



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: NM Sol **Building Permit #:** _____ **Hydrology File #:** _____
DRB#: _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, NM
City Address: 7401 Los Volcanes NW

Applicant: ARIA Studio Consultants, Inc **Contact:** Debra West
Address: 100 Gold Ave SW, Suite 201, Albuquerque, NM
Phone#: 505-453-5813 **Fax#:** _____ **E-mail:** debra@ariascinc.com

Other Contact: ARIA Studio Consultants, Inc **Contact:** Daniel Puzak
Address: 100 Gold Ave SW, Suite 201, Albuquerque, NM
Phone#: 505-506-2314 **Fax#:** _____ **E-mail:** daniel@ariascinc.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? ☒ Yes _____ No

DEPARTMENT ☒ TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☐ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 07/28/2023 **By:** Debra West

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



ARIA STUDIO CONSULTANTS, INC.

100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | DANIEL@ARIASCINC.COM

July 28, 2023

Marwa Al-najjar Associate Engineer, Planning Dept. Development Review Services
City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Re: NM Sol/ Phase 1 Tenant Addition
7402 Los Volcanes Rd. NW
Traffic Circulation Layout
Architect's Stamp 03-28-23 (J10-D027)

Marwa Al-najjar,

The following are our responses to your comments on the above TCL.

1. Identify all existing access easements and rights of way width dimensions.
 - a. Review AS101
2. Is the proposed Warehouse behind or in front of the existing building? Please clarify.
 - a. Review AS101
3. Please show the site accesses on the site plan, and site accesses must be updated to the current ADA standard.
 - a. Review AS101
4. Please show the dimensions for all the proposed parking spaces.
 - a. All parking is existing, review AS101
5. Show all drive aisle widths and radii. Some dimensions are not shown.

	Minimum Drive Aisle Width
Two Way Traffic	22'
Main Circulation Road	24'
Fire Lane	20'

- a. Review AS101 and AS102
6. Per the IDO, a 6 ft. wide ADA accessible pedestrian pathway is required from the public sidewalk to the building entrances. Please clearly show this pathway and provide details.
 - a. Pathway updated, see AS101
7. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.



ARIA STUDIO CONSULTANTS, INC.

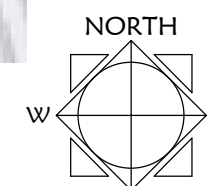
100 GOLD AVE SW, SUITE 205, ALBUQUERQUE, NEW MEXICO 87102

PRINCIPAL ARCHITECT | DANIEL PUZAK, AIA | (505) 506-2314 | DANIEL@ARIASCINC.COM

- a. Access shown, refer to AS101, AS102
- 8. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.
 - a. Refer to AS102
- 9. Curbing should be installed to delineate landscape, parking, and pedestrian ways and identify points of access. Please call out detail and location of barrier curb.
 - a. See AS101
- 10. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.
 - a. Refer to attached
- 11. Please provide a copy of Fire Marshal approval.
 - a. See attached
- 12. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.
 - a. Asphalt is shown on AS101
- 13. Show the clear sight triangle and add the following note to the plan: "Landscaping and signage will not interfere with clear sight requirements. Therefore, signs, walls, trees, and shrubbery between 3 and 8 feet tall (as measured from the gutter pan) will not be acceptable in the clear sight triangle."
 - a. Clear sight triangle detail added to sheet AS101
- 14. Please specify the City Standard Drawing Number when applicable.
 - a. shown
- 15. Add a note stating "All broken or cracked sidewalk must be replaced with sidewalk and curb & gutter." A build note must be provided referring to the appropriate City Standard drawing.
 - a. See AS101
- 16. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 Vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted. In some cases, a trip generation may be requested for determination (Contact Matt Grush: mgrush@cabq.gov).
 - a. See attached document.
- 17. Please provide a letter of response for all comments given.

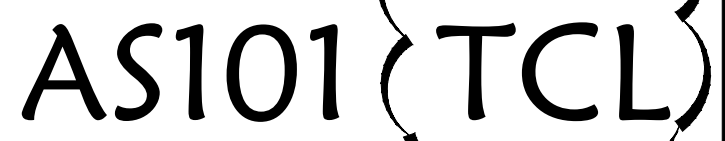
Warm regards,

Debra West

 $1'' = 50'-0''$

0 500' 10

not to scal



-
- ISOMETRIC
- 21 7/8" ± 1/2"
- 34" ± 1/2"
- 4"
- 17 1/8"
- 19 1/2" ± 1/2"
- 2" SCHED. 40 PIPE (2-3/8" OD)
- GRADE
- FRONT ELEVATION
- GRADE
- CONCRETE
- 3/8" ANCHOR ROD THRU-HOLE (INCLUDED BY MADRAX)
- GRANULAR
- NATIVE SOIL
- IN GROUND MOUNT (IG)
- 2 EACH 9/16" Ø HOLE TYP.
- 2 EACH 9/16" Ø HOLE TYP.
- 6"
- 12 1/2"
- LAG BOLT CONCRETE
- LAG BOLT CONCRETE
- SECTION FLANGE MOUNT
- SECTION GUSSET MOUNT
- SURFACE MOUNTS

- A. For dimensions, refer to A102 series. All dimensions are to grid, framing or face of concrete, unless noted otherwise. Clear or minimum dimensions are to finish.
- B. Refer to grading and drainage plan for reference and drain in sidewalk detail.
- C. All exterior concrete to slope away from the building at 1/8" per foot minimum and have a broom finish.
- D. Guardrail is required at any pedestrian walk area where adjacent change in elevation is 30" or more. Refer to civil grading plan for elevations.
- E. Contractor to verify all ramps, walks, and rails meet ADA guidelines.

Code Referenced
City of Albuquerque IDO (effective 2022-12-25)
Non-Residential Business Park (NR-BP)

Address and Legal Description
7401 Los Volcanes Rd NW, Albuquerque, NM 87121
UPC 101005818513130104
Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico
1.6675 Acres

Ray's Flooring (existing building)	
Warehousing	48,716 sf
Business	13,501 sf
total	62,217 sf

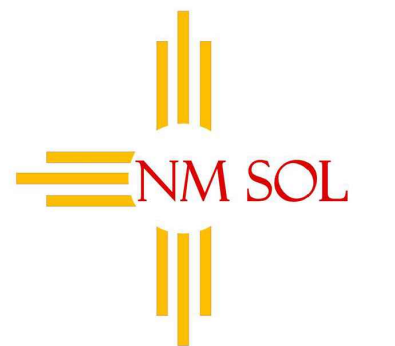
Cannabis Cultivation & Product Production Facility	23,924 sq ft
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Warehousing	no requirement	
Business	3.5 spaces per 1000 GFA	47.25
Cannabis Cultivation	1 space per 1000 GFA	23.92
Total spaces required		71
	Motorcycle	1.00
	Bicycle	3.00

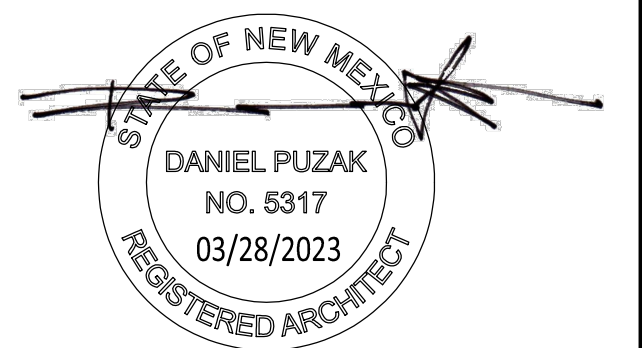
NM Sol	ADA	24
	Motorcycle	1
	Bicycle	2
Ray's Flooring		3
	ADA	55
	Motorcycle	3
	Bicycle	4
		6

Construction of a new tilt-up concrete fully sprinkled agricultural warehouse to be used for cannabis cultivation. Existing parking for Ray's Flooring (existing warehouse) to be divided wherein the new counts for each of the structures meet all requirements. Shared parking agreement is on file.




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NM SOL
Phase 1 Tenant Addition
for Ray's Flooring
Los Volcanes Road NW
Albuquerque, NM 87121



Architect/Engineer Seal

	05/20/2023	OWNER CHANGES
	05/12/2023	COA PERMIT COMMENTS
	04/26/2023	TCL COMMENTS
<i>mark</i>	<i>date</i>	<i>description</i>
<i>revisions</i>		
<i>issue</i>	Permit CDs	
<i>project no</i>	2219	
<i>drawn by</i>	DGP	
<i>checked by</i>	DGP	
<i>date</i>	March 28, 2023	

ARCHITECTURAL SITE PLAN
TRAFFIC CONTROL LAYOUT

AS102 TCL

used for cannabis cultivation. Existing parking for Ray's Flooring (existing warehouse) to be divided wherein the new counts for each of the structures meet all requirements. Shared parking agreement is on file.

SECTION FLANGE MOUNT
SECTION GUSSET MOUNT
SURFACE MOUNTS

C2 BICYCLE RACK
NOT TO SCALE

REFER TO AS101 TCL FOR MORE DIMENSIONS

PROPERTY LINE

539.20'

313'-8 1/2"

EDGE OF NEW PAVING, MATCH EXISTING

REFER TO CIVIL SIDEWALK TRENCHES AND SWALES FROM ROOF DRAINS

REFER TO LANDSCAPE PLAN

SIDEWALK WITH STAIRS AND RETAINING WALL, REFER TO CIVIL AND STRUCTURAL

LOADING DOCK

31'-3 1/2"

15'-4"

R2'-0"

R3'-0"

CONCRETE SWALE, REFER TO CIVIL

SIDEWALK WITH STAIRS, GUARDRAILS, AND RETAINING WALL, REFER TO CIVIL AND STRUCTURAL

13'-0"

136.39'

EXISTING FIRE HYDRANT

REFER TO LANDSCAPE PLAN

EXISTING PARKING SPACES (REFER AS101 FOR DIMS) AND ISLAND IN ASPHALT PARKING LOT, PATCH LOT AS NECESSARY AFTER CONSTRUCTION

BICYCLE RACK, REFER TO DETAIL THIS SHEET

CO2 TANKS, SCREENED, ON CONCRETE PAD WITH BOLLARDS

12'-0"

6'-0"

5'-7 1/2"

2'-6 1/2"

5'-11"

20'-1"

14'-0"

R2'-0"

R15'-0"

RAMP, REFER TO CIVIL

BUILDING ENTRY

EXISTING WALK

NEW SIDEWALK, CONNECT TO EXISTING

6'-0"

4'-6 1/2"

3'-7 1/2"

4'-6 1/2"

6'-0"

5'-7"

13'-0"

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EXISTING FIRE HYDRANT

REFER TO LANDSCAPE PLAN

EXISTING FENCING PROTECT DURING CONSTRUCTION

PONDING AREA, REFER TO CIVIL

PROPERTY LINE

S 15°07'49" E

66'-3"

40'

528.96'

11'-0"

R15'-0"

4'-6 1/2"

78'-4 1/2"

30'

22'-2"

6'-7 1/2"

6'-0"

11'-0"

4'-6 1/2"

6'-0"

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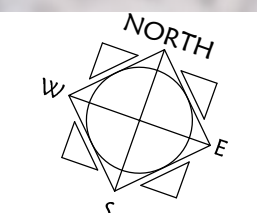
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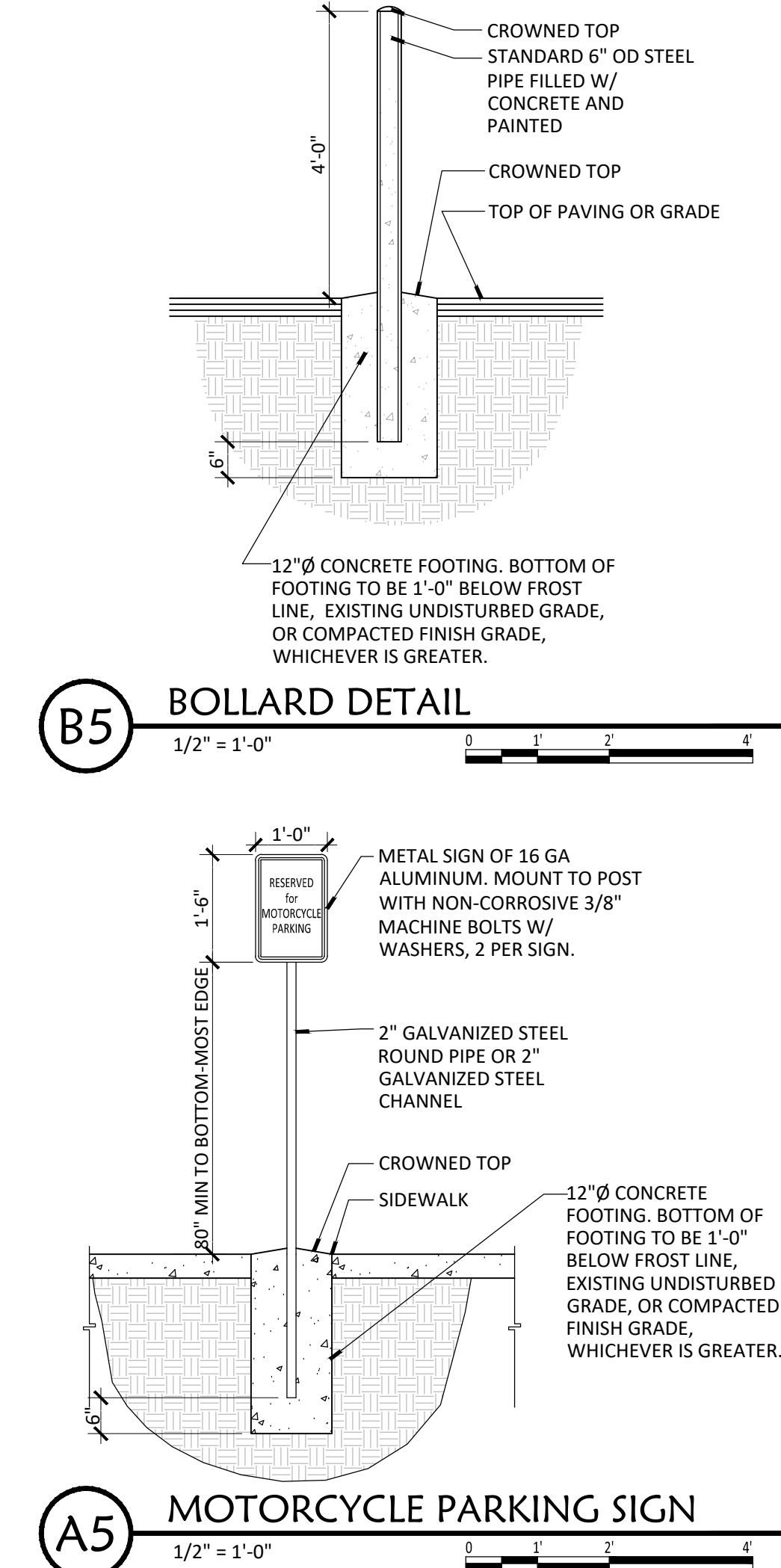
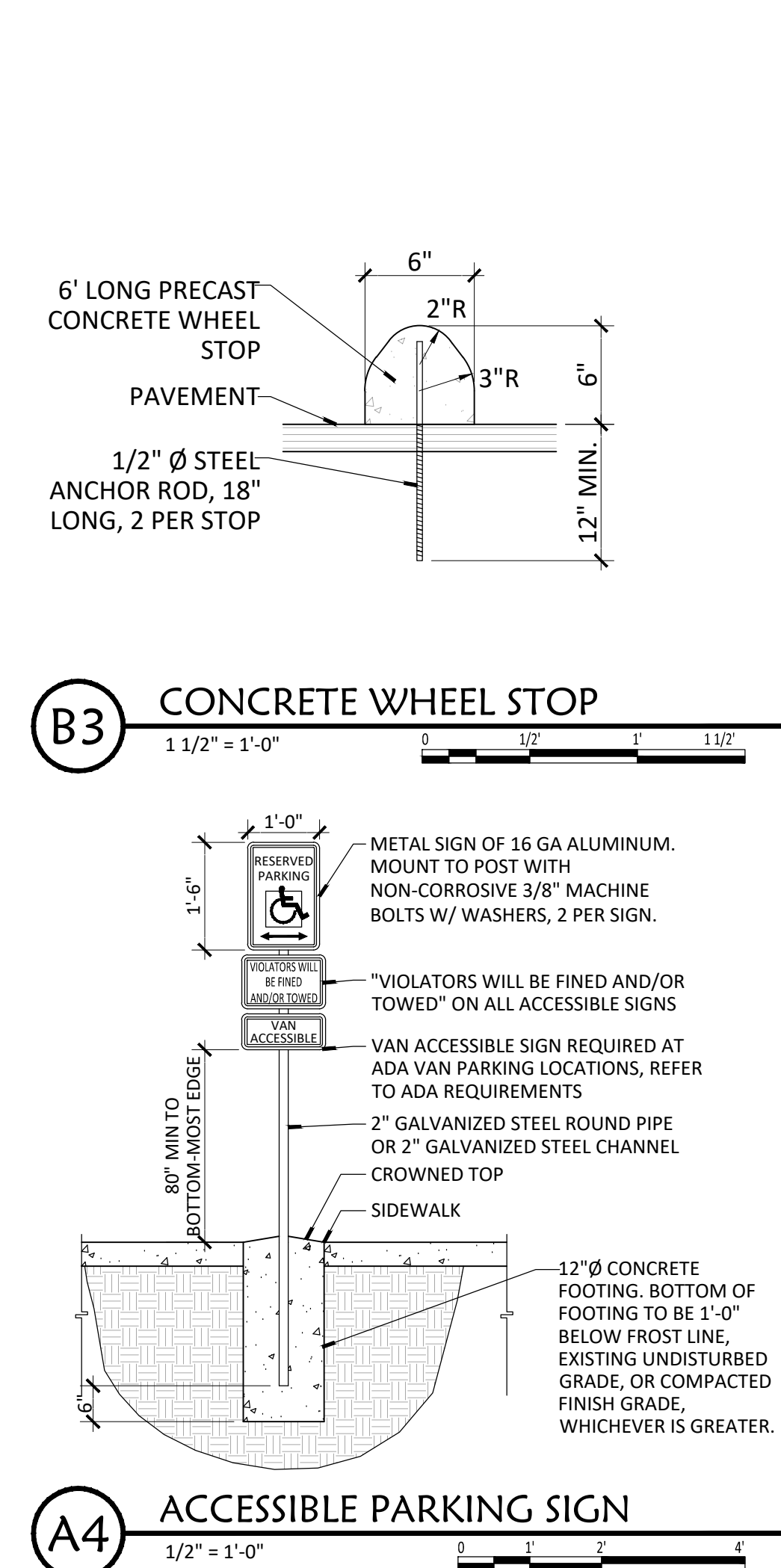
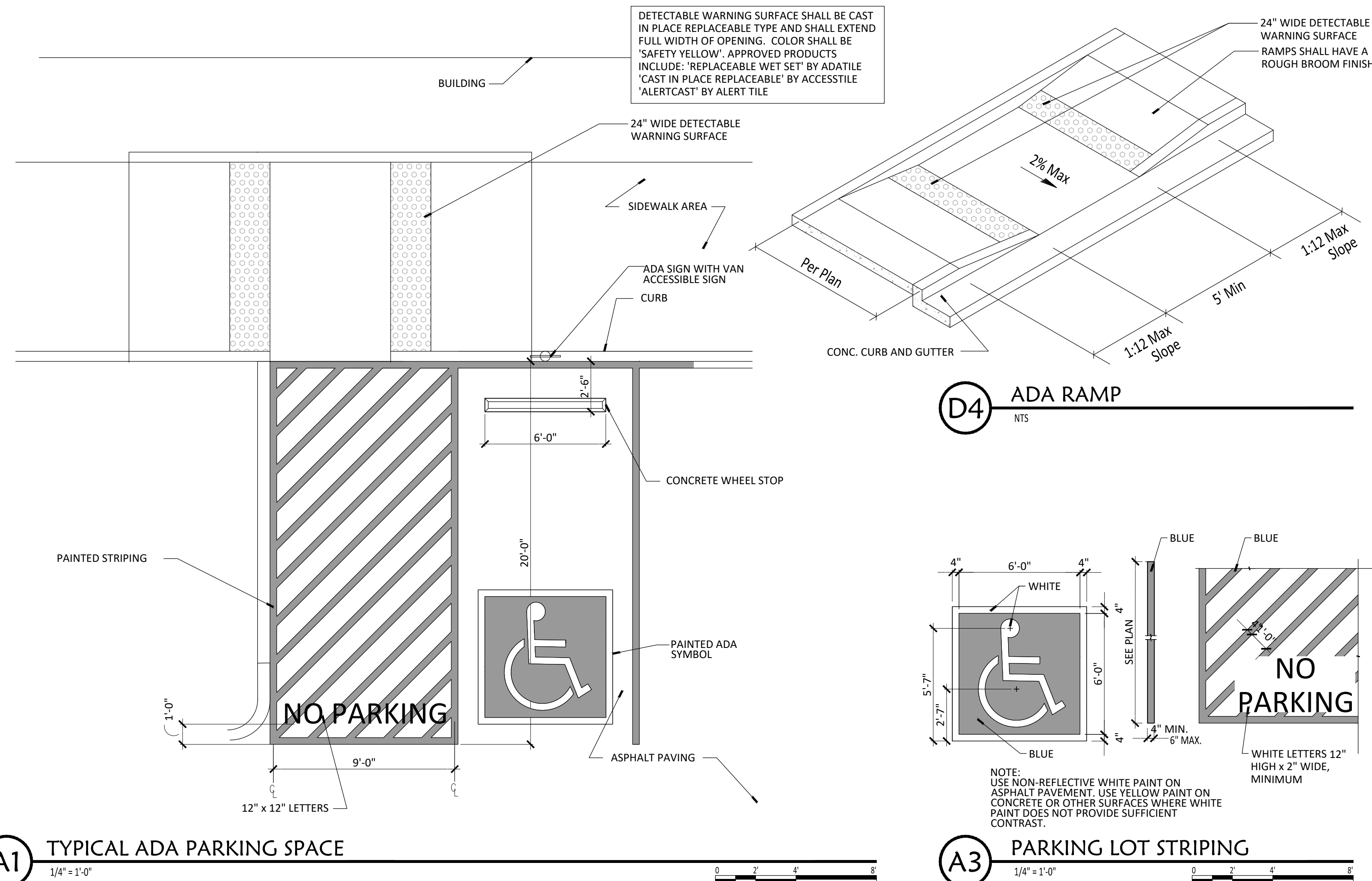
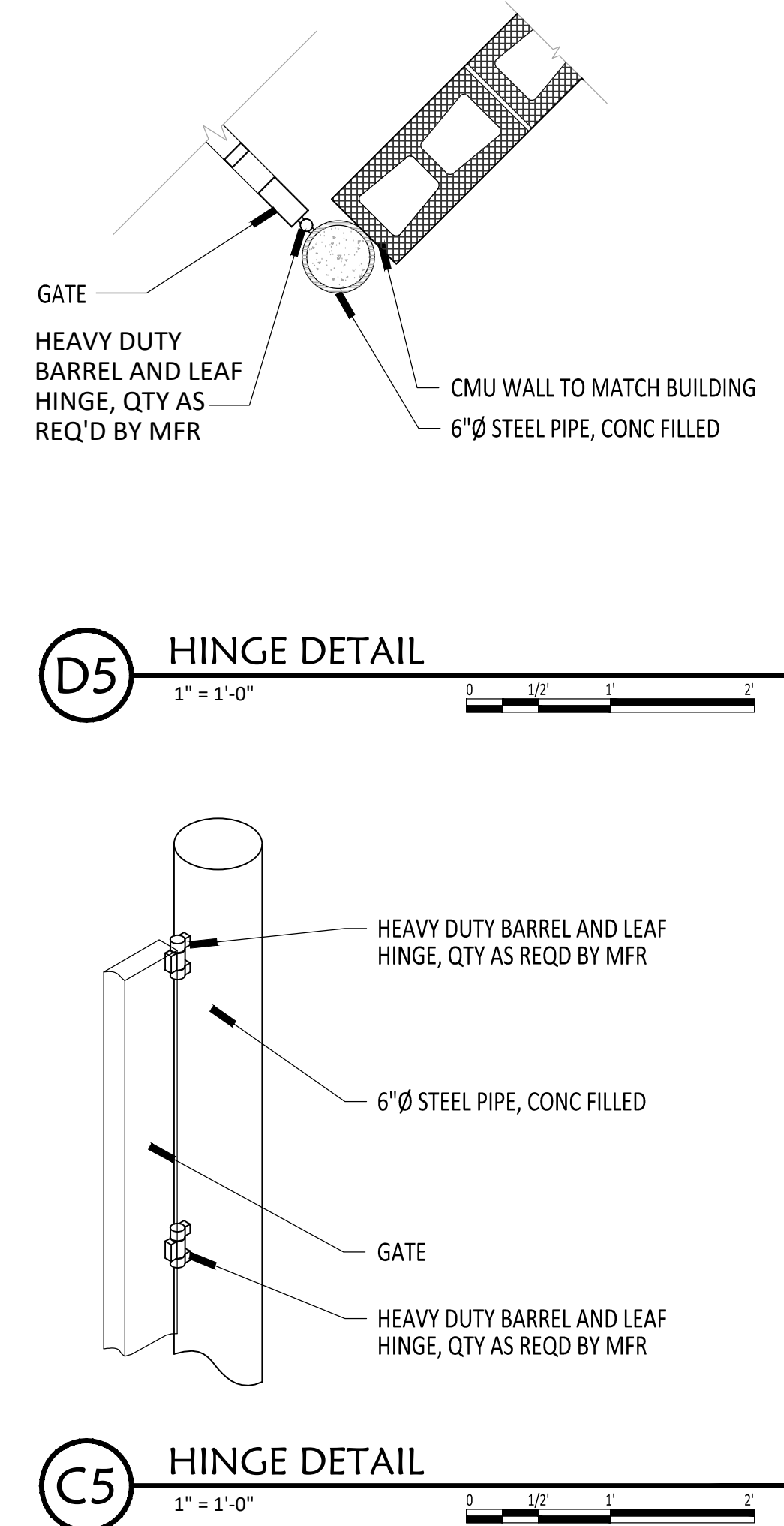
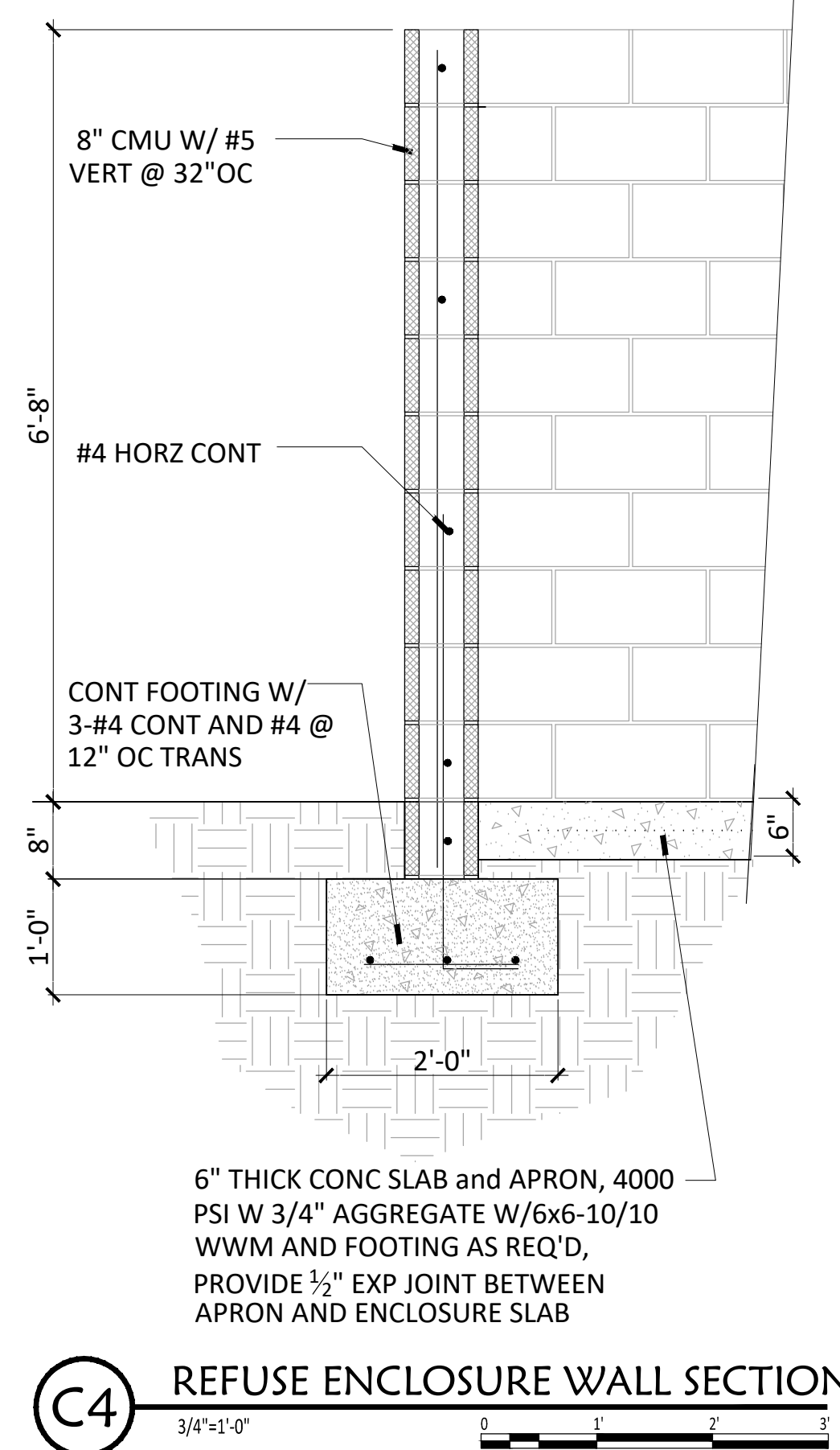
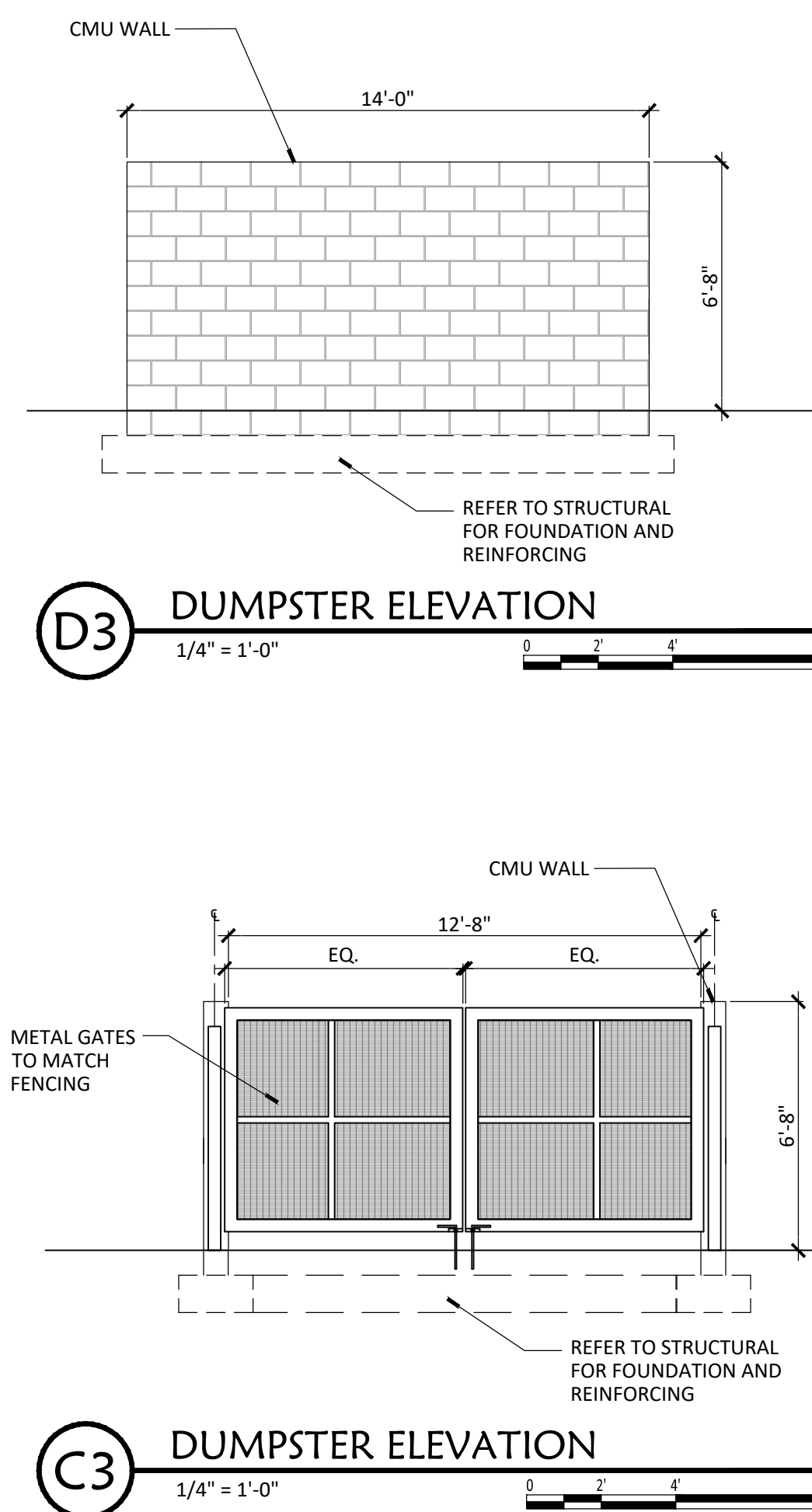
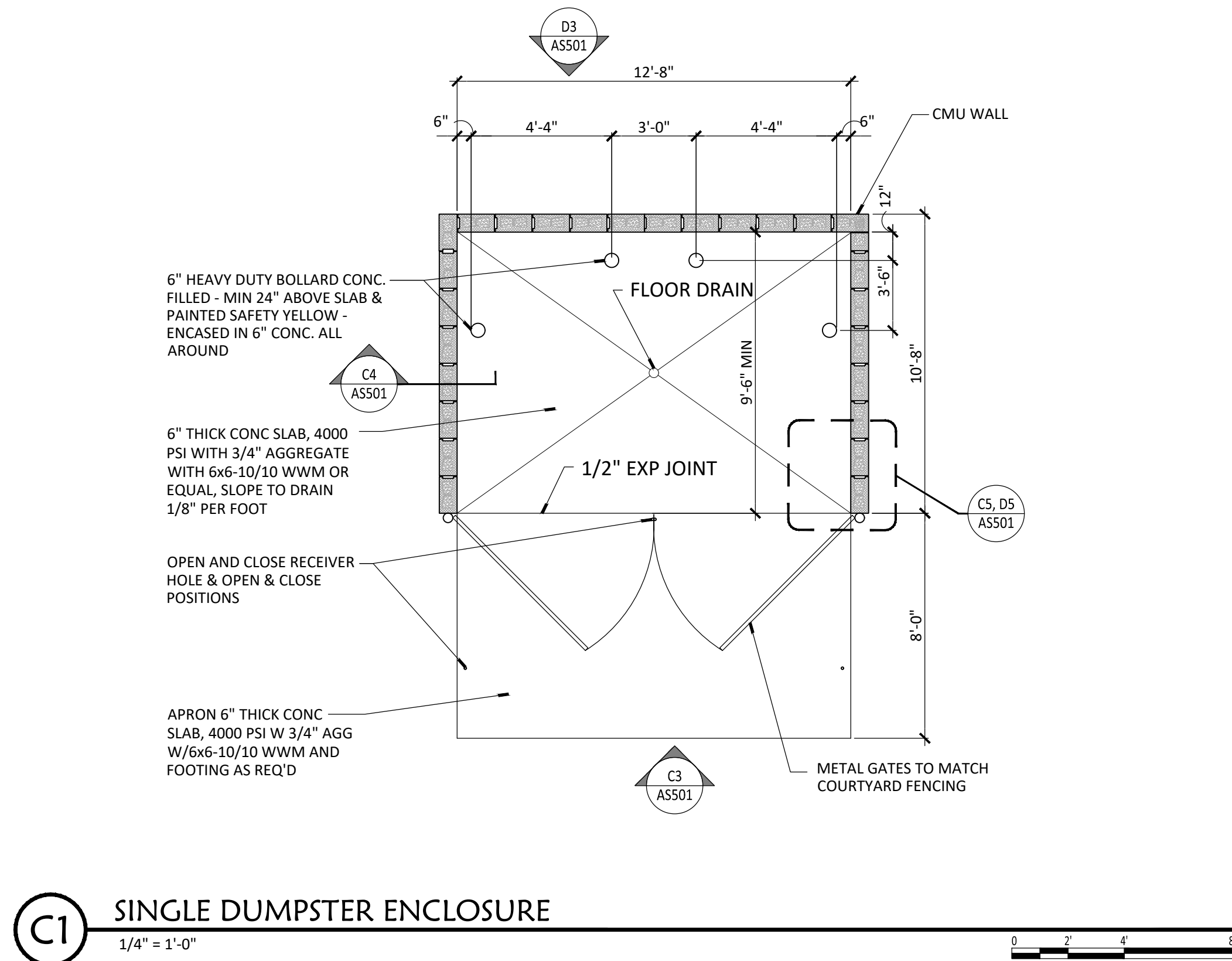
5'-7"

A1 Architectural Site Plan / Traffic Control Layout

$$1'' = 20'-0''$$


ENCLOSURE NOTES:

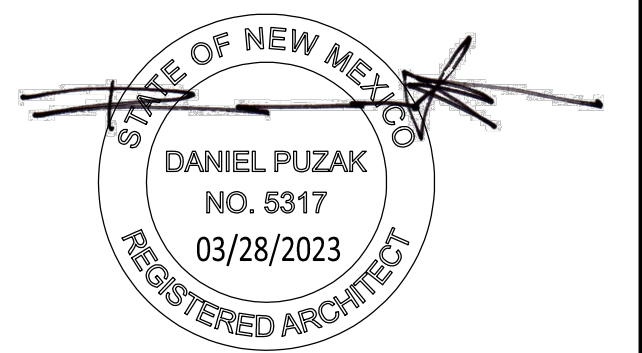
- SOLID WASTE IS TO PROVIDE ALL INSPECTIONS ON THE TRASH ENCLOSURE SUCH AS PRE-POUR FOR SLAB AND APRON, BOND BEAM, BOLLARD, AND FINAL INSPECTION. INSPECTIONS WILL BE CONTINGENT FOR SOLID WASTE SIGN OFF FOR FINAL CO.
- REAR BOLLARDS ARE TO MEASURE NO MORE THAN 12" FROM BACK CMU WALL TO CENTER. BOLLARDS ARE TO MEASURE A MINIMUM OF 24" ABOVE CONCRETE.



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NM SOL
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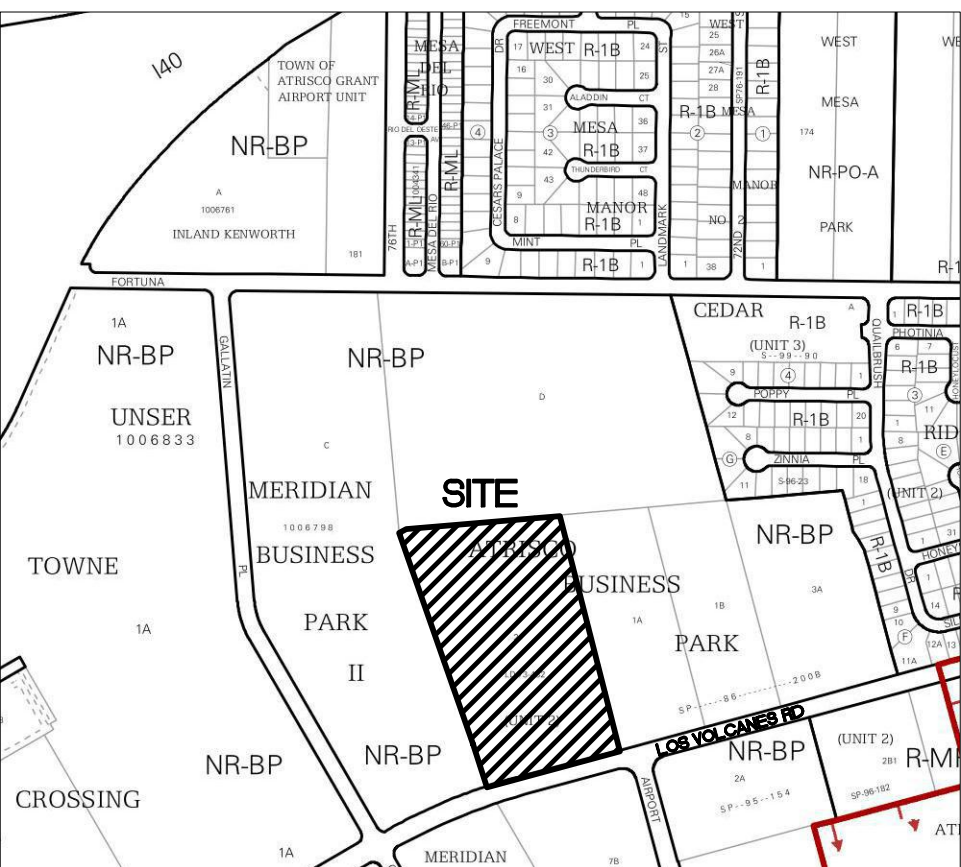
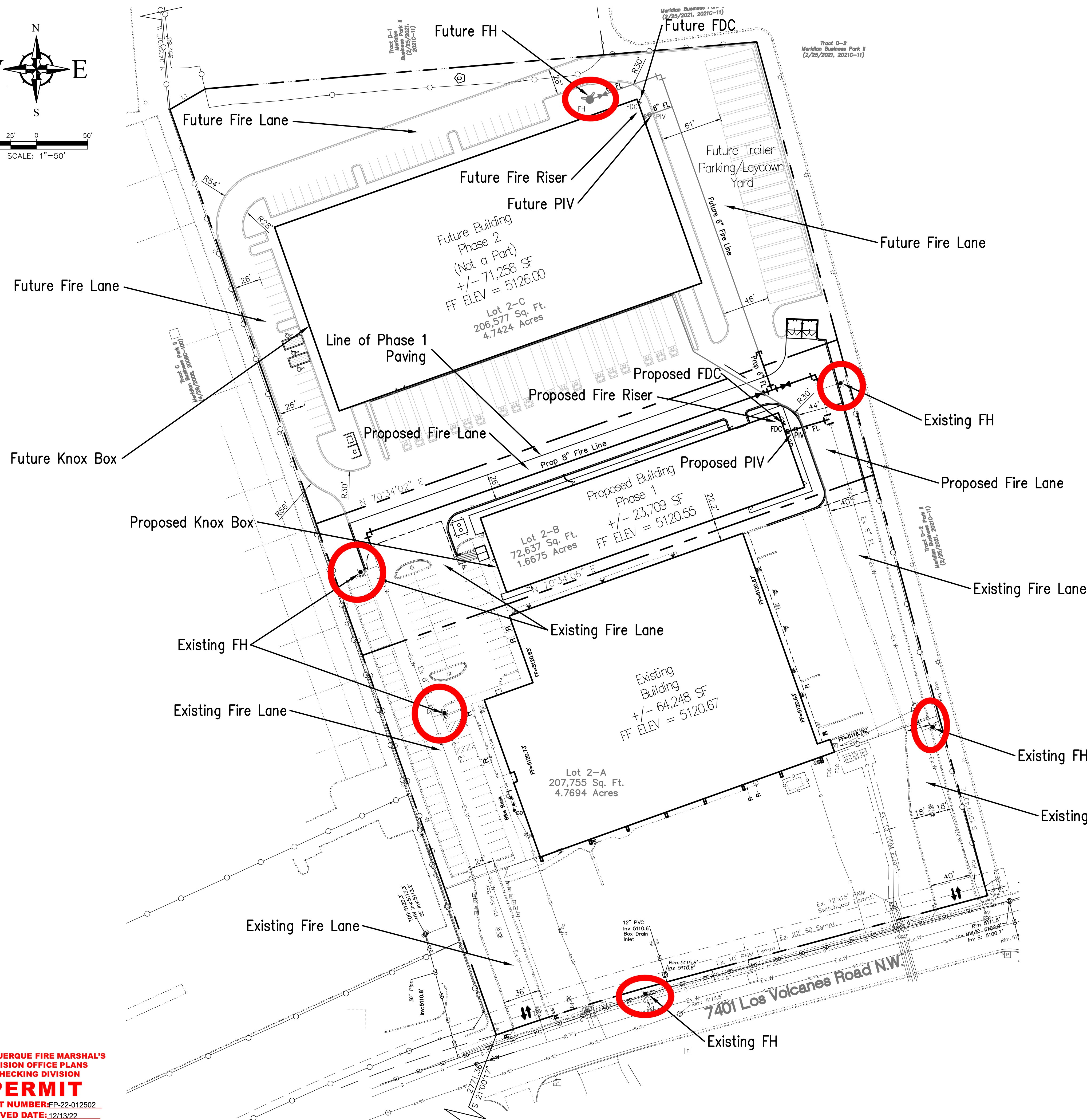
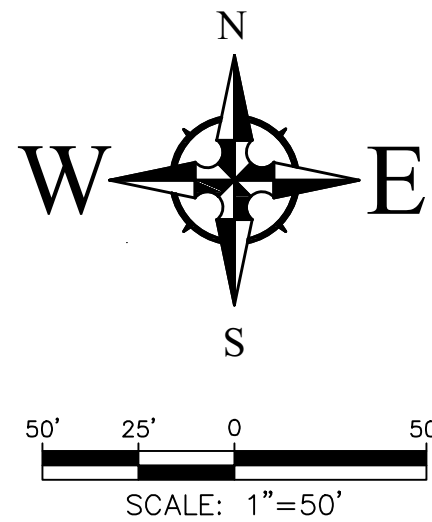


Architect/Engineer Seal

mark	date	description
revisions		
issue		Permit CDs
project no		2219
drawn by		DGP
checked by		DGP
date		March 28, 2023

SITE DETAILS

AS501



VICINITY MAP
LEGAL DESCRIPTION:
Lot 2, in Tract "S-1" of Unit 2, Atrisco Business Park, Albuquerque, NM.

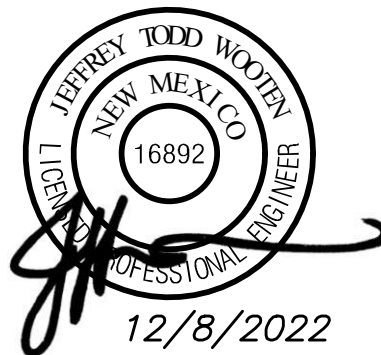
FIRE ONE PLAN TABLE – Phase 1 Building	
PROPOSED BUILDING AREA:	±23,709 SF
BUILDING HEIGHT:	22', Single Story
CONSTRUCTION TYPE:	III-A, SPRINKLED
REQUIRED FIRE FLOW*	XXXX GPM
# FIRE HYDRANTS REQUIRED	1

FIRE ONE PLAN TABLE – Future Phase 2 Building	
FUTURE BUILDING AREA:	±71,258 SF
BUILDING HEIGHT:	24', Single Story
CONSTRUCTION TYPE:	III-B, SPRINKLED
REQUIRED FIRE FLOW*	XXXX GPM
# FIRE HYDRANTS REQUIRED	1

- FIRE 1 PLAN NOTES:**
- Building shall have approved Address Numbers placed in a position plainly legible from adjacent road. The numbers must be 24" tall with 4" wide letters when the building is more than 200' away from the roadway.
 - Fire Lanes shall have an approved driving surface capable of supporting the imposed load of Fire Apparatus weighing at least 75,000 pounds.
 - Fire Lanes grades shall not exceed 10% in any direction.



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Ray's Flooring
Phase 1 Tenant Addition
NM Sol
7401 Los Volcanes Road NW
Albuquerque, NM 87121

mark	date	description
revisions		
issue		30% REVIEW PLANS
project no		2021034
drawn by		
checked by		
date		December 5, 2022

FIRE 1 PLAN

F1



ALBUQUERQUE FIRE MARSHAL'S
DIVISION OFFICE PLANS
CHECKING DIVISION
PERMIT
PERMIT NUMBER: EP-22-012502
APPROVED DATE: 12/13/22
APPROVED

THESE CONSTRUCTION DOCUMENTS WERE REVIEWED AND APPROVED BY THE ALBUQUERQUE FIRE MARSHAL'S OFFICE IN ACCORDANCE WITH THE CITY ORDINANCE, THE INTERNATIONAL FIRE CODE, AND NFPA STANDARDS. THIS PERMIT IS VALID FOR 180 DAYS. FINAL INSPECTION IS REQUIRED.
FIRE FLOW: 1075 GPM, 1 HYDRANT, III-A



Wooten Engineering
PO Box 15814
Rio Rancho, NM 87174
Phone: (505) 980-3560



City of Albuquerque

Planning Department
Development Review Services Division

Traffic Scoping Form (REV 07/2020)

Project Title: NM Sol
Building Permit #: BP-2023-10760 **Hydrology File #:** _____
Zone Atlas Page: J-10-Z **DRB#:** _____ **EPC#:** _____ **Work Order#:** _____
Legal Description: Lot 2-B, Tract S-1, Atrisco Business Park, Unit 2, City of Albuquerque, Bernalillo County, New Mexico
Development Street Address: behind 7401 Los Volcanes NW (address to be assigned upon approved plat recording)
Applicant: ARIA Studio Consultants Inc **Contact:** Debra West
Address: 100 Gold Ave SW, Ste 205, Albuquerque, NM 87102
Phone#: 505-453-5813 **Fax#:** _____
E-mail: debra@ariascinc.com

Development Information

Build out/Implementation Year: 2023 **Current/Proposed Zoning:** NR-BP
Project Type: New: ☒ Change of Use: ☐ Same Use/Unchanged: ☐ Same Use/Increased Activity: ☐
Change of Zoning: ☐
Proposed Use (mark all that apply): Residential: ☐ Office: ☐ Retail: ☐ Mixed-Use: ☐ Agriculture
Describe development and Uses:
New 23,924 sf concrete tilt-up panel warehouse to be used for cannabis cultivation and production

Days and Hours of Operation (if known): _____

Facility

Building Size (sq. ft.): 23,924
Number of Residential Units: _____
Number of Commercial Units: 1

Traffic Considerations

ITE Trip Generation Land Use Code industrial, wholesaling and distribution center
Expected Number of Daily Visitors/Patrons (if known):* _____
Expected Number of Employees (if known):* 10
Expected Number of Delivery Trucks/Buses per Day (if known):* 2-4
Trip Generations during PM/AM Peak Hour (if known):* _____
Driveway(s) Located on: Street Name Los Volcanes Road

ITE Land Use #190
Marijuana Cultivation
and Processing Facility
23,924 sq ft
AM peak 16 trips
PM peak 14 trips

Adjacent Roadway(s) Posted Speed: Street Name Los Volcanes Road Posted Speed 35mph
Street Name Posted Speed

** If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

Roadway Information (adjacent to site)

Comprehensive Plan Corridor Designation/Functional Classification: Unser Blvd major collector
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: Community planning area Southwest Mesa, urban area
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): _____

Adjacent Roadway(s) Traffic Volume: _____ Volume-to-Capacity Ratio (v/c): _____
38,858, North of Los Volcanes-South of I-40 S Ramps (2005) (if applicable)

Adjacent Transit Service(s): Bus & Bicycle Paths Nearest Transit Stop(s): Bus Stop at Coors & Los Volcanes

Is site within 660 feet of Premium Transit?: no

Current/Proposed Bicycle Infrastructure: bike trails and lanes within Los Volcanes ROW
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: existing sidewalk and connecting sidewalk

Relevant Web-sites for Filling out Roadway Information:

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf (Map Pages 75 to 81)

TIS Determination

Note: Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [] No ☒

Thresholds Met? Yes [] No ☒

Mitigating Reasons for Not Requiring TIS: _____ Previously Studied: []

Notes:

M. P. E.

5/22/2023

TRAFFIC ENGINEER

DATE

Submittal

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to plndrs@cabq.gov and to the City Traffic Engineer mgrush@cabq.gov. Call 924-3362 for information.

Site Plan/Traffic Scoping Checklist

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
4. Location of nearby multi-use trails, if applicable ([*check MRCOG Bikeways and Trails in the 2040 MTP map*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.