CITY OF ALBUQUERQUE



December 10, 2009

Garlan Bryan, R.A. 2403 San Mateo Blvd. NE Suite W-1 Albuquerque, NM 87110

Re: New Life Baptist Church Gymnasium and Classroom Addition,

6900 Los Volcanes Rd NW

Permanent Certificate of Occupancy – Transportation Development

DRB Site Plan (1001426) (J10-D029)

Certification dated 12-10-09

Dear Mr. Bryan,

PO Box 1293

Based upon the information provided in your submittal received 12-10-09, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

www.cabq.gov

///

Sincerely,

Kristal D. Metro, P.E.

Traffic Engineer, Planning Dept.

Development and Building Services

C:

CO Clerk File Garlan Bryan Architect

J-10/D029

2403 San Mateo Blvd. NE Suite W-1

Albuquerque, N.M. 87110 Phone: 505.884.9694 Fax: 505.872.0437

December 10, 2009

Project: 6900 Los Volcanes Rd. NW, New Life Baptist Church Gymnasium & Classroom Addition

TRAFFIC CERTIFICATION

I, Robert Rayner, Associated, of the firm Garlan Bryan Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated 11/29/2009(parking revision). The record information edited onto the original design document has been obtained by Garlan Bryan Architect. I further certify that I have personally visited the project site on 12/10/2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

Exceptions:

None

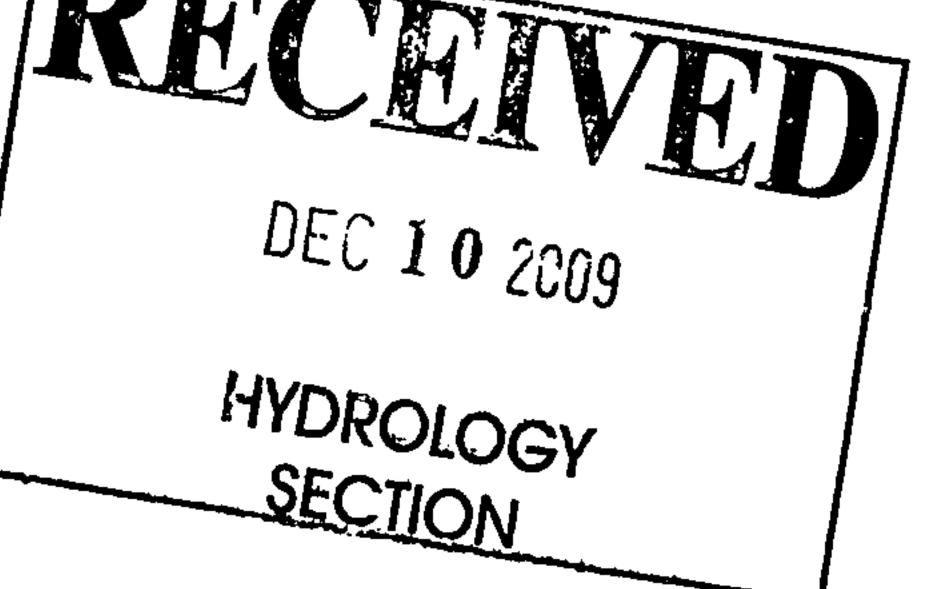
Deficiencies:

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Robert Rayner, Associate,

Garlan Bryan Architects

12/0/09 (Date)





CITY OF ALBUQUERQUE





October 1, 2009

Garlan Bryan, Registered Architect 2403 San Mateo Blvd. NE, Suite W-1 Albuquerque, NM 87110

Re: New Life Baptist Church Gymnasium and Classroom Addition,

6900 Los Volcanes Rd NW,

Temporary Certificate of Occupancy – Transportation Development

DRB Site Plan (1001426), File(J10-D029)

Certification dated 09-25-09

Dear Mr. Bryan,

PO Box 1293

Based upon the information provided in your submittal received 09-30-09, the above referenced certification is approved for a second 90-day Temporary Certificate of Occupancy by Transportation Development for the outstanding Administrative Amendment to The DRB Site Plan to reflect approved changes.

Albuquerque

If you have any questions, you can contact me at 924-3630.

NM 87103

www.cabq.gov

Nila Salgado-Fornandez, P.E.

Senior Traffic Engineer, Planning Dept.

Development and Building Services

C: CO Clerk

File

12-04-09
12-04-09
30-day extension of temp CO
30-day exten

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (EV 12/2005)

₹2

PROJECT TITLE:	EPC#:	•	ZONE MAP. JO/D29 K ORDER#:
LEGAL DESCRIPTION CITY ADDRESS:	: 6900 Los 1/e		
ADDRESS:	ADVANCED ENGIN	EERNG	_ CONTACT: <u>SHAHAB</u> _ PHONE: <u>399-5570</u> ZIP CODE:
OWNER: LARRY	E. ALLEN	155 NW NM 82120	CONTACT: \$249-6011 PHONE: 249-6011 ZIP CODE: 8712-0
ARCHITECT: SAPLA ADDRESS: CITY, STATE:			CONTACT: PHONE: ZIP CODE:
SURVEYOR:ADDRESS: ADDRESS: CITY, STATE: _	ANCED ENGINE	ERING	CONTACT: SHAHAB PHONE: 899-5570 ZIP CODE:
CONTRACTOR:ADDRESS:CITY, STATE:	MES BY DANIEL 4322 CENTRAL ALBUQUERQUE	ELC AUE NW NM 87121	CONTACT: JEIRY DANIELE PHONE: (520-6050) ZIP CODE: 187121-
TYPE OF SUBMITTAL: DRAINAGE RE DRAINAGE PL DRAINAGE PL CONCEPTUAL GRADING PLA EROSION CON ENGINEER'S C CLOMR/LOMR TRAFFIC CIRCL ENGINEER'S C	PORT AN 1st SUBMITTAL AN RESUBMITTAL G & D PLAN N TROL PLAN ERT (HYDROLOGY) ULATION LAYOUT ERT (TCL) ERT (DRB SITE PLAN)	HECK TYPE OF APPROSIA/FINANCIAL PRELIMINARY S. DEV. PLAN F S. DEV. FOR BI SECTOR PLAN FINAL PLAT AL FOUNDATION BUILDING PER CERTIFICATE OF APPROSICATE OF AP	DVAL SOUGHT: L GUARANTEE RELEASE PLAT APPROVAL FOR SUB'D APPROVAL DG. PERMIT APPROVAL APPROVAL PERMIT APPROVAL MIT APPROVAL OF OCCUPANCY (PERM) OF OCCUPANCY (TEMP) MIT APPROVAL EL APPROVAL APROVAL
WAS A PRE-DESIGN COYESNOCOPY PROVIDE	NFERENCE ATTENDED:		9/30/09 HYDROLOGY SECTION
DATE SUBMITTED:			RY.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Garlan Bryan Architect



2403 San Mateo Blvd. NE Suite W-1 Albuquerque, N.M. 87110 Phone: 505.884.9694 Fax: 505.872.0437

September 24, 2009

- Land - 1986

Project: 6900 Los Volcanes Rd. NW,
New Life Baptist Church Gymnasium & Classroom Addition

TRAFFIC CERTIFICATION

I, Garlan Bryan, Architect, of the firm Garlan Bryan Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated 9/15/2008. The record information edited onto the original design document has been obtained by Garlan Bryan Architect. I further certify that I have personally visited the project site on 9/25/2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

Exceptions:

Approved Amended Site Plan

Deficiencies:

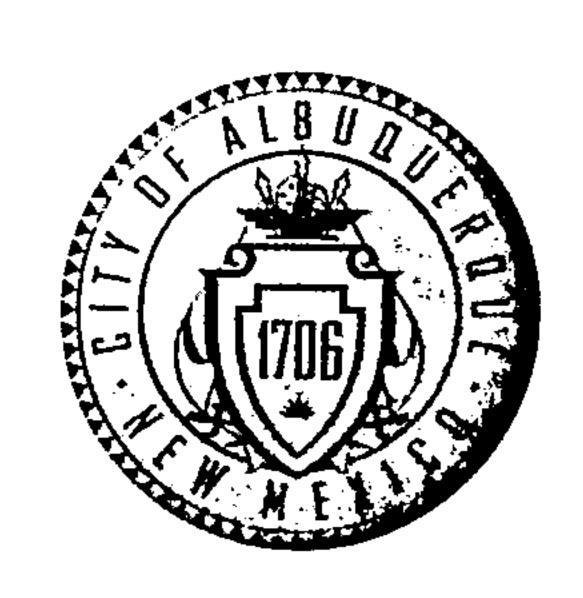
The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

(Garlan Bryan, Architect)

7-25-09(Date)



CITY OF ALBUQUERQUE



August 21, 2009

Garlan Bryan, R.A. 2403 San Mateo Blvd. NE Suite W-1 Albuquerque, NM 87110

Re: New Life Baptist Church Gymnasium and Classroom Addition, 6900 Los Volcanes Rd NW,

Temporary Certificate of Occupancy – Transportation Development DRB Site Plan (1001426) (J10-D029)

Certification dated 08-21-09

Dear Mr. Bryan,

PO Box 1293

Based upon the information provided in your submittal received 08-21-09, the above referenced certification is approved for release of 90-day Temporary Certificate of Occupancy by Transportation Development.

Albuquerque

If you have any questions, you can contact me at 924-3991.

NM 87103

Kristal D. Metro, P.E.

Sincerely,

www.cabq.gov

Traffic Engineer, Planning Dept. `Development and Building Services

C: CO Clerk File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NEW LIFE BAPTIST ACADE	47ZONE MAP:
DRB#: EPC#:	WORK ORDER#:
LEGAL DESCRIPTION: 6900 LOS VOLCANES CITY ADDRESS:	Nw.
ENGINEERING FIRM: ADVANCED ENGINEERING SIRM: ADDRESS:	CONTACT: <u>SHAHAB</u> PHONE: <u>399 - 55 7 o</u> ZIP CODE:
OWNER: LARRY E. ALLEN ADDRESS: 6900 LOS VOLCANES NW CITY, STATE: SLBUQUERQUE, NM 87	CONTACT: \$249-6011 PHONE: 249-6011 ZIP CODE: 8712-3
ARCHITECT: ARLAN BRYAN ADDRESS: CITY, STATE:	CONTACT:PHONE: ZIP CODE:
SURVEYOR: ADVANCE DENGINEERING ADDRESS: CITY, STATE:	CONTACT: <u>SHAHAB</u> PHONE: <u>899-5570</u> ZIP CODE:
CONTRACTOR: HOMES BY DANIELE, WC ADDRESS: 14322 CENTRAL AUS NW CITY, STATE: ALBUQUERQUE, NM 8713	CONTACT: <u>JEIRY DANIELE</u> PHONE: <u>620-6050</u> 21 ZIP CODE: <u>87121</u>
DRAINAGE REPORT DRAINAGE PLAN 1st SUBMITTAL DRAINAGE PLAN RESUBMITTAL CONCEPTUAL G & D PLAN GRADING PLAN EROSION CONTROL PLAN ENGINEER'S CERT (HYDROLOGY) TRAFFIC CIRCULATION LAYOUT ENGINEER'S CERT (TCL) SIA/FINAN PRELIMIN SIDEV. PL SIA/FINAN PRELIMIN SIDEV. PL SIA/FINAN PRELIMIN SIDEV. PL SIA/FINAN FINAL PLA FINAL PLA FINAL PLA CERTIFICA CERTIFICA CERTIFICA	DER APRIVAL
WAS A PRE-DESIGN CONFERENCE ATTENDED:YES	AUG 21 2009
NO COPY PROVIDED	HYDROLÔGY SECTION
η δια διασιμέρη.	DV.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
- 3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

Garlan Bryan Architect

2403 San Mateo Blvd. NE Suite W-1 Albuquerque, N.M. 87110 Phone: 505.884.9694 Fax: 505.872.0437

AUG 21 2009

HYDROLOGY

SECTION

August 20, 2009

Project: 6900 Los Volcanes Rd. NW, New Life Baptist Church Gymnasium & Classroom Addition

TRAFFIC CERTIFICATION

I, Garlan Bryan, Architect, of the firm Garlan Bryan Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated 9/15/2008. The record information edited onto the original design document has been obtained by Garlan Bryan Architect. I further certify that I have personally visited the project site on 8/20/2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a temporary certificate of occupancy.

Exceptions:

Approved Amended Site Plan

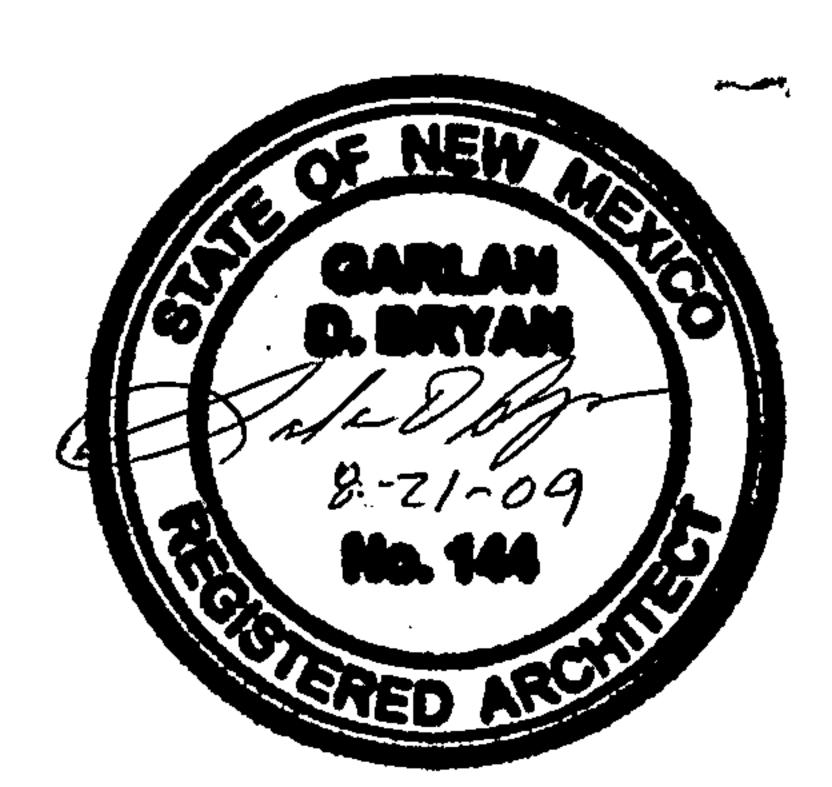
Deficiencies:

- Parking median endcaps have not yet been installed on North side of building.
- Parking lot striping is not entirely completed.
- Concrete work has not been installed yet. IAW. Amended site plan.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

(Garlan Bryan, Architect)

3-21-09 (Date)



Metro, Kristal D.

From:

Jerry Daniele [homesbydaniele@yahoo.com]

Sent:

Friday, August 21, 2009 7:58 AM

To:

Metro, Kristal D.

Subject:

Pic for New Life Academy Job

Attachments: 018.JPG; 017.JPG

Kristal,

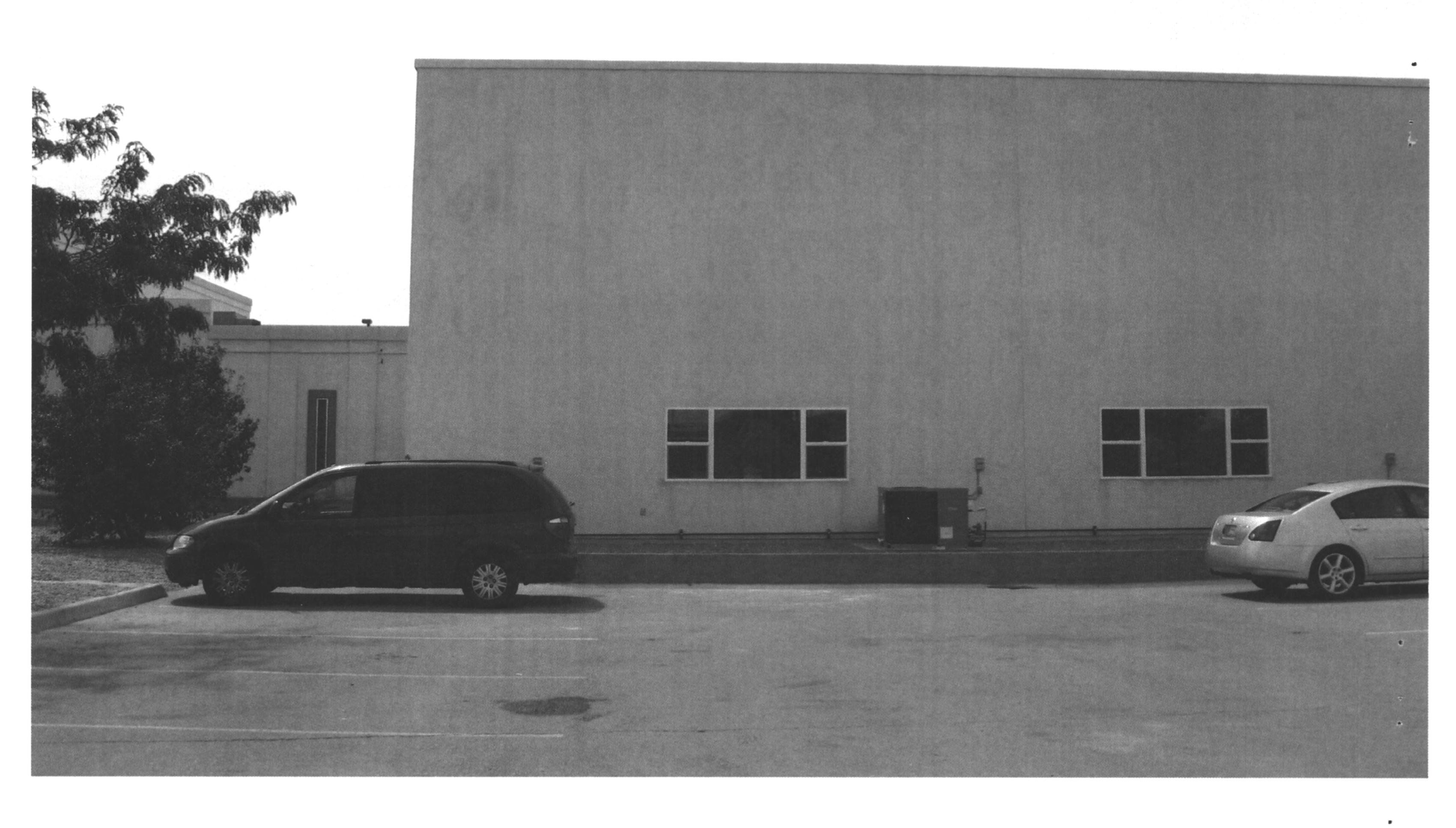
Attached are the pics you asked for. Thanks for your help.

Jerry Daniele



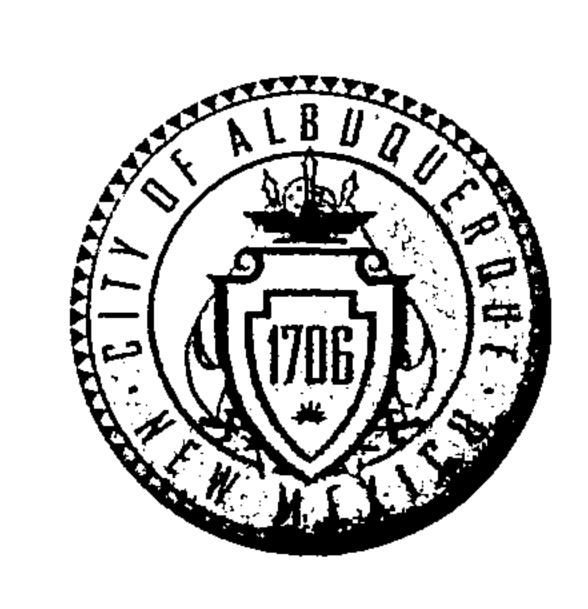
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CITY OF ALBUQUERQUE



September 23, 2009

Shahab Biazar, P.E.

Advanced Engineering & Consulting, LLC

4416 Anaheim Avenue NE

Albuquerque, NM 87113

Re: New Life Baptist Church Addition, 6900 Los Volcanes Rd NW,

(J-10/D029)

Approval of Permanent Certificate of Occupancy—Approved,

Engineer's Stamp Dated: 11-08-07

Certification Stamp Date: 09-14-09

PO Box 1293

Albuquerque

Dear Mr. Biazar,

Based upon the information provided by our visual inspection on 9/23/09, the above

referenced certification is approved for release of Permanent Certificate of Occupancy

by Hydrology.

If you have any questions, you can contact me at 924-3982.

NM 87103

I, NEC

Singerely

www.cabq.gov

Tithothy E. Sims
Plan Checker-Hydrology, Planning Dept

Development and Building Services

C: CO Clerk—Katrina Sigala

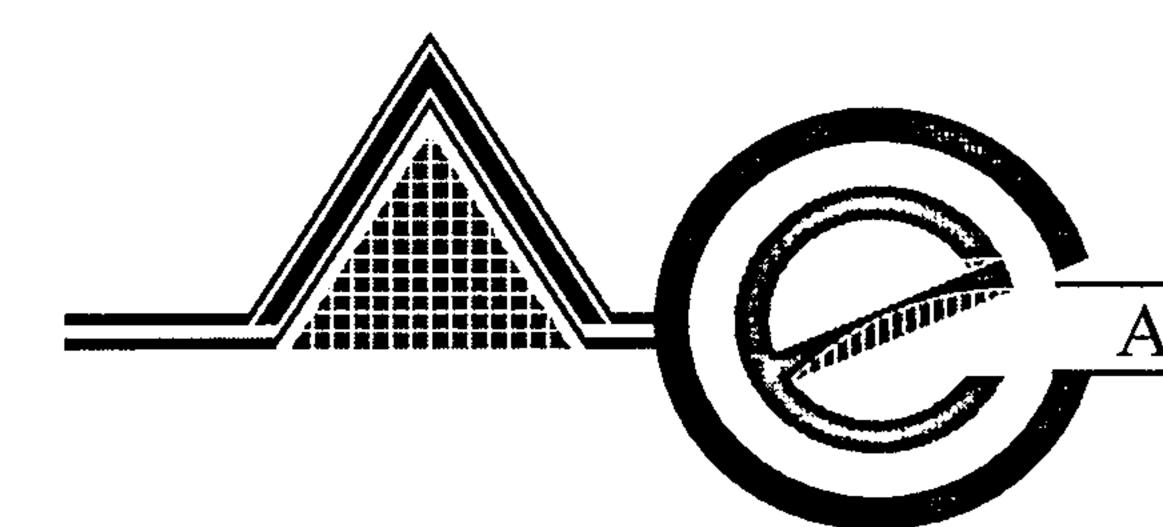
file

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE:	NEW LIFE BAPTIST CHURCH ADDITION	ZONE ATLAS/DRG. FILE #: J10-D29
DRB #:	EPC #:	WORK ORDER #:
LEGAL DESCRIPT		NIT 2, TRACK N, LOT 2-A
CITY ADDRESS:	rdans 19/0cines	
ENGINEERING FIF	RM: Advanced Engineering and Consulting, LLC	CONTACT: Shahab Biazar
	ORESS: 4416 Anaheim Ave., NE	PHONE: (505) 899-5570
CITY, S	TATE: Albuquerque, New Mexico	ZIP CODE: 87113
OWNER:	NDTICC.	CONTACT:
CITY, S'	ORESS:	PHONE: ZIP CODE:
ARCHITECT:		CONTACT:
·	DRESS:	PHONE:
CITY, S'	TATE:	ZIP CODE:
SURVEYOR:		CONTACT:
	ORESS:	PHONE:
CITY, S'	STATE:	ZIP CODE:
CONTRACTOR:		CONTACT:
ADD CITY, S'	ORESS: TATE:	PHONE: ZIP CODE:
0111,0		
CHECK TYPE OF S	SUBMITTAL:	CHECK TYPE OF APPROVAL SOUGHT:
DRAINAG	GE REPORT	SIA / FINANCIAL GUARANTEE RELEASE
DRAINAG	GE PLAN 1ST SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAG	GE PLAN RESUBMITTAL	S. DEV. PLAN FOR SUB'D. APPROVAL
CONCEPT	TUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
GRADING	G PLAN	SECTOR PLAN APPROVAL
EROSION	ONTROL PLAN	FINAL PLAT APPROVAL
X ENGINEE	ER'S CERTIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR/	LOMR	BUILDING PERMIT APPROVAL
TRAFFIC	CIRCULATION LAYOUT (TCL)	X CERTIFICATE OF OCCUPANCY (PERM.)
ENGINEE	ER/ARCHITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP.)
ENGINEE	ER/ARCHITECT CERT (DRB S.P.)	GRADING PERMIT APPROVAL
ENGINEE	ER/ARCHITECT CERT (AA)	PAVING PERMIT PROVAL
DRAINAG	GE CALCULATIONS	WORK ORDER APPROVAL
		OTHER (SPECIFY) SEP 2 3 2009
WAS A DDE DESIG	NI CONFEDENICE ATTENIDED.	
WAS A PRE-DESIG YES	N CONFERENCE ATTENDED:	
X NO		HYDROLOGY
COPY PR	OVIDED	LSECION
DATE SUBMITTED	09 / 14 / 2009	BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5).
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection
Surveying

September 14, 2009

Mr. Timothy Sims
Hydrology Section
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

REG\

3479

RE: FINAL CERTIFICATION OF OCCUPANCY FOR NEW LIFE BAPTIST CHURCH ADDITION (J10-D29)

Dear Mr. Sims:

This letter is in Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 11/08/2007. All the pavement, the storm sewer pipes, and the pond are in place. See enclosed plan for as-built grades.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.

RECEWED

SEP 23 2009

HYDROLOGY SECTION

CITY OF ALBUQUERQUE



July 30, 2009

Shahab Biazar, P.E. Advanced Engineering & Consulting, LLC 4416 Anaheim Avenue NE Albuquerque, NM 87113

New Life Baptist Church Addition, 6900 Los Volcanes Rd. NW, Re:

Approval of 90-Day Certificate of Occupancy (C.O.)

Engineer's Stamp dated 11/08/075 (J-10/D029)

Certification dated 7-27-09

Dear Mr. Biazar,

Based upon the information provided in your submittal received 7-27-09, the above referenced certification is approved for release of a 90 Day Temporary Certificate of

Occupancy by Hydrology.

Prior to Permanent Certificate of Occupancy, an Engineer's Certification per the DPM

is required.

Sincerely

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

PO Box 1293

Albuquerque

NM 87103

Timothy E. Sims

Plan Checker—Hydrology,

Development and Building Services

CO Clerk-Katrina Sigala

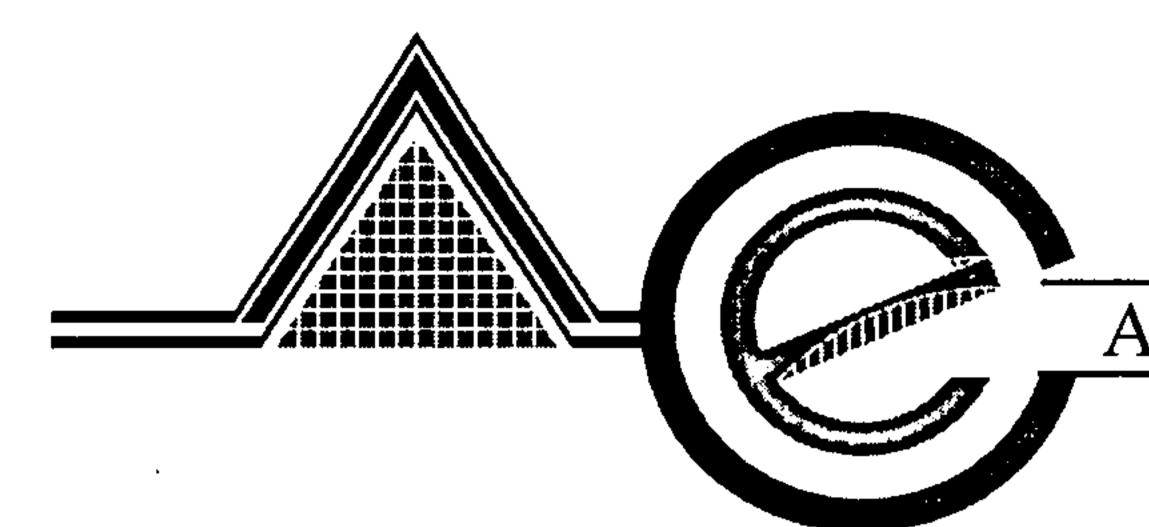
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

PROJECT TITLE: NEW LIFE BAPTIST	CHURCH ADDITION	ZONE AT	LAS/DRG. FILE #: J10-D29
DRB #: EPG	C #:	WORK O	RDER #:
LEGAL DESCRIPTION: ATRISO	CO BUISNESS PARK UNIT 2	, TRACK N, LOT 2-A	
	S Volcanes 12 d		· · · · · · · · · · · · · · · · · · ·
ENGINEERING FIRM: Advanced Engineering	ng and Consulting, LLC	CONTACT: Sha	hab Biazar
ADDRESS: 4416 Anaheim Ave.,			3) 899-5570
CITY, STATE: Albuquerque, New N	Mexico	ZIP CODE: 871	13
OWNER:		CONTACT:	
ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
ARCHITECT:	<u> </u>	CONTACT:	
ADDRESS:		PHONE: ZIP CODE:	······································
CITY, STATE:		211 CODE.	<u> </u>
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE: ZIP CODE:	
CITY, STATE:	<u> </u>	ZIF CODE:	
CONTRACTOR:		CONTACT:	
ADDRESS:CITY, STATE:		PHONE: ZIP CODE:	
DRAINAGE REPORT DRAINAGE PLAN 1ST SUBMITTAL		SIA / FINANCIAL GU. PRELIMINARY PLAT	APPROVAL
DRAINAGE PLAN RESUBMITTAL		S. DEV. PLAN FOR SU	JB'D. APPROVAL
CONCEPTUAL GRADING & DRAINAG	GE PLAN	S. DEV. PLAN FOR BI	LDG. PERMIT APPROVAL
GRADING PLAN	· · · · ·	SECTOR PLAN APPR	OVAL
EROSION CONTROL PLAN		FINAL PLAT APPRO	VAL
X ENGINEER'S CERTIFICATION (HYDI	ROLOGY)	FOUNDATION PERM	IT APPROVAL
CLOMR / LOMR		BUILDING PERMIT A	APPROVAL
TRAFFIC CIRCULATION LAYOUT (T	CL)	CERTIFICATE OF O	CCUPANCY (PERM.)
ENGINEER/ARCHITECT CERT (TCL)		X CERTIFICATE OF O	
ENGINEER/ARCHITECT CERT (DRB		GRADING PERMIT A	PPROVAL
ENGINEER/ARCHITECT CERT (AA)		PAVING PERMIT AP	HE RAIT TO THE
DRAINAGE CALCULATIONS	<u> </u>	WORK ORDER APPR	
		OTHER (SPECIFY)	•
	<u>-</u>		JUL 2 7 2009
WAS A PRE-DESIGN CONFERENCE ATTENDE	:D:		
YES			HYDROLOGY
X NO			SECTION
COPY PROVIDED			
TO A COST CITATION ASSESSMENTS.	/ 2000	BY:	Shahab Biazar, P.E.
DATE SUBMITTED: 07/27	/ 4007		

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5).
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection
Surveying

July 27, 2009

Mr. Timothy Sims
Hydrology Section
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

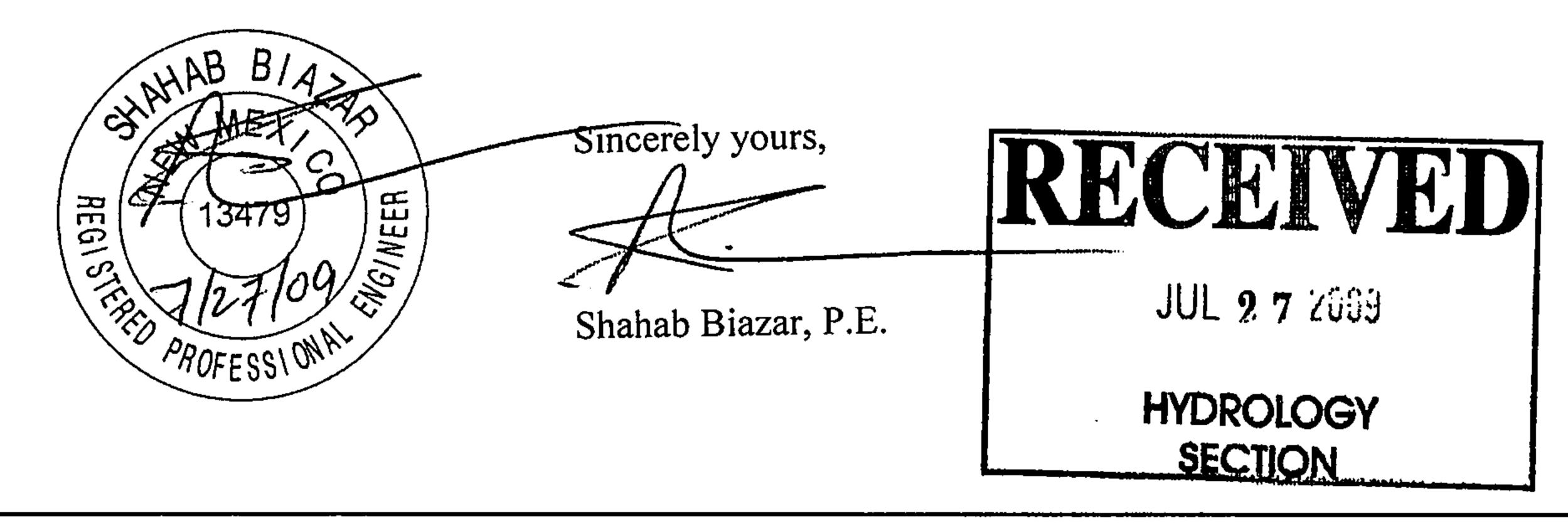
RE: TEMPORARY CERTIFICATION OF OCCUPANCY FOR NEW LIFE BAPTIST CHURCH

ADDITION (J10-D29)

Dear Mr. Sims:

This letter is in request of Temporary Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 11/08/2007. All the pavement, the storm sewer pipes, and the pond are in place. See enclosed plan for as-built grades. Concrete collars should be placed around the outlet of the pipes inside the pond. Ripraps should be placed at the outlet of the pipes and concrete rundown inside the pond. Side slopes of the pond needs to be stabilized. All the landscaping should be in placed prior to Final Certification. Concrete Walks to the east of the building are not completed. We recommend that a low point and swale to be placed in the middle of the court yard at the east of the new addition to create a better drainage instead of placing the perforated pipe along the new additional. The inlets built are not type "D" inlets and are built at the different locations that were shown on the grading plan. Since the site discharge is being controlled by a 2.5" orifice plate the grate capacity of the inlets should not have an impact on the discharge of the runoff. The 2.50" orifice has to be placed inside the inlets as called out on the grading and drainage plan. There are several low spots on the newly paved areas but nothing that will impact the building. The water in these low areas are small enough that should evaporate within a day or two. Since the finished floor elevation of the building was raised to match the existing building a retaining wall has been building around the building to accommodate the elevation difference to the existing asphalt area.

Please contact me if there are any questions or concerns regarding this submittal.



CITY OF ALBUQUERQUE



November 16, 2007

Shahab Biazar, P.E.

Advanced Engineering & Consulting, LLC.

4416 Anaheim Ave. NE

Albuquerque, NM 87113

Re: New Life Baptist Church Addition, Lot 2-A, Atrisco Business Park,

Tract N, Grading and Drainage Plan for Building Permit

Engineer's Stamp dated 11-08-07 (J-10/D029)

Dear Mr. Biazar,

Based upon the information provided in your submittal received 11-09-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 or 768-3645.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Timothy'Sim's

Sincerely!

Plan Checker - Hydrology, Planning Dept.

Development and Building Services

Cc:

Bradley Bingham

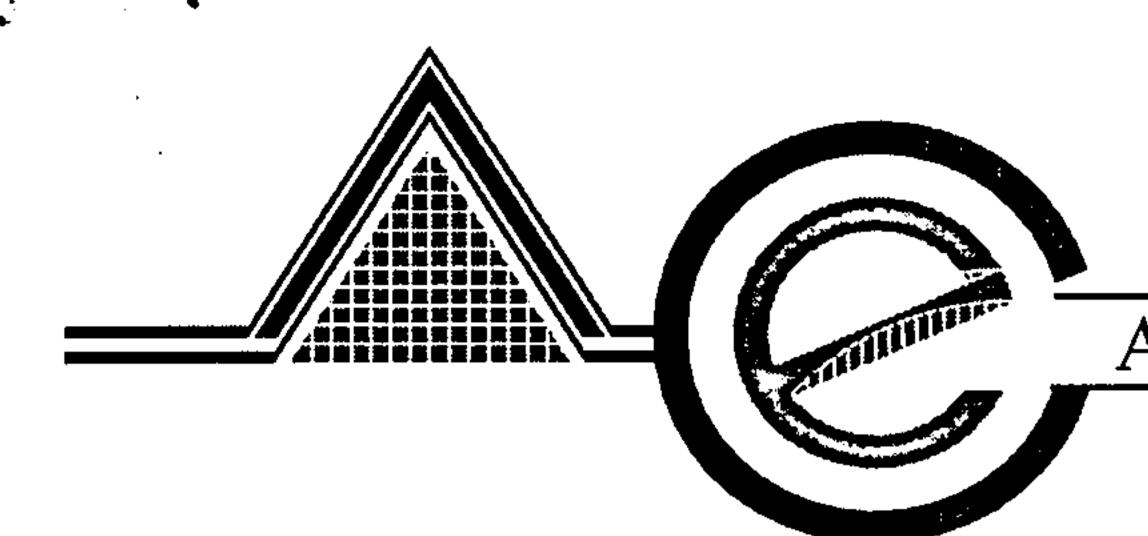
File

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (Rev. 12/05)

ROJECT TITLE: ORB #:	NEW LIFE BAPTIST CHURCH ADDITION EPC #:	ZONE ATLAS/DRG. FILE #: J10-D29 WORK OPDED #:
		WORK ORDER #:
EGAL DESCRIPTION:	ATRISCO BUISNESS PARK UI	NIT 2, TRACK N, LOT 2-A
ITY ADDRESS:		
NGINEERING FIRM:	Advanced Engineering and Consulting I I C	
ADDRESS:	Advanced Engineering and Consulting, LLC 4416 Anaheim Ave., NE	CONTACT: Shahab Biazar PHONE: (505) 899-5570
CITY, STATE:		ZIP CODE: 87113
WNER.		CONTRA OT.
ADDRESS:		CONTACT: PHONE:
CITY, STATE:		ZIP CODE:
RCHITECT:	•	CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
URVEYOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
ONTRACTOR:		CONTACT:
ADDRESS:		PHONE:
CITY, STATE:		ZIP CODE:
UFCK TVDE OF SUDMIT	MPAT.	
HECK TYPE OF SUBMIT		CHECK TYPE OF APPROVAL SOUGHT:
DRAINAGE REPO		SIA / FINANCIAL GUARANTEE RELEASE
	N 1ST SUBMITTAL	PRELIMINARY PLAT APPROVAL
DRAINAGE PLAI	N RESUBMITTAL	S. DEV. PLAN FOR SUB'D. APPROVAL
CONCEPTUAL G	RADING & DRAINAGE PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
X GRADING PLAN		SECTOR PLAN APPROVAL
EROSION CONTI	ROL PLAN	FINAL PLAT APPROVAL
ENGINEER'S CEI	RTIFICATION (HYDROLOGY)	FOUNDATION PERMIT APPROVAL
CLOMR / LOMR		X BUILDING PERMIT APPROVAL
	LATION LAYOUT (TCL)	
		CERTIFICATE OF OCCUPANCY (PERM.)
	HITECT CERT (TCL)	CERTIFICATE OF OCCUPANCY (TEMP.)
	HITECT CERT (DRB S.P.)	X GRADING PERMIT APPROVAL
ENGINEER/ARCH	HITECT CERT (AA)	PAVING PERMIT APPROVAL
X DRAINAGE CALO	CULATIONS	WORK ORDER-ARPROVALS [宣] [V] [宣]
		OTHER (SPECIFY)
	ERENCE ATTENDED:	NOV-879 2007
	1/\	Ja
AS A PRE-DESIGN CONF	I_{\star}	
YES X NO		HYDROLOGY SECTION
YES		HYDROLOGY SECTION
YES X NO	11/08/2007	HYDROLOGY SECTION BY: Shahab Biazar, P.E.

levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) and Sector Plans.
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5).
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection
Surveying

November 8, 2007

Mr. Bradley L. Bingham, P.E. Sr. Engineer, Planing Dept. Development and Building Services 600 Second Street NW Albuquerque, New Mexico 87102

RE: NEW LIFE BAPTIST CHURCH ADDITION (J10 / D29)

Dear Mr. Bingham:

This letter and submittal is in request of approval for building and grading permit for the addition for the New Life Baptist Church site. The overall grading and drainage plan originally has been submitted by Mark Goodwin and Associates. Based on that plan total discharge was at 0.417 cfs. Our design is based on a discharge of 0.474 which slightly higher. This mnior increase (0.057 cfs) should not impact the storm drain system downstream. Attached please find the new calculations for the new ponding as well as the AHYMO input/output files. The proposed pond will be partially retention. The pond had to be lowered to create positive discharge from the proposed inlets into the pond. The runoff will be retained up to a depth of 2.33' (Elev.=5104.33'). See enclosed grading plan for details.

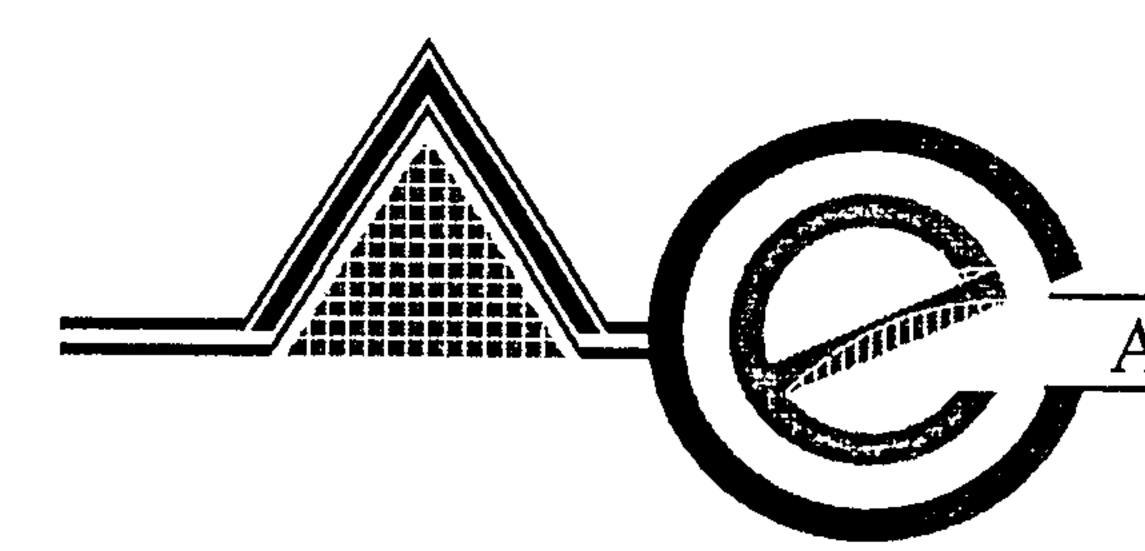
Please contact me if there are any questions or concerns regarding this submittal.

Mr. Salantin Salantin

Sincerely yours,

Shahab Biazar, P.E.

[**[**][[]]



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November 8, 2007

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Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab-Biazar, P.E.

RUNOFF CALCULATIONS

(INPUT DATA FOR AHYMO CALCULATIONS)

The site is @ Zone 1

DEPTH (INCHES) @ 100-YEAR STORM

 $P_{60} = 1.87$ inches

 $P_{360} = 2.20 \text{ inches}$

 $P_{1440} = 2.66 \text{ inches}$

DEPTH (INCHES) @ 10-YEAR STORM

 $P_{60} = 1.87 \times 0.667$

= 1.25 inches

 $P_{360} = 1.47$

 $P_{1440} = 1.77$

See the AHYMO input and output files.

RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI²)
ON-SITE	217,839.27	5.0009	0.007814

EXISTING

BASIN	Q-100	Q-10	TREATMENT	
	CFS	CFS	A, B, C, D	
ON-SITE	17.95	10.86	0%, 30%, 5%, 65%	

PROPOSED

BASIN	Q-100	Q-10	TREATMENT
-	CFS	CFS	A, B, C, D
ON-SITE	19.13	11.94	0%, 20%, 5%, 75%

AHYMO INPUT FILE

* ZONE 1	
*****	·*************************************
•	6-HR STORM (UNDER EXISTING CONDITIONS) * ***********************************
START RAINFALL	TIME=0.0 TYPE=1 RAIN QUARTER=0.0 IN RAIN ONE=1.87 IN RAIN SIX=2.20 IN RAIN DAY=2.66 IN DT=0.03333 HR
* ON-SITE COMPUTE NM HYD	ID=1 HYD NO=101.0 AREA=0.007814 SQ MI PER A=0.00 PER B=30.00 PER C=5.00 PER D=65.00 TP=0.1333 HR MASS RAINFALL=-1

	6-HR STORM (UNDER EXISTING CONDITIONS) * ***********************************
START RAINFALL	TIME=0.0 TYPE=1 RAIN QUARTER=0.0 IN RAIN ONE=1.25 IN RAIN SIX=1.47 IN RAIN DAY=1.77 IN DT=0.03333 HR
* ON-SITE COMPUTE NM HYD *********	ID=1 HYD NO=111.0 AREA=0.007814 SQ MI PER A=0.00 PER B=30.00 PER C=5.00 PER D=65.00 TP=0.1333 HR MASS RAINFALL=-1 ************************************
* 100-YEAR,	6-HR STORM (UNDER PROPOSED CONDITIONS) * ***********************************
START RAINFALL	TIME=0.0 TYPE=1 RAIN QUARTER=0.0 IN RAIN ONE=1.87 IN RAIN SIX=2.20 IN RAIN DAY=2.66 IN DT=0.03333 HR
* ON-SITE COMPUTE NM HYD	ID=10 HYD NO=101.1 AREA=0.007814 SQ MI PER A=0.00 PER B=20.00 PER C=5.00 PER D=75.00 TP=0.1333 HR MASS RAINFALL=-1

TO_IEMI	6-HR STORM (UNDER PROPOSED CONDITIONS) * ***********************************
START RAINFALL	TIME=0.0 TYPE=1 RAIN QUARTER=0.0 IN RAIN ONE=1.25 IN RAIN SIX=1.47 IN RAIN DAY=1.77 IN DT=0.03333 HR
* ON-STIE	
COMPUTE NM HYD	ID=1 HYD NO=111.1 AREA=0.007814 SQ MI PER A=0.00 PER B=20.00 PER C=5.00 PER D=75.00 TP=0.1333 HR MASS RAINFALL=-1
**************************************	******************

SUMMARY OUTPUT FILE

AHYMO PROGRA	AM SUMMARY TABLE = 554	(AHYMO_	_97) -		-	VERSION: 19	97.02d	RUN DATE USER NO.=	•	/YR) =11/0 9702c01000	•
COMMAND	HYDROGRAPH IDENTIFICATION		TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE =	
START											
RAINFALL TO COMPUTE NM I	YPE= 1 HYD 101.00 YPE= 1		1	.00781	17.95	.636	1.52503	1.500	3.590	TIME= RAIN6= PER IMP= TIME=	.00 2.200 65.00 .00
COMPUTE NM I		-	1	.00781	10.86	.372	.89169	1.500	2.172		1.470
COMPUTE NM I	YPE= 1 HYD 101.10 YPE= 1	_	10	.00781	19.13	.690	1.65498	1.500	3.826	TIME= RAIN6= PER IMP= TIME=	.00 2.200 75.00 .00
COMPUTE NM FINISH		_	1	.00781	11.94	.414	.99308	1.500	2.388	RAIN6= PER IMP=	1.470 75.00

VOLUME CALCULATIONS

DETENTION POND

Ab - Bottom Of The Pond Surface Area

At - Top Of The Pond Surface Area

D - Water Depth

Dt - Total Pond Depth

C - Change In Surface Area / Water Depth

Volume = $Ab * D + 0.5 * C * D^2$

$$C = (At - Ab) / Dt$$

Ab =	53.90	@ ELEV. =	5102
At =	3,227.86	@ ELEV. =	5108
Dt =	6.00		
C =	528.99		

ACTUAL	DEPTH	VOLUME	Q
ELEV.	(FT)	(AC-FT)	(CFS)
5,002.00	0.00	0.00000	0.0000
5,004.00	4.00	0.10210	0.0100
5,004.33	4.33	0.11920	0.0100
5,005.00	5.00	0.15799	0.3626
5,005.50	5.50	0.19048	0.3807
5,006.00	6.00	0.22602	0.3980
5,006.50	6.50	0.26459	0.4146
5,007.00	7.00	0.30619	0.4305
5,007.50	7.50	0.35083	0.4459
5,008.00	8.00	0.39851	0.4608
5,008.50	8.50	0.61799	0.4752

SURFACE AREA AT ELEV.=5108.50 IS 35,014.57 SF THEREFORE, THE VOLUME FROM 5108 OT 5008.50 IS 0.2195 AC-FT

Orifice Equation

Q = CA SQRT(2gH)

C = 0.6Diameter (in) = 2.5 Area (ft^2) = 0.0341 g = 32.2

H (Ft) = Depth of water above center of orifice

Q(CFS)= Flow

AHYMO INPUT FILE (PONDING CONDITIONS)

*					
* ZONE 1	•				
*					
*****	****	*****	****		
* 100-YEAR,	6-HR STORM (UNDER	R PROPOSED CONDIT	CIONS) *		
*****	****	****	****		
START	TIME=0.0				
RAINFALL	TYPE=1 RAIN QUARTER=0.0 IN				
	RAIN ONE=1.87 IN RAIN SIX=2.20 IN				
	RAIN DAY=2.66 IN	DT=0.03333 HR			
* ON-SITE					
COMPUTE NM HYD	ID=10 HYD NO=101.1 AREA=0.007814 SQ MI				
	PER A=0.00 PER B=		PER D = 75.00		
***********	TP=0.1333 HR MASS		مله		

*					
ROUTE RESERVOIR	OUTFLOW (CFS)	STORAGE (AC-FT)			
	0.0000	0.0000	5002.00		
	0.0011	0.10210	5002.00		
	0.0011	0.11920	5004.30		
	0.3626	0.15799	5005.00		
	. 0.3807	0.19048	5005.50		
	0.3980	0.22602	5006.00		
,	0.4146	0.26459	5006.50		
	0.4305	0.30619	5007.00		
	0.4459	0.35083	5007.50		
	0.4608	0.39851	5008.00		
	0.4752	0.61799	5008.50		
*****	****	****	****		

FINISH

SUMMARY OUTPUT FILE (PONDING CONDITIONS)

AHYMO PROGRAMINPUT FILE =	M SUMMARY TABLE (554pd	AHYMO_	97) –		- 1	ERSION: 199	7.02d t	RUN DATE		YR) =11/0 9702c01000	•
COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE =	
START RAINFALL TY COMPUTE NM HT ROUTE RESERVE		- 10	10 20	.00781	19.13	.690 .569	1.65498 1.36482	1.500	3.826	TIME= RAIN6= PER IMP= AC-FT=	.00 2.200 75.00 .607

1

FINISH

AHYMO OUTPUT FILE (PONDING CONDITIONS)

- Version: 1997.02d

USER NO. \Rightarrow AHYMO-I-9702c01000R31-AH

AHYMO PROGRAM (AHYMO 97) -

RUN DATE (MON/DAY/YR) = 11/08/2007

START TIME (HR:MIN:SEC) = 13:22:24

```
INPUT FILE = 554pd
 ZONE
*******************
                  6-HR STORM (UNDER PROPOSED CONDITIONS)
START
                   TIME=0.0
                   TYPE=1 RAIN QUARTER=0.0 IN
RAINFALL
                   RAIN ONE=1.87 IN RAIN SIX=2.20 IN
                   RAIN DAY=2.66 IN DT=0.03333 HR
              COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 HR.
                      .033330 HOURS
              DT =
                                        END TIME =
                                                       5.999400 HOURS
                         .0016
                 .0000
                                .0033
                                        .0050
                                               .0067
                                                       .0085
                                                               .0103
                 .0122
                                .0160
                        .0141
                                        .0180
                                               .0201
                                                       .0222
                                                              .0243
                 .0266
                        .0289
                                .0312
                                        .0337
                                               .0362
                                                       .0388
                                                               .0415
                 .0443
                        .0472
                                        .0534
                                .0502
                                               .0567
                                                              .0637
                                                       .0601
                 .0675
                        .0715
                                .0758
                                        .0809
                                               .0865
                                                       .0924
                                                              .1050
                 .1334
                        .1771
                                .2398
                                        .3254
                                               .4379
                                                              .7600
                                                       .5814
                 .9780
                       1.1804
                               1.2649
                                       1.3363
                                              1.3997
                                                             1.5106
                                                      1.4575
                1.5600
                       1.6061
                               1.6493
                                       1.6900
                                              1.7284
                                                      1.7646
                                                             1.7989
                1.8314
                       1.8623
                               1.8915
                                      1.9193
                                              1.9456
                                                      1.9518
                                                             1.9576
                1.9630
                       1.9682
                               1.9732
                                       1.9780
                                              1.9825
                                                      1.9869
                                                             1.9912
                1.9953
                      1.9993
                               2.0031
                                      2.0068
                                              2.0104
                                                      2.0140
                                                             2.0174
                2.0207
                               2.0272
                       2.0240
                                      2.0303
                                              2.0333
                                                      2.0363
                                                             2.0392
                2.0420
                               2.0475
                                      2.0502
                       2.0448
                                              2.0528
                                                      2.0554
                                                             2.0580
                2.0605
                       2.0629
                               2.0653
                                      2.0677
                                              2.0700
                                                      2.0723
                                                             2.0746
                2.0768
                       2.0790
                               2.0812
                                      2.0833
                                              2.0855
                                                      2.0875
                                                             2.0896
                2.0916
                       2.0936
                               2.0956
                                      2.0976
                                              2.0995
                                                      2.1014
                                                             2.1033
                2.1051
                       2.1070
                               2.1088
                                      2.1106
                                              2.1124
                                                     2.1141
                                                             2.1159
                2.1176
                       2.1193
                               2.1210
                                      2.1227
                                              2.1244
                                                      2.1260
                                                             2.1276
                2.1292
                               2.1324
                       2.1308
                                      2.1340
                                              2.1355
                                                     2.1371
                                                             2.1386
                2.1401
                               2.1431
                       2.1416
                                      2.1446
                                              2.1460
                                                     2.1475
                                                             2.1489
                2.1504
                       2.1518
                               2.1532
                                      2.1546
                                              2.1560 2.1573
                                                             2.1587
                2.1600
                       2.1614
                               2.1627
                                      2.1640
                                              2.1654 2.1667
                                                             2.1680
               2.1692
                       2.1705
                               2.1718
                                      2.1731
                                              2.1743
                                                     2.1756
                                                             2.1768
               2.1780
                       2.1792
                               2.1804
                                      2.1817
                                              2.1829
                                                    2.1840
                                                             2.1852
                               2.1887
               2.1864
                       2.1876
                                      2.1899
                                              2.1910
                                                    2.1922
                                                             2.1933
                2.1944
                       2.1956 2.1967
                                      2.1978
                                              2.1989 2.2000
* ON-SITE
COMPUTE NM HYD
                  ID=10 HYD NO=101.1 AREA=0.007814 SQ MI
                  PER A=0.00 PER B=20.00 PER C=5.00 PER D=75.00
                  TP=0.1333 HR MASS RAINFALL=-1
          .072649HR TP = .1333300HR K/TP RATIO = .545000
                                                                   SHAPE CONSTANT, N = 7.106420
                23.138 CFS
                                UNIT VOLUME = .9988
    UNIT PEAK =
                                                                  526.28
                                                                             P60 = 1.8700
                                                       B =
               .005861 SQ MI IA =
    AREA =
                                      .10000 INCHES INF = .04000 INCHES PER HOUR
    RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT =
                                                                            .033330
    K = .125967HR TP = .133300HR K/TP RATIO = .944988 SHAPE CONSTANT, N = 3.741071
    UNIT PEAK = 4.9463 CFS UNIT VOLUME = .9974 B = 337.52 P60 = 1.8700
    AREA = .001954 SQ MI IA = .47000 INCHES INF = 1.16600 INCHES PER HOUR
    RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .0333330
```

```
**********************
*
                   PONDING CONDITION
***************
                   ID=20 HYD NO=501.1 INFLOW ID=10 CODE=24
ROUTE RESERVOIR
                   OUTFLOW (CFS)
                                     STORAGE (AC-FT)
                                                     ELEVATION (FT)
                                          0.00000
                       0.0000
                                                       5002.00
                       0.0011
                                          0.10210
                                                       5004.00
                       0.0011
                                          0.11920
                                                       5004.30
                       0.3626
                                         . 0.15799
                                                       5005.00
                       0.3807
                                          0.19048
                                                       5005.50
                       0.3980
                                          0.22602
                                                       5006.00
                                          0.26459
                       0.4146
                                                       5006.50
                       0.4305
                                          0.30619
                                                       5007.00
                       0.4459
                                          0.35083
                                                       5007.50
                       0.4608
                                          0.39851
                                                       5008.00
                                          0.61799
                       0.4752
                                                       5008.50
   TIME
             INFLOW
                       ELEV
                                 VOLUME
                                           OUTFLOW
             (CFS)
    (HRS)
                       (FEET)
                                 (AC-FT)
                                           (CFS)
      .00
                .00
                      5002.00
                                    .000
                                               .00
      .80
                      5002.00
                                    .000
                                               .00
                .00
     1.60
              13.38
                                    .329
                      5007.26
                                               . 44
    2.40
                                    .605
                                               .47
                .78
                      5008.47
    3.20
                                    .597
                                               . 47
                .15
                      5008.45
    4.00
                                    .573
                                               .47
                .10
                      5008.40
                                    .548
                                               . 47
    4.80
                .10
                      5008.34
    5.60
                                    .524
                                               . 47
                .11
                      5008.29
                                    .498
                                               . 47
    6.40
                .01
                      5008.23
    7.20
                                    .468
                                               .47
                .00
                      5008.16
    8.00
                                    .437
                .00
                      5008.09
                                               .46
    8.80
                                    .406
                .00
                      5008.02
                                               .46
    9.60
                                    .376
                                               . 45
                .00
                      5007.76
                                    .346
   10.40
                                               . 44
                .00
                      5007.45
                                    .317
   11.20
                                               .43
                .00
                      5007.12
                                    .289
   12.00
                      5006.79
                                               .42
                .00
                                               .41
   12.80
                      5006.46
                .00
                                    .261
   13.60
                .00
                      5006.11
                                    .234
                                               .40
                                               .39
   14.40
                                    .208
                      5005.75
                .00
   15.20
                                               .38
                                    .183
                .00
                      5005.38
   16.00
                                               .36
                      5005.01
                                    .158
                .00
   16.80
                                    .140
                                               .20
                      5004.68
                .00
                                               .11
   17.60
                                    .131
                .00
                      5004.50
   18.40
                                    .125
                                               .06
                      5004.41
                .00
   19.20
                      5004.36
                                    .122
                                               .03
                .00
PEAK DISCHARGE =
                 .474 CFS - PEAK OCCURS AT HOUR
                                                          2.60
MAXIMUM WATER SURFACE ELEVATION = 5008.476
                                                                 .033330HRS
MAXIMUM STORAGE = .6072 \text{ AC-FT}
                                          INCREMENTAL TIME=
```

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 13:22:24



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 21, 2000

John M. MacKenzie, P.E. MARK GOODWIN & ASSOC. P.O. Box 90606
Albuquerque, New Mexico 87199

Re: Grading and Drainage Certification –New Life Baptist Church

(J-10/d029) (Airport Dr & Los Volcanes Rd NW)

Engineer's Stamp dated 1/27/2000

Engineering Certification dated 10/9/2000

Dear Mr. Goodwin:

Based upon the information provided in your submittal dated 12/20/2000 (which included the approval of the SO#19 from the City's Storm Drainage Maintenance), the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, you can contact me at 924-3986.

Sincerely,

Brustley L. Bingham, PE

Senior Civil Engineer, PWD

C: Vickie Chavez
Peresa Martin
file

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	New Life Baptist Church	ZONEATLA	ZONEATLAS/DRNG, FILE#: J-10-Z/J10-DZ9)			
DRB#:	EPC#		WORK ORDER#:			
LEGAL DESCRIPTION:	Tract 2-A, Unit 2, Tract N, Artrisco Business Park					
CITY ADDRESS:		-				
•	•					
ENGINEERING FIRM:	Mark Goodwin & Associates	CONTACT:	John MacKenzie, PE			
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200			
OWNER:		CONTACT:				
ADDRESS:		PHONE:				
ARCHITECT:	Stricklin Drafting & Design	CONTACT:	Shelley Stricklin			
ADDRESS:	Los Lunas, NM	PHONE:	865-7768			
SURVEYOR:	•	CONTACT:				
ADDRESS:		PHONE:				
CONTACTOR:	Desert Rose Custom Homes, Inc.	CONTACT:	Don Mock			
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635	PHONE:	898-0144			
GRADING PL EROSION CO	AL GRADING & DRAINAGE PLAN AN ONTROL CERTIFICATION	S. DEV. PLAN S. DEV. PLAN SECTOR PLA FINAL PLAT A FOUNDATION BUILDING PE	PLAT APRROVAL FOR SUB'D APPROVAL FOR BLDG PERMIT APPROVAL N APPROVA!			
PRE-DESIGN MEETING:		GRADING PERMIT APPROVAL				
YES .		PAVING PERM	VIT APPROVAL			
X NO		S.A.D. DRAINAGE REPORT				
COPY PROVIDED		DRAINAGE REQUIREMENTS				
•		OTHER				
DATE SUBMITTED:	/A /A AA	RELEASE OF	FINANCIAL GUARANTY D [国 (C) [国 [] (V) [国 [] (D) [
<u>.</u>	12-19-00 11. Mackaze		DEC 2 0 2000 HYDROLOGY SECTION			

CITY OF ALBUQUERQUE Public Works Department

INTER-OFFICE CORRESPONDENCE

December 14, 2000

TO:

Bradley L. Bingham, PE, One Stop

FROM:

Glenn Jurgensen, Superintendent, Storm Diamage Maint - PWD

SUBJECT:

SO-19 PERMIT (J10/D29)

A final inspection was conducted on project (J10/D29) SO-19 project. The project was found to be in compliance with all City requirements for drainage. The request for a Certificate of Occupancy should be approved.

If you have any questions, please feel free to contact me at 291-6214.

o file

CITY OF ALBUQUERQUE Public Works Department

INTER-OFFICE CORRESPONDENCE

December 14, 2000

TO:

Bradley L. Bingham, PE, One Stop

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If you have any questions, please feel free to contact me at 291-6214.

c: file



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 16, 2003

Shahab Biazar, P.E. Advanced Engineering and Consulting, LLC 10205 Snowflake Ct. NW Albuquerque, NM 87114

New Life Baptist Church Addition, 6900 Los Volcanos Rd. NW, Grading and Re: **Drainage Plan**

Engineer's Stamp dated 9-24-03 (J10/D29)

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 9-26-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

- 1. Please show a greater portion of the site and identify the location of the proposed addition relative to the site.
- 2. The Mark Goodwin and Associates grading plan was not enclosed with this submittal. Please attach a copy of this plan.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Carlos A. Montoya, PE

City Floodplain Administrator

file

G24 3986

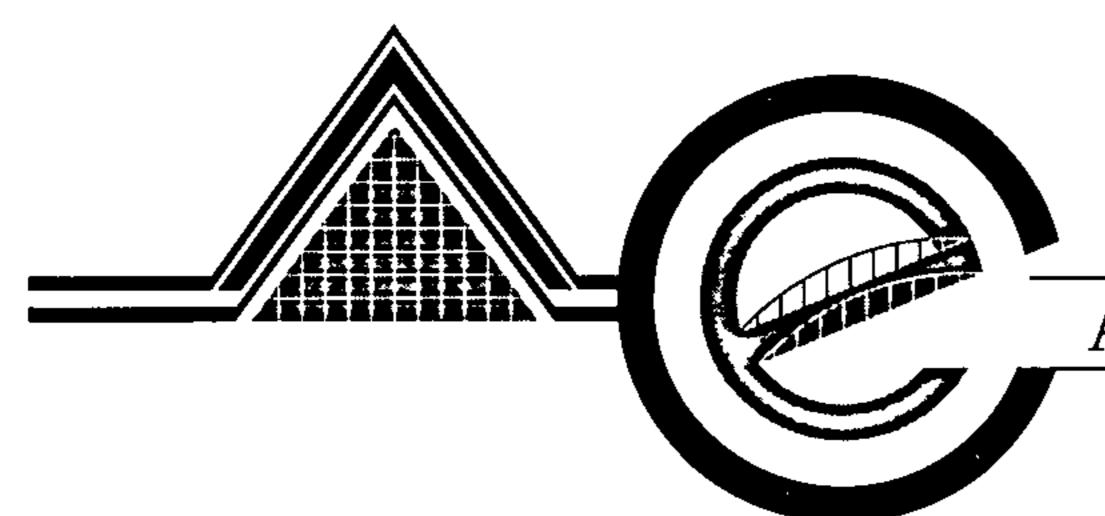
DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT	TITLE:	NEW LIFE BAPTIST CHURCH ADDITION	ZONE	ZONE ATLAS/DRG. FILE #:J10-D29			
DRB #:	<u> </u>	EPC #:	WOR	WORK ORDER #:			
LEGAL DE	SCRIPTIO	N: PLAT OF LOTS 2A & 2B, TRACT N, UNIT	2. ATRISCO BI	USINESS PARK			
CITY ADDR		6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE,					
	•		e type	CONTACT: "Chabab Diagram			
	Advanced Engineering and Consulting, LLC ADDRESS: 10205 Snowflake Ct. NW			CONTACT: "Shahab Biazar PHONE: (505) 899-5570			
	•	Albuquerque, New Mexico		ZIP CODE: 87114			
OWNER:			range data - it	CONTACT:			
	DRESS:			PHONE:			
CITY,	STATE:			ZIP CODE:			
ARCHITEC	I :			CONTACT:			
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CITY,	STATE:						
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	CONCEPTUAL GRADING & DRAINAGE PLAN			S. DEV. PLAN FOR SUB'D. APPROVAL			
X	GRADING PLAN			S. DEV. PLAN FOR BLDG. PERMIT APPROVAL			
	EROSION CONTROL PLAN			SECTOR PLAN APPROVAL			
	ENGINEER'S CERTIFICATION (HYDROLOGY)			FINAL PLAT APPROVAL			
	CLOMR / LOMR			FOUNDATION PERMIT APPROVAL			
	TRAFFIC CIRCULATION LAYOUT (TCL)			BUILDING PERMIT APPROVAL			
	ENGINE	ER'S CERTIFICATION (TCL)		CERTIFICATE OF OCCUPANCY (PERM.)			
	ENGINE	ER'S CERTIFICATION (DRB APPR. SITE PLAN)		CERTIFICATE OF OCCUPANCY (TEMP.)			
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DATE SUBI	MITTED:		BY:	Shahab Biazar, P.E.			
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Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5)
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
- 3. Drainage Report: Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection

September 24, 2003

Mr. Bradley L. Bingham, P.E. Sr. Engineer, Planing Dept. Development and Building Services 600 Second Street NW Albuquerque, New Mexico 87102

RE: GRADING PLAN FOR NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

Dear Mr. Bingham:

This letter is in reference to above mentioned project. The original grading plan for the entire site was prepared and approved by the City of Albuquerque under the City Drainage number J10/D29. The owners are proposing to add a building. Attached is the proposed grading plan for that section only. The original grading plan, prepared by Mark Goodwin and Associates, was used to prepare the grading plan. Mark Goodwin and Associates grading plan is enclosed with this letter. Portion of the sidewalks and curbing on the east side of the building has to be removed in order to meet the ADA requirements. A sidewalk culvert is also proposed on the east side of the building in order to drain the runoff into the driveway. The finish floor elevation of the new building will be the same as the existing building on the north and west side of this addition. This building addition will only increase the runoff by 0.16 cfs. This increase will not have any impact on the drainage structures. See attached calculations.

Please contact me if there are any questions or concerns regarding this submittal.

Shahab Biazar, P.E.

Sincefelly-yours,

D) 国 区 国 D 区 D SEP 2 6 2003
HYDROLOGY SECTION

RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI ²)
A	5326.16	0.1223	0.000191

PROPOSED

BASIN	Q-100	Q-10	TREATMENT
	CFS	CFS	A, B, C, D
NEW BLDG. SITE	0.51	0.32	0%, 14%, 0%, 86%

EXISTING

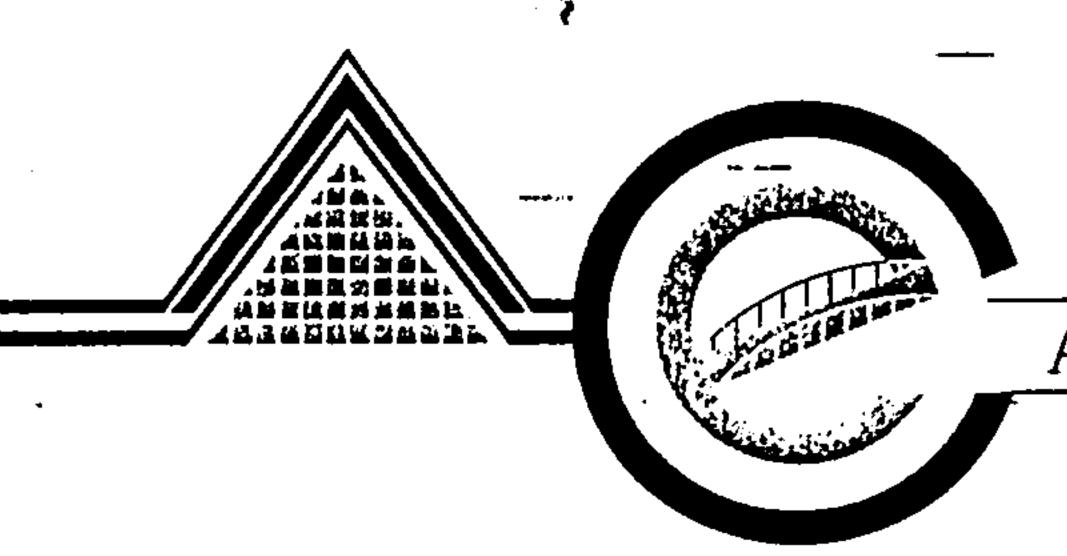
BASIN	Q-100	Q-10	TREATMENT
	CFS	CFS	A, B, C, D
NEW BLDG. SITE	0.35	0.17	0%, 51%, 30%, 19%

AHYMO INPUT FILE

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  START
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ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
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Management
Inspection

February 13, 2004

Mr. Nilo Salgado, P.E. City Transportation Department 600 Second Street NW Albuquerque, New Mexico 87102

Re: Certification of Site Plan for NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

Dear Mr. Salgado:--

Enclosed please find copy of the as-built Site Plan for the above mentioned site. The project was inspected by Advanced Engineering and Consulting, LLC on 2-11-04: No changes have been done to the existing traffic circulation and parking spaces. See enclosed plan for the location of the building addition. I certify that the project was built in substantial compliance to the site plan with approval date of 07-03-2003.

Should you have any questions, please do not hesitate to contact our office.

Sincerely, -

Shahab Biazar, P.E.

TEGISTON TO SECULATION OF THE CONTROL OF THE CONTRO



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

Planning Department Transportation Development Services Section

March 4, 2004

Shahab Biazar, P.E. 4416 Anaheim Ave NE Albuquerque, NM 87113

Re:

Certification Submittal for Final Building Certificate of Occupancy for

New Life Baptist Church Addition, [J-10 / D29]

6900 Los Volcanos Road NW Engineer's Stamp Dated 02/13/04

Dear Mr. Biazar:

The TCL / Letter of Certification submitted on March 3,2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely, //

Nilo E. Salgado-Fernandez, P.E.

Senior Traffic Engineer

Development and Building Services

Planning Department

c: Engineer

Hydrology file

CO Clerk

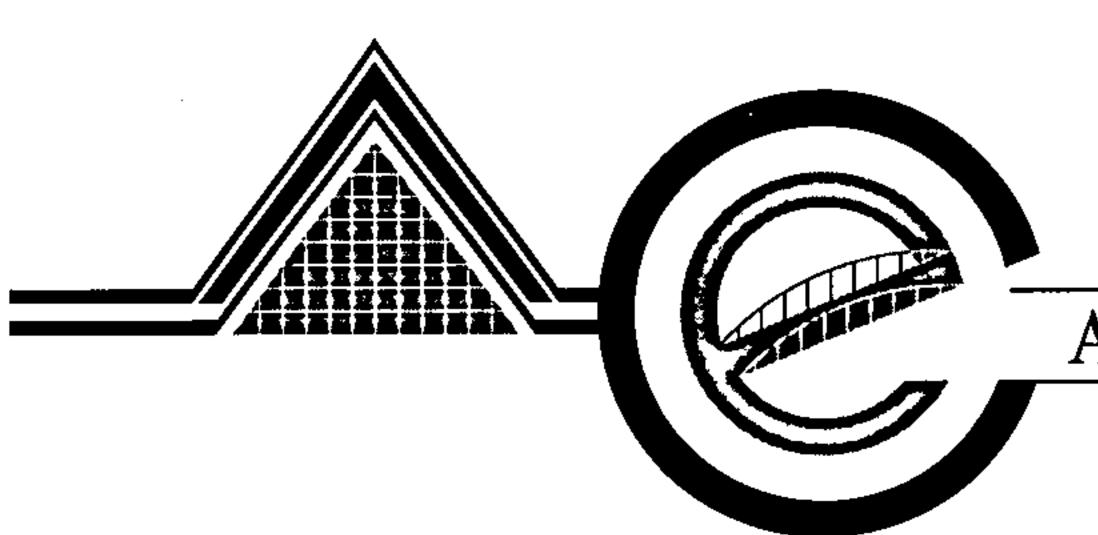
DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	NEW LIFE BAPTIST CHURCH ADDITION	ZONE ATLAS/DRG. FILE #	: <u>J10-D29</u>
DRB #:	EPC #:	WORK ORDER #:	
LEGAL DESCRIPTION	ON: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2, AT	RISCO BUSINESS PARK	
CITY ADDRESS:	6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, NM	87121	
ENGINEERING FIRM	M: Advanced Engineering and Consulting, LLC	CONTACT: Shahab	Biazar
ADDRESS:	10205 Snowflake Ct. NW	PHONE: (505) 89	99-5570
CHY, STATE:	Albuquerque, New Mexico	ZIP CODE: <u>87114</u>	
OWNER: ADDRESS:		CONTACT: PHONE:	
CITY, STATE:		ZIP CODE:	
ARCHITECT:		CONTACT:	
ADDRESS: CITY, STATE:		PHONE: ZIP CODE:	· · · · · · · · · · · · · · · · · · ·
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SURVEYOR: ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
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COPYI	PROVIDED HYDROLOGY SEC	CTION	
DATE SUBMITTED:	2 / 13 / 2004	BY: Shahab Biazar	, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection

February 13, 2004

Mr. Nilo Salgado, P.E. City Transportation Department 600 Second Street NW Albuquerque, New Mexico 87102

Re: Certification of Site Plan for NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

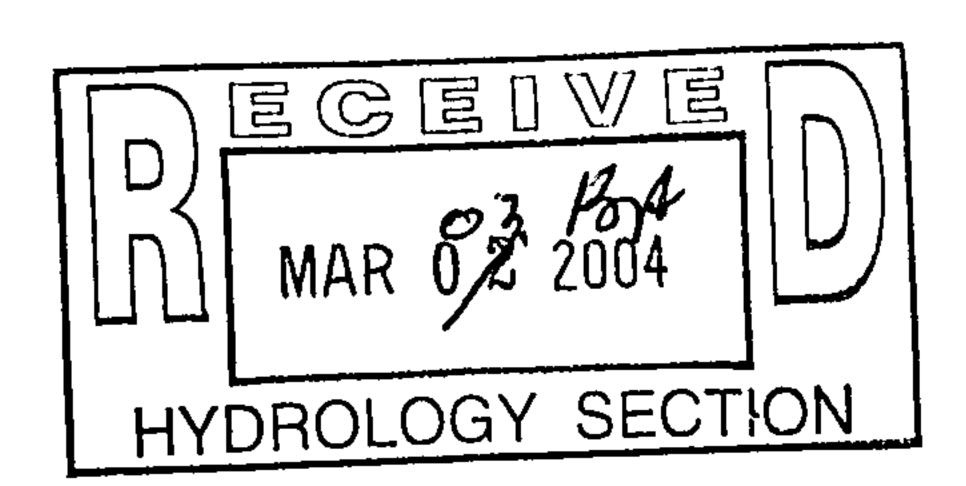
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Should you have any questions, please do not hesitate to contact our office.

Shahab Biazar, P.E.

Sincerely,



4416 Angheim Ave NE



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 7, 2003

Shahab Biazar, P.E.
Advanced Engineering and Consulting, LLC
10205 Snowflake Ct. NW
Albuquerque, NM 87114

Re: New Life Baptist Church Addition, 6900 Los Volcanos Rd. NW, Grading and Drainage Plan

Engineer's Stamp dated 10-17-03 (J10/D29)

Dear Mr. Biazar,

Based upon the information provided in your submittal received 10-30-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Kristal D. Metro

Sincerely,

Engineering Associate, Planning Dept.

Development and Building Services

C: file

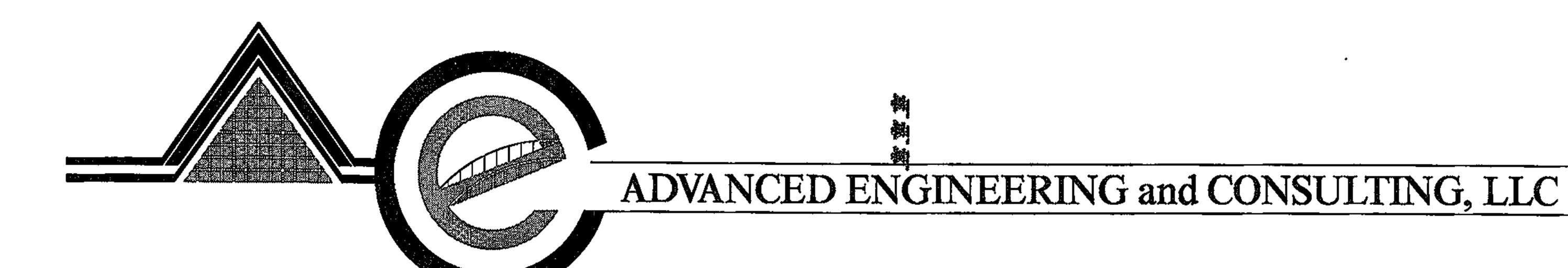
DRAINAGE INFORMATION SHEET 5-10/1029

1, ,

PROJECT TITLE:	NEW LIFE BAPTIST CHURCH ADDITION	ZONE ATLAS/DRG. FILE #: J10-D29
DRB #:	EPC #:	WORK ORDER #:
LEGAL DESCRIPTION	ON: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2, A	TRISCO BUSINESS PARK
CITY ADDRESS:	6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, NI	M 87121
ENGINEERING FIRE		CONTACT: Shahab Biazar
ADDRESS: CITY, STATE:	10205 Snowflake Ct. NW Albuquerque, New Mexico	PHONE: (505) 899-5570 ZIP CODE: 87114
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<u>OWNER:</u> ADDRESS:		CONTACT: PHONE:
CITY, STATE:		ZIP CODE:
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ADDRESS: CITY, STATE:	——————————————————————————————————————	PHONE: ZIP CODE:
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ADDRESS:		PHONE:
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DRAINA	AGE REPORT	SIA / FINANCIAL GUARANTEE RELEASE
DRAINA	AGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL	PRELIMINARY PLAT APPROVAL
CONCE	PTUAL GRADING & DRAINAGE PLAN	S. DEV. PLAN FOR SUB'D. APPROVAL
X GRADIN	NG PLAN	S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
EROSIC	ON CONTROL PLAN	SECTOR PLAN APPROVAL
ENGINE	EER'S CERTIFICATION (HYDROLOGY)	FINAL PLAT APPROVAL
CLOMR	R / LOMR	FOUNDATION PERMIT APPROVAL
TRAFFI	C CIRCULATION LAYOUT (TCL)	X BUILDING PERMIT APPROVAL
ENGINE	EER'S CERTIFICATION (TCL)	CERTIFICATE OF OCCUPANCY (PERM.)
ENGINE	EER'S CERTIFICATION (DRB APPR. SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP.)
OTHER		X GRADING PERMIT APPROVAL
		PAVING PERMIT APPROVAL
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YES		[] OCT 3 0 2003 []
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COPY P	PROVIDED	HYDROLOGY SECTION
DATE SUBMITTED:	10 / 17 / 2003	BY: Shahab Biazar, P.E.
		Jiianab Blazal, F.E.

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Consulting
Design
Development
Management
Inspection

October 17, 2003

Mr. Carlos A. Montoya, P.E.
City Floodplain Administrator, PWD
Development and Building Services
Plaza Del Sol-2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

RE: Revised Grading Plan For New Life Baptist Church, 6900 Los Volcanos Rd. NW (J10 / D29)

Dear Mr. Montoya:

The following responses are to your comments received dated October 16, 2003:

- 1. More of the site is shown on the grading plan. The scale of the drawing was changed from 1"=6' to 1"=10' to show more of the overall site. More spot elevations was also added along the south side of the building. We will be matching the back of sidewalk elevations. See revised grading plan.
- 2. Mark Goodwin and Associates grading plan has been included with this submittal.

Please contact me if there are any questions or concerns regarding this submittal.

Shahab Biazar, P.E.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 3, 2004

Shahab Biazar, P.E. Advanced Engineering and Consulting, LLC 4416 Anaheim Ave. NE Albuquerque, NM 87113

New Life Baptist Church Addition, 6900 Los Volcanos Rd. NW, Certificate Re:

of Occupancy

Engineer's Stamp dated 10-17-03 (J10/D29)

Certification dated 2-13-04

Dear Mr. Biazar,

Based upon the information provided in your submittal received 3-03-04, the above referenced certification is approved for release of permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

Engineering Associate, Planning Dept. Development and Building Services

Phyllis Villanueva file

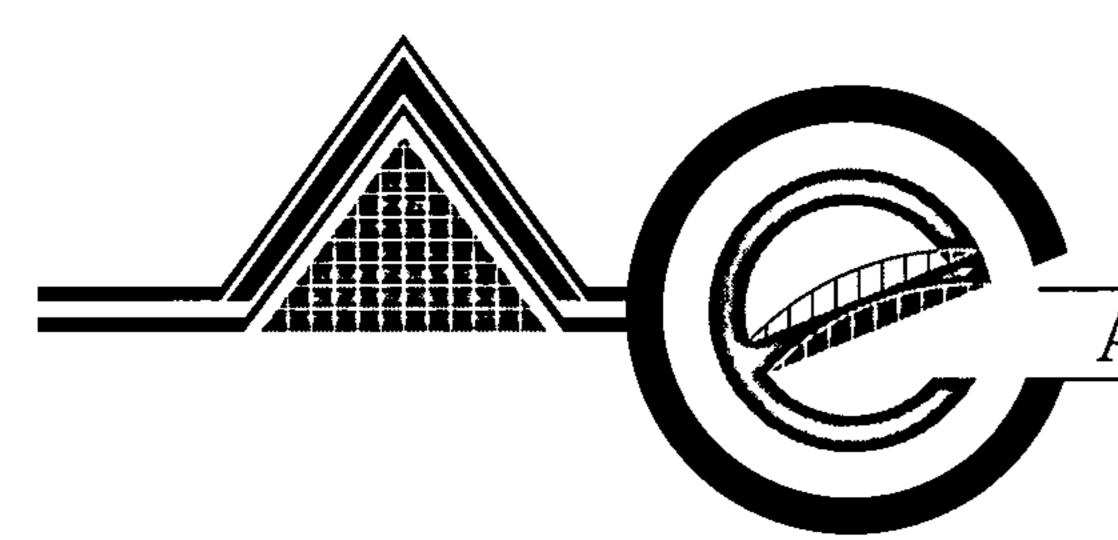
DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE:	NEW LIFE BAPTIST CHURCH ADDITION	ZONE ATLAS/DRG. FILE #: J10-D29	
DRB #:	EPC #:	WORK ORDER #:	
LEGAL DESCRIPTION	ON: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2,	ATRISCO BUSINESS PARK	
CITY ADDRESS:	6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, N	NM 87121	
ENGINEERING FIRM	Advanced Engineering and Consulting, LLC	CONTACT: Shahab Biazar	
ADDRESS:	10205 Snowflake Ct. NW	PHONE: (505) 899-5570	
CITY, STATE:	Albuquerque, New Mexico	ZIP CODE: <u>87114</u>	
OWNER:		CONTACT:	 -
ADDRESS: CITY, STATE:	——————————————————————————————————————	PHONE: ZIP CODE:	
•		CONTACT:	
ARCHITECT: ADDRESS:		PHONE:	
CITY, STATE:		ZIP CODE:	
SURVEYOR:		CONTACT:	
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X ENGINE	EER'S CERTIFICATION (HYDROLOGY)	FINAL PLAT APPROVAL	
CLOMF	R / LOMR	FOUNDATION PERMIT APPROVAL	
TRAFFI	C CIRCULATION LAYOUT (TCL)	BUILDING PERMIT APPROVAL	
ENGIN	EER'S CERTIFICATION (TCL)	X CERTIFICATE OF OCCUPANCY (PERM.)	
ENGIN	EER'S CERTIFICATION (DRB APPR. SITE PLAN)	CERTIFICATE OF OCCUPANCY (TEMP.)	
OTHER		GRADING PERMIT APPROVAL	
		PAVING PERMIT APPROVAL	
		WORK ORDER APPROVAL	
		OTHER (SPECIFY)	
WAS A PRE-DESIG	N CONFERENCE ATTENDED:	03	
YES		MAR D 2 2004	
<u>X</u> NO			
COPY I	PROVIDED	HYDROLOGY SECTION	
DATE CHOMITTED.		DV: Shahah Diaman B E	
DATE SUBMITTED:	2 / 13 / 2004	BY: Shahab Biazar, P.E.	

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

- 1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5)
- 2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5)
- 3. Drainage Report:Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



ADVANCED ENGINEERING and CONSULTING, LLC

Consulting
Design
Development
Management
Inspection

February 13, 2004

Ms. Kristal D. Metro
Engineering Associates, Planing Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF THE GRADES FOR NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

Dear Ms. Metro:

Enclosed please find copy of the as-built Grading Plan for the above mentioned site. The grades are built according to the grading & drainage plan approved with engineering stamp date 11-17-2003. We are requesting Final Certification of Occupancy. Please send any future responses to our new address at:

4416 Anaheim Ave., NE Albuquerque, NM 87113

Should you have any questions, please do not hesitate to contact our office.



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 19, 2000

John MacKenzie, P.E. Mark Goodwin & Associates P.O. Box90606 Albuquerque, NM 87199

RE: ENGINEER'S CERTIFICATION FOR NEW LIFE BAPTIST CHURCH (J-10/D029), ENGINEER'S STAMP DATED 1/27/00, CERTIFICATION DATED 10/9/2000.

Dear Mr. MacKenzie,

Your submittal is lacking the City inspector's sign-off for the SO 19 which allows for the pond connection to the storm drain in Airport Drive. Please provide us with that approval at your earliest convenience so that we may release the Certificate of Occupancy.

If you have any questions, please call me at 924-3988.

Sincerely,

Shraet REEder, P.E.

Stuart Reeder, P.E. Hydrology Division

xc: Whitney Reierson

File



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 31, 2000

John MacKenzie PE Mark Goodwin & Associates P.O. Box 90606 Albuquerque, NM 87199

Re: New Life Baptist Church Grading and Drainage Plan (J10/D29)

Engineers Stamp dated 1-27-00

Dear Mr. MacKenzie,

After review of your submittal dated 1-27-00, the above referenced plan is approved for Building, Foundation and SO#19 permits.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Please be advised that prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE

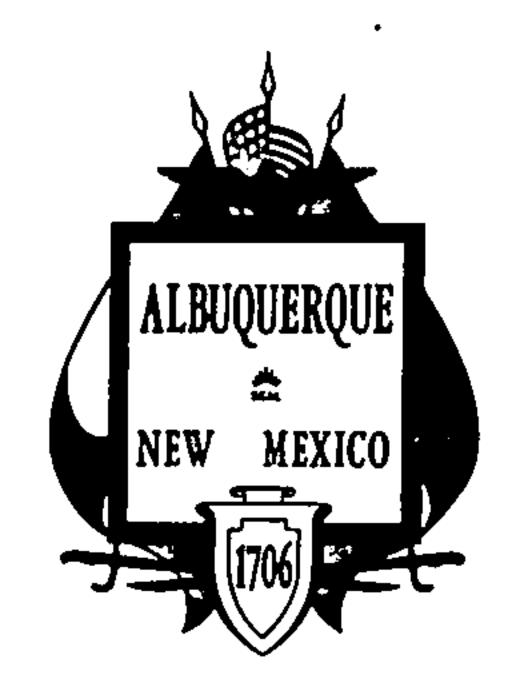
Hydrology Review Engineer

C: Metere destates

file

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	New Life Baptist Church	ZONEATLAS/DRNG,FILE#: J-10-Z						
DRB#:	EPC#		WORK ORDER#:					
LEGAL DESCRIPTION:	Tract 2-A, Unit 2, Tract N, Artrisco Bus	iness F	ark					
CITY ADDRESS:			<u>. </u>	•				
			•					
ENGINEERING FIRM:	Mark Goodwin & Associates		CONTACT:	John MacKenzie, PE				
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199		PHONE:	828-2200				
OWNER:			CONTACT:					
ADDRESS:			PHONE:	<u> </u>				
ARCHITECT:	Stricklin Drafting & Design		CONTACT:	Shelley Stricklin				
ADDRESS:	Los Lunas, NM		PHONE:	865-7768				
SURVEYOR:		. <u> </u>	CONTACT:	<u></u>				
ADDRESS:		<u></u>	PHONE:					
CONTACTOR:	Desert Rose Custom Homes, Inc.	· · · · · · · · · · · · · · · · · · ·	CONTACT:	Don Mock				
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635		PHONE:	898-0144				
TYPE OF SUBMITTA	L:	CHEC	K TYPE OF APP	ROVAL SOUGHT:				
DRAINAGE F	REPORT_	<u>.</u>	SKETCH PLAT	ΓAPRROVAL				
X DRAINAGE	PLAN		PRELIMINARY	PLAT APRROVAL				
CONCEPTU	AL GRADING & DRAINAGE PLAN		S. DEV. PLAN FOR SUB'D APPROVAL					
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ENGINEER'S	S CERTIFICATION		FINAL PLAT A	PPROVAL				
OTHER		Χ	FOUNDATION	PERMIT APPROVAL				
EASEMENT	VACATION	Χ	BUILDING PE	RMIT APPROVAL				
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PRE-DESIGN MEET	ING:		GRADING PE	RMIT APPROVAL				
YES			PAVING PERI	MIT APPROVAL				
X NO			S.A.D. DRAIN	AGE REPORT				
COPY PROV	VIDED		DRAINAGE R	EQUIREMENTS				
	-		OTHER					
			RELEASE OF	FINANCIAL GUARANTY				
			—					
DATE SUBMITTED:	1-27-0							
								
- Jan	M. Mackenze.							



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

PUBLIC WORKS DEPARTMENT

January 31, 2000

INTEROFFICE CORRESPONDENCE

HYDROLOGY DIVISION

TO:

Glen Jurgenson, Storm Drain Maintenance Division

FROM:

Bradley L. Bingham PE, Hydrology Div., PWD 1945

SUBJECT:

MODIFICATIONS TO DRAINAGE FACILITIES WITHIN PUBLIC

RIGHT-OF-WAY DRAINAGE FILE NUMBER (J10/D29).

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO#19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3986.

Attachment



D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539

e-mail: dmg@swcp.com

January 27, 2000

Mr. Brad Bingham, PE
City of Albuquerque
Public Works Department - Hydrology
P.O. Box 1293
Albuquerque, NM 87103

Re: New Life Baptist Church (J10 - D29)

Dear Mr. Bingham:

In response to your comments I have revised the drawing as follows:

- 1. The elevation of the grate for the drop inlet positioned at the southwest corner of the site as an overflow device has been raised to elevation 5106.90 MSL.
- The inverts of the private internal storm drain have also been adjusted to provide for more positive drainage away from the on-site ponding area.
- 3. The storm drain in Airport Drive has been changed to a Class III RCP.
- 4. The legend calls for the south retaining wall to consist of concrete.

If I can be of further assistance, please contact me.

Sincerely,

MARK GOODWIN & ASSOCIATES, PE

John M. MacKenzie, PE

Senior Engineer

JMM/sw

f:\\newlife\comments.no2

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	New Life Baptist Church	 	ZONEATLAS	S/DRNG,FILE#:	J-10-Z/D029			
DRB#:	EPC#	, , , , , , , , , , , , , , , , , , ,	WORK ORDER#:					
LEGAL DESCRIPTION:	Tract 2-A, Unit 2, Tract N, Artrisco Busine	ess Par	k	·				
CITY ADDRESS:								
		,	•					
ENGINEERING FIRM:	Mark Goodwin & Associates		CONTACT:	John MacKenz				
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199		PHONE:	828-2200				
OWNER:		<u> </u>	CONTACT:		•			
·ADDRESS:		· ·	PHONE:	<u> </u>				
ARCHITECT:	Stricklin Drafting & Design		CONTACT:	Shelley Stricklin	}			
ADDRESS:	Los Lunas, NM	· · · · · · · · · · · · · · · · · · ·	PHONE:	865-7768				
SURVEYOR:			CONTACT:					
ADDRESS:			PHONE:					
CONTACTOR:	Desert Rose Custom Homes, Inc.		CONTACT:	Don Mock				
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635		PHONE:	898-0144				
DRAINAGE	REPORT		SKETCH PLA	TAPRROVAL	•			
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			CERTIFICATI	ION OF OCCUPA	NCY APPROVAL			
PRE-DESIGN MEE	TING:		GRADING PE	ERMIT APPROVA	AL			
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X NO			S.A.D. DRAIN	NAGE REPORT				
COPY PRO	VIDED 6		DRAINAGE F	REQUIREMENTS				
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BY: John	M. Mackerye		· • • • • • • • • • • • • • • • • • • •					
				HYDROLO	GY SECTION			



D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539

e-mail: dmg@swcp.com

November 17, 1999

Mr. John P. Murray, PE
City of Albuquerque
Public Works Department - Hydrology
P.O. Box 1293
Albuquerque, NM 87103

Re: New Life Baptist Church (J10 - D29)

Dear Mr. Murray:

In response to your comments I have the following:

- 1. Drainage calculations are minimal because the Atrisco Business Park Drainage Master Plan has already determined that the maximum allowable discharge for this site is 0.45 cfs (see original submittal). Drainage basin for the site is now defined.
- 2. An SO 19 has been added to the plan.
- 3. The existing storm drain and its calculations relative to downstream capacity have already been addressed by the Atrisco Business Park Drainage Master Plan. The HGL for this existing storm drain is 5099.00 or about 3 ½' below the lowest on-site grate.
- 4. The top of the grate is 5102.5 or about 04.25' lower than the maximum water surface elevation of 06.77.
- 5. The limits of the pond are now shown on the plan.
- 6. The builder has been informed the retaining wall design must accommodate the maximum water surface elevation of 5106.77.

If I can be of further assistance, please contact me.

Sincerely,

MARK GOODWIN & ASSOCIATES, PE

John M. MacKenzie, PE

Senior Engineer

JMM/sw

f:\\newlife\comments.no2

NOV 1 7 1999

HYDROLOGY SECTION



P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 17, 1999

John McKenzie, Reg. Arch., D. Mark Goodwin & Assocs. P.A., P.O. 90606, Albuquerque, New Mexico 87119

Re:

Site Plan submittal for Building Permit approval forNew Life Baptist Church,

Atrisco Business Park, Tract 2-A, Unit 2 (Zone Map J-10-Z),

Architect's Stamp dated - - - - .

Dear Mr. McKenzie,

The above referenced plan requires modification to the Site Plan prior to Building Permit release as follows:

- Site Plan must be stamped and dated.
- Standard Site Plan submittal for permit is titled with sheet numbering and all other appropriate information, please provide.
- Red-lined markup of Site Plan submitted and typed comments should be used to make corrections required. Return markup with corrections.
- Only one SitePlan is needed per Permit submittal. Any excess SitePlans will need to match exactly.
- New and existing elements noted on the <u>Site Plan</u> must be shown, labelled, and dimensioned correctly and accurately, this
 includes street sidewalks and curb & gutter.__Need to see clear differentiation between new construction and existing on
 Site Plan.___
- Label, and dimension existing and/or new street sidewalks.
- Dimension stalls label "typical" or call out in individual locations, if not typical.
- Label 6" concrete curb, and type (or show detail labelled "typical"), at each individual location-or-call out double-line style (or equivalent) linework, used to designate curbing, as "typical".___If extruded concrete is used, top of surface of landscape mulching(gravel, bark, etc.) must be level with, or up to 1" below top of curb.
- Minim. 5' wide sidewalk, raised 6" above parking surface, needed at the front of parked vehicles along the front of building(
- Label "Construct drivepads per City of Albuq. Std. Detail Dwg. No. 2426, typical."
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan, Site Plan and Landscape Plan) must be together at front of plan set.
- Linework on DrainagePlan and LandscapePlan must matchSitePlan exactly.__Verify changes in Site Plan with Hydrology.
 If acceptable, callout on Site Plan: INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONEFROM THIS SHEET.
- Any pending City Street Projects adjacent to project site must be verified with Art Kelly, Public Works, Transportation, Planning at 505-768-2768.
- H.C.ramp at street corner is too large, must be per City standard and A.D.A.
- Place concrete wheel stop (only at front of [H.C.]stalls), 18'-0" from rear of stall, use #6 rebar anchors, 18" in length.
- On future submittals need to see valuation of project on Application.

Please provide revised Site Plan reflecting above corrections along with marked up copy.

Mike Zamora

Commercial Plan Checker

LETTER OF TRANSMITTAL

		Goodwin & Associate	es, P.A.			
		Consulting Engineers		6/3/99	JOS NO.	
		90606, ALBUQUERQUE, NM	87199	CHILD Z	amora	·
	(505) 828-	2200 FAX 79 e-mail: dmg@swcp.com	97-9539		· ·	
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WE ARE	SENDING YOU	Attached Under sepa	rate cover via	th	e following items:	
	☐ Shop drawings	Prints.	☐ Plans	□ Samples	☐ Specifications	
	☐ Copy of letter	Change order		•		· · · · · · · · · · · · · · · · · · ·
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	☐ For your use	☐ Approved		-		
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	☐ For review and		ioi corrections	CO	rected prints	ALLEN HIVING CAL
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If enclosures are not as noted, kindly notify us at ence.

SIGNED:

COPY TO

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	New Life Baptist Church		DRNG,FILE#: J-10-Z					
DRB#:	EPC#		WORK (ORDER#:				
LEGAL DESCRIPTION:	Tract 2-A, Unit 2, Tract N, Artrisco Busi	iness F	ark	•				
CITY ADDRESS:								
ENGINEERING FIRM:	Mark Goodwin & Associates		CONTACT:	John MacKenzie, PE				
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	•	- PHONE:	828-2200				
OWNER:			CONTACT:					
ADDRESS:			PHONE:					
ARCHITECT:	Stricklin Drafting & Design		CONTACT:	Shelley Stricklin				
ADDRESS:	Los Lunas, NM	<u> </u>	PHONE:	865-7768				
SURVEYOR:		<u>.</u>	CONTACT:					
ADDRESS:			PHONE:					
CONTACTOR:	Desert Rose Custom Homes, Inc.	····	CONTACT:	Don Mock				
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635	•	PHONE:	898-0144				
TYPE OF SUBMITTA ORAINAGE		CHEC	K TYPE OF APP SKETCH PLAT	ROVAL SOUGHT: APRROVAL				
X DRAINAGE			- PRELIMINARY	PLAT APRROVAL				
	AL GRADING & DRAINAGE PLAN	<u> </u>	S. DEV. PLAN	FOR SUB'D APPROVAL				
X GRADING P	LAN		- S. DEV. PLAN FOR BLDG PERMIT APPROVAL					
EROSION C	ONTROL .		SECTOR PLAI	N APPROVAL				
ENGINEER'S	S CERTIFICATION		- FINAL PLAT A	PPROVAL				
OTHER		Χ	FOUNDATION	PERMIT APPROVAL				
EASEMENT	VACATION	Х	BUILDING PE	RMIT APPROVAL				
			CERTIFICATIO	ON OF OCCUPANCY APPROVAL				
PRE-DESIGN MEET	ING:		- GRADING PEI	RMIT APPROVAL				
YES			PAVING PERM	IIT APPROVAL				
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•			OTHER ·					
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D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539

e-mail: dmg@swcp.com

May 26, 1999

City of Albuquerque Public Works Department Hydrology Division P.O. Box 1293 Albuquerque, NM 87103

Re: Tract 2-A, Unit 2, Tract N, Atrisco Business Park (New Life Baptist Church)

To whom it may concern:

This is a request for approval of a grading and drainage plan for a new church within the Atrisco Business Park located on the southeast corner of Los Volcanes Rd. and Airport Rd. In 1993, Easterling and Associates received approval from the City on the Atrisco Business Park Master Drainage Plan, which established allowable discharge rates for all parcels within the plan area. An allowable rate of 0.45 cfs was set for the subject site with discharge to be directed into the existing storm drain on the west side of Airport Dr. Connection to this storm drain will require a work order to be processed through the City's DRC.

The AHYMO run for this site indicates the site develops approximately 20 cfs during the 100 year-6 hour storm. On-site ponding has restrained the site discharge to 0.42 cfs with the aid of an orifice plate within the on-site drop inlet. The resulting maximum water surface elevation is 5106.77. The finished floor of the building has been set to 5108.77. Retaining walls have been placed along the south and east boundary of the site to help contain the ponding on-site. A second drop inlet, intended to serve as an emergency overflow, has been placed over the storm drain just inside the west property line. This will function if the orifice becomes clogged with debris or if the site is impacted by a storm of magnitude greater than the 100 year-6 hour design storm.

Ponding and discharge calculations are attached hereto. Please contact me if there are any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE

Senior Engineer

JMM/st

f:\\newlife\comments.wpd

MAY 2 7 1999

HYDROLOGY SECTION

START

TIME=0.0

***** BAPTIST CHURCH AT LOS VOLCANES AND AIRPORT RD.

RAINFALL

TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=1.88 IN RAIN SIX=2.21 IN

RAIN DAY=2.67 IN DT=0.033 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 H 5.973000 HOURS END TIME =.033000 HOURS DT =.0084 .0066 .0101 .0049 .0032 .0016 .0000 .0239 .0197 .0218 .0158 -0177 .0138 .0120 .0355 .0381 .0407 .0331 .0307 .0284 .0261 .0556 .0589 .0624 .0523 .0463 .0493 .0435 .0981 .0790 .0843 .0901 .0700 .0741 .0661 .6859 .2910 .3923 .5226 .1596 .2147 .1219 1.3119 1.3782 1.4381 1.4930 1.2361 1.1280 .8863 1.7169 1.7540 1.7892 1.6775 1.6357 1.5913 1.5439 1.9397 1.9578 1.9638 1.9126 1.8842 1.8542 1.8225 1.9846 1.9893 1.9937 1.9981 1.9797 1.9693 1.9747 2.0246 2.0139 2.0176 2.0212 2.0063 2.0102 2.0022 2.0466 2.0345 2.0376 2.0407 2.0437 2.0313 2.0280 2.0578 2.0604 2.0630 2.0656 2.0551 2.0523 2.0495 2.0754 2.0778 2.0801 2.0823 2.0730 2.0706 2.0681 2.0933 2.0953 2.0974 2.0911 2.0890 2.0868 2.0846 2.1093 2.1054 2.1073 2.1015 2.1034 2.0995 2.1167 2.1185 2.1203 2.1306 2.1323 2.1356 2.1290 2.1339 2.1273 2.1435 2.1419 2.1450 2.1466 2.1404 2.1388 2.1372 2.1540 2.1555 2.1569 2.1526 2.1511 2.1496 2.1481 2.1626 2.1640 2.1653 2.1667 2.1612 2.1598 2.1584 2.1721 2.1734 2.1747 2.1760 2.1707 2.1694 2.1681 2.1836 2.1848 2.1811 2.1823 2.1798 2.1786 2.1773 2.1921 2.1933 2.1909 2.1885 2.1897 2.1873 2.1861 2.1991 2.2002 2.2013 2.1979 2.1968 2.1956 2.1944 2.2058 2.2069 2.2080 2.2091 2.2047 2.2036 2.2025

*HYDROGRAPHS FOR 5 ACRE ON-SITE BASIN

COMPUTE NM HYD . ID=1 HYD NO=101.1 AREA=0.0078 SQ MI

PER A=0.0 PER B=15.0 PER C=0.0 PER D=85.0

TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = UNIT PEAK = 26.176 CFS UNIT VOLUME = .9990 B = 526.28 P60 = 1.88 AREA = .006630 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033000

K=.130816HR TP=.133300HR K/TP RATIO=.981365 SHAPE CONSTANT, N=UNIT PEAK=2.8740 CFS UNIT VOLUME=.9955 B=327.44 P60=1.88 AREA=.001170 SQ MI IA=.50000 INCHES INF=1.25000 INCHES PER HOUR RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD-DT=.033000

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 1.78080 INCHES = .7408 ACRE-FEET

PEAK DISCHARGE RATE = 20.01 CFS AT 1.518 HOURS BASIN AREA = .0078 SQ. MI.

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18.22 .00 5.06 .181 .37 19.01 .00 4.97 .157 .37 PEAK DISCHARGE = .417 CFS - PEAK OCCURS AT HOUR

MAXIMUM WATER SURFACE ELEVATION = 6.177

 $\texttt{MAXIMUM STORAGE} = .6516 \ \texttt{AC-FT} \qquad \texttt{INCREMENTAL TIME} = .$

.033000HRS

2.67

PRINT HYD

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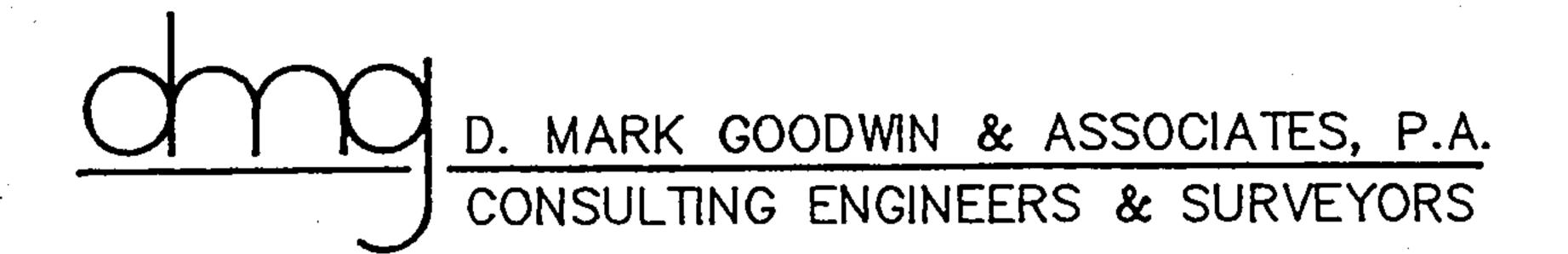
RUNOFF VOLUME = 1.46029 INCHES = .6075 ACRE-FEET

PEAK DISCHARGE RATE = .42 CFS AT 2.673 HOURS BASIN AREA = .0078 SQ. MI.

FINISH

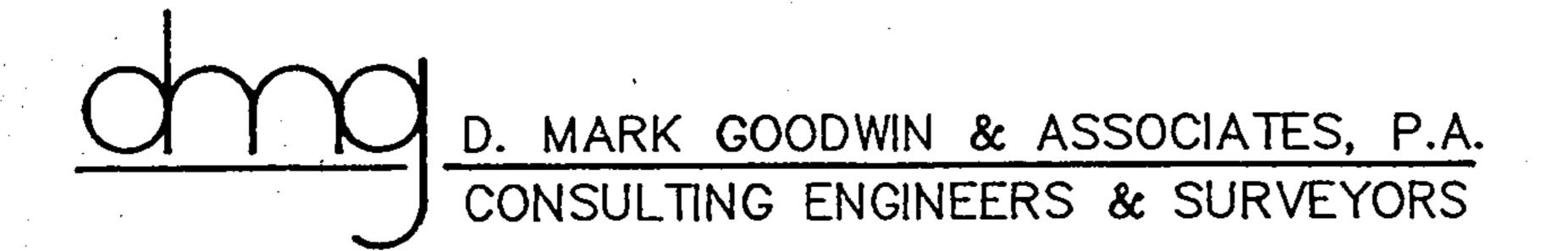
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P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 15, 1999

John MacKenzie, P.E.
Mark Goodwin & Associates
P.O. Box 90606
Albuquerque, NM 87199

RE: NEW LIFE BAPTIST CHURCH (J10-D29). GRADING AND DRAINAGE PLAN FOR FOUNDATION AND BUILDING PERMIT APPROVALS. ENGINEER'S STAMP DATED MAY 26, 1999.

Dear Mr. MacKenzie:

Based on the information provided on your May 27, 1999 submittal, City Hydrology has the following comments:

Drainage calculations are minimal. Drainage basins need to be defined.

Proposed work in Airport Drive will require a SO#19 Permit. Add appropriate notes and signature block to plan. Provide data on existing storm drain therein, i.e., address downstream capacity, etc.

The top of grate elevation for the New Type (?) Drop Inlet is given as 06.77', the same as the MAX. water surface for pond. The limits of that surface for the pond should be shown on the plan. The pond will be 2.5' deep at the retaining wall which would affect the adjacent lot and development thereon.

Transportation has reviewed the T.C.L. Their letter is enclosed with this correspondence.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,

ohn P. Murray, P.E

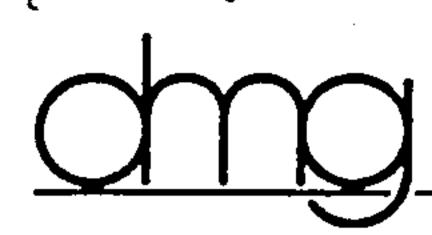
Hydrology

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Encl: As stated

DRAINAGE INFORMATION SHEET

PROJECT TITLE:	New Life Baptist Church	ZONEATLAS/DRNG,FILE#: J-10-Z/J/C		
DRB#:	EPC#	WORK	WORK ORDER#:	
LEGAL DESCRIPTION:	: Tract 2-A, Unit 2, Tract N, Artrisco Business Park			
CITY ADDRESS:			·	
•			•	
ENGINEERING FIRM:	Mark Goodwin & Associates	CONTACT:	John MacKenzie, PE	
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200	
OWNER:		CONTACT:	· · · · · · · · · · · · · · · · · · ·	
ADDRESS:	·	PHONE:	·	
ARCHITECT:	Stricklin Drafting & Design	CONTACT:	Shelley Stricklin	
ADDRESS:	Los Lunas, NM	PHONE:	865-7768	
SURVEYOR:	·	CONTACT:		
ADDRESS:	· · · · · · · · · · · · · · · · · · ·	PHONE:	·	
CONTACTOR:	Desert Rose Custom Homes, Inc.	CONTACT:	Don Mock	
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635	PHONE:	898-0144	
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PRE-DESIGN MEET	ΠNG:	GRADING PE	RMIT APPROVAL	
YES		PAVING PER	MIT APPROVAL	
X NO COPY PROVIDED		S.A.D. DRAINAGE REPORT		
		DRAINAGE REQUIREMENTS		
		OTHER		
DATE SUBMITTED: BY:	10-10-00 M. Mackerye:		OCT 1 0 2000 HYDROLOGY SECTION	



D. Mark Goodwin & Associates, P.A. Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199 (505) 828-2200 FAX 797-9539

e-mail: dmg@swcp.com

October 9, 2000

City of Albuquerque
Public Works Department
Hydrology Division
P.O. Box 1293
Albuquerque, NM 87103

Re: New Life Baptist Church (J10/D29)

To whom it may concern:

This is a request for approval of an engineer's certification on the grading and drainage plan for the referenced project.

The approved G & D was varied from the approved plan in the following ways:

- 1) Half of the east parking lot has been converted to a future building site.
- 2) Conflicts with existing utilities in Airport Drive have required the SW pond outfall to be raised and the new Type "D" Inlet at the bottom of the pond to be replaced by an alternative inlet.
- 3) The required wall along the south property line was replaced by an earthen berm.

With regard to 1) the future building construction will require a new grading and drainage plan specifying a particular design to conform with before it's built.

With regard to 2) the outfall invert in the SW ponding area had to be raised and the orifice-controlled opening enlarged to compensate for the reduced head acting on the opening. See attached calculations and new AHYMO run on the new elevations. The revised discharge rate is still within the site's allowed discharge rate of 0.45 cfs.

With regard to 3) the church is currently engaged in negotiation with the owner of the property to the south. They plan to expand to the south, which would be in conjunction with future building plans within the east parking lot, so a temporary berm should be considered an acceptable alternative to the more permanent aspect of a retaining wall along the property line.

With the plan adjustments as noted above, I believe the modified plan is in substantial compliance with the approved plan.

Please contact me if there are any questions.

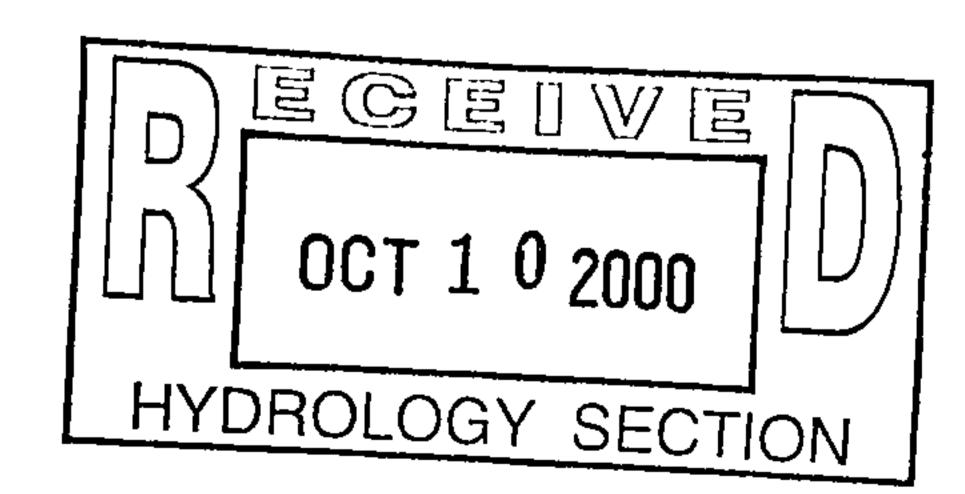
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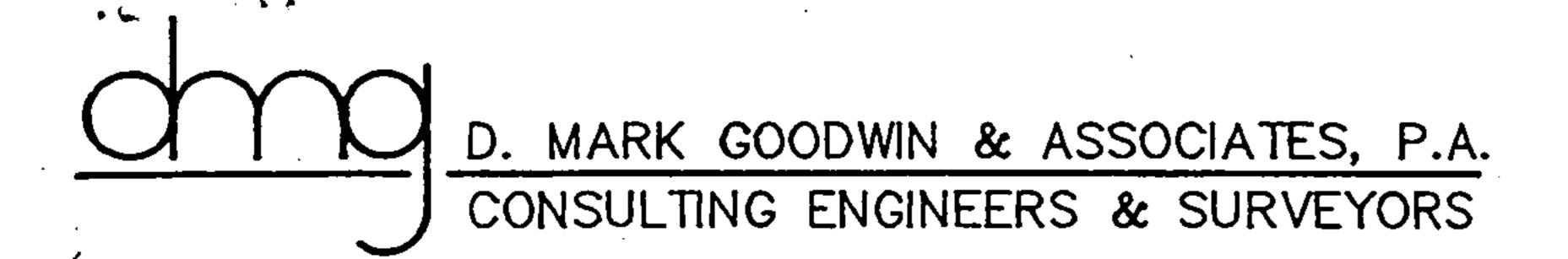
MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE

Vice President

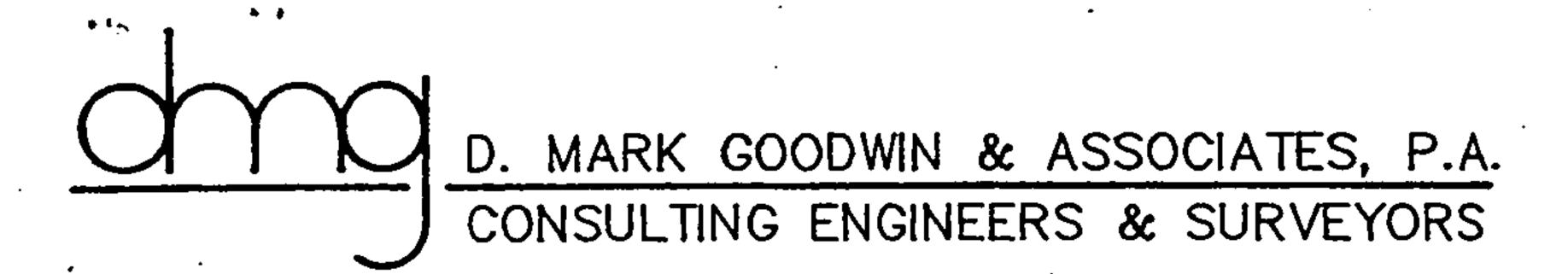
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START

TIME=0.0

***** BAPTIST CHURCH AT LOS VOLCANES AND AIRPORT RD.

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN RAIN ONE=1.88 IN RAIN SIX=2.21 IN RAIN DAY=2.67 IN DT=0.033 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40

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*HYDROGRAPHS FOR 5 ACRE ON-SITE BASIN

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.0078 SQ MI PER A=0.0 PER B=15.0 PER C=0.0 PER D=85.0 TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420 UNIT PEAK = 26.176 CFS UNIT VOLUME = .9990 B = 526.28 P60 = 1.8800 AREA = .006630 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033000 K=.130816HR TP=.133300HR K/TP RATIO=.981365 SHAPE CONSTANT, N=3.598385 UNIT PEAK=2.8740 CFS UNIT VOLUME=.9955 B=327.44 P60=1.8800 AREA=.001170 SQ MI IA=.50000 INCHES INF=1.25000 INCHES PER HOUR RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD-DT=.033000

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 1.78080 INCHES = .7408 ACRE-FEET
PEAK DISCHARGE RATE = 20.01 CFS AT 1.518 HOURS BASIN AREA = .0078 SQ. MI.

ROUTE RESERVOIR ID=2 HYD NO=107.1 INFLOW ID=1 CODE=24 OUTFLOW(CFS) STORAGE(ACFT) ELEVATION (FT)

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0.16	0.0001	3.00
0.28	0.0102	4.00
0.36	0.1610	5.00
0.43	0.5215	6.00
0.49	1.2567	7.00

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1.58	15.15	5.46	.328	.39
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5.54	.12	6.08	.581	.43
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7.92	.00	5.95	.503	.43
8.71	.00	5.87	.476	.42
9.50	.00	5.80	.448	.42
10.30	.00	5.72	.421	.41
11.09	.00	5.65	.394	.41
11.88	.00	5.57	.368	.40
12.67	.00	5.50	.342	.40
13.46	.00	5.43	.316	.39
14.26	.00	5.36	.291	.39
15.05	.00	5.29	.266	.38
15.84	.00	5.22	.241	.38
16.63	.00	5.15	.217	.37

17.42 .00 5.09 .193 .37 18.22 .00 5.02 .169 .36 19.01 .00 4.90 .145 .35 PEAK DISCHARGE = .441 CFS - PEAK OCCURS AT HOUR 2.64 MAXIMUM WATER SURFACE ELEVATION = 6.176

MAXIMUM STORAGE = .6509 AC-FT INCREMENTAL TIME .033000HRS

PRINT HYD ID=2 CODE=1

PARTIAL HYDROGRAPH 107.10

RUNOFF VOLUME = 1.48460 INCHES = .6176 ACRE-FEET
PEAK DISCHARGE RATE = .44 CFS AT 2.640 HOURS BASIN AREA = .0078 SQ. MI.

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 14:28:54