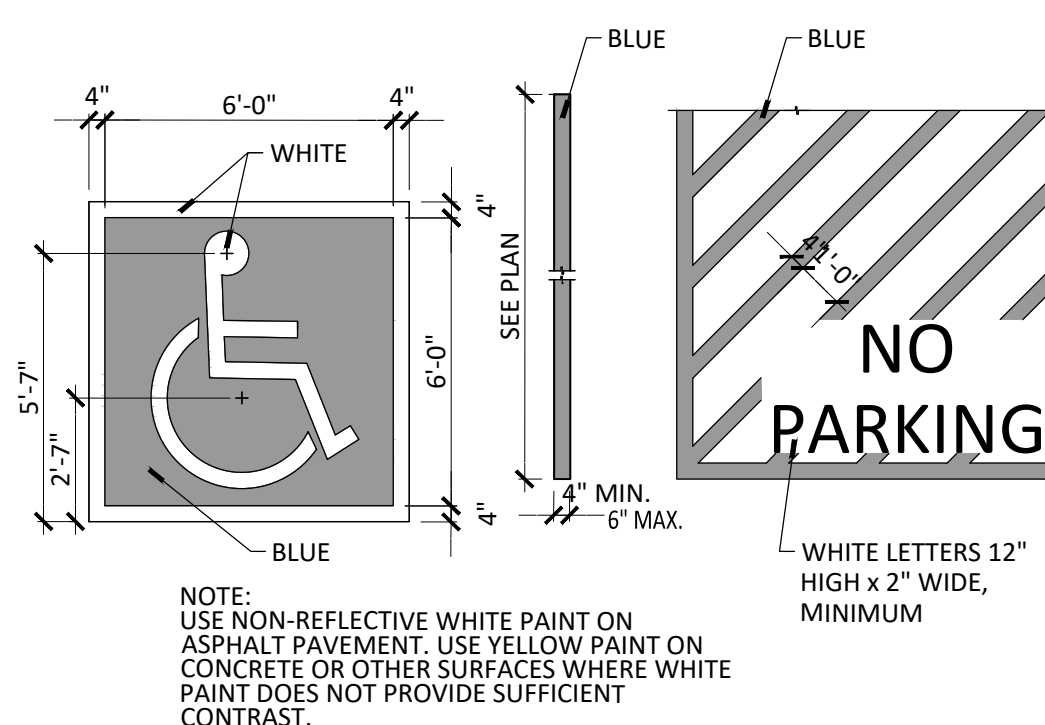
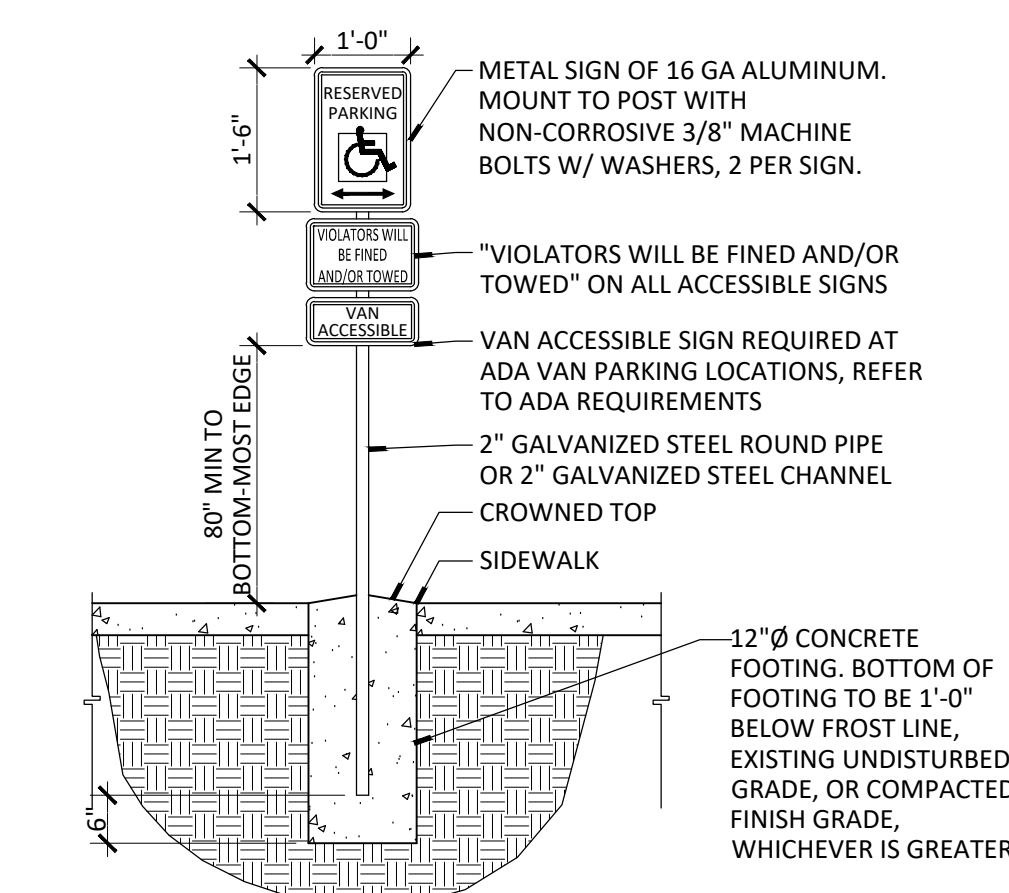
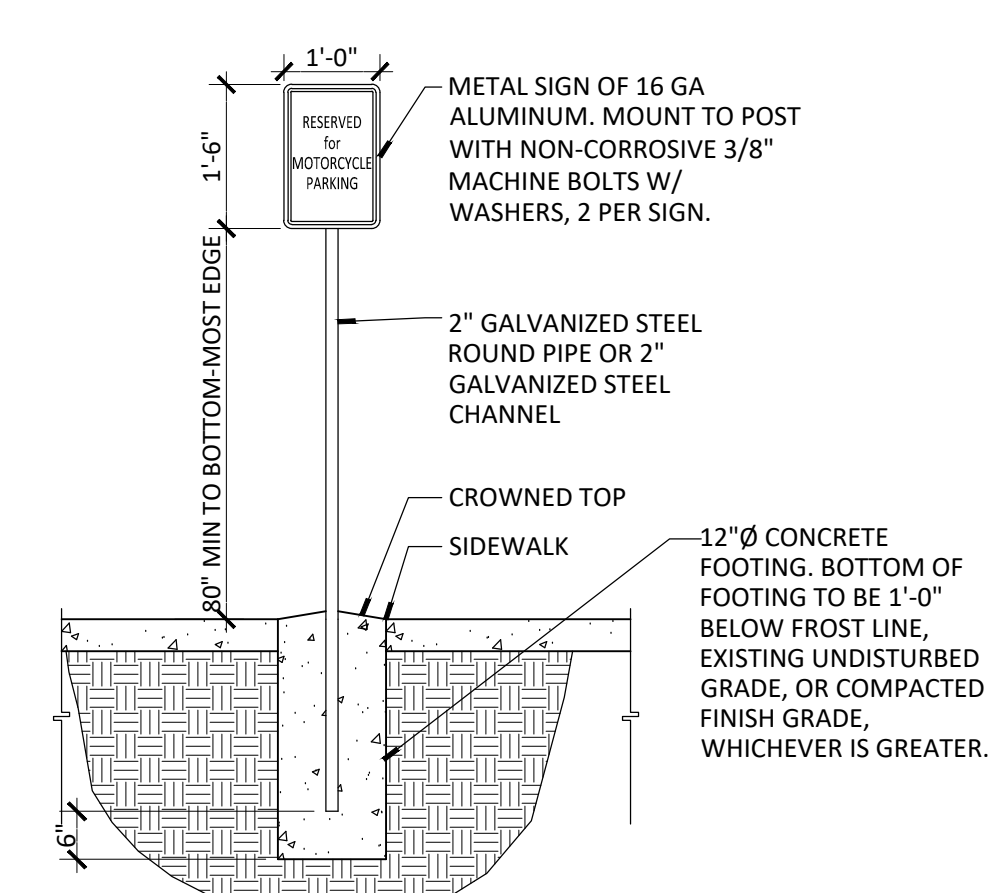


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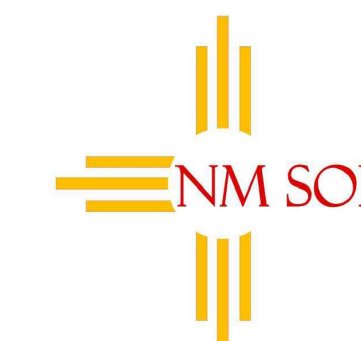


3/4"=1'-0"

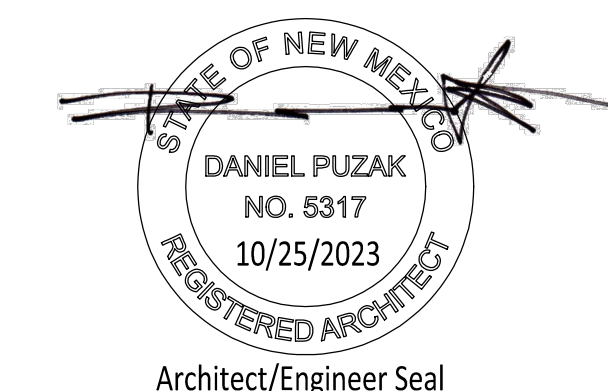

$$1'' = 1' - 0''$$

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$$1/4'' = 1'-0''$$









$$1\frac{1}{2}'' = 1'-0''$$

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$$1/4'' = 1'-0''$$

$$1/2'' = 1'$$

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| <i>issue</i> | Permit CDs | |
| <i>project no</i> | 2219 | |
| <i>drawn by</i> | DGP | |
| <i>checked by</i> | DGP | |
| <i>date</i> | AUGUST 10, 2023 | |

SITE DETAILS

AS501