

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

September 13, 2024

Debra West
Aria Studio Consultant, Inc.
100 Gold Ave. SW
Albuquerque, NM 87102

Re: NM Sol/ Phase 1 Tenant Addition
7401 Los Volcanes Rd. NW
Traffic Circulation Layout
Architect's Stamp 10-25-23 (J10-D027)

Dear Ms. West,

The TCL submittal received 09-05-2023 is approved for Building Permit by Transportation. A copy of the stamped and signed plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation.

PO Box 1293

Albuquerque

NM 87103

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to the PLNDRS@cabq.gov for log in and evaluation by Transportation. **AN APPROVED PLAT IS A CONDITION OF RELEASING FINAL CO.**

www.cabq.gov

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

Sincerely,

Ernest Armijo, P.E.
Principal Engineer, Planning Dept.
Development Review Services

C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: NM SOL Hydrology File # _____

Legal Description: Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico

City Address, UPC, OR Parcel: 7431 Los Volcanes Road NW, Albuquerque, NM 87121

Applicant/Agent: ARIA Studio Consultants, Inc Contact: Debra West
Address: 1801 Lomas Blvd NW Phone: 505-453-5813
Email: debra@ariascinc.com

Applicant/Owner: NM SOL Contact: Ventura Ruybal
Address: 7401 Los Volcanes Rd NW Phone: 505-883-1967
Email: vruybal@raysflooring.com

TYPE OF DEVELOPMENT: ☐ Plat (# of lots) _____ ☐ Single Family Home
☐ All other Developments

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

TYPE OF SUBMITTAL:

- ☐ Engineering / Architect Certification
- ☐ Conceptual Grading & Drainage Plan
- ☐ Grading & Drainage Plan, and/or Drainage Report
- ☐ Drainage Report (Work Order)
- ☐ Drainage Master Plan
- ☐ Conditional Letter of Map Revision (CLOMR)
- ☐ Letter of Map Revision (LOMR)
- ☐ Floodplain Development Permit
- ☒ Traffic Circulation Layout (TCL) – Administrative
- ☐ Traffic Circulation Layout (TCL) – DFT Approval
- ☐ Traffic Impact Study (TIS)
- ☐ Street Light Layout
- ☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL SOUGHT:

- ☐ Pad Certification
- ☐ Building Permit
- ☐ Grading Permit
- ☐ Paving Permit
- ☐ SO-19 Permit
- ☐ Foundation Permit
- ☐ Certificate of Occupancy - ☐ Temp ☐ Perm
- ☐ Preliminary / Final Plat
- ☐ Site Plan for Building Permit - DFT
- ☐ Work Order (DRC)
- ☐ Release of Financial Guarantee (ROFG)
- ☐ CLOMR / LOMR
- ☐ Conceptual TCL - DFT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: September 3, 2024

PROJECT DESCRIPTION

Construction of a new tilt-up concrete fully sprinkled cannabis agricultural warehouse to be used for cannabis cultivation.

GENERAL NOTES

- A. REFER TO AS102 FOR MORE DIMENSIONS
- B. REFER TO AS501 and AS502 FOR SITE DETAILS
- C. GUARDRAIL IS REQUIRED AT ANY PEDESTRIAN WALK AREA WHERE ADJACENT CHANGE IN ELEVATION IS 30" OR MORE. REFER TO AS501 FOR DETAIL, CIVIL GRADING PLAN FOR ELEVATIONS.
- D. CONTRACTOR TO VERIFY ALL RAMPS, WALKS, AND RAILS MEET CODE AND ADA GUIDELINES
- E. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWINGS 2415A AND 2415B FOR CURB AND GUTTER DETAILS
- F. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2425B FOR DRIVEPAD WITH RAMP
- G. REFER TO CITY OF ALBUQUERQUE STANDARD DRAWING 2430 FOR SIDEWALK DETAILS
- H. ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER.

Notes and Parking

Code Referenced
City of Albuquerque IDO (effective 2022-12-25)
Non-Residential Business Park (NR-BP)

Address and Legal Description
7401 Los Volcanes Rd NW, Albuquerque, NM 87121
UPC 101005818513130104
Lot 2-B, Tract S-1, Atresco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico
1.6675 Acres

Type of Development & Occupancy

Ray's Flooring (existing building)	
Warehousing	48,716 sf
Business	13,501 sf
total	62,217 sf

NM Sol (new building)

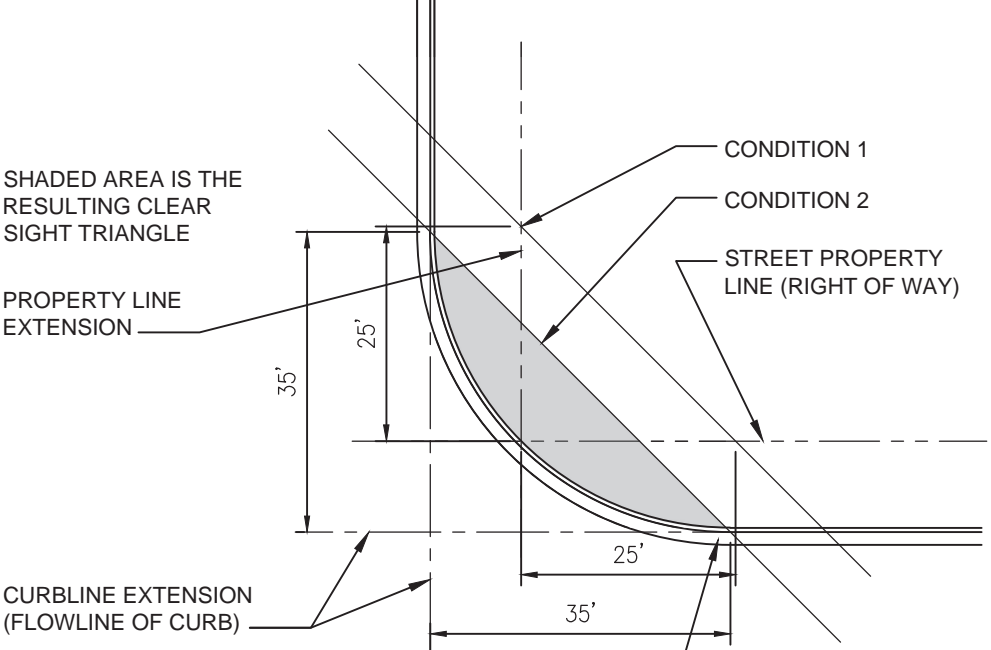
Cannabis Cultivation & Product	23,924 sf
Production Facility	

Parking Required (Table 5-5-1)

Warehousing	no requirement	
Business	3.5 spaces per 1000 GFA	47.25
Cannabis Cultivation	1 space per 1000 GFA	23.92
Total spaces required		71
	Motorcycle	1.00
	Bicycle	3.00
Total spaces provided	84 spaces	
NM Sol		24
	ADA	1
	Motorcycle	2
	Bicycle	3
Ray's Flooring		55
	ADA	3
	Motorcycle	4
	Bicycle	6

Executive Summary
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NOTE: LANDSCAPING AND SIGNAGE WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA.



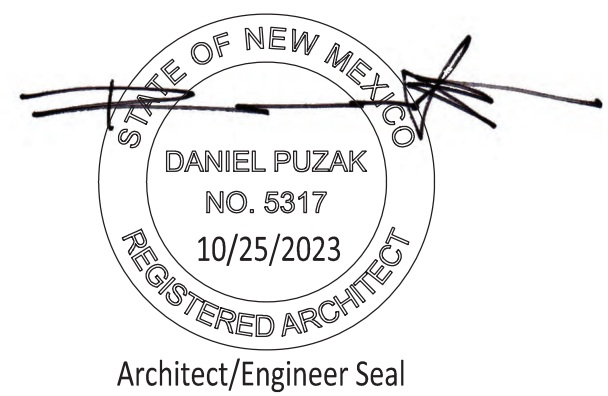
A5 Line of Site
not to scale



STUDIO CONSULTANTS, INC
100 Gold Ave. SW, Suite 205,
Albuquerque, NM 87102
Daniel@ariasinc.com (505) 506-2314



NM SOL
A New Agricultural Facility
7431 Los Volcanes Road NW
Albuquerque, NM 87121



mark	date	description
8	07/31/2024	ADDENDUM 1
7	11/21/2023	COA PERMIT COMMENTS
6	11/08/2023	COA PERMIT COMMENTS
5	08/29/2023	ADDRESS ASSIGNMENT
4	08/07/2023	TCL COMMENTS
3	05/20/2023	OWNER CHANGES
2	05/12/2023	COA PERMIT COMMENTS
1	04/26/2023	TCL COMMENTS

revisions	issue	description
	project no	2219
	drawn by	DGP
	checked by	DGP
	date	AUGUST 10, 2023

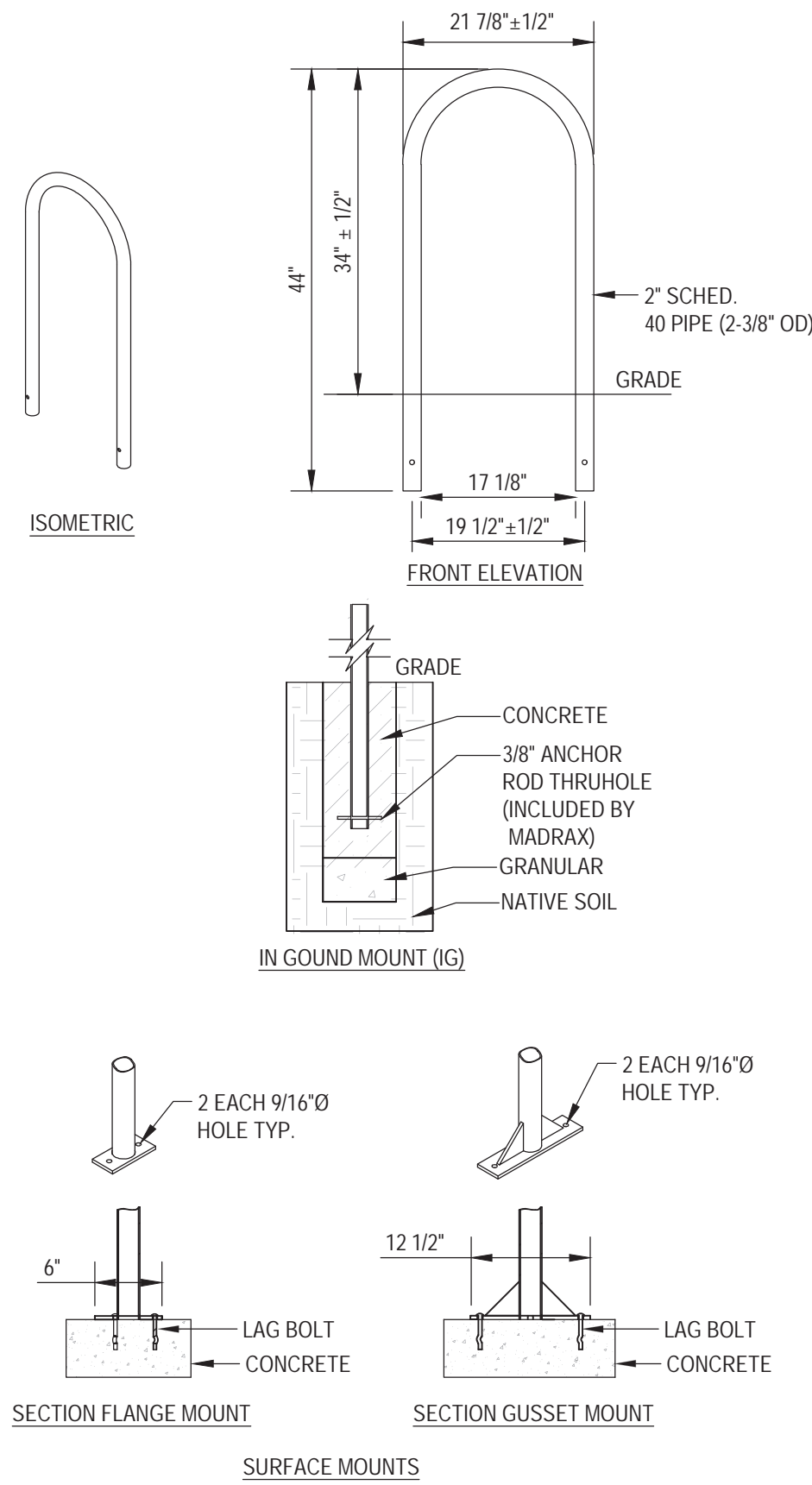
ARCHITECTURAL SITE PLAN
Overall
Traffic Circulation Layout

AS101 (TCL)

A1 Architectural Site Plan ~ Overall / Traffic Circulation Layout
1" = 50'-0"

TRAFFIC CIRCULATION LAYOUT APPROVED
Ernest Arroyo 9/13/2024
Signed Date

- NOTES:
- RACK SHALL BE MINIMUM 30" TALL BY 18" WIDE
 - A 1'-0" CLEAR ZONE AROUND BICYCLE PARKING STALL SHALL BE PROVIDED
 - BICYCLE PARKING SPACES SHALL BE AT LEAST 6'-0" x 2'-0"



C2 BICYCLE RACK
NOT TO SCALE

REFER TO AS101 TCL FOR
MORE DIMENSIONS

GENERAL SITE NOTES

- For dimensions, refer to A102 series. All dimensions are to grid, framing or face of concrete, unless noted otherwise. Clear or minimum dimensions are to finish.
- Refer to grading and drainage plan for reference and drain in sidewalk detail and have a broom finish.
- All exterior concrete to slope away from the building at 1/8" per foot minimum and have a broom finish.
- Guardrail is required at any pedestrian walk area where adjacent change in elevation is 30" or more. Refer to civil grading plan for elevations.
- Contractor to verify all ramps, walks, and rails meet ADA guidelines.

SITE PLAN / TCL NOTES

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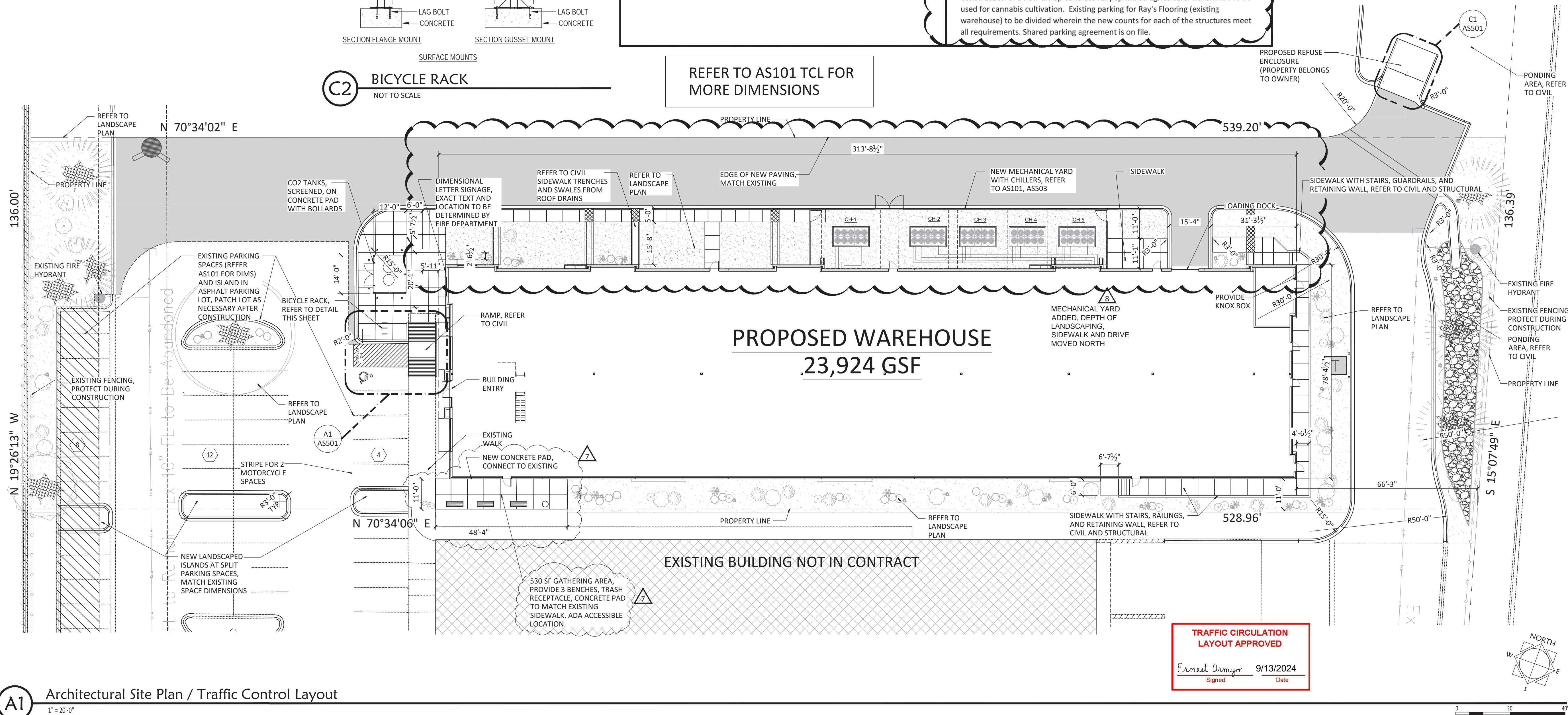
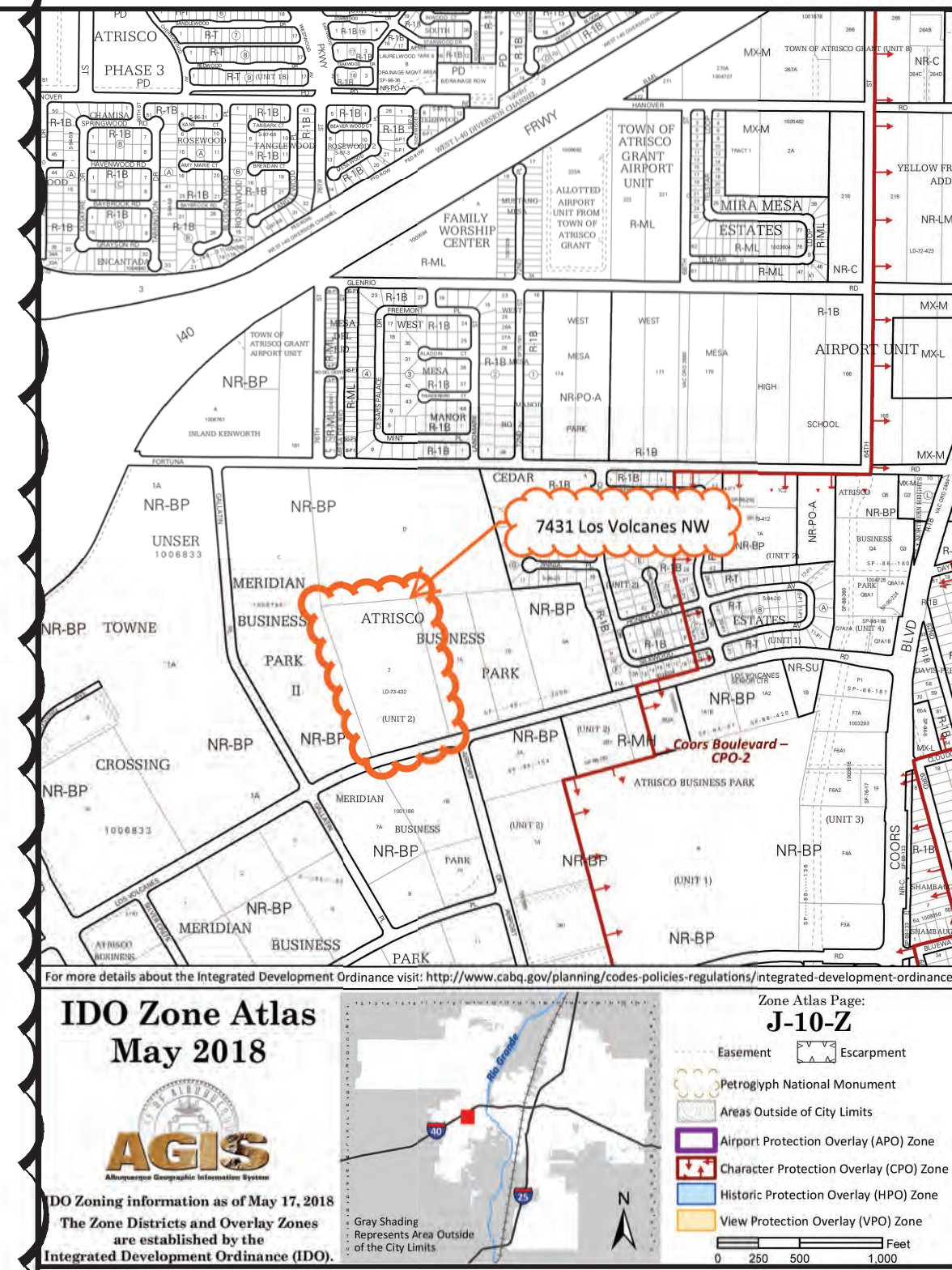
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ZONE ATLAS



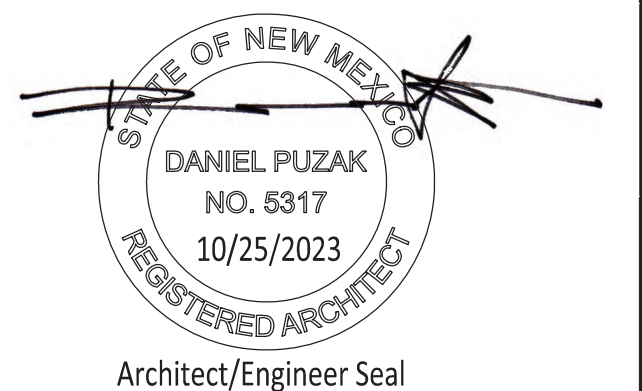
A1 Architectural Site Plan / Traffic Control Layout
1" = 20'-0"



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ARCHITECTURAL SITE PLAN
TRAFFIC CONTROL LAYOUT

AS102 TCL