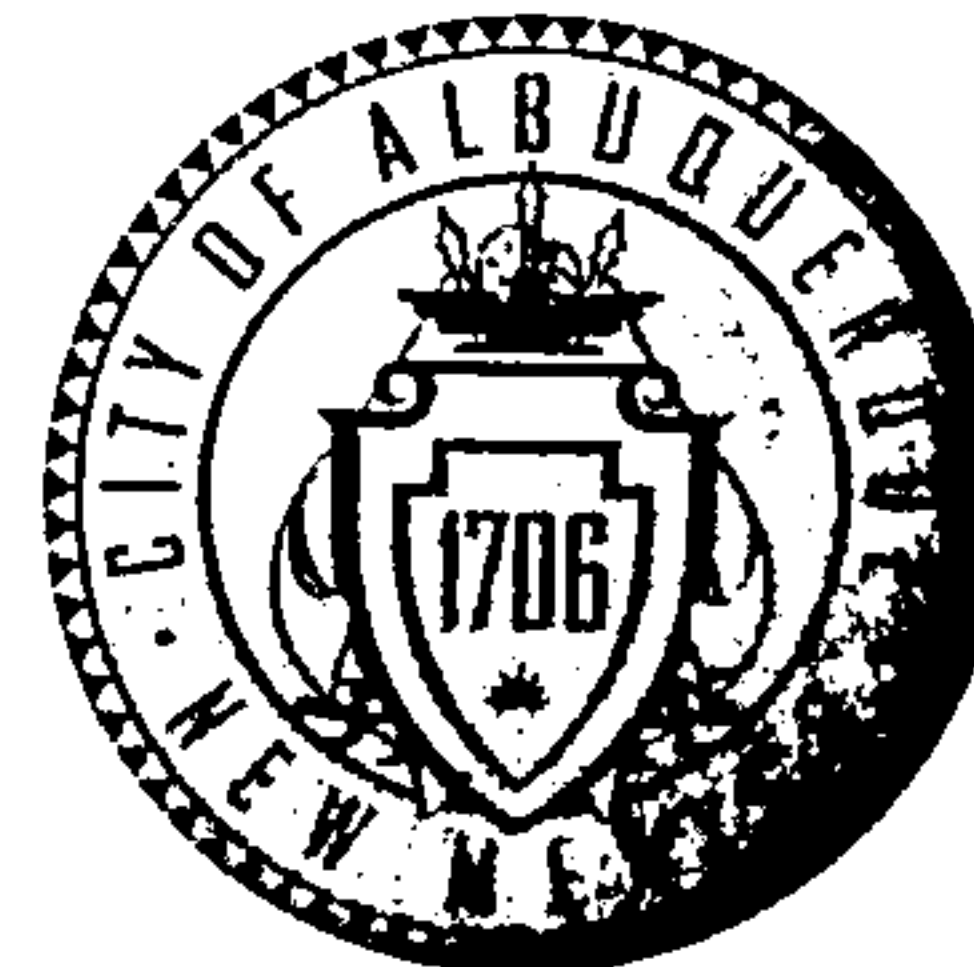


# CITY OF ALBUQUERQUE



December 10, 2009

Garlan Bryan, R.A.  
2403 San Mateo Blvd. NE Suite W-1  
Albuquerque, NM 87110

**Re: New Life Baptist Church Gymnasium and Classroom Addition,  
6900 Los Volcanes Rd NW  
Permanent Certificate of Occupancy – Transportation Development  
DRB Site Plan (1001426) (J10-D029)  
Certification dated 12-10-09**

Dear Mr. Bryan,

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based upon the information provided in your submittal received 12-10-09, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

# Garlan Bryan Architect

J-10/D029

2403 San Mateo Blvd. NE  
Suite W-1  
Albuquerque, N.M. 87110  
Phone: 505.884.9694  
Fax: 505.872.0437

December 10, 2009

Project: 6900 Los Volcanes Rd. NW,  
New Life Baptist Church Gymnasium & Classroom Addition

## TRAFFIC CERTIFICATION

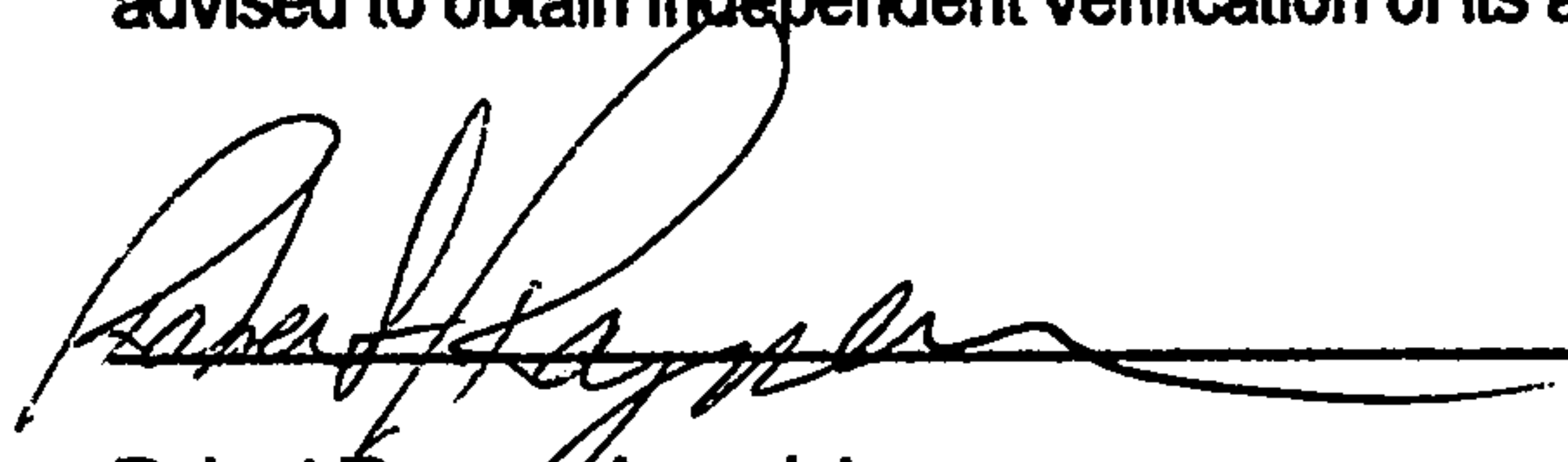
I, Robert Rayner, Associated, of the firm Garlan Bryan Architects, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated 11/29/2009 (parking revision). The record information edited onto the original design document has been obtained by Garlan Bryan Architect. I further certify that I have personally visited the project site on 12/10/2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

### Exceptions:

- None

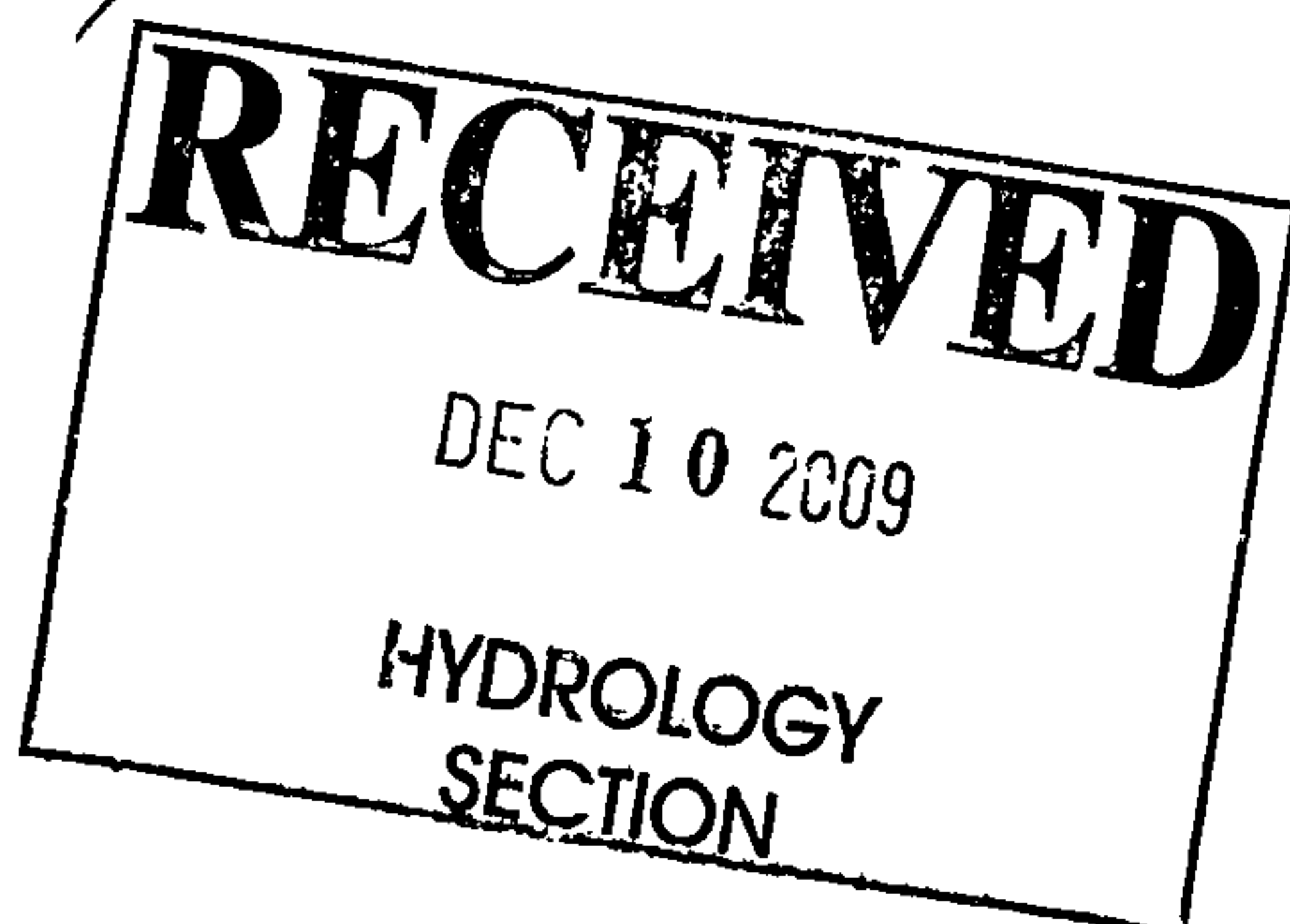
### Deficiencies:

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.



Robert Rayner, Associate,  
Garlan Bryan Architects

12/10/09 (Date)



# CITY OF ALBUQUERQUE



October 1, 2009

Garlan Bryan, Registered Architect  
2403 San Mateo Blvd. NE,  
Suite W-1  
Albuquerque, NM 87110

**Re: New Life Baptist Church Gymnasium and Classroom Addition,  
6900 Los Volcanes Rd NW,  
Temporary Certificate of Occupancy – Transportation Development  
DRB Site Plan (1001426), File(J10-D029)  
Certification dated 09-25-09**

Dear Mr. Bryan,

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Based upon the information provided in your submittal received 09-30-09, the above referenced certification is approved for a second 90-day Temporary Certificate of Occupancy by Transportation Development for the outstanding Administrative Amendment to The DRB Site Plan to reflect approved changes.

If you have any questions, you can contact me at 924-3630.

Sincerely,

Nilo Salgado-Fernandez, P.E.  
Senior Traffic Engineer, Planning Dept.  
Development and Building Services

C: CO Clerk  
File

12-04-09  
30-day extension of temp CO  
approved  
Kristal Metro, Transportation  
Development



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NEW LIFE BAPTIST ACADEMY ZONE MAP: J10/D29  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: 6900 LOS VOLCANES NW  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: ADVANCED ENGINEERING CONTACT: SHAHAB  
 ADDRESS: \_\_\_\_\_ PHONE: 899-5570  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: LARRY E. ALLEN CONTACT: 249-6011  
 ADDRESS: 6900 LOS VOLCANES NW PHONE: 249-6011  
 CITY, STATE: ALBUQUERQUE, NM 87120 ZIP CODE: 87120

ARCHITECT: GARLAN BRYAN CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: ADVANCED ENGINEERING CONTACT: SHAHAB  
 ADDRESS: \_\_\_\_\_ PHONE: 899-5570  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: HOUSES BY DANIELE, LLC CONTACT: JERRY DANIELE  
 ADDRESS: 14322 CENTRAL AVE NW PHONE: 620-6050  
 CITY, STATE: ALBUQUERQUE, NM 87121 ZIP CODE: 87121

**TYPE OF SUBMITTAL:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☒ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☒ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

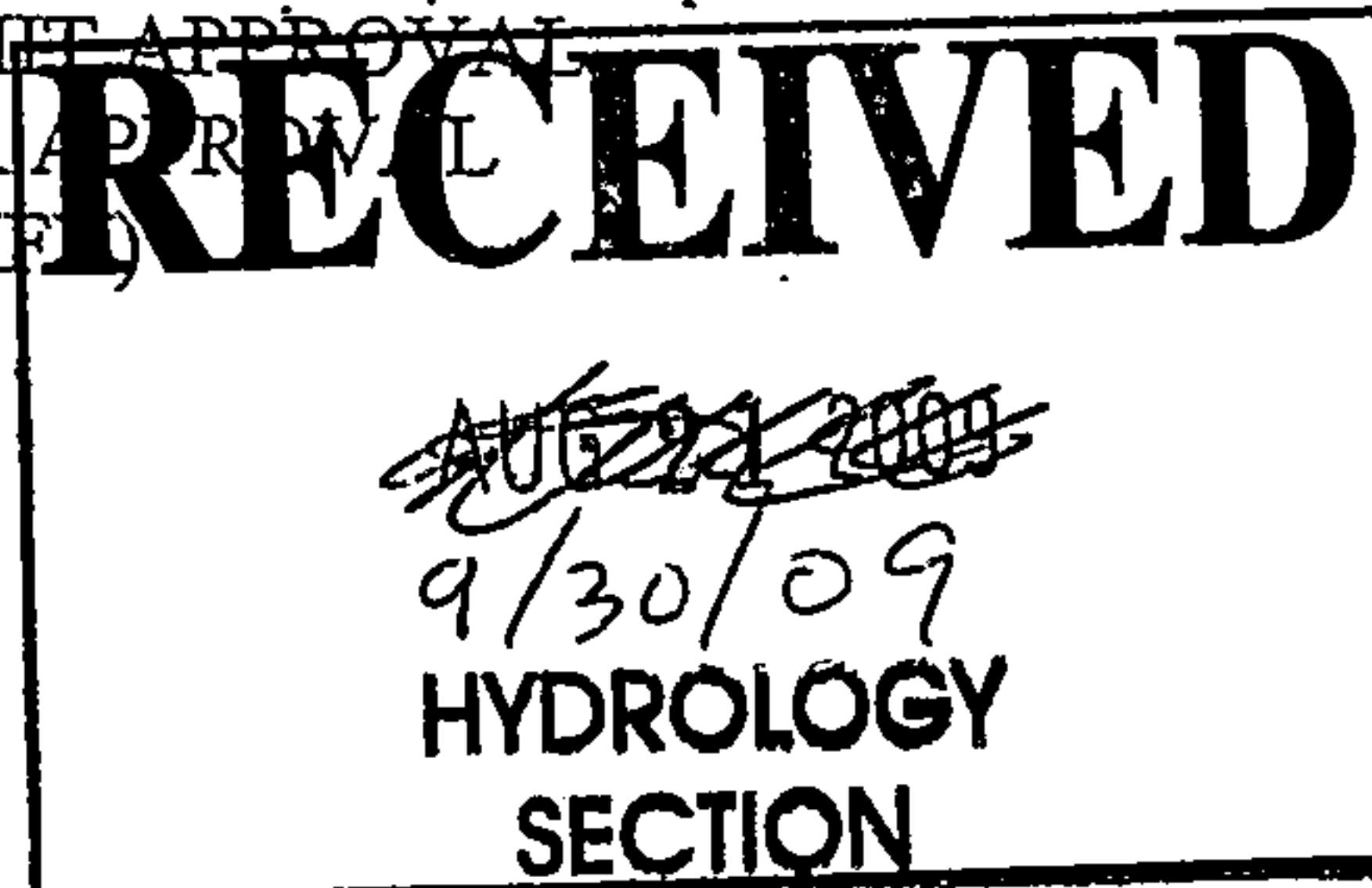
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# Garlan Bryan Architect

2403 San Mateo Blvd. NE  
Suite W-1  
Albuquerque, N.M. 87110  
Phone: 505.884.9694  
Fax: 505.872.0437

September 24, 2009

Project: 6900 Los Volcanes Rd. NW,  
New Life Baptist Church Gymnasium & Classroom Addition

## TRAFFIC CERTIFICATION


I, Garlan Bryan, Architect, of the firm Garlan Bryan Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated 9/15/2008. The record information edited onto the original design document has been obtained by Garlan Bryan Architect. I further certify that I have personally visited the project site on 9/25/2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a final certificate of occupancy.

### Exceptions:

- Approved Amended Site Plan

### Deficiencies:

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
(Garlan Bryan, Architect)

9-25-09 (Date)



# CITY OF ALBUQUERQUE



August 21, 2009

Garlan Bryan, R.A.  
2403 San Mateo Blvd. NE Suite W-1  
Albuquerque, NM 87110

**Re: New Life Baptist Church Gymnasium and Classroom Addition, 6900 Los  
Volcanes Rd NW,**

**Temporary Certificate of Occupancy – Transportation Development**

**DRB Site Plan (1001426) (J10-D029)**

**Certification dated 08-21-09**

Dear Mr. Bryan,

PO Box 1293

Based upon the information provided in your submittal received 08-21-09, the  
above referenced certification is approved for release of 90-day Temporary Certificate  
of Occupancy by Transportation Development.

Albuquerque

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

NM 87103

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: NEW LIFE BAPTIST ACADEMY ZONE MAP: \_\_\_\_\_  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: 6900 LOS VOLCANES NW  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: ADVANCED ENGINEERING CONTACT: SHAHAB  
ADDRESS: \_\_\_\_\_ PHONE: 899-5570  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: LARRY E. ALLEN CONTACT: 249-6011  
ADDRESS: 6900 LOS VOLCANES NW PHONE: 249-6011  
CITY, STATE: ALBUQUERQUE, NM 87120 ZIP CODE: 87120

ARCHITECT: GARLAN BRYAN CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: ADVANCED ENGINEERING CONTACT: SHAHAB  
ADDRESS: \_\_\_\_\_ PHONE: 899-5570  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: HOMES BY DANIELE, LLC CONTACT: JERRY DANIELE  
ADDRESS: 14322 CENTRAL AVE NW PHONE: 620-6050  
CITY, STATE: ALBUQUERQUE, NM 87121 ZIP CODE: 87121

## TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
- ☐ DRAINAGE PLAN RESUBMITTAL
- ☐ CONCEPTUAL G & D PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERT (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT
- ☐ ENGINEER'S CERT (TCL)
- ☐ ENGINEER'S CERT (DRB SITE PLAN)
- ☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATE OF OCCUPANCY (PERM)
- ☒ CERTIFICATE OF OCCUPANCY (TEMP)
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☐ OTHER (SPECIFY) \_\_\_\_\_

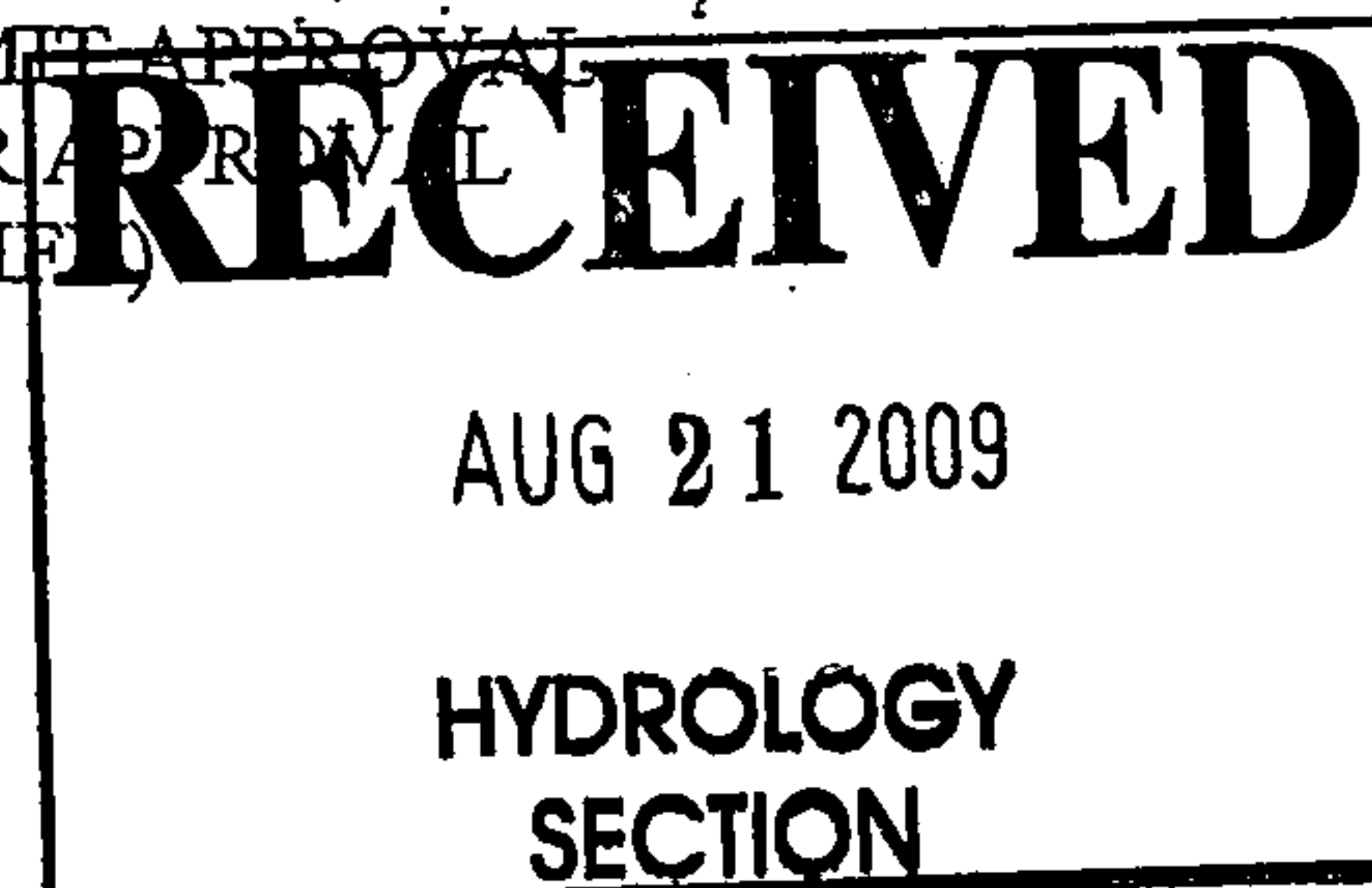
WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: \_\_\_\_\_ BY: \_\_\_\_\_

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# Garlan Bryan Architect

2403 San Mateo Blvd. NE  
Suite W-1  
Albuquerque, N.M. 87110  
Phone: 505.884.9694  
Fax: 505.872.0437

August 20, 2009

Project: 6900 Los Volcanes Rd. NW,  
New Life Baptist Church Gymnasium & Classroom Addition

## TRAFFIC CERTIFICATION

I, Garlan Bryan, Architect, of the firm Garlan Bryan Architect, hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, AA, or TCL approved plan dated 9/15/2008. The record information edited onto the original design document has been obtained by Garlan Bryan Architect. I further certify that I have personally visited the project site on 8/20/2009 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for a temporary certificate of occupancy.

### Exceptions:

- Approved Amended Site Plan

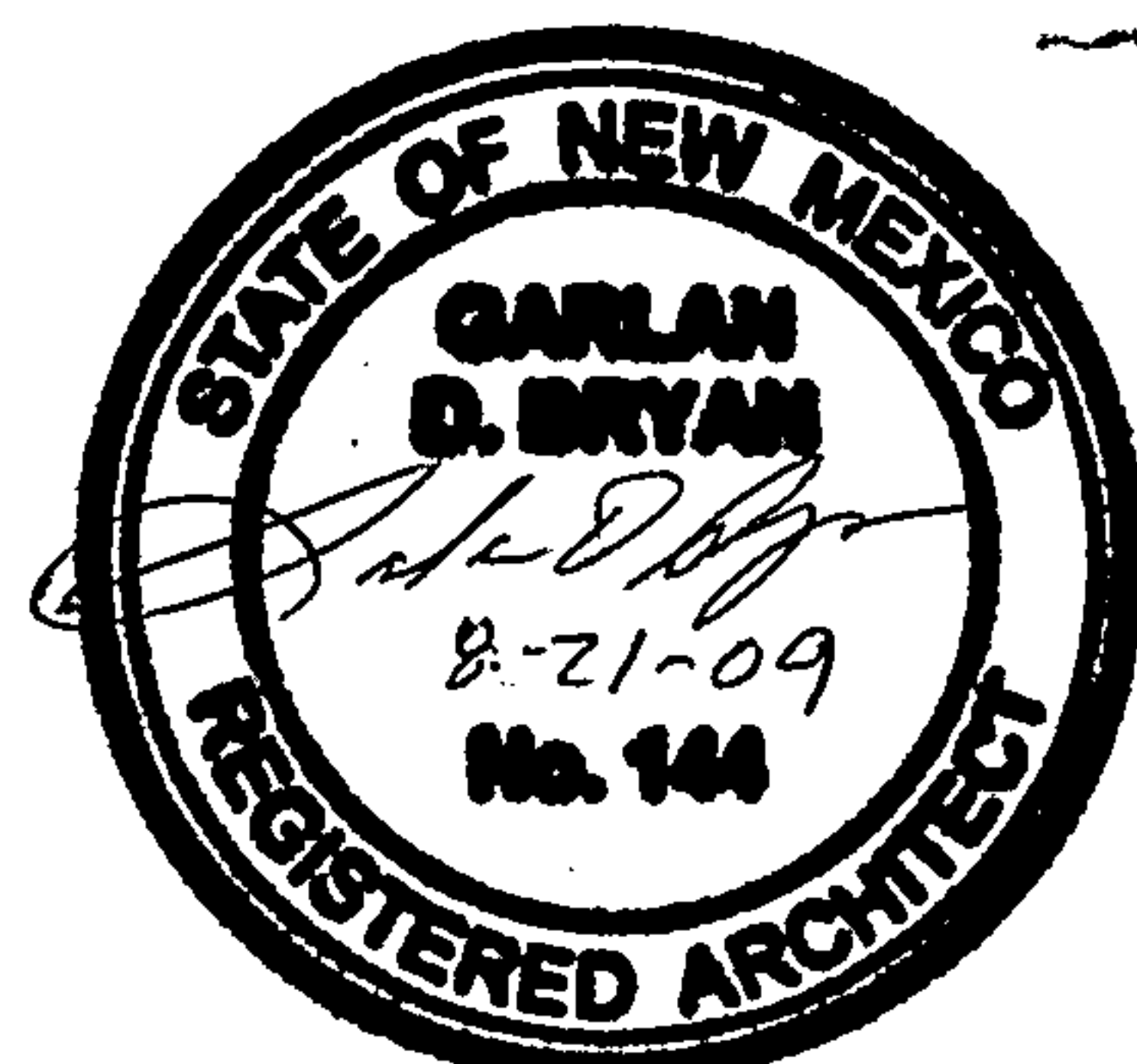
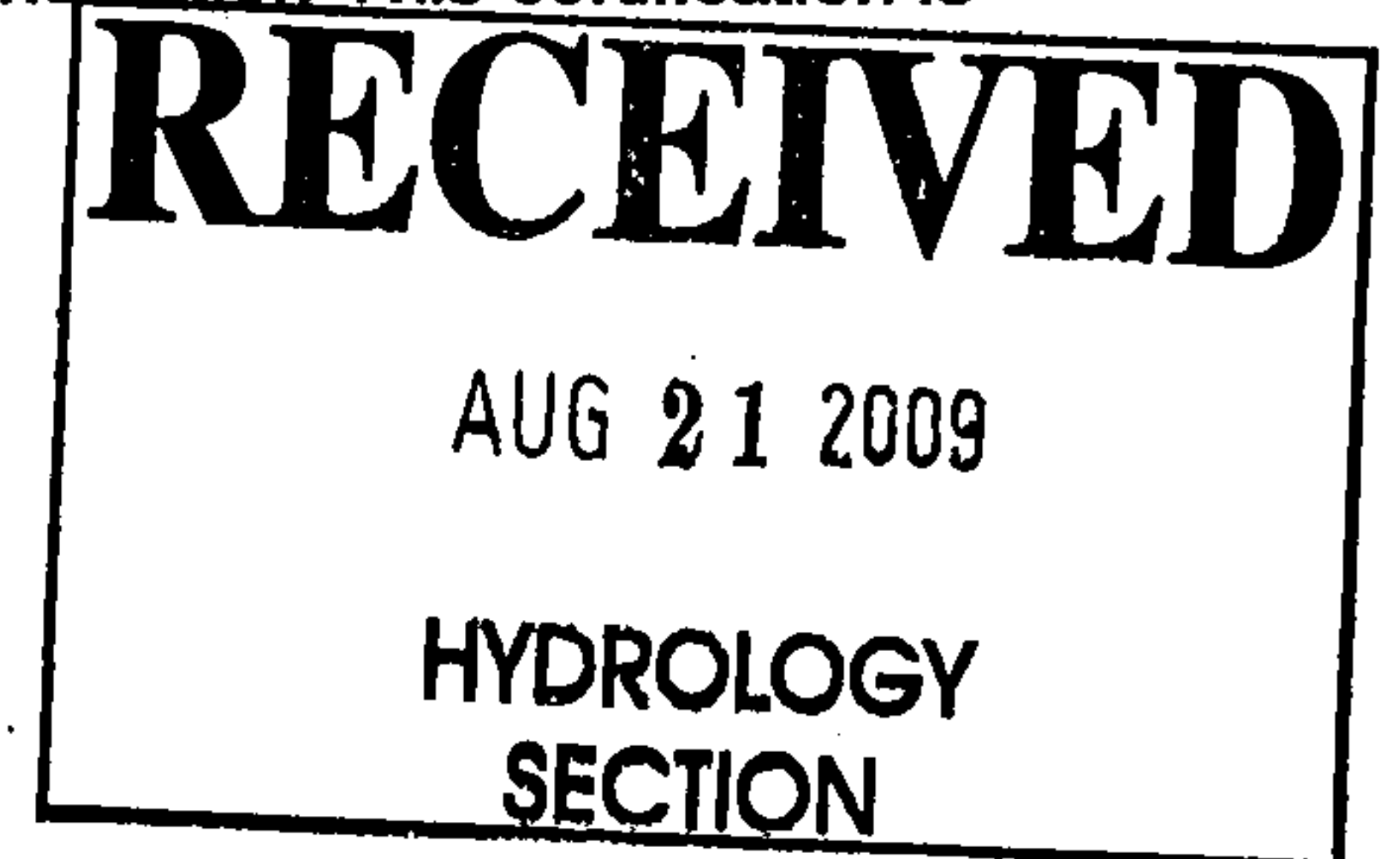
### Deficiencies:

- Parking median endcaps have not yet been installed on North side of building.
- Parking lot striping is not entirely completed.
- Concrete work has not been installed yet. IAW. Amended site plan.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

  
(Garlan Bryan, Architect)

8-21-09 (Date)





**Metro, Kristal D.**

---

**From:** Jerry Daniele [homesbydaniele@yahoo.com]  
**Sent:** Friday, August 21, 2009 7:58 AM  
**To:** Metro, Kristal D.  
**Subject:** Pic for New Life Academy Job  
**Attachments:** 018.JPG; 017.JPG

Kristal,

Attached are the pics you asked for. Thanks for your help.

Jerry Daniele

8/21/2009











# CITY OF ALBUQUERQUE



September 23, 2009

Shahab Biazar, P.E.  
**Advanced Engineering & Consulting, LLC**  
4416 Anaheim Avenue NE  
Albuquerque, NM 87113

**Re: New Life Baptist Church Addition, 6900 Los Volcanes Rd NW,  
(J-10/D029)**

**Approval of Permanent Certificate of Occupancy—Approved,**

**Engineer's Stamp Dated: 11-08-07**

**Certification Stamp Date: 09-14-09**

Dear Mr. Biazar,

Based upon the information provided by our visual inspection on 9/23/09, the above referenced certification is approved for release of Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Timothy E. Sims  
Plan Checker-Hydrology, Planning Dept  
Development and Building Services

C: CO Clerk—Katrina Sigala  
file

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(Rev. 12/05)

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: ATRISCO BUISNESS PARK UNIT 2, TRACK N, LOT 2-A

CITY ADDRESS: 6900 Los Volcane

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
 ADDRESS: 4416 Anaheim Ave., NE  
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar  
 PHONE: (505) 899-5570  
 ZIP CODE: 87113

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

\_\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_\_ DRAINAGE PLAN 1ST SUBMITTAL  
 \_\_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
 \_\_\_\_\_ GRADING PLAN  
 \_\_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
 \_\_\_\_\_ CLOMR / LOMR  
 \_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
 \_\_\_\_\_ ENGINEER/ARCHITECT CERT (TCL)  
 \_\_\_\_\_ ENGINEER/ARCHITECT CERT (DRB S.P.)  
 \_\_\_\_\_ ENGINEER/ARCHITECT CERT (AA)  
 \_\_\_\_\_ DRAINAGE CALCULATIONS

**CHECK TYPE OF APPROVAL SOUGHT:**

\_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
 \_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
 \_\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
 \_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)  
 \_\_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

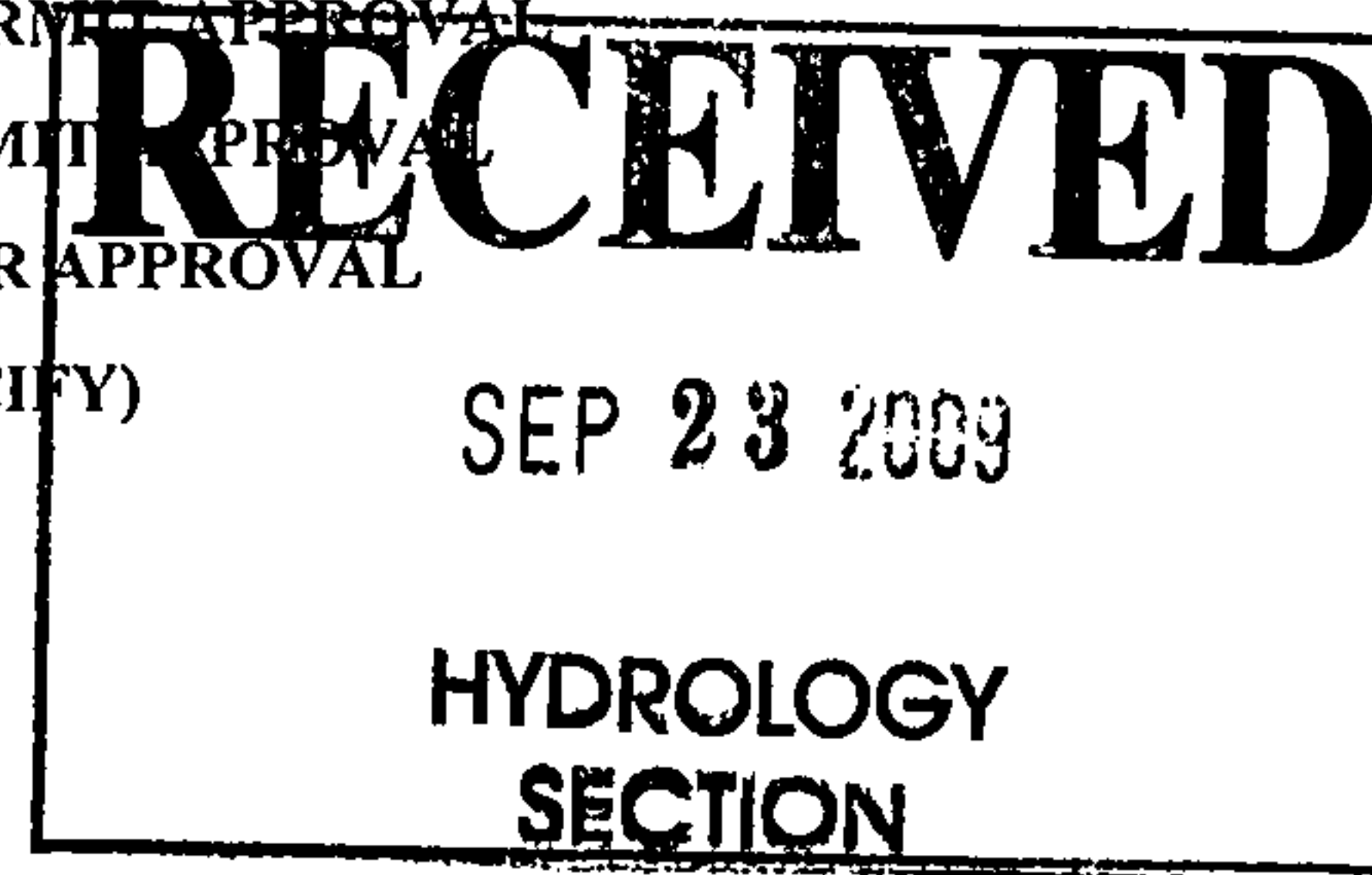
**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

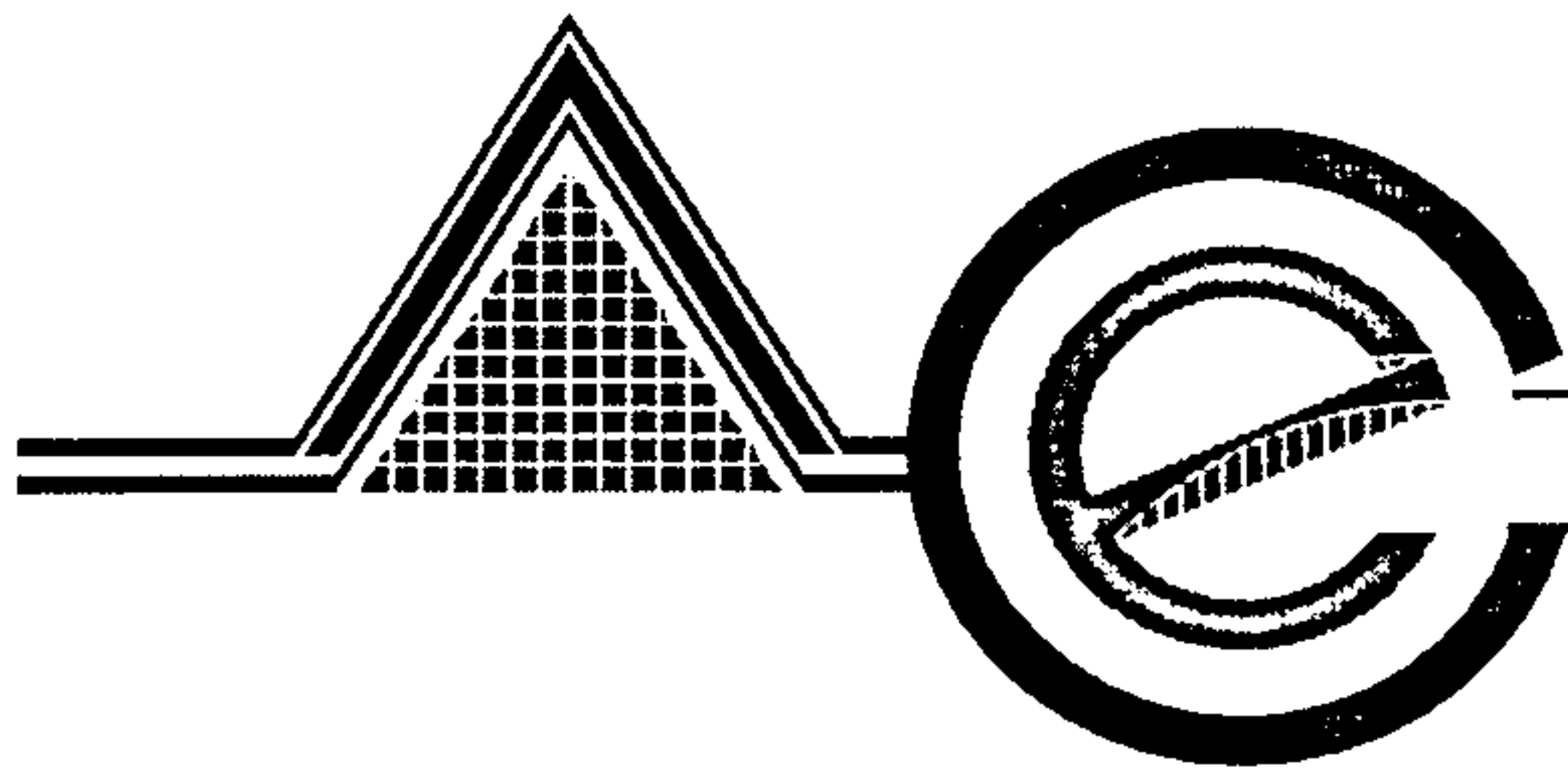
\_\_\_\_\_ YES  
☒ NO  
 \_\_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 09 / 14 / 2009 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.





ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

September 14, 2009

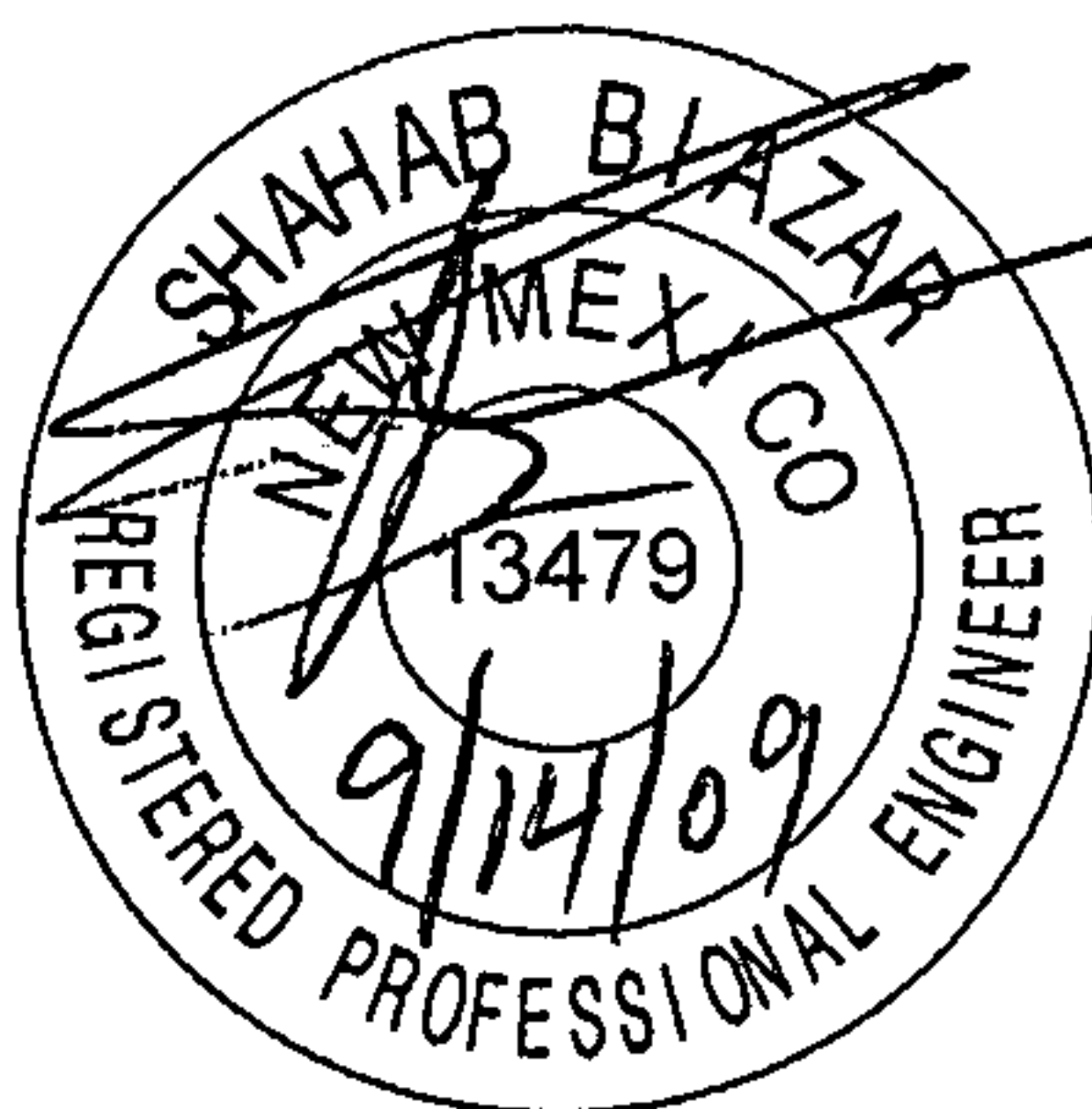
Mr. Timothy Sims  
Hydrology Section  
Development and Building Services  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF OCCUPANCY FOR NEW LIFE BAPTIST CHURCH  
ADDITION (J10-D29)

Dear Mr. Sims:

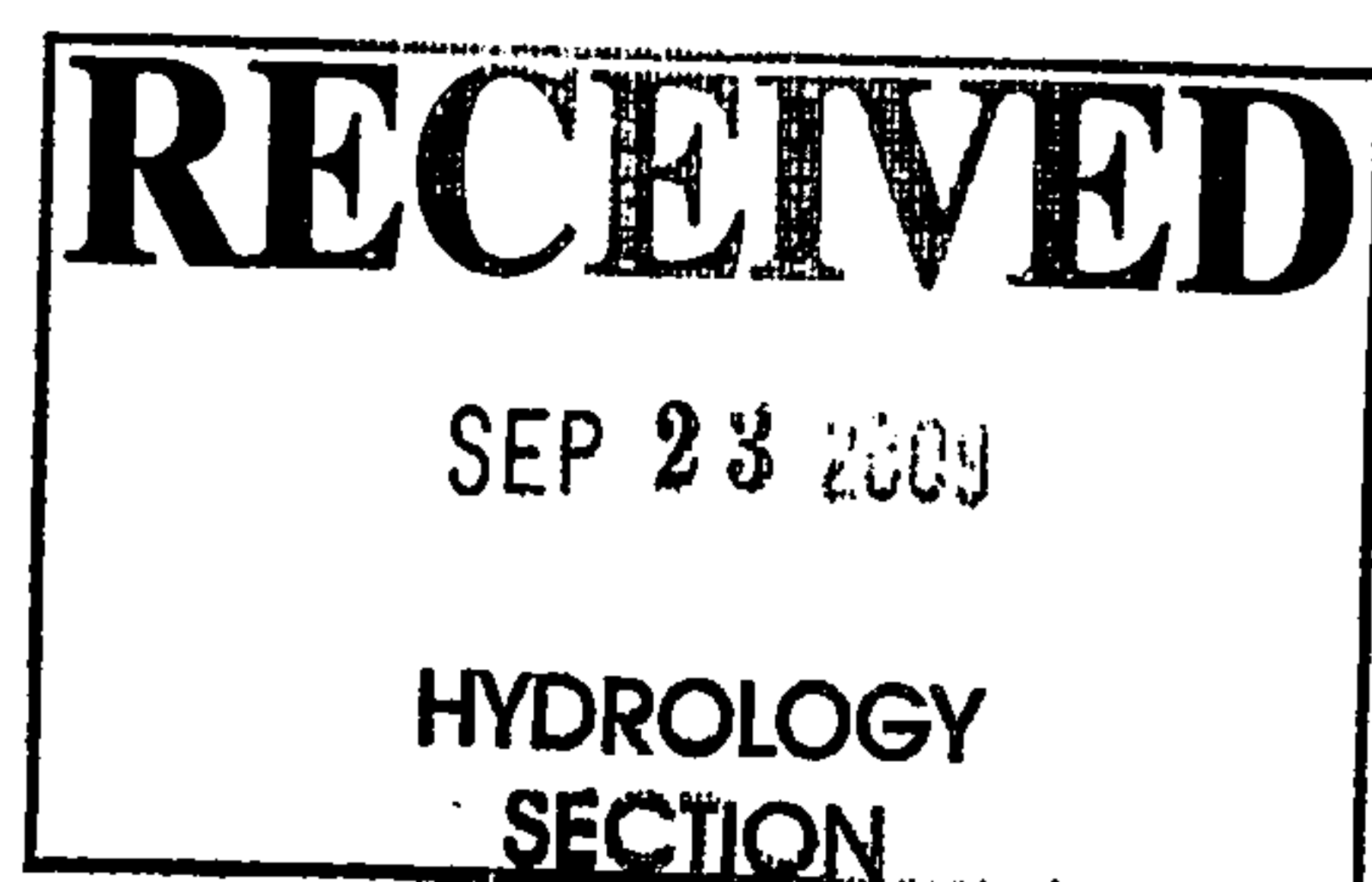
This letter is in Final Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 11/08/2007. All the pavement, the storm sewer pipes, and the pond are in place. See enclosed plan for as-built grades.

Please contact me if there are any questions or concerns regarding this submittal.



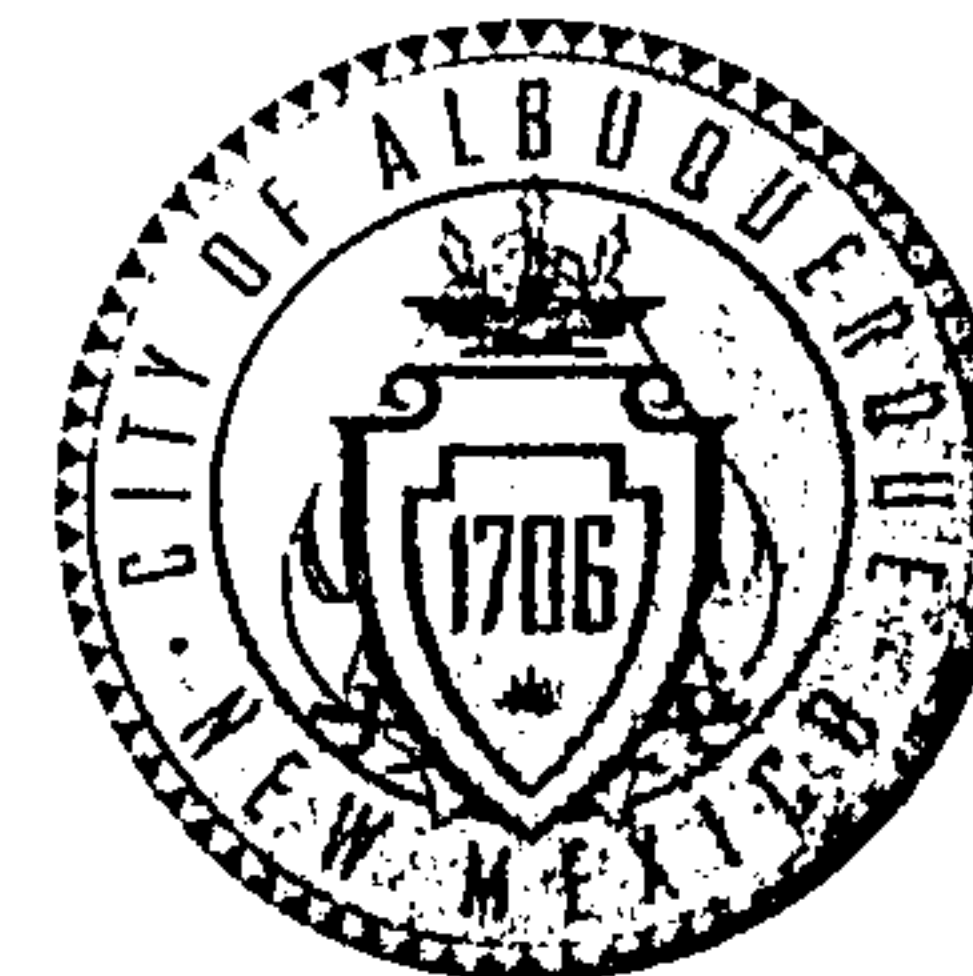
Sincerely yours,

Shahab Biazar, P.E.





# CITY OF ALBUQUERQUE



July 30, 2009

Shahab Biazar, P.E.  
**Advanced Engineering & Consulting, LLC**  
4416 Anaheim Avenue NE  
Albuquerque, NM 87113

**Re: New Life Baptist Church Addition, 6900 Los Volcanes Rd. NW, :  
Approval of 90-Day Certificate of Occupancy (C.O.)  
Engineer's Stamp dated 11/08/075 (J-10/D029)  
Certification dated 7-27-09**

Dear Mr. Biazar,

PO Box 1293

Based upon the information provided in your submittal received 7-27-09, the above referenced certification is approved for release of a 90 Day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Prior to Permanent Certificate of Occupancy, an Engineer's Certification per the DPM is required.

NM 87103

If you have any questions, you can contact me at 924-3982.

Sincerely,

www.cabq.gov

Timothy E. Sims  
Plan Checker—Hydrology,  
Development and Building Services

C: CO Clerk-Katrina Sigala  
File

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**

(Rev. 12/05)

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: ATRISCO BUISNESS PARK UNIT 2, TRACK N, LOT 2-A  
 CITY ADDRESS: 6900 Los Volcanes Rd NW

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
 ADDRESS: 4416 Anaheim Ave., NE  
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar  
 PHONE: (505) 899-5570  
 ZIP CODE: 87113

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

\_\_\_\_ DRAINAGE REPORT  
 \_\_\_\_ DRAINAGE PLAN 1ST SUBMITTAL  
 \_\_\_\_ DRAINAGE PLAN RESUBMITTAL  
 \_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
 \_\_\_\_ GRADING PLAN  
 \_\_\_\_ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
 \_\_\_\_ CLOMR / LOMR  
 \_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
 \_\_\_\_ ENGINEER/ARCHITECT CERT (TCL)  
 \_\_\_\_ ENGINEER/ARCHITECT CERT (DRB S.P.)  
 \_\_\_\_ ENGINEER/ARCHITECT CERT (AA)  
 \_\_\_\_ DRAINAGE CALCULATIONS

**CHECK TYPE OF APPROVAL SOUGHT:**

\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
 \_\_\_\_ PRELIMINARY PLAT APPROVAL  
 \_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
 \_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
 \_\_\_\_ SECTOR PLAN APPROVAL  
 \_\_\_\_ FINAL PLAT APPROVAL  
 \_\_\_\_ FOUNDATION PERMIT APPROVAL  
 \_\_\_\_ BUILDING PERMIT APPROVAL  
 \_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)  
☒ CERTIFICATE OF OCCUPANCY (TEMP.)  
 \_\_\_\_ GRADING PERMIT APPROVAL  
 \_\_\_\_ PAVING PERMIT APPROVAL  
 \_\_\_\_ WORK ORDER APPROVAL  
 \_\_\_\_ OTHER (SPECIFY) \_\_\_\_\_

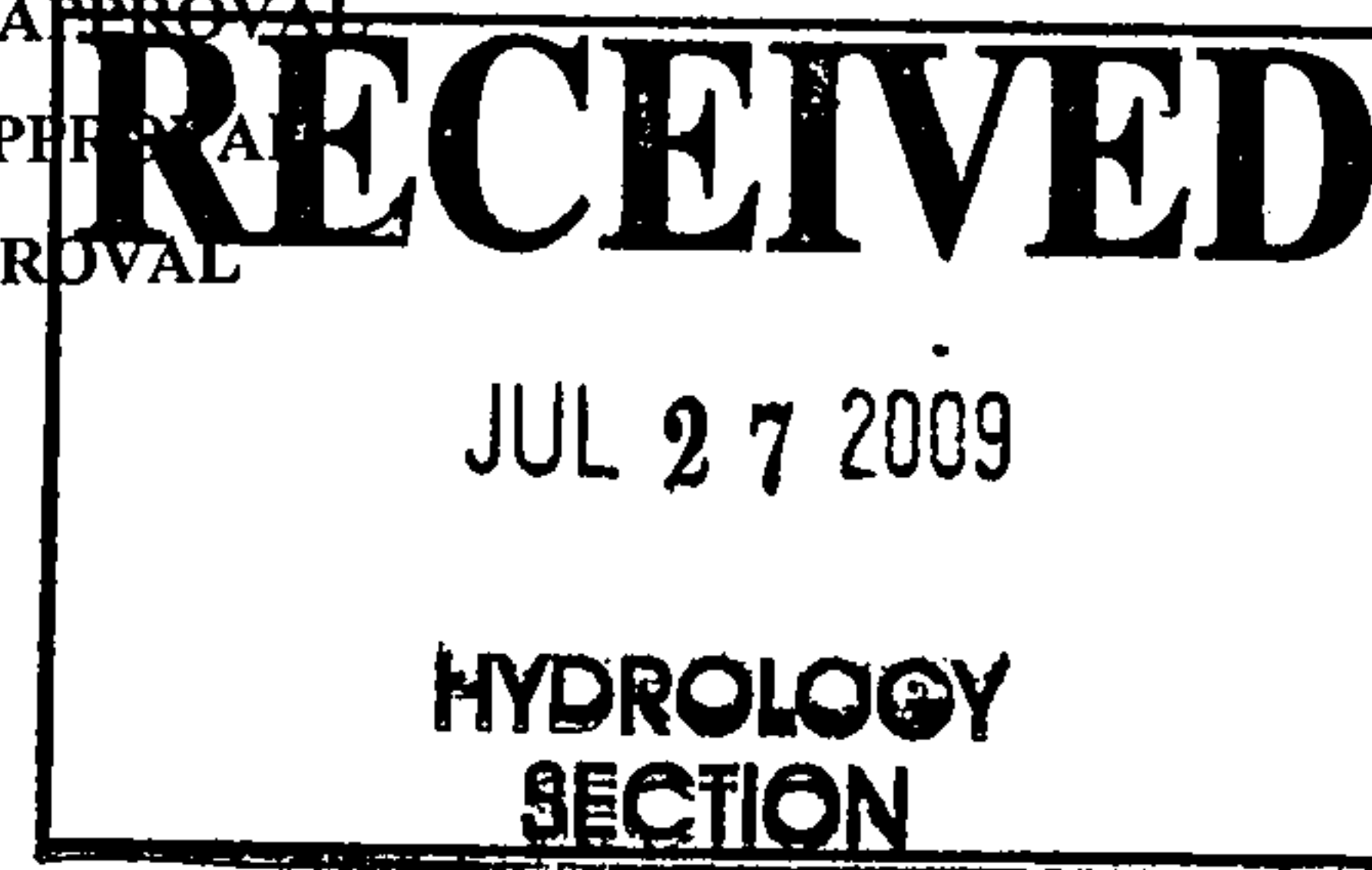
**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

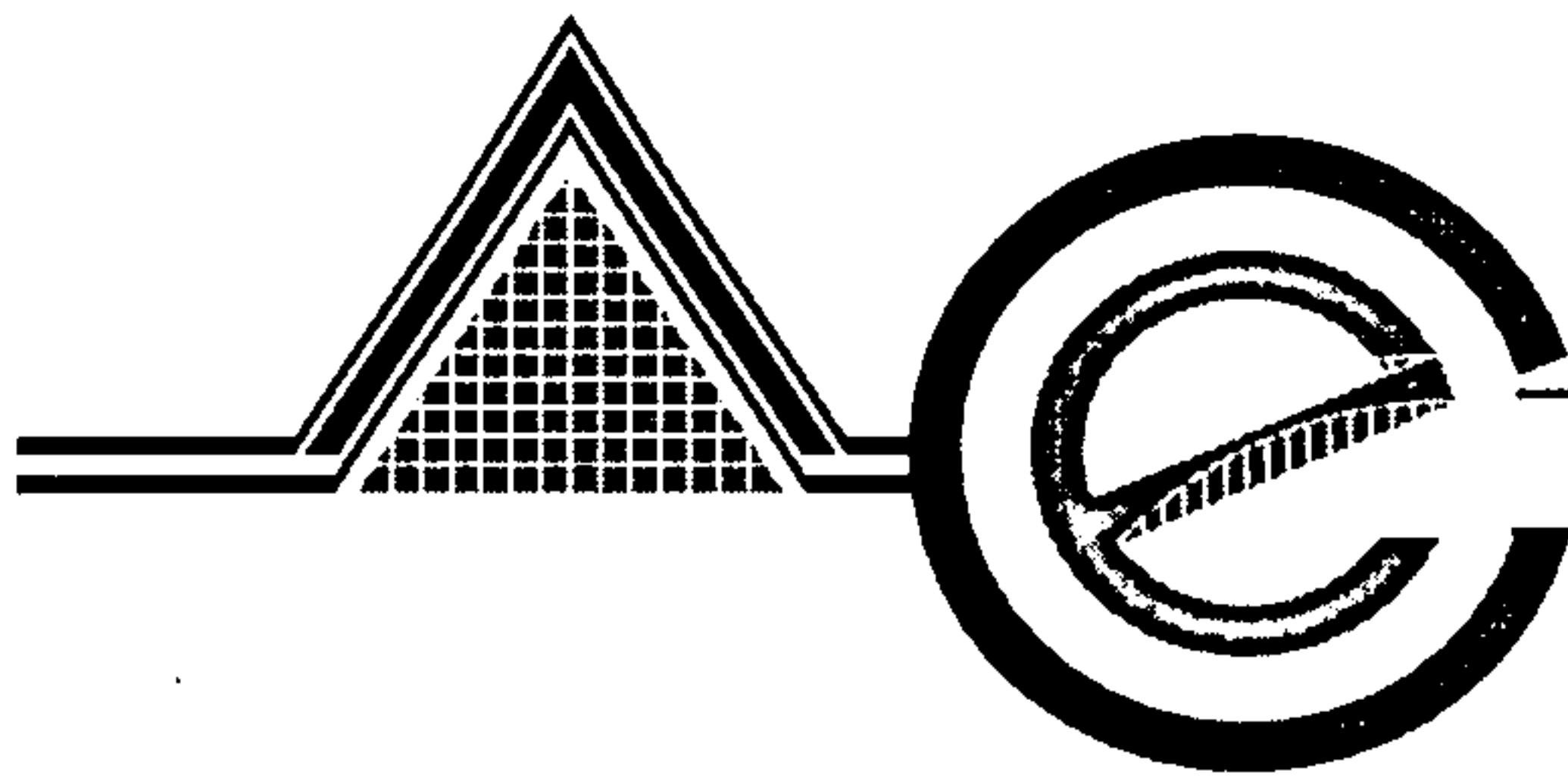
\_\_\_\_ YES  
☒ NO  
 \_\_\_\_ COPY PROVIDED

DATE SUBMITTED: 07 / 27 / 2009 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5).
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.





## ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting*  
*Design*  
*Development*  
*Management*  
*Inspection*  
*Surveying*

July 27, 2009

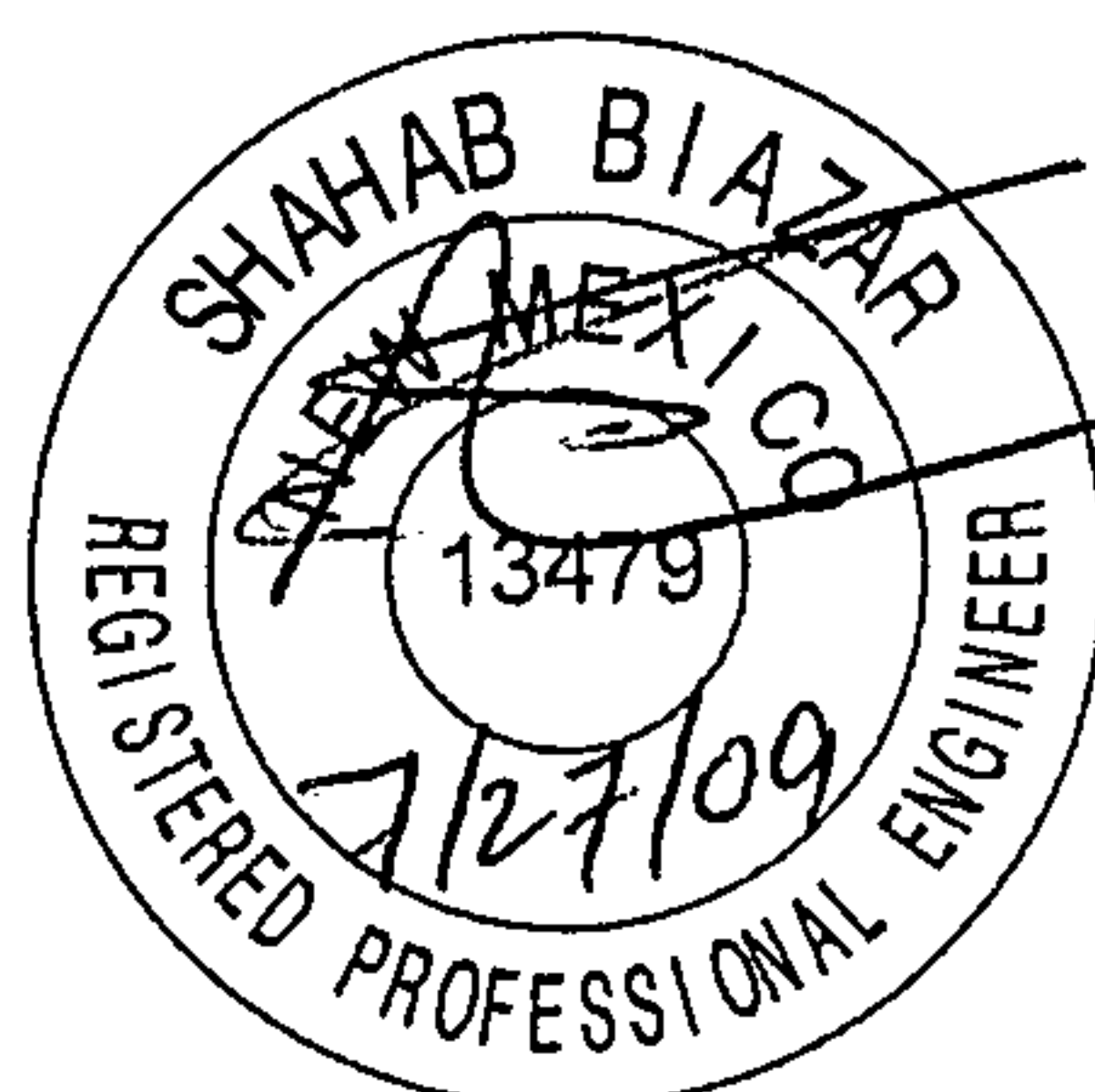
Mr. Timothy Sims  
Hydrology Section  
Development and Building Services  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: TEMPORARY CERTIFICATION OF OCCUPANCY FOR NEW LIFE BAPTIST CHURCH  
ADDITION (J10-D29)

Dear Mr. Sims:

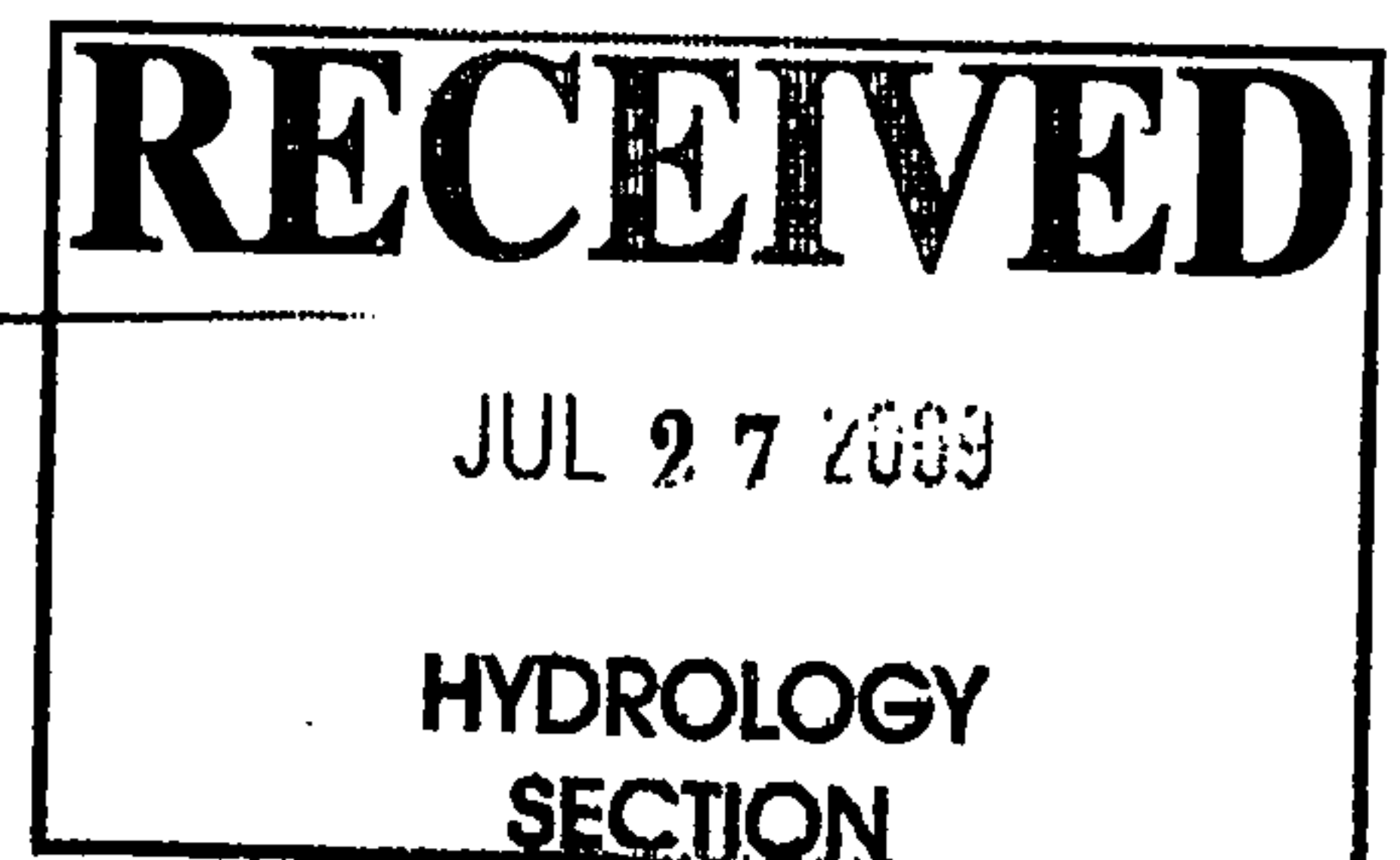
This letter is in request of Temporary Certification of Occupancy for the above mentioned project. I Shahab Biazar, NMPE, of the Advanced Engineering, LLC hereby certify that project has been graded and will drain in substantial compliance with and design intent of the approved plan dated 11/08/2007. All the pavement, the storm sewer pipes, and the pond are in place. See enclosed plan for as-built grades. Concrete collars should be placed around the outlet of the pipes inside the pond. Ripraps should be placed at the outlet of the pipes and concrete rundown inside the pond. Side slopes of the pond needs to be stabilized. All the landscaping should be in placed prior to Final Certification. Concrete Walks to the east of the building are not completed. We recommend that a low point and swale to be placed in the middle of the court yard at the east of the new addition to create a better drainage instead of placing the perforated pipe along the new additional. The inlets built are not type "D" inlets and are built at the different locations that were shown on the grading plan. Since the site discharge is being controlled by a 2.5" orifice plate the grate capacity of the inlets should not have an impact on the discharge of the runoff. The 2.50" orifice has to be placed inside the inlets as called out on the grading and drainage plan. There are several low spots on the newly paved areas but nothing that will impact the building. The water in these low areas are small enough that should evaporate within a day or two. Since the finished floor elevation of the building was raised to match the existing building a retaining wall has been building around the building to accommodate the elevation difference to the existing asphalt area.

Please contact me if there are any questions or concerns regarding this submittal.



Sincerely yours,

Shahab Biazar, P.E.





# CITY OF ALBUQUERQUE



November 16, 2007

Shahab Biazar, P.E.  
**Advanced Engineering & Consulting, LLC.**  
4416 Anaheim Ave. NE  
Albuquerque, NM 87113

**Re: New Life Baptist Church Addition, Lot 2-A, Atrisco Business Park,  
Tract N, Grading and Drainage Plan for Building Permit  
Engineer's Stamp dated 11-08-07 (J-10/D029)**

Dear Mr. Biazar,

Based upon the information provided in your submittal received 11-09-07, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

P.O. Box 1293

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Albuquerque

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. If you have any questions regarding this permit please feel free to call the DMD Storm Drainage Design section at 768-3654 or 768-3645.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Timothy Sims

Plan Checker - Hydrology, Planning Dept.  
Development and Building Services

Cc: Bradley Bingham  
File

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
 DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: ATRISCO BUISNESS PARK UNIT 2, TRACK N, LOT 2-A  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
 ADDRESS: 4416 Anaheim Ave., NE  
 CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar  
 PHONE: (505) 899-5570  
 ZIP CODE: 87113

OWNER: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

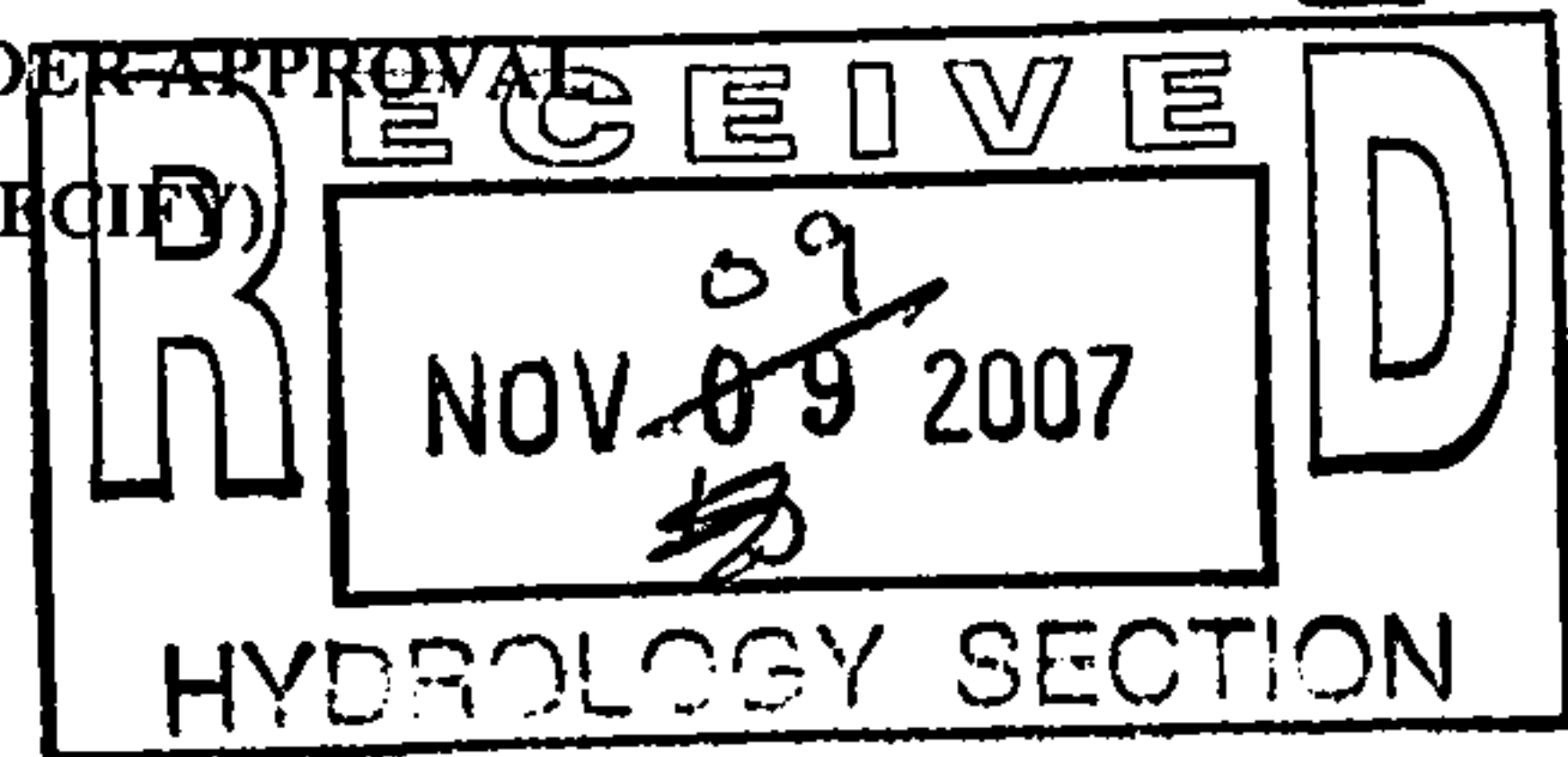
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1ST SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☒ DRAINAGE CALCULATIONS

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

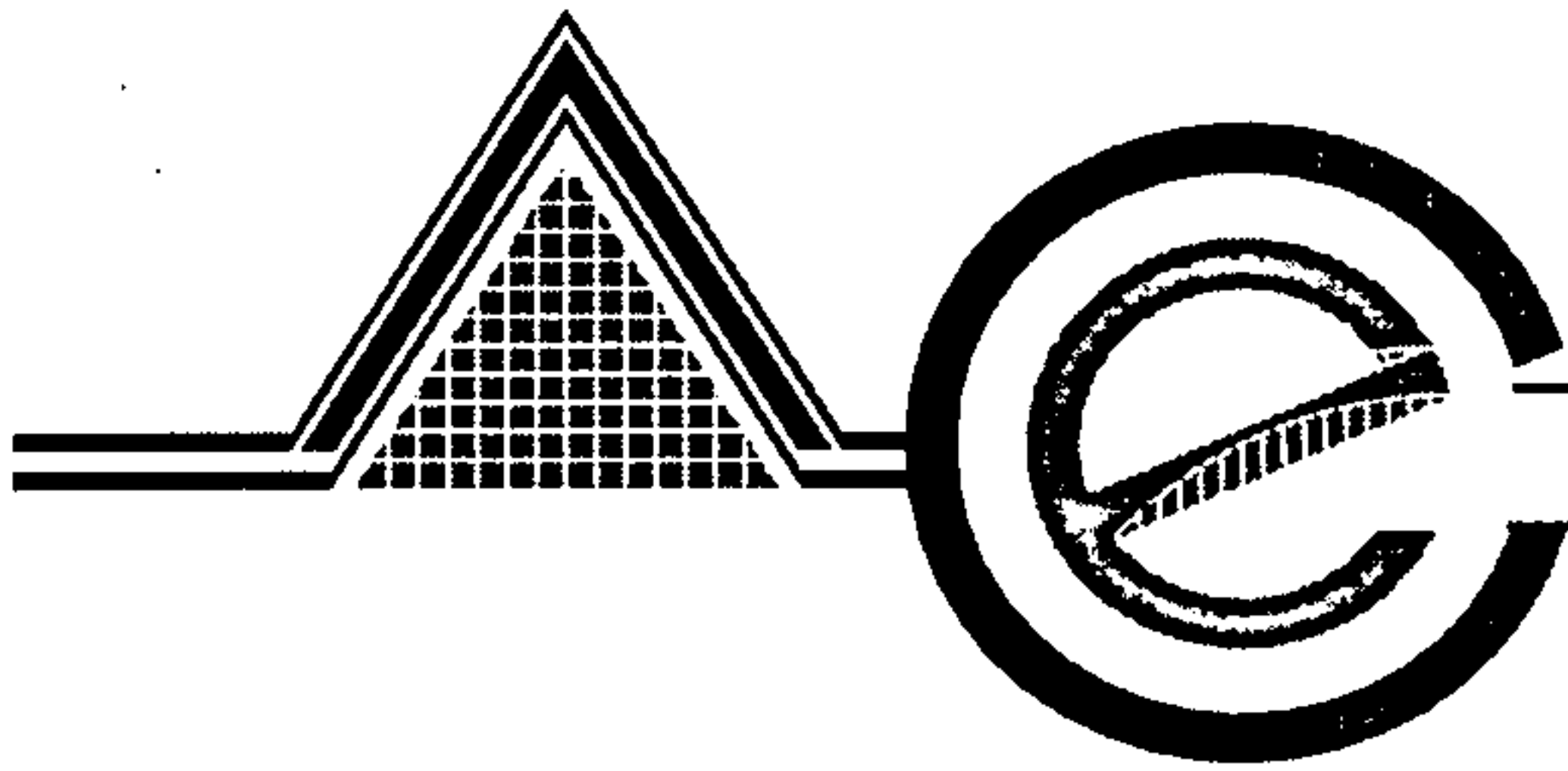
- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
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☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_



DATE SUBMITTED: 11 / 08 / 2007 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting*  
*Design*  
*Development*  
*Management*  
*Inspection*  
*Surveying*

November 8, 2007

Mr. Bradley L. Bingham, P.E.  
Sr. Engineer, Planning Dept.  
Development and Building Services  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: NEW LIFE BAPTIST CHURCH ADDITION (J10 / D29)

Dear Mr. Bingham:

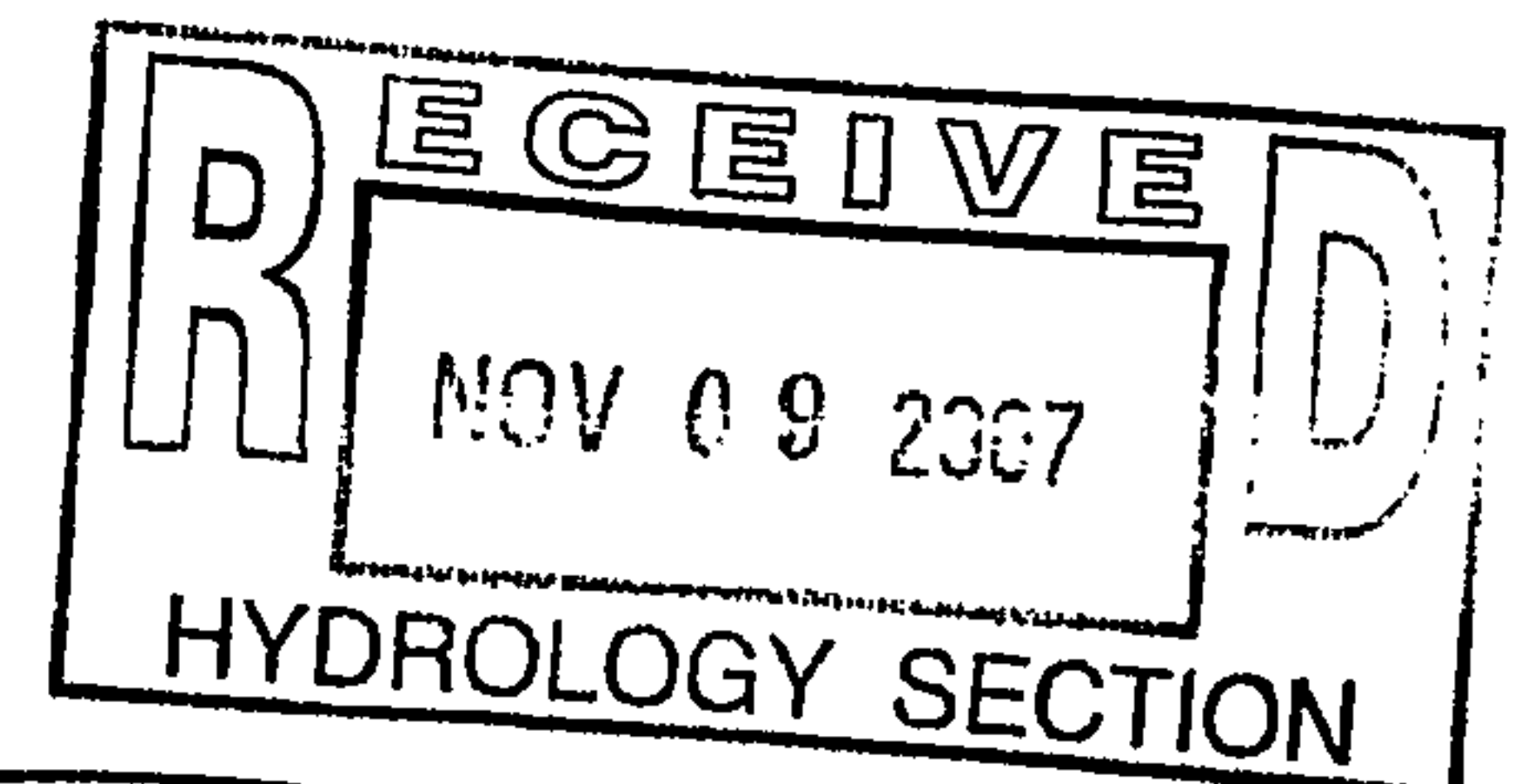
This letter and submittal is in request of approval for building and grading permit for the addition for the New Life Baptist Church site. The overall grading and drainage plan originally has been submitted by Mark Goodwin and Associates. Based on that plan total discharge was at 0.417 cfs. Our design is based on a discharge of 0.474 which slightly higher. This minor increase (0.057 cfs) should not impact the storm drain system downstream. Attached please find the new calculations for the new ponding as well as the AHYMO input/output files. The proposed pond will be partially retention. The pond had to be lowered to create positive discharge from the proposed inlets into the pond. The runoff will be retained up to a depth of 2.33' (Elev.=5104.33'). See enclosed grading plan for details.

Please contact me if there are any questions or concerns regarding this submittal.

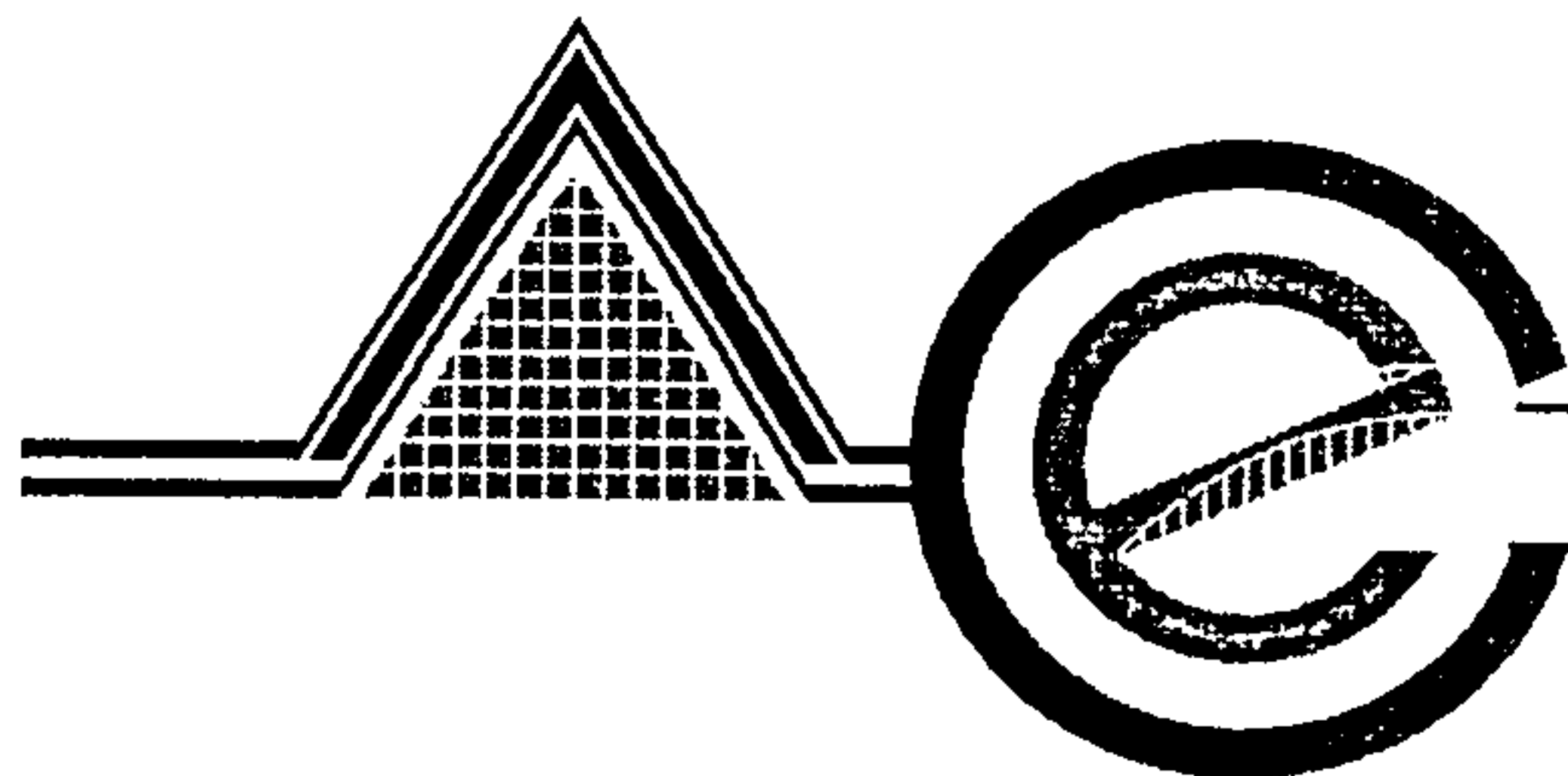
MA 572R  
588

Sincerely yours,

Shahab Biazar, P.E.







ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection  
Surveying*

November 8, 2007

Mr. Bradley L. Bingham, P.E.  
Sr. Engineer, Planning Dept.  
Development and Building Services  
600 Second Street NW  
Albuquerque, New Mexico 87102

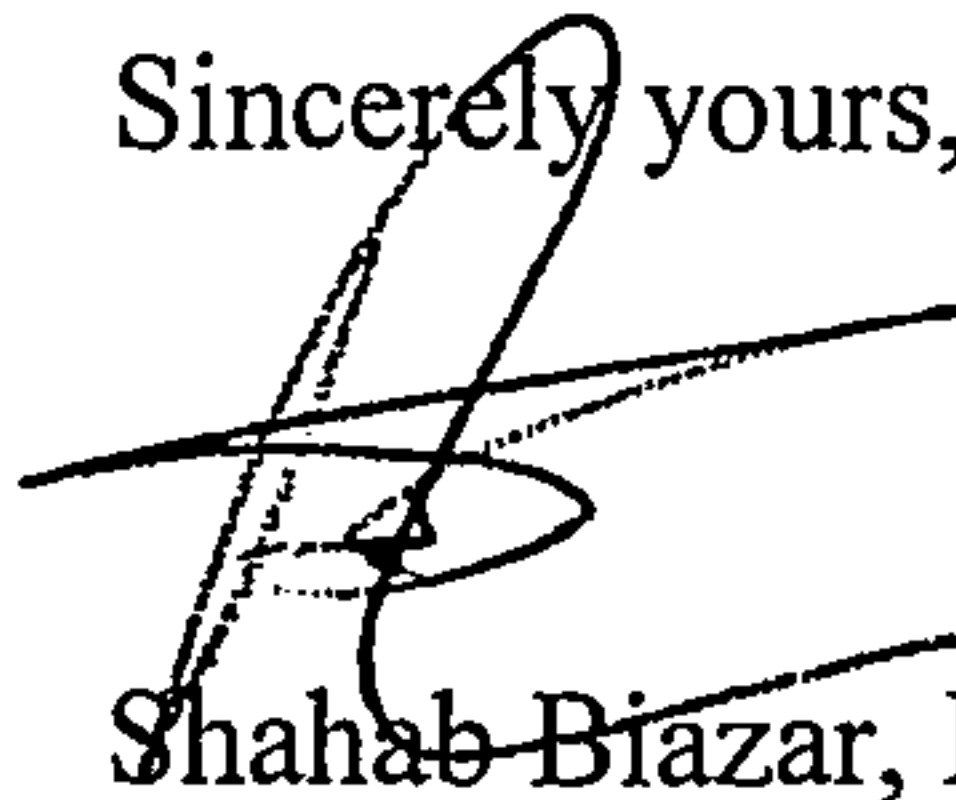
RE: NEW LIFE BAPTIST CHURCH ADDITION (J10 / D29)

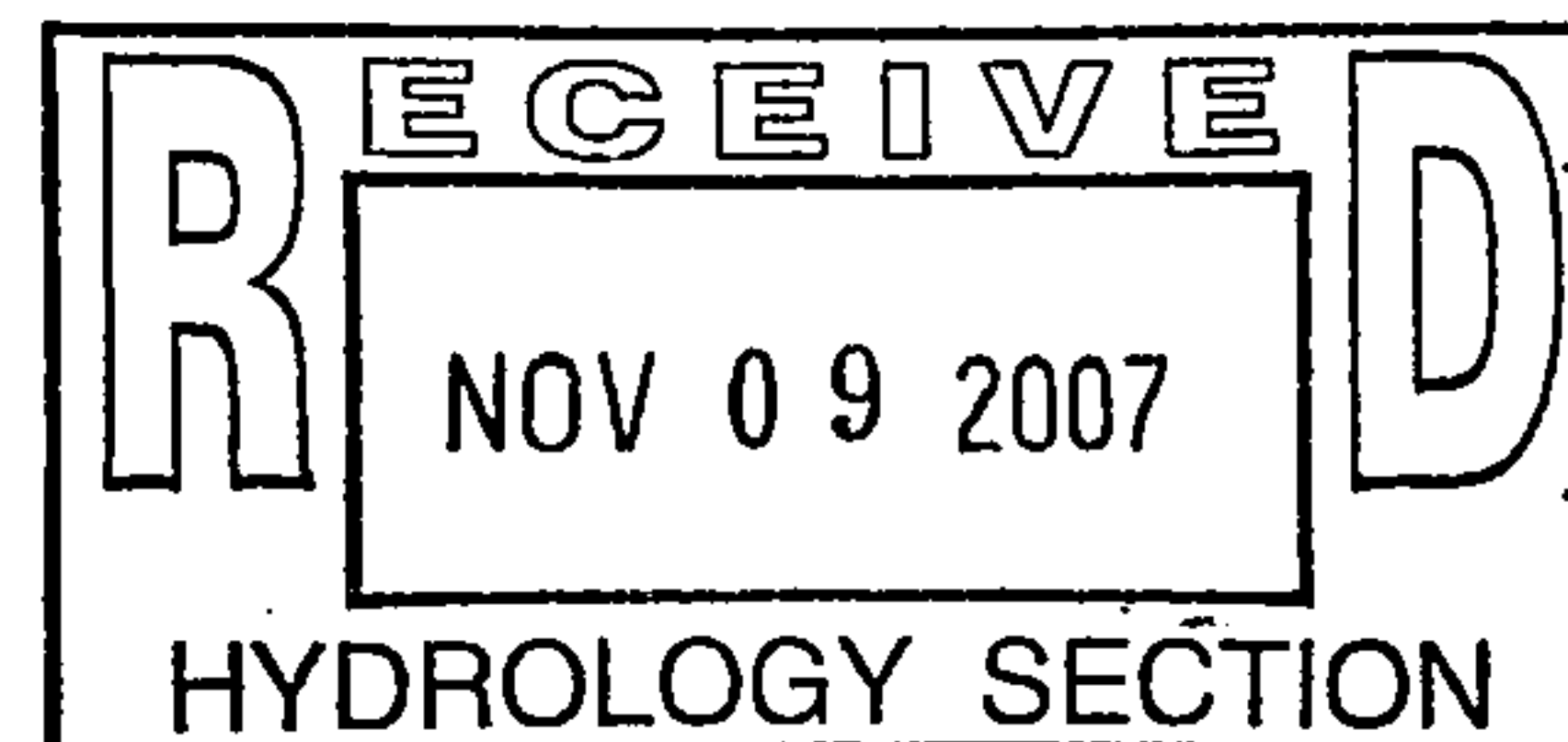
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Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

  
Shahab Biazar, P.E.



# **RUNOFF CALCULATIONS**

(INPUT DATA FOR AHYMO CALCULATIONS)

The site is @ Zone 1

## **DEPTH (INCHES) @ 100-YEAR STORM**

$$P_{60} = 1.87 \text{ inches}$$

$$P_{360} = 2.20 \text{ inches}$$

$$P_{1440} = 2.66 \text{ inches}$$

## **DEPTH (INCHES) @ 10-YEAR STORM**

$$\begin{aligned} P_{60} &= 1.87 \times 0.667 \\ &= 1.25 \text{ inches} \end{aligned}$$

$$P_{360} = 1.47$$

$$P_{1440} = 1.77$$

See the AHYMO input and output files.

## RUNOFF CALCULATION RESULTS

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
ON-SITE	217,839.27	5.0009	0.007814

### EXISTING

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ON-SITE	17.95	10.86	0%, 30%, 5%, 65%

### PROPOSED

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
ON-SITE	19.13	11.94	0%, 20%, 5%, 75%



# AHYMO INPUT FILE

\* ZONE 1

\*\*\*\*\*

\* 100-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*

\*\*\*\*\*

START TIME=0.0

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=1.87 IN RAIN SIX=2.20 IN

RAIN DAY=2.66 IN DT=0.03333 HR

\* ON-SITE

COMPUTE NM HYD

ID=1 HYD NO=101.0 AREA=0.007814 SQ MI

PER A=0.00 PER B=30.00 PER C=5.00 PER D=65.00

TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*

\* 10-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*

\*\*\*\*\*

START TIME=0.0

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=1.25 IN RAIN SIX=1.47 IN

RAIN DAY=1.77 IN DT=0.03333 HR

\* ON-SITE

COMPUTE NM HYD

ID=1 HYD NO=111.0 AREA=0.007814 SQ MI

PER A=0.00 PER B=30.00 PER C=5.00 PER D=65.00

TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*

\* 100-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) \*

\*\*\*\*\*

START TIME=0.0

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=1.87 IN RAIN SIX=2.20 IN

RAIN DAY=2.66 IN DT=0.03333 HR

\* ON-SITE

COMPUTE NM HYD

ID=10 HYD NO=101.1 AREA=0.007814 SQ MI

PER A=0.00 PER B=20.00 PER C=5.00 PER D=75.00

TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*

\* 10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) \*

\*\*\*\*\*

START TIME=0.0

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN

RAIN ONE=1.25 IN RAIN SIX=1.47 IN

RAIN DAY=1.77 IN DT=0.03333 HR

\* ON-STIE

COMPUTE NM HYD

ID=1 HYD NO=111.1 AREA=0.007814 SQ MI

PER A=0.00 PER B=20.00 PER C=5.00 PER D=75.00

TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*

FINISH

# SUMMARY OUTPUT FILE

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
INPUT FILE = 554

- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =11/08/2007  
USER NO.= AHYMO-I-9702c01000R31-AH

		FROM	TO		PEAK	RUNOFF		TIME TO	CFS	PAGE =	1
COMMAND	HYDROGRAPH IDENTIFICATION	ID NO.	ID NO.	AREA (SQ MI)	DISCHARGE (CFS)	VOLUME (AC-FT)	RUNOFF (INCHES)	PEAK (HOURS)	PER ACRE	NOTATION	
START											
RAINFALL TYPE= 1										TIME=	.00
COMPUTE NM HYD	101.00	-	1	.00781	17.95	.636	1.52503	1.500	3.590	RAIN6=	2.200
START										PER IMP=	65.00
RAINFALL TYPE= 1										TIME=	.00
COMPUTE NM HYD	111.00	-	1	.00781	10.86	.372	.89169	1.500	2.172	RAIN6=	1.470
START										PER IMP=	65.00
RAINFALL TYPE= 1										TIME=	.00
COMPUTE NM HYD	101.10	-	10	.00781	19.13	.690	1.65498	1.500	3.826	RAIN6=	2.200
START										PER IMP=	75.00
RAINFALL TYPE= 1										TIME=	.00
COMPUTE NM HYD	111.10	-	1	.00781	11.94	.414	.99308	1.500	2.388	RAIN6=	1.470
FINISH										PER IMP=	75.00

# VOLUME CALCULATIONS

## DETENTION POND

Ab - Bottom Of The Pond Surface Area  
At - Top Of The Pond Surface Area  
D - Water Depth  
Dt - Total Pond Depth  
C - Change In Surface Area / Water Depth

$$\text{Volume} = \text{Ab} * \text{D} + 0.5 * \text{C} * \text{D}^2$$

$$\text{C} = (\text{At} - \text{Ab}) / \text{Dt}$$

Ab = 53.90 @ ELEV. = 5102  
At = 3,227.86 @ ELEV. = 5108  
Dt = 6.00  
C = 528.99

ACTUAL ELEV.	DEPTH (FT)	VOLUME (AC-FT)	Q (CFS)
5,002.00	0.00	0.00000	0.0000
5,004.00	4.00	0.10210	0.0100
5,004.33	4.33	0.11920	0.0100
5,005.00	5.00	0.15799	0.3626
5,005.50	5.50	0.19048	0.3807
5,006.00	6.00	0.22602	0.3980
5,006.50	6.50	0.26459	0.4146
5,007.00	7.00	0.30619	0.4305
5,007.50	7.50	0.35083	0.4459
5,008.00	8.00	0.39851	0.4608
5,008.50	8.50	0.61799	0.4752

**SURFACE AREA AT ELEV.=5108.50 IS 35,014.57 SF  
THEREFORE, THE VOLUME FROM 5108 OT 5008.50  
IS 0.2195 AC-FT**

### Orifice Equation

$$Q = \text{CA} \text{ SQRT}(2gH)$$

C = 0.6  
Diameter (in)= 2.5  
Area (ft^2)= 0.0341  
g = 32.2  
H (Ft) = Depth of water above center of orifice  
Q (CFS)= Flow



# AHYMO INPUT FILE (PONDING CONDITIONS)

```

*
* ZONE 1
*
*****
*          100-YEAR,   6-HR STORM (UNDER PROPOSED CONDITIONS)          *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.87 IN RAIN SIX=2.20 IN
               RAIN DAY=2.66 IN DT=0.03333 HR

* ON-SITE
COMPUTE NM HYD   ID=10 HYD NO=101.1 AREA=0.007814 SQ MI
                PER A=0.00 PER B=20.00 PER C=5.00 PER D=75.00
                TP=0.1333 HR MASS RAINFALL=-1
*****
*          PONDING CONDITION                                          *
*****
ROUTE RESERVOIR ID=20 HYD NO=501.1 INFLOW ID=10 CODE=24
                OUTFLOW(CFS)      STORAGE(AC-FT)  ELEVATION(FT)
                0.0000            0.00000        5002.00
                0.0011            0.10210        5004.00
                0.0011            0.11920        5004.30
                0.3626            0.15799        5005.00
                0.3807            0.19048        5005.50
                0.3980            0.22602        5006.00
                0.4146            0.26459        5006.50
                0.4305            0.30619        5007.00
                0.4459            0.35083        5007.50
                0.4608            0.39851        5008.00
                0.4752            0.61799        5008.50
*****
FINISH

```

# SUMMARY OUTPUT FILE (PONDING CONDITIONS)

AHYMO PROGRAM SUMMARY TABLE (AHYMO\_97) -  
INPUT FILE = 554pd

- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =11/08/2007  
USER NO.= AHYMO-I-9702c01000R31-AH

COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1 NOTATION
START										
RAINFALL TYPE= 1										TIME= .00
COMPUTE NM HYD	101.10	-	10	.00781	19.13	.690	1.65498	1.500	3.826	RAIN6= 2.200
ROUTE RESERVOIR	501.10	10	20	.00781	.47	.569	1.36482	2.600		PER IMP= 75.00
FINISH									.095	AC-FT= .607

52

- Version: 1997.02d

\* ZONE 1

DT = .033330 HOURS                      END TIME = 5.999400 HOURS

.0000	.0016	.0033	.0050	.0067	.0085	.0103
-------	-------	-------	-------	-------	-------	-------

\* ON-SITE

K = .072649HR      TP = .133300HR      K/TP RATIO = .545000      SHAPE CONSTANT, N = 7.106420

K = .125967HR      TP = .133300HR      K/TP RATIO = .944988      SHAPE CONSTANT, N = 3.741071

UNIT PEAK = 4.9463 CFS UNIT VOLUME = .9974 B = 337.52 P60 = 1.8700

AREA = .001954 SQ MI      IA = .47000 INCHES      INF = 1.16600 INCHES PER HOUR

RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033330



\*\*\*\*\*  
 \* PONDING CONDITION \*  
 \*\*\*\*\*

ROUTE RESERVOIR ID=20 HYD NO=501.1 INFLOW ID=10 CODE=24  
 OUTFLOW(CFS) STORAGE(AC-FT) ELEVATION(FT)  
 0.0000 0.00000 5002.00  
 0.0011 0.10210 5004.00  
 0.0011 0.11920 5004.30  
 0.3626 0.15799 5005.00  
 0.3807 0.19048 5005.50  
 0.3980 0.22602 5006.00  
 0.4146 0.26459 5006.50  
 0.4305 0.30619 5007.00  
 0.4459 0.35083 5007.50  
 0.4608 0.39851 5008.00  
 0.4752 0.61799 5008.50

\* \* \* \* \*

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	5002.00	.000	.00
.80	.00	5002.00	.000	.00
1.60	13.38	5007.26	.329	.44
2.40	.78	5008.47	.605	.47
3.20	.15	5008.45	.597	.47
4.00	.10	5008.40	.573	.47
4.80	.10	5008.34	.548	.47
5.60	.11	5008.29	.524	.47
6.40	.01	5008.23	.498	.47
7.20	.00	5008.16	.468	.47
8.00	.00	5008.09	.437	.46
8.80	.00	5008.02	.406	.46
9.60	.00	5007.76	.376	.45
10.40	.00	5007.45	.346	.44
11.20	.00	5007.12	.317	.43
12.00	.00	5006.79	.289	.42
12.80	.00	5006.46	.261	.41
13.60	.00	5006.11	.234	.40
14.40	.00	5005.75	.208	.39
15.20	.00	5005.38	.183	.38
16.00	.00	5005.01	.158	.36
16.80	.00	5004.68	.140	.20
17.60	.00	5004.50	.131	.11
18.40	.00	5004.41	.125	.06
19.20	.00	5004.36	.122	.03

PEAK DISCHARGE = .474 CFS - PEAK OCCURS AT HOUR 2.60  
 MAXIMUM WATER SURFACE ELEVATION = 5008.476  
 MAXIMUM STORAGE = .6072 AC-FT INCREMENTAL TIME= .033330HRS

\*\*\*\*\*

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 13:22:24



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

December 21, 2000

John M. MacKenzie, P.E.  
MARK GOODWIN & ASSOC.  
P.O. Box 90606  
Albuquerque, New Mexico 87199

**Re: Grading and Drainage Certification –New Life Baptist Church  
(J-10/d029) (Airport Dr & Los Volcanes Rd NW)  
Engineer's Stamp dated 1/27/2000  
Engineering Certification dated 10/9/2000**

Dear Mr. Goodwin:

Based upon the information provided in your submittal dated 12/20/2000 (which included the approval of the SO#19 from the City's Storm Drainage Maintenance), the above referenced site is approved for Permanent Certificate of Occupancy.

If I can be of further assistance, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Senior Civil Engineer, PWD

C: Vickie Chavez  
Teresa Martin  
file



# DRAINAGE INFORMATION SHEET

DRB-1926

PROJECT TITLE:	New Life Baptist Church	ZONE/ATLAS/DRNG, FILE#:	J-10-Z (J10-DZ9)
DRB#:	EPC#	WORK ORDER#:	
LEGAL DESCRIPTION:	Tract 2-A, Unit 2, Tract N, Artrisco Business Park		
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates	CONTACT:	John MacKenzie, PE
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:		CONTACT:	
ADDRESS:		PHONE:	
ARCHITECT:	Stricklin Drafting & Design	CONTACT:	Shelley Stricklin
ADDRESS:	Los Lunas, NM	PHONE:	865-7768
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CONTACTOR:	Desert Rose Custom Homes, Inc.	CONTACT:	Don Mock
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635	PHONE:	898-0144

**TYPE OF SUBMITTAL:**

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER
- ☐ EASEMENT VACATION

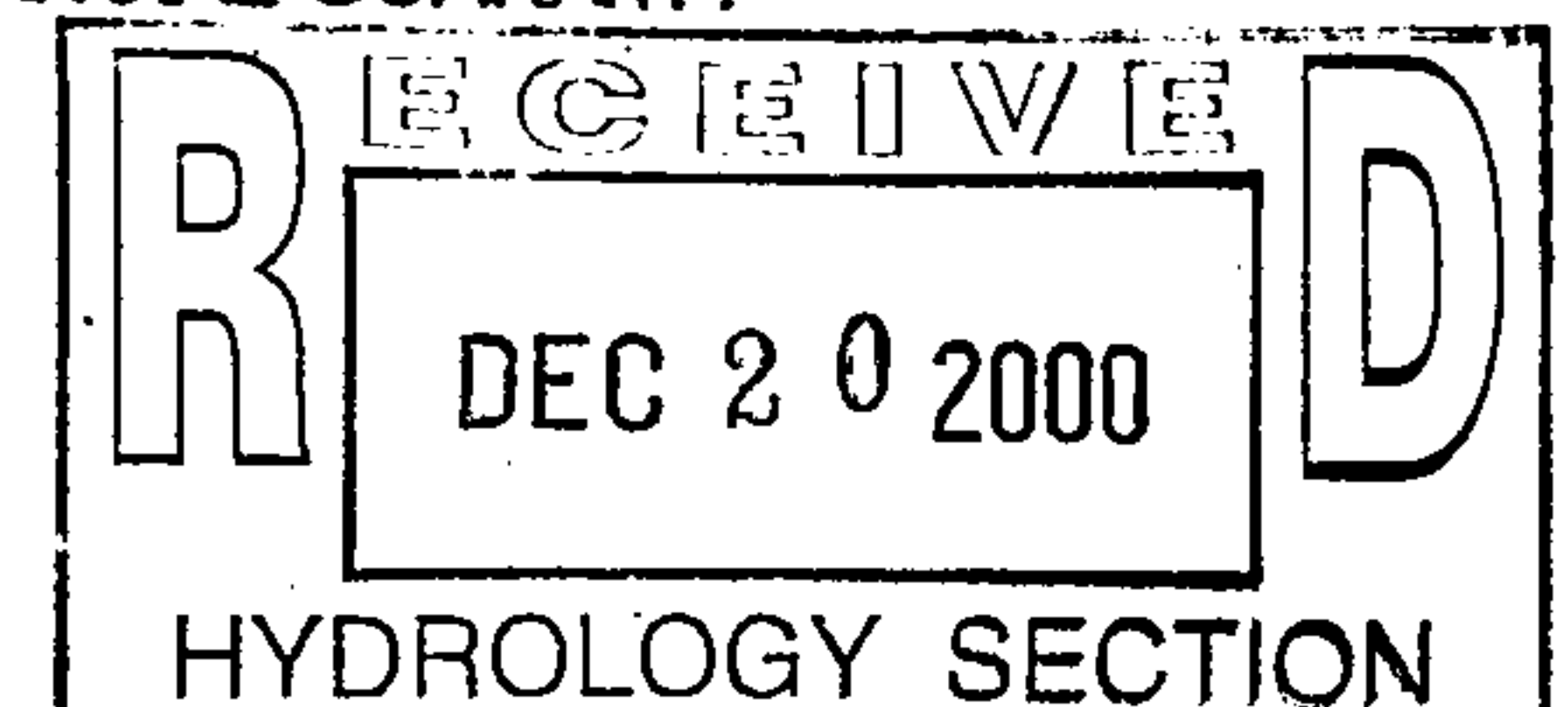
- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ BUILDING PERMIT APPROVAL
- ☒ CERTIFICATION OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER
- ☐ RELEASE OF FINANCIAL GUARANTY

**PRE-DESIGN MEETING:**

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 12-19-00

BY: John M. MacKenzie



CITY OF ALBUQUERQUE  
Public Works Department

INTER-OFFICE CORRESPONDENCE

December 14, 2000

TO: Bradley L. Bingham, PE, One Stop

FROM: Glenn Jurgensen, Superintendent, Storm Drainage Maint - PWD

SUBJECT: SO-19 PERMIT (J10/D29)

A final inspection was conducted on project (J10/D29) SO-19 project. The project was found to be in compliance with all City requirements for drainage. The request for a Certificate of Occupancy should be approved.

If you have any questions, please feel free to contact me at 291-6214.

c: file



CITY OF ALBUQUERQUE  
Public Works Department

INTER-OFFICE CORRESPONDENCE

December 14, 2000

TO: Bradley L. Bingham, PE, One Stop  
FROM: Glenn Jurgensen, Superintendent, Storm Drainage Maint - PWD  
SUBJECT: SO-19 PERMIT (J10/D29)

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If you have any questions, please feel free to contact me at 291-6214.

c: file



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 16, 2003

Shahab Biazar, P.E.  
Advanced Engineering and Consulting, LLC  
10205 Snowflake Ct. NW  
Albuquerque, NM 87114

**Re: New Life Baptist Church Addition, 6900 Los Volcanos Rd. NW, Grading and  
Drainage Plan**

**Engineer's Stamp dated 9-24-03 (J10/D29)**

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 9-26-03, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Please show a greater portion of the site and identify the location of the proposed addition relative to the site.
2. The Mark Goodwin and Associates grading plan was not enclosed with this submittal. Please attach a copy of this plan.

If you have any questions, you can contact me at 924-3982.

Sincerely,

Carlos A. Montoya, PE  
City Floodplain Administrator

C: file



624-3986

# DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2, ATRISCO BUSINESS PARK  
CITY ADDRESS: 6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, NM 87121

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC CONTACT: Shahab Biazar  
ADDRESS: 10205 Snowflake Ct. NW PHONE: (505) 899-5570  
CITY, STATE: Albuquerque, New Mexico ZIP CODE: 87114

OWNER: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

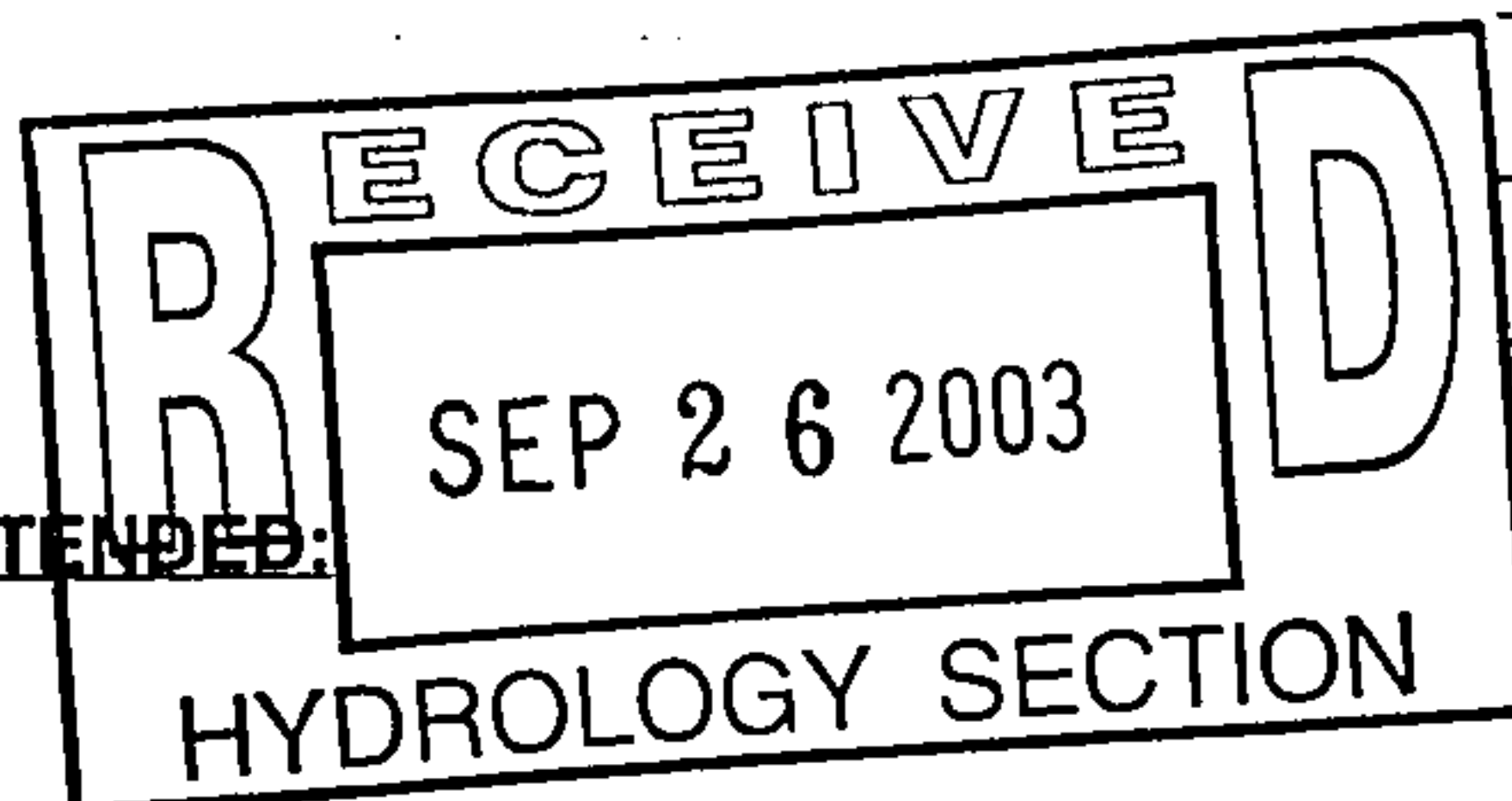
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL  
\_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
\_\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)  
\_\_\_\_\_ CLOMR / LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (TCL)  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
\_\_\_\_\_ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

\_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY (PERM.)  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ WORK ORDER APPROVAL  
\_\_\_\_\_ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

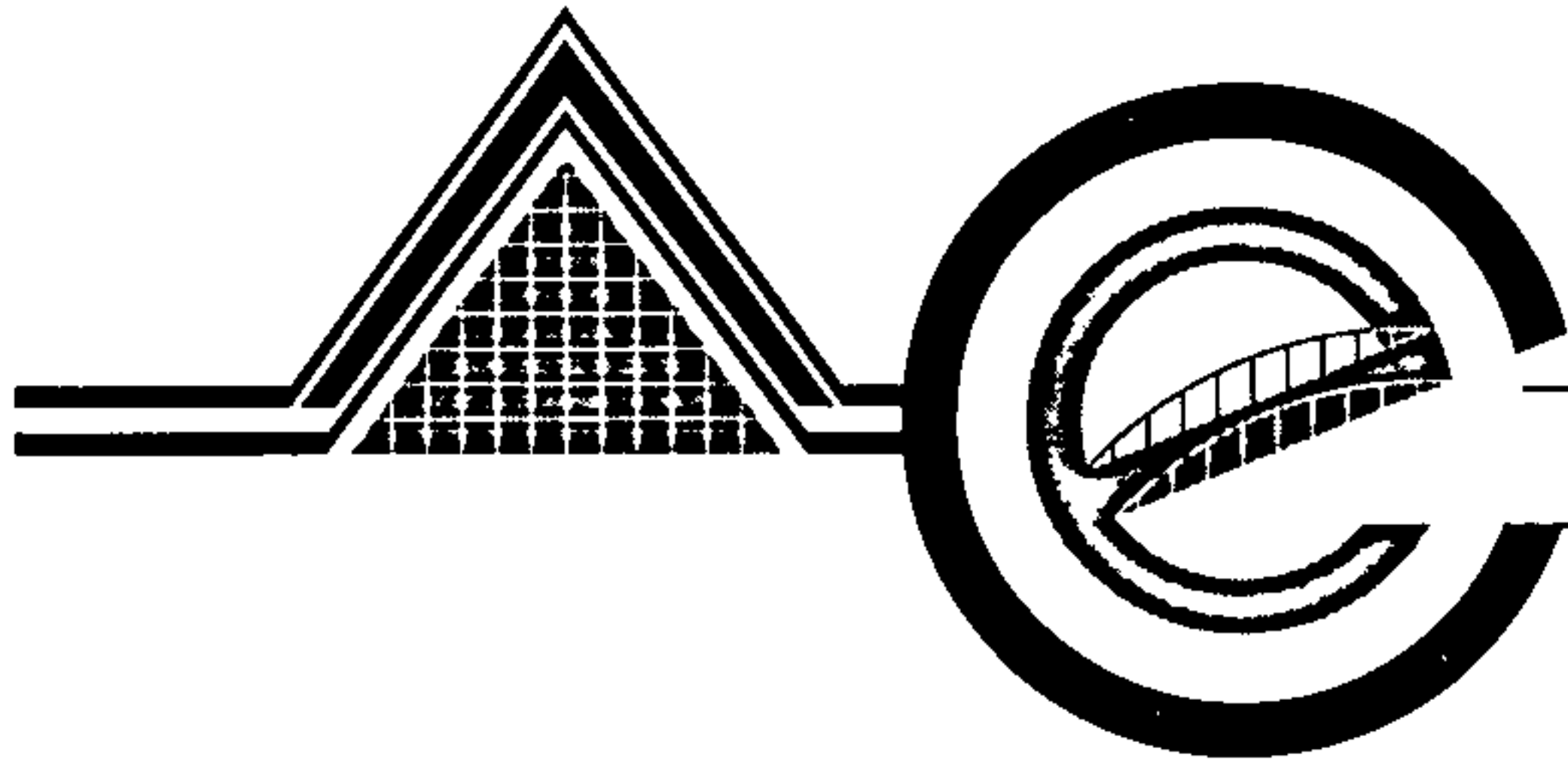
\_\_\_\_\_ YES  
☒ NO  
\_\_\_\_\_ COPY PROVIDED



DATE SUBMITTED: 09 / 24 / 2003 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection*

September 24, 2003

Mr. Bradley L. Bingham, P.E.  
Sr. Engineer, Planning Dept.  
Development and Building Services  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: GRADING PLAN FOR NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

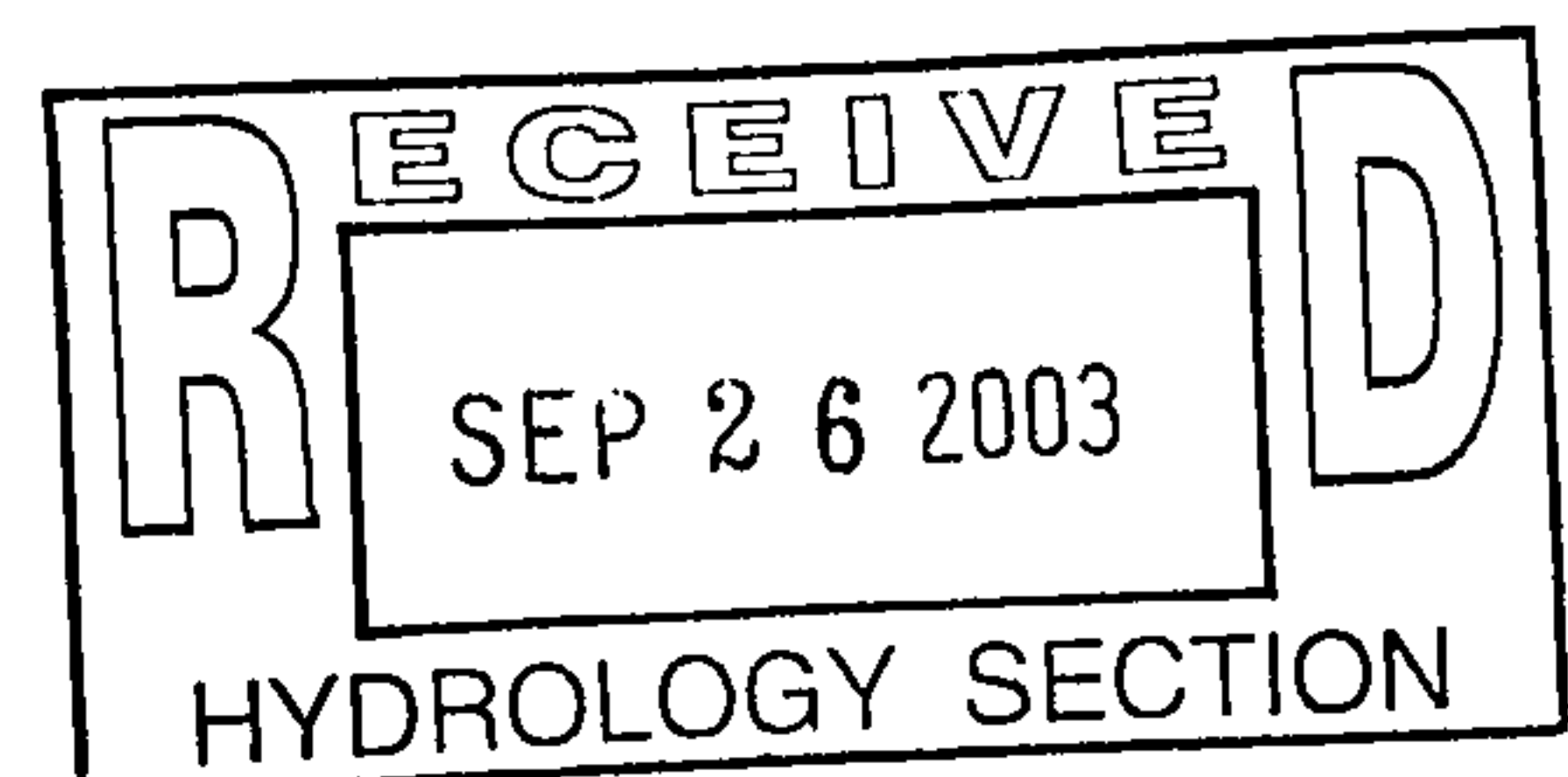
Dear Mr. Bingham:

This letter is in reference to above mentioned project. The original grading plan for the entire site was prepared and approved by the City of Albuquerque under the City Drainage number J10/D29. The owners are proposing to add a building. Attached is the proposed grading plan for that section only. The original grading plan, prepared by Mark Goodwin and Associates, was used to prepare the grading plan. Mark Goodwin and Associates grading plan is enclosed with this letter. Portion of the sidewalks and curbing on the east side of the building has to be removed in order to meet the ADA requirements. A sidewalk culvert is also proposed on the east side of the building in order to drain the runoff into the driveway. The finish floor elevation of the new building will be the same as the existing building on the north and west side of this addition. This building addition will only increase the runoff by 0.16 cfs. This increase will not have any impact on the drainage structures. See attached calculations.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

  
Shahab Biazar, P.E.





**RUNOFF CALCULATION RESULTS**

BASIN	AREA (SF)	AREA (AC)	AREA (MI <sup>2</sup> )
A	5326.16	0.1223	0.000191

**PROPOSED**

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
NEW BLDG. SITE	0.51	0.32	0%, 14%, 0%, 86%

**EXISTING**

BASIN	Q-100 CFS	Q-10 CFS	TREATMENT A, B, C, D
NEW BLDG. SITE	0.35	0.17	0%, 51%, 30%, 19%

# AHYMO INPUT FILE

\* ZONE 1

\*\*\*\*\*  
\* 100-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*

START TIME=0.0  
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RAIN ONE=1.87 IN RAIN SIX=2.20 IN  
RAIN DAY=2.66 IN DT=0.03333 HR

\* NEW BUILDING SITE

COMPUTE NM HYD ID=1 HYD NO=101.0 AREA=0.000191 SQ MI  
PER A=0.00 PER B=51.00 PER C=30.00 PER D=19.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
\* 10-YEAR, 6-HR STORM (UNDER EXISTING CONDITIONS) \*

START TIME=0.0  
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RAIN ONE=1.25 IN RAIN SIX=1.47 IN  
RAIN DAY=1.77 IN DT=0.03333 HR

\* NEW BUILDING SITE

COMPUTE NM HYD ID=1 HYD NO=111.0 AREA=0.000191 SQ MI  
PER A=0.00 PER B=51.00 PER C=30.00 PER D=19.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
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START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.87 IN RAIN SIX=2.20 IN  
RAIN DAY=2.66 IN DT=0.03333 HR

\* NEW BUILDING SITE

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.000191 SQ MI  
PER A=0.00 PER B=14.00 PER C=0.00 PER D=86.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
\* 10-YEAR, 6-HR STORM (UNDER PROPOSED CONDITIONS) \*

START TIME=0.0  
RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.25 IN RAIN SIX=1.47 IN  
RAIN DAY=1.77 IN DT=0.03333 HR

\* NEW BUILDING SITE

COMPUTE NM HYD ID=1 HYD NO=111.1 AREA=0.000191 SQ MI  
PER A=0.00 PER B=14.00 PER C=0.00 PER D=86.00  
TP=0.1333 HR MASS RAINFALL=-1

\*\*\*\*\*  
FINISH



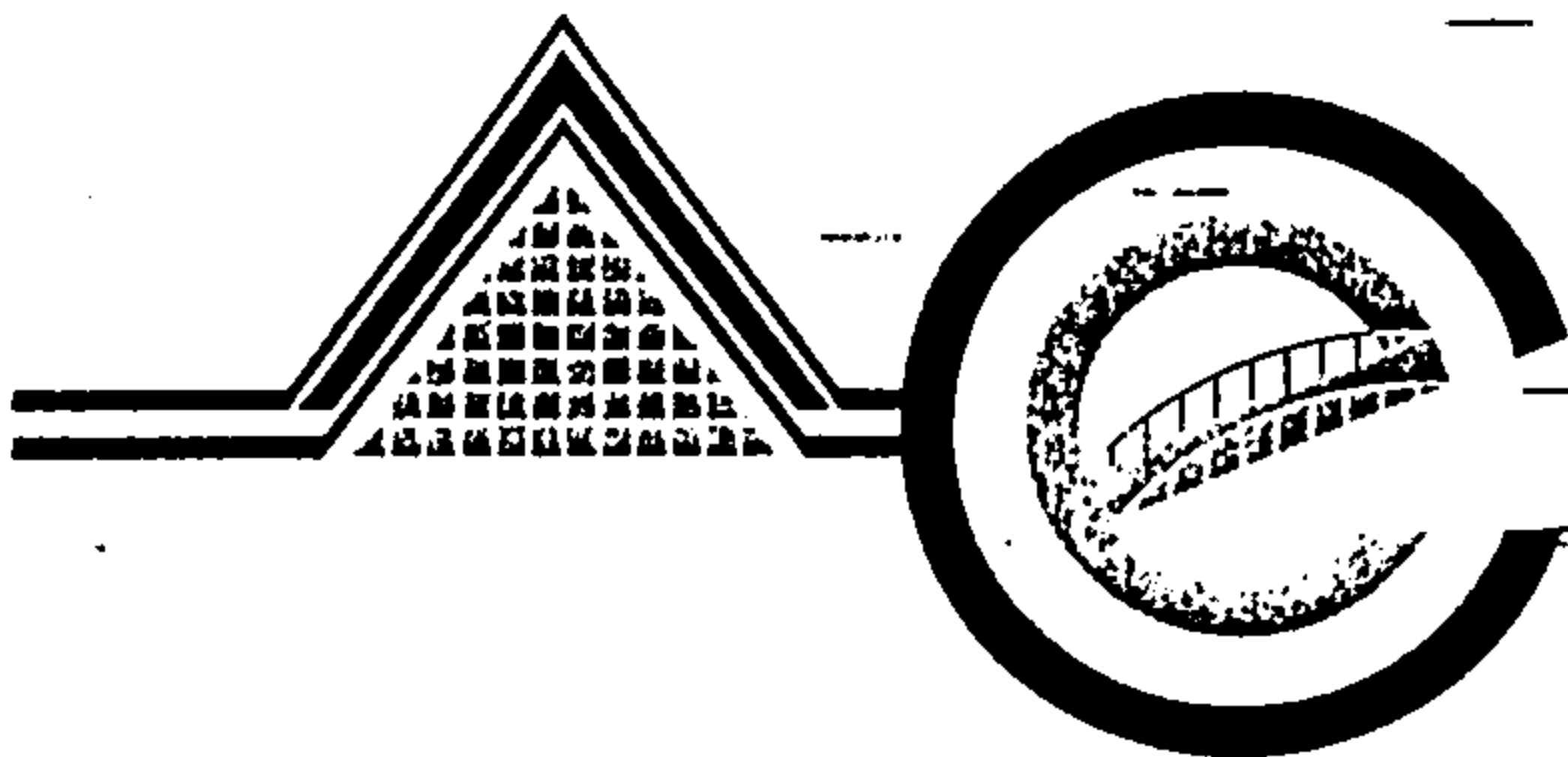
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- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =09/24/2003  
USER NO.= AHYMO-I-9702C01000R31-AH

[illegible]



ADVANCED ENGINEERING and CONSULTING, LLC

Consulting  
Design  
Development  
Management  
Inspection

February 13, 2004

Mr. Nilo Salgado, P.E.  
City Transportation Department  
600 Second Street NW  
Albuquerque, New Mexico 87102

Re: Certification of Site Plan for NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

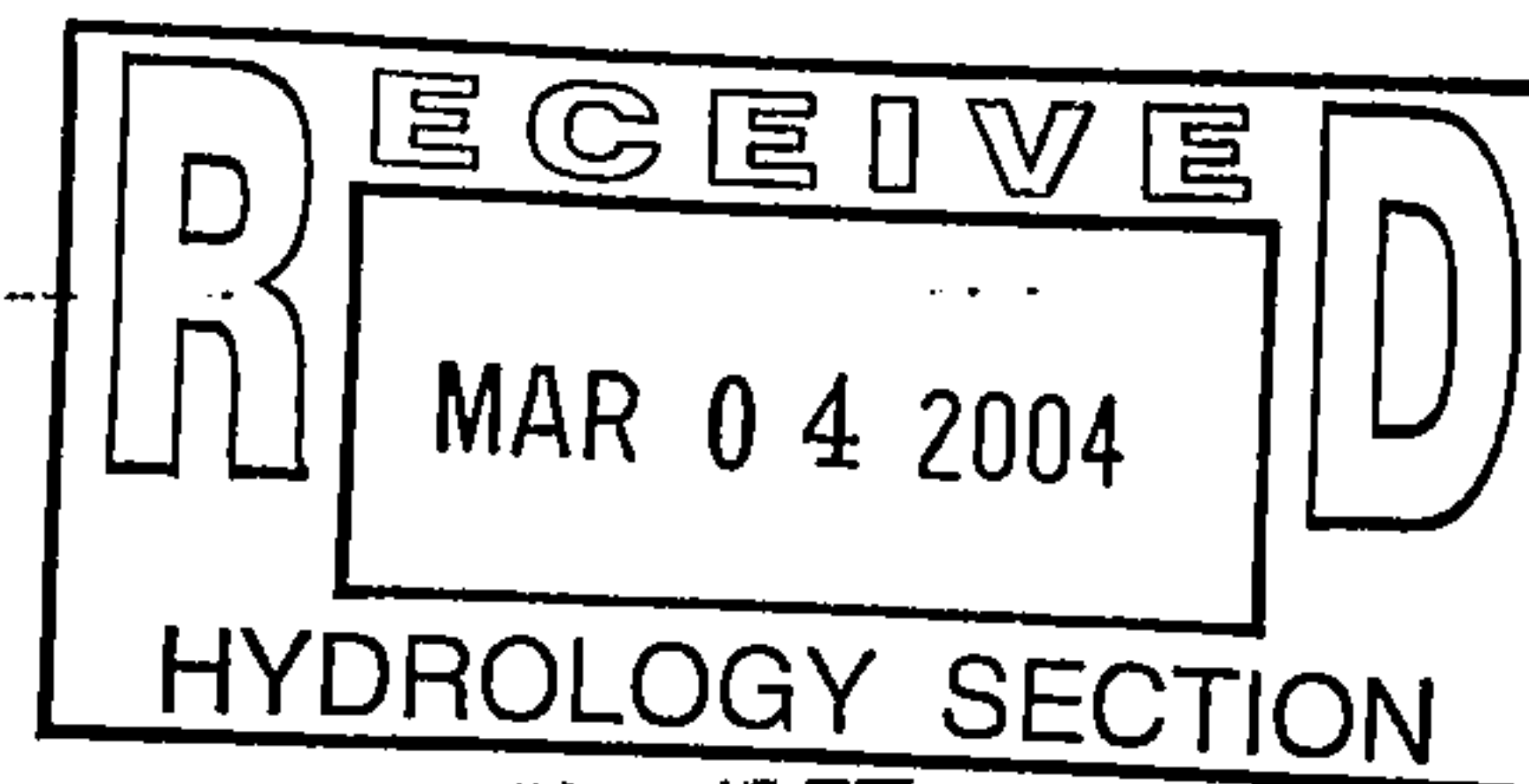
Dear Mr. Salgado:--

Enclosed please find copy of the as-built Site Plan for the above mentioned site. The project was inspected by Advanced Engineering and Consulting, LLC on 2-11-04. No changes have been done to the existing traffic circulation and parking spaces. See enclosed plan for the location of the building addition. I certify that the project was built in substantial compliance to the site plan with approval date of 07-03-2003.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,

Shahab Biazar, P.E.







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

***Planning Department  
Transportation Development Services Section***

March 4, 2004

Shahab Biazar, P.E.  
4416 Anaheim Ave NE  
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for  
New Life Baptist Church Addition, [J-10 / D29]  
6900 Los Volcanos Road NW  
Engineer's Stamp Dated 02/13/04

Dear Mr. Biazar:

The TCL / Letter of Certification submitted on March 3, 2004 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Sincerely,

Nilo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

# DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2, ATRISCO BUSINESS PARK  
CITY ADDRESS: 6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, NM 87121

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
ADDRESS: 10205 Snowflake Ct. NW  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar  
PHONE: (505) 899-5570  
ZIP CODE: 87114

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

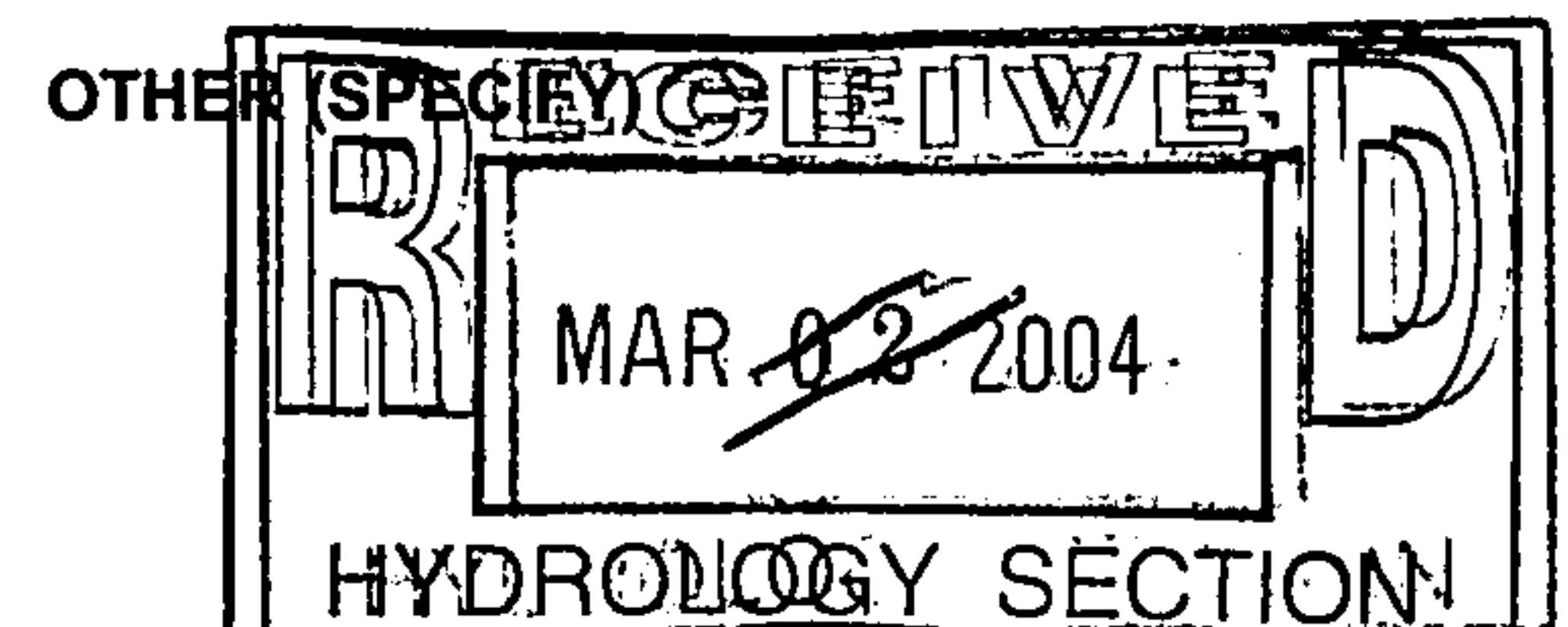
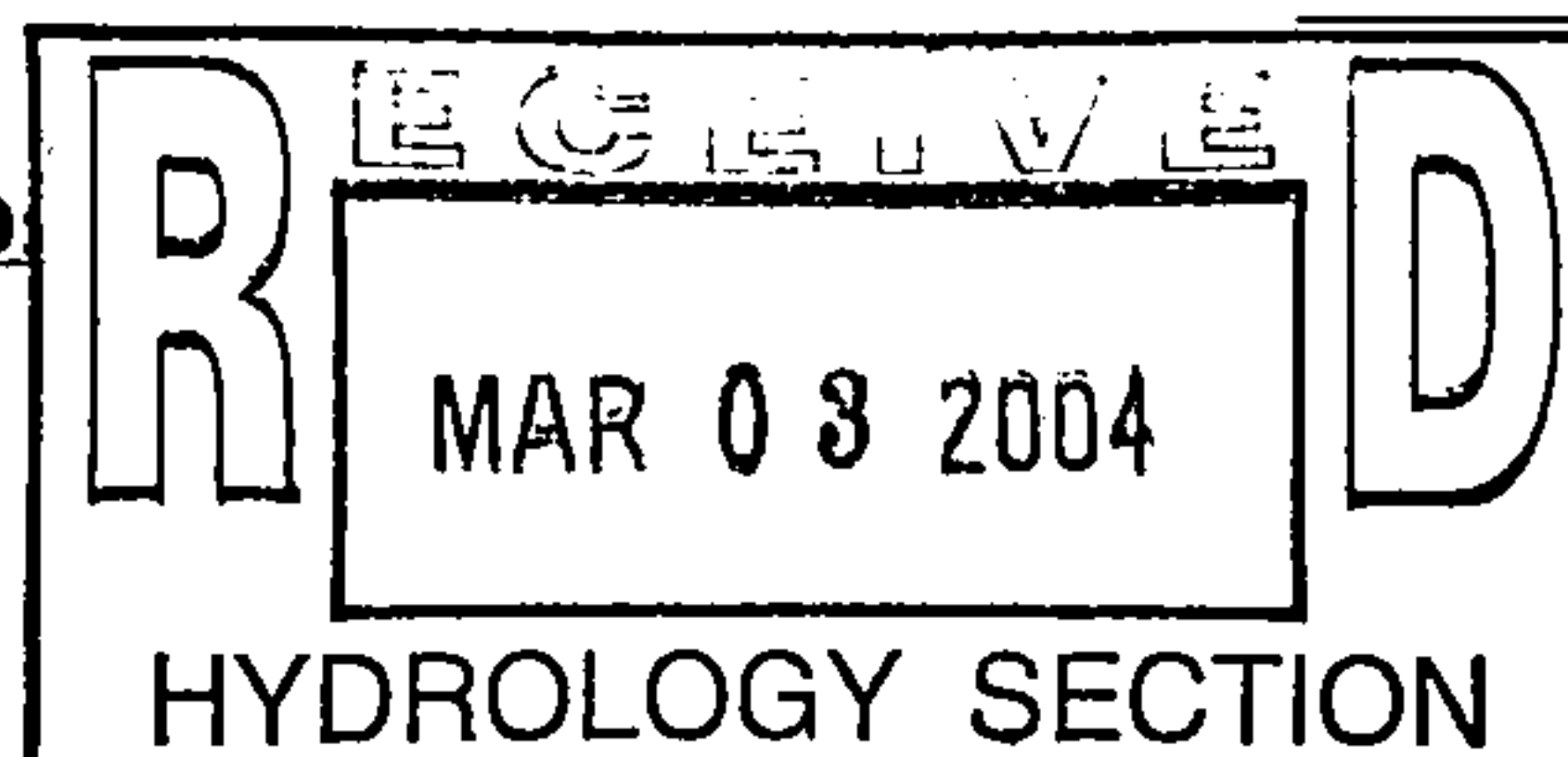
\_\_\_\_\_ DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL  
\_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
\_\_\_\_\_ GRADING PLAN  
\_\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (HYDROLOGY)  
\_\_\_\_\_ CLOMR / LOMR  
\_\_\_\_\_ TRAFFIC CIRCULATION LAYOUT (TCL)  
☒ ENGINEER'S CERTIFICATION (TCL)  
\_\_\_\_\_ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
\_\_\_\_\_ OTHER 3/3/04 → KOM called in Temp CO

## CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_\_ SIA / FINANCIAL GUARANTEE RELEASE  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR SUB'D. APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
\_\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
\_\_\_\_\_ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
\_\_\_\_\_ CERTIFICATE OF OCCUPANCY (TEMP.)  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ WORK ORDER APPROVAL

## WAS A PRE-DESIGN CONFERENCE ATTENDED

\_\_\_\_\_ YES  
☒ NO  
\_\_\_\_\_ COPY PROVIDED

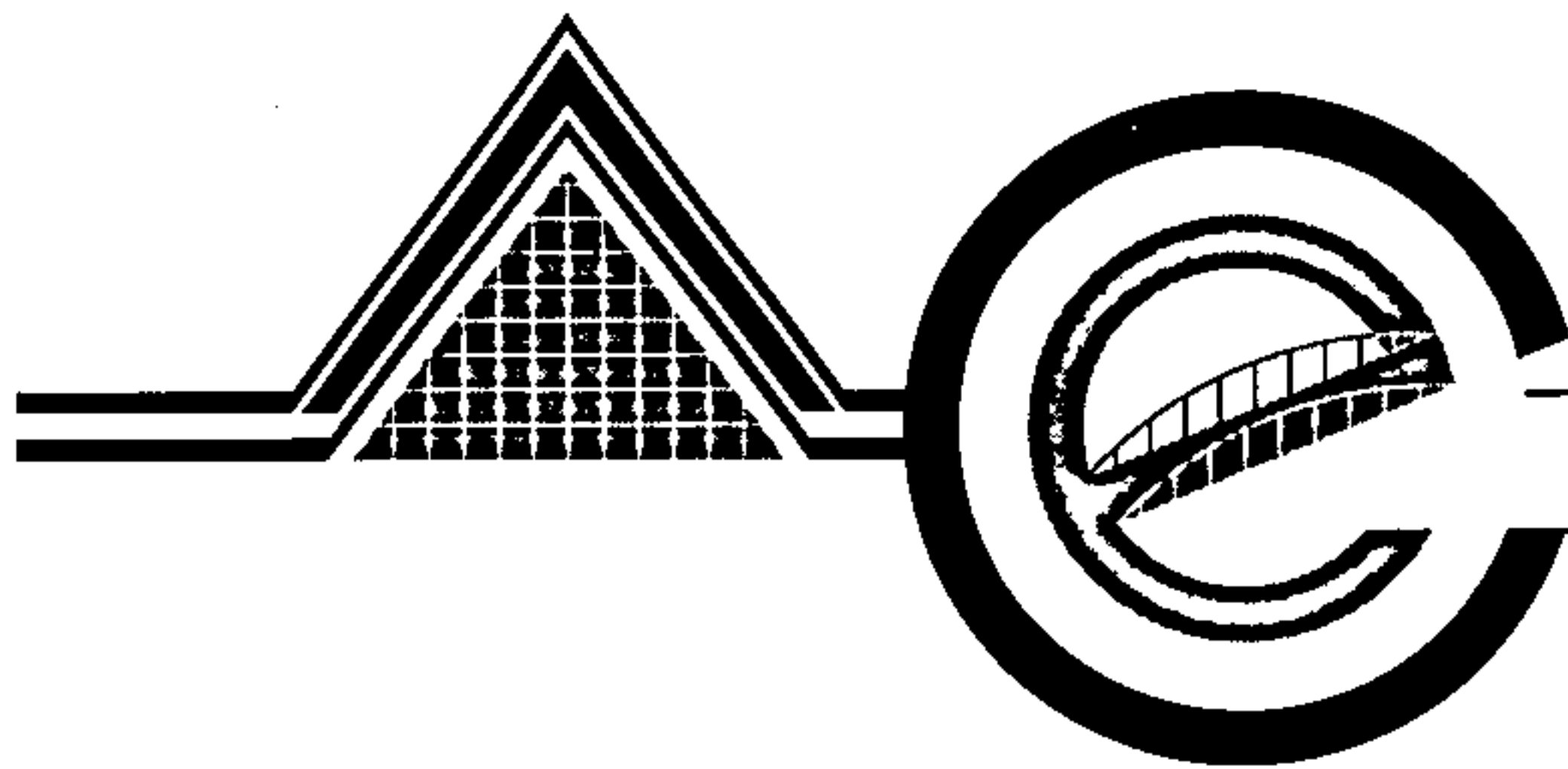


DATE SUBMITTED: 2 / 13 / 2004 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more





ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection*

February 13, 2004

Mr. Nilo Salgado, P.E.  
City Transportation Department  
600 Second Street NW  
Albuquerque, New Mexico 87102

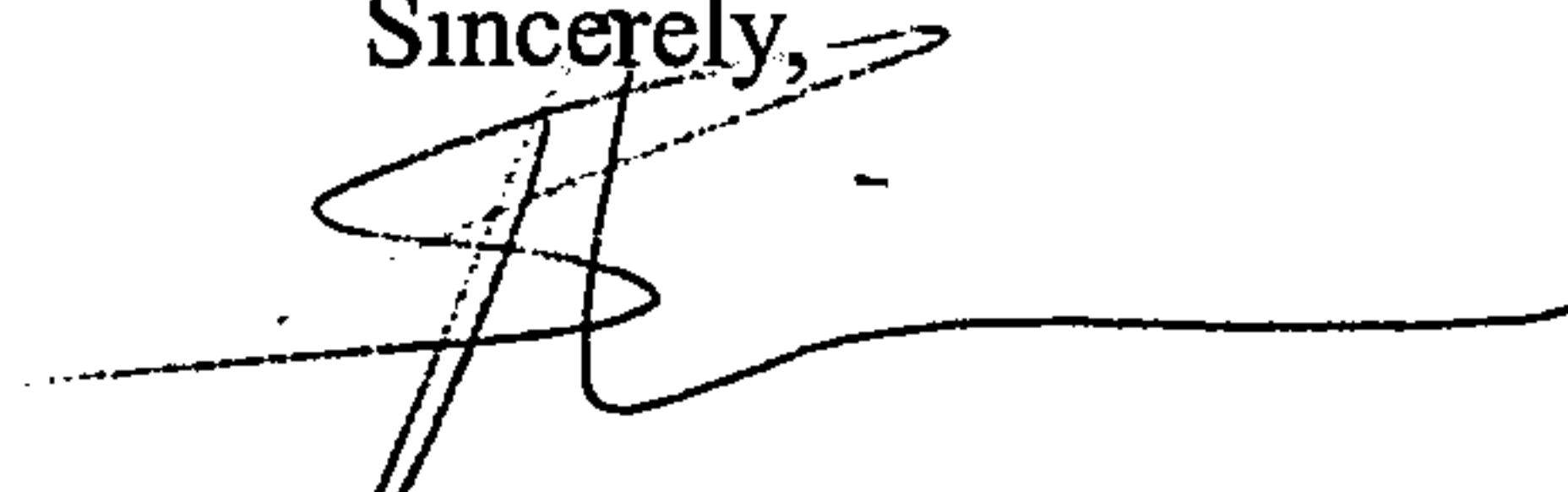
Re: Certification of Site Plan for NEW LIFE BAPTIST CHURCH ADDITION, J10/D29

Dear Mr. Salgado:

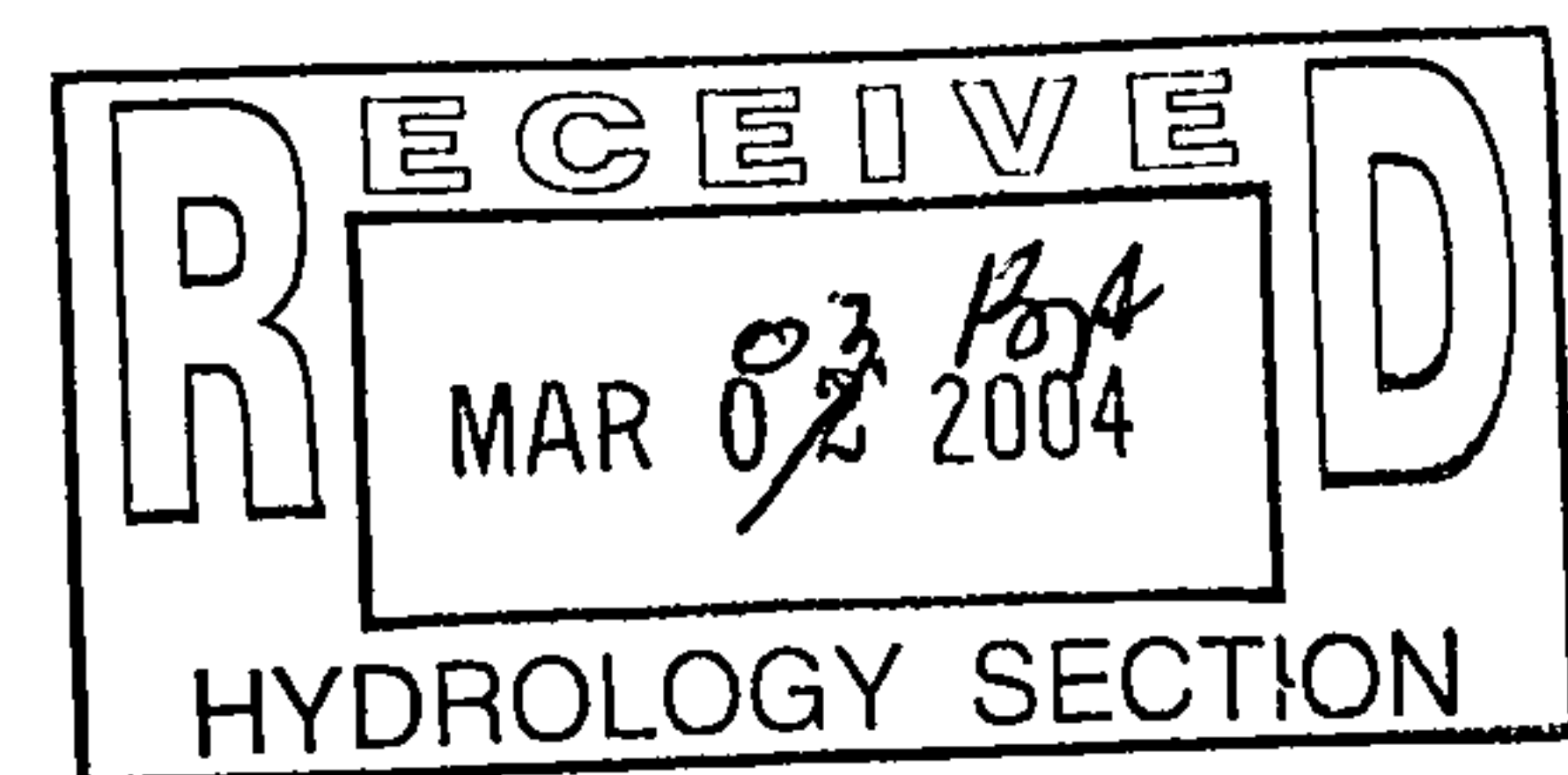
Enclosed please find copy of the as-built Site Plan for the above mentioned site. The project was inspected by Advanced Engineering and Consulting, LLC on 2-11-04. No changes have been done to the existing traffic circulation and parking spaces. See enclosed plan for the location of the building addition. I certify that the project was built in substantial compliance to the site plan with approval date of 07-03-2003.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,



Shahab Biazar, P.E.



4416 Anaheim Ave NE



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

November 7, 2003

Shahab Biazar, P.E.  
Advanced Engineering and Consulting, LLC  
10205 Snowflake Ct. NW  
Albuquerque, NM 87114

**Re: New Life Baptist Church Addition, 6900 Los Volcanos Rd. NW, Grading and  
Drainage Plan**

**Engineer's Stamp dated 10-17-03 (J10/D29)**

Dear Mr. Biazar,

Based upon the information provided in your submittal received 10-30-03, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro

*Adm* Engineering Associate, Planning Dept.  
Development and Building Services

C: file



**DRAINAGE INFORMATION SHEET**  
(REV. 1/28/2003rd)

**J-10/D29**

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2, ATRISCO BUSINESS PARK  
CITY ADDRESS: 6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, NM 87121

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
ADDRESS: 10205 Snowflake Ct. NW  
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar  
PHONE: (505) 899-5570  
ZIP CODE: 87114

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

**CHECK TYPE OF SUBMITTAL:**

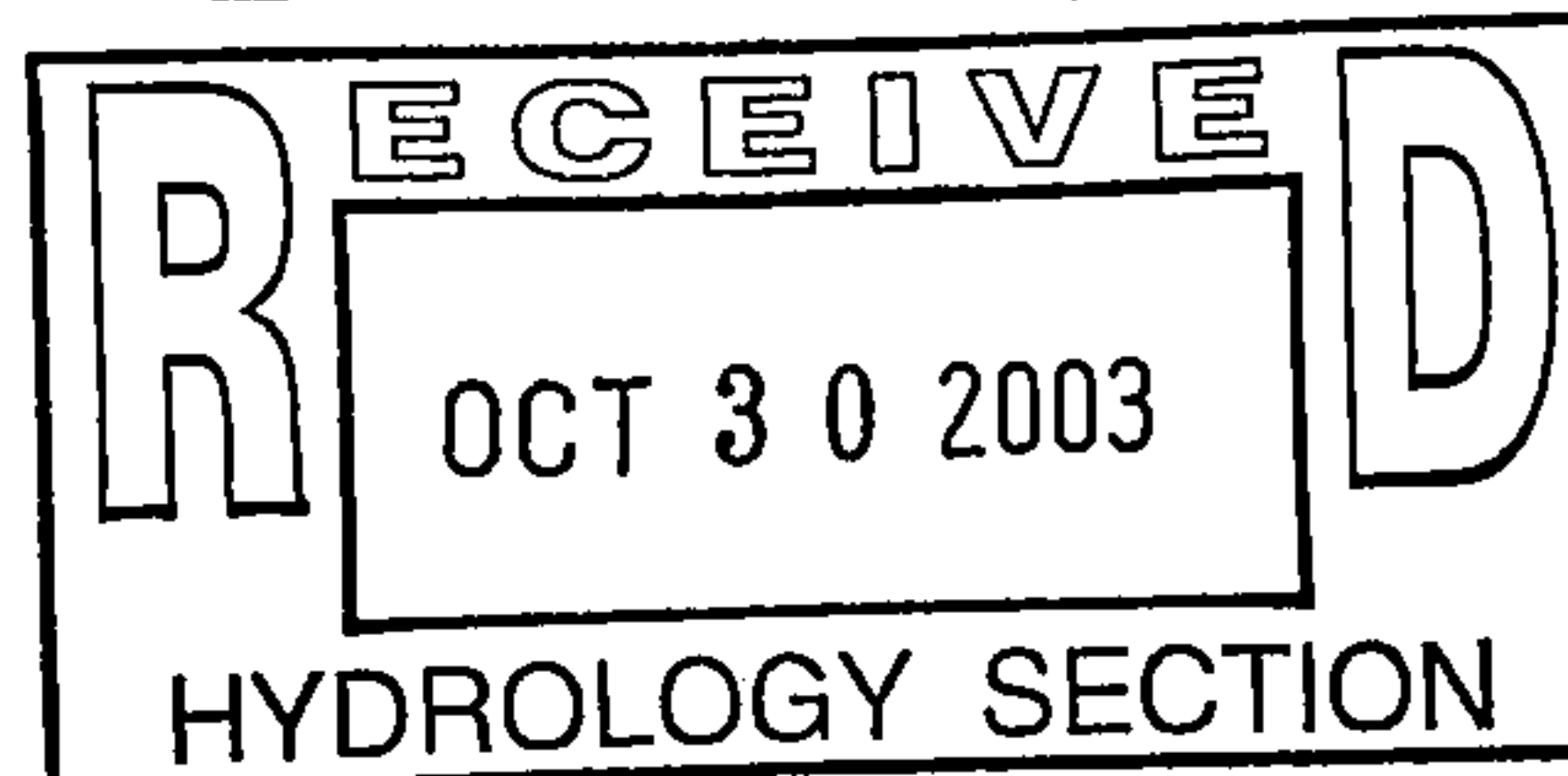
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

**CHECK TYPE OF APPROVAL SOUGHT:**

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☒ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

**WAS A PRE-DESIGN CONFERENCE ATTENDED:**

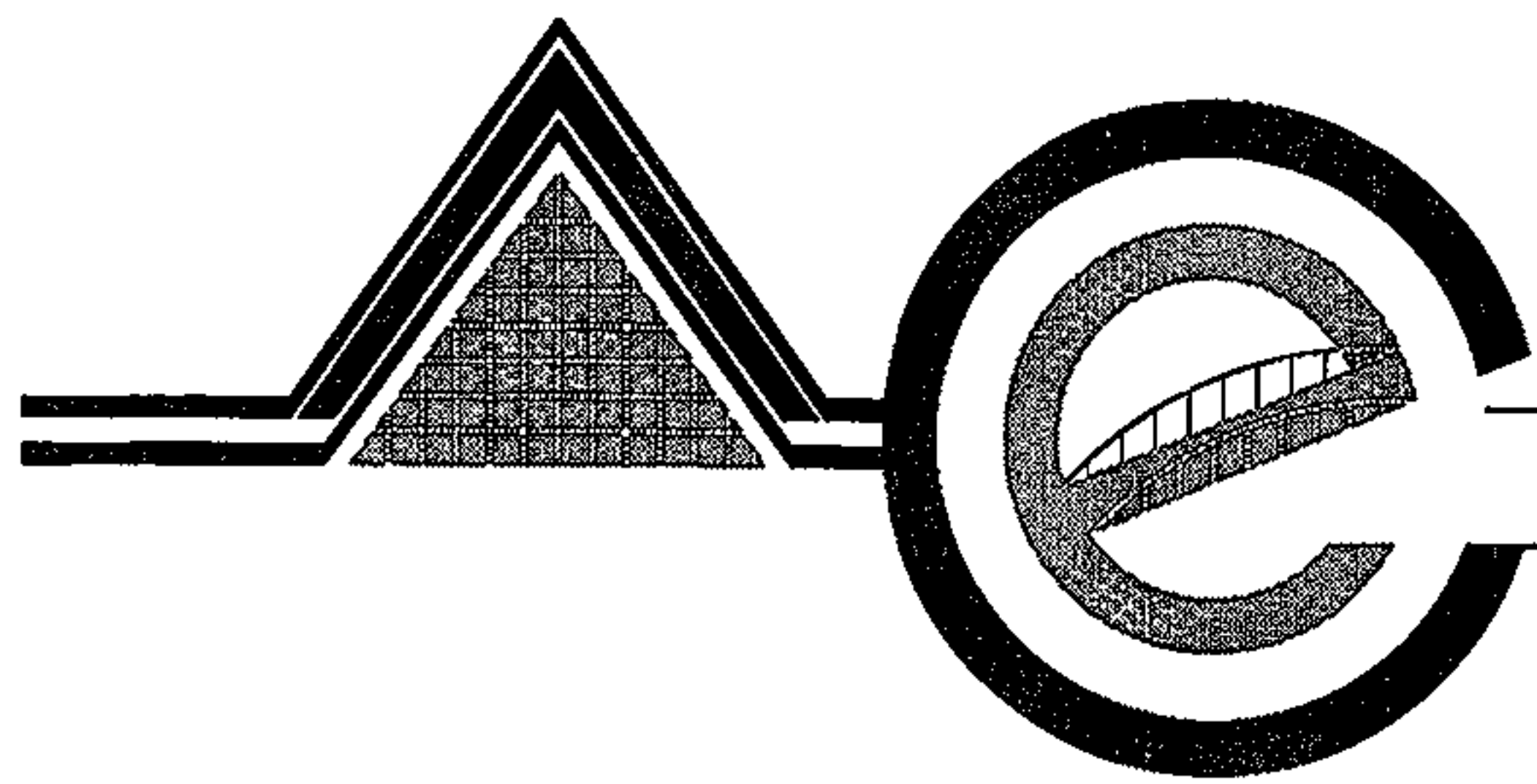
- ☐ YES  
☒ NO  
☐ COPY PROVIDED



DATE SUBMITTED: 10 / 17 / 2003 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more



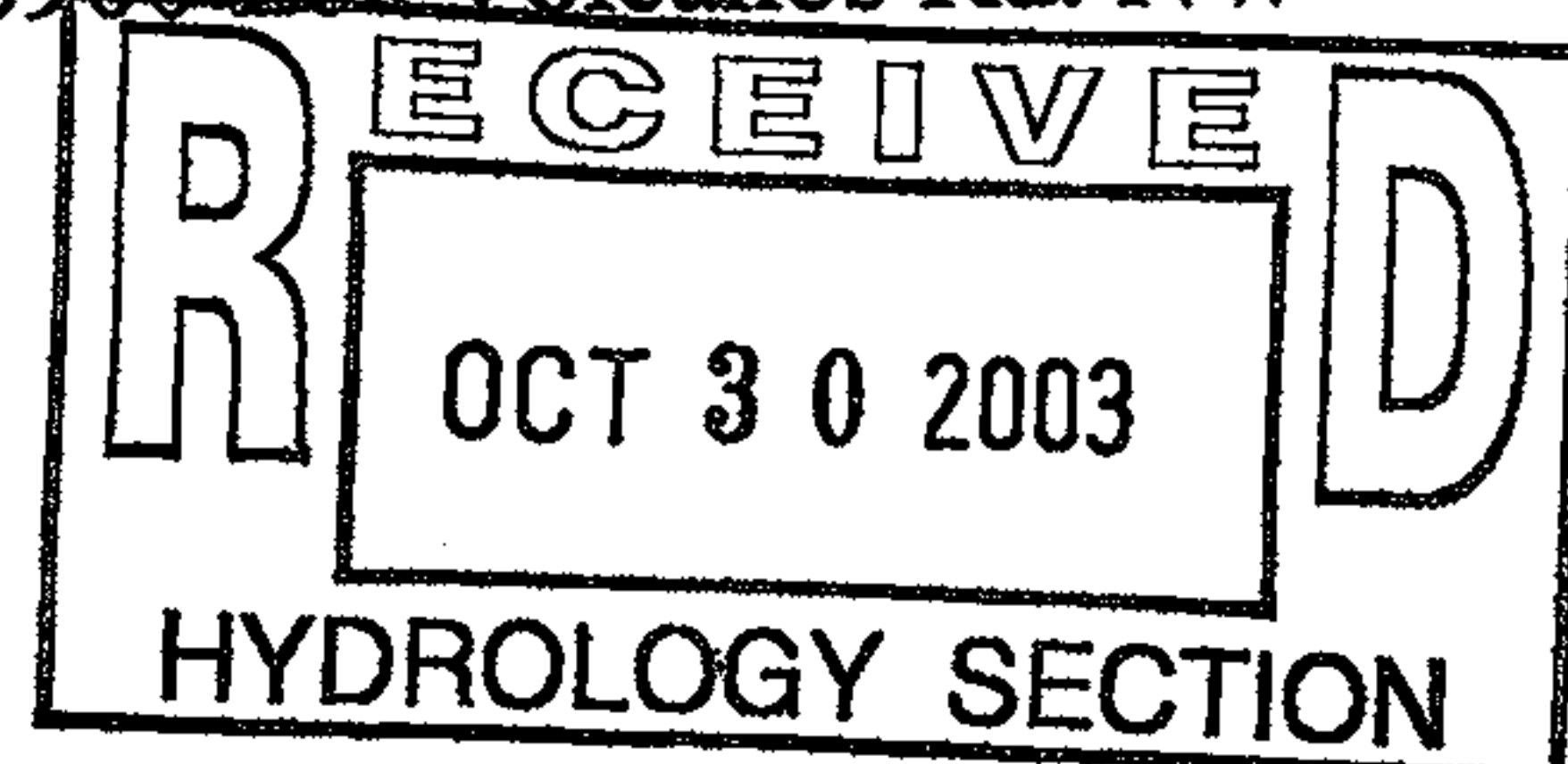
ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection*

October 17, 2003

Mr. Carlos A. Montoya, P.E.  
City Floodplain Administrator, PWD  
Development and Building Services  
Plaza Del Sol-2<sup>nd</sup> Floor West  
600 2<sup>nd</sup> Street NW  
Albuquerque, NM 87102

RE: Revised Grading Plan For New Life Baptist Church, 6900 Los Volcanos Rd. NW  
(J10 / D29)



Dear Mr. Montoya:

The following responses are to your comments received dated October 16, 2003:

1. More of the site is shown on the grading plan. The scale of the drawing was changed from 1"=6' to 1"=10' to show more of the overall site. More spot elevations was also added along the south side of the building. We will be matching the back of sidewalk elevations. See revised grading plan.
2. Mark Goodwin and Associates grading plan has been included with this submittal.

Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.



Waiting for  
a information  
sheet. Will fax  
soon

CAN



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

March 3, 2004

Shahab Biazar, P.E.  
Advanced Engineering and Consulting, LLC  
4416 Anaheim Ave. NE  
Albuquerque, NM 87113

**Re: New Life Baptist Church Addition, 6900 Los Volcanos Rd. NW, Certificate  
of Occupancy**

**Engineer's Stamp dated 10-17-03 (J10/D29)**

**Certification dated 2-13-04**

Dear Mr. Biazar,

Based upon the information provided in your submittal received 3-03-04, the  
above referenced certification is approved for release of permanent Certificate of  
Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro  
Engineering Associate, Planning Dept.  
Development and Building Services

C: Phyllis Villanueva  
file

# DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: NEW LIFE BAPTIST CHURCH ADDITION ZONE ATLAS/DRG. FILE #: J10-D29  
DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: PLAT OF LOTS 2A & 2B, TRACT N, UNIT 2, ATRISCO BUSINESS PARK  
CITY ADDRESS: 6900 LOS VOLCANOS ROAD NW, ALBUQUERQUE, NM 87121

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC  
ADDRESS: 10205 Snowflake Ct. NW  
CITY, STATE: Albuquerque, New Mexico

OWNER: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_

CONTACT: Shahab Biazar  
PHONE: (505) 899-5570  
ZIP CODE: 87114

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
PHONE: \_\_\_\_\_  
ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

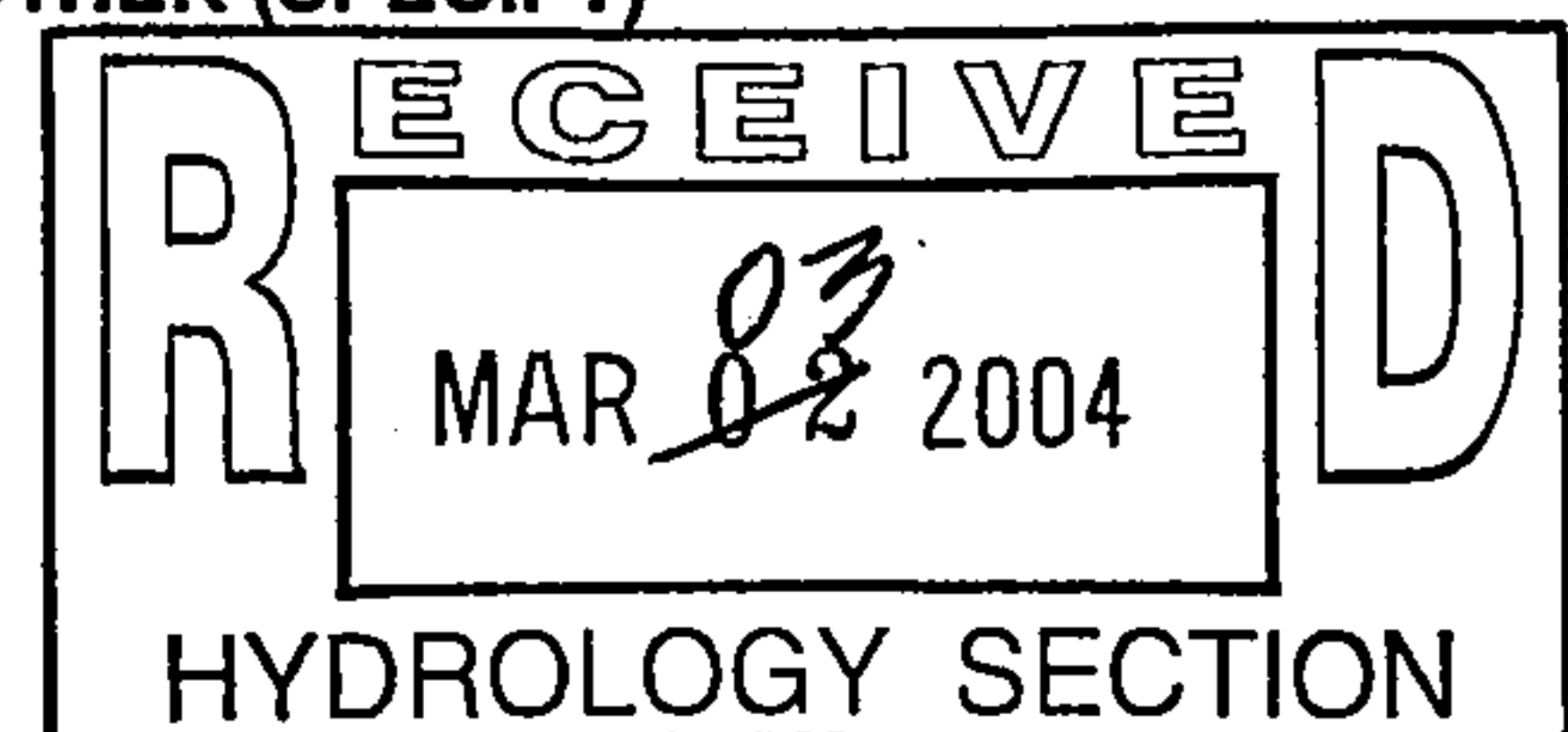
- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR / LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEER'S CERTIFICATION (TCL)  
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D. APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

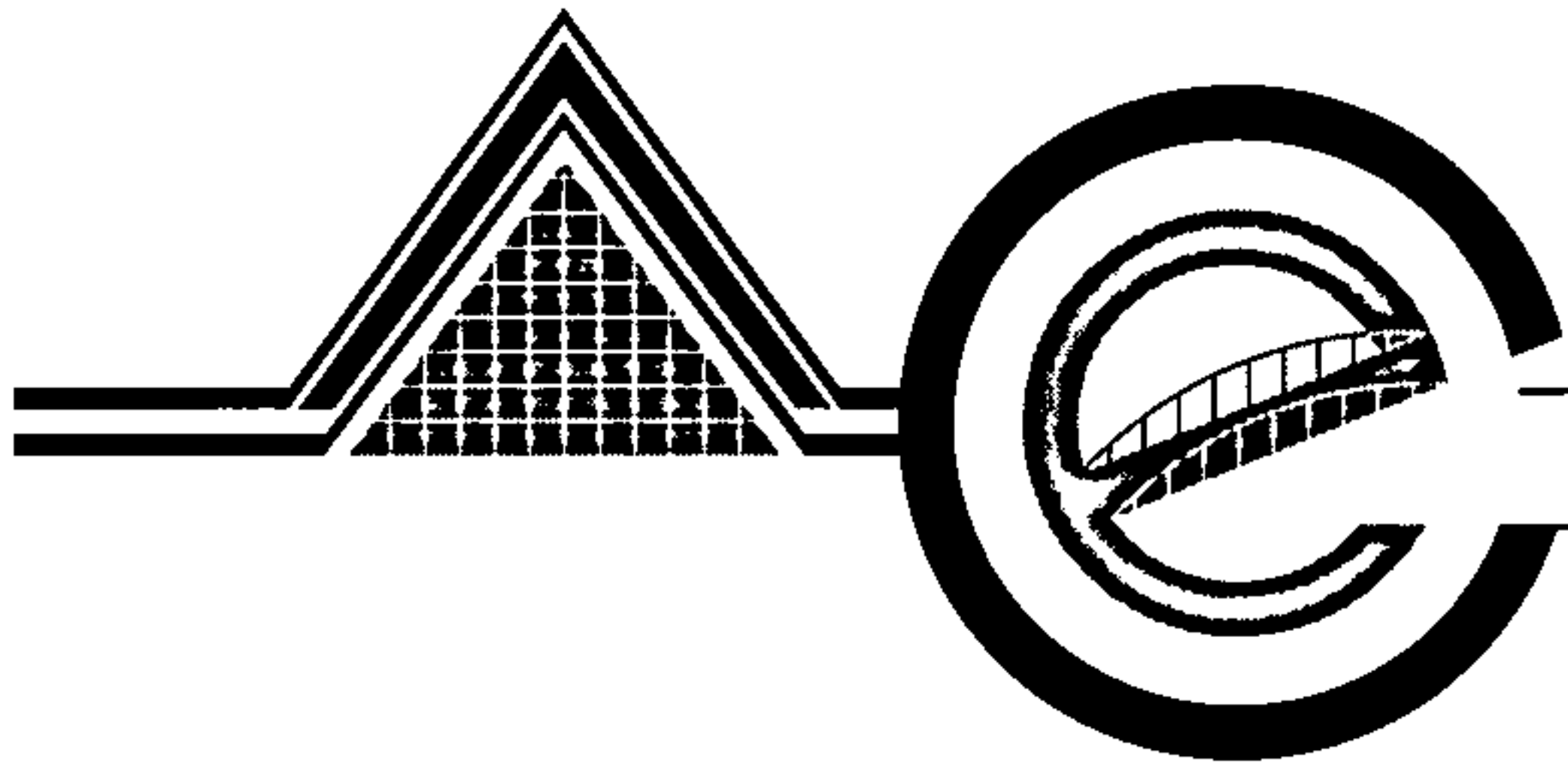


DATE SUBMITTED: 2 / 13 / 2004 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more





ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting  
Design  
Development  
Management  
Inspection*

February 13, 2004

Ms. Kristal D. Metro  
Engineering Associates, Planning Dept.  
Development and Building Services  
600 Second Street NW  
Albuquerque, New Mexico 87102

RE: FINAL CERTIFICATION OF THE GRADES FOR NEW LIFE BAPTIST CHURCH  
ADDITION, J10/D29

Dear Ms. Metro:

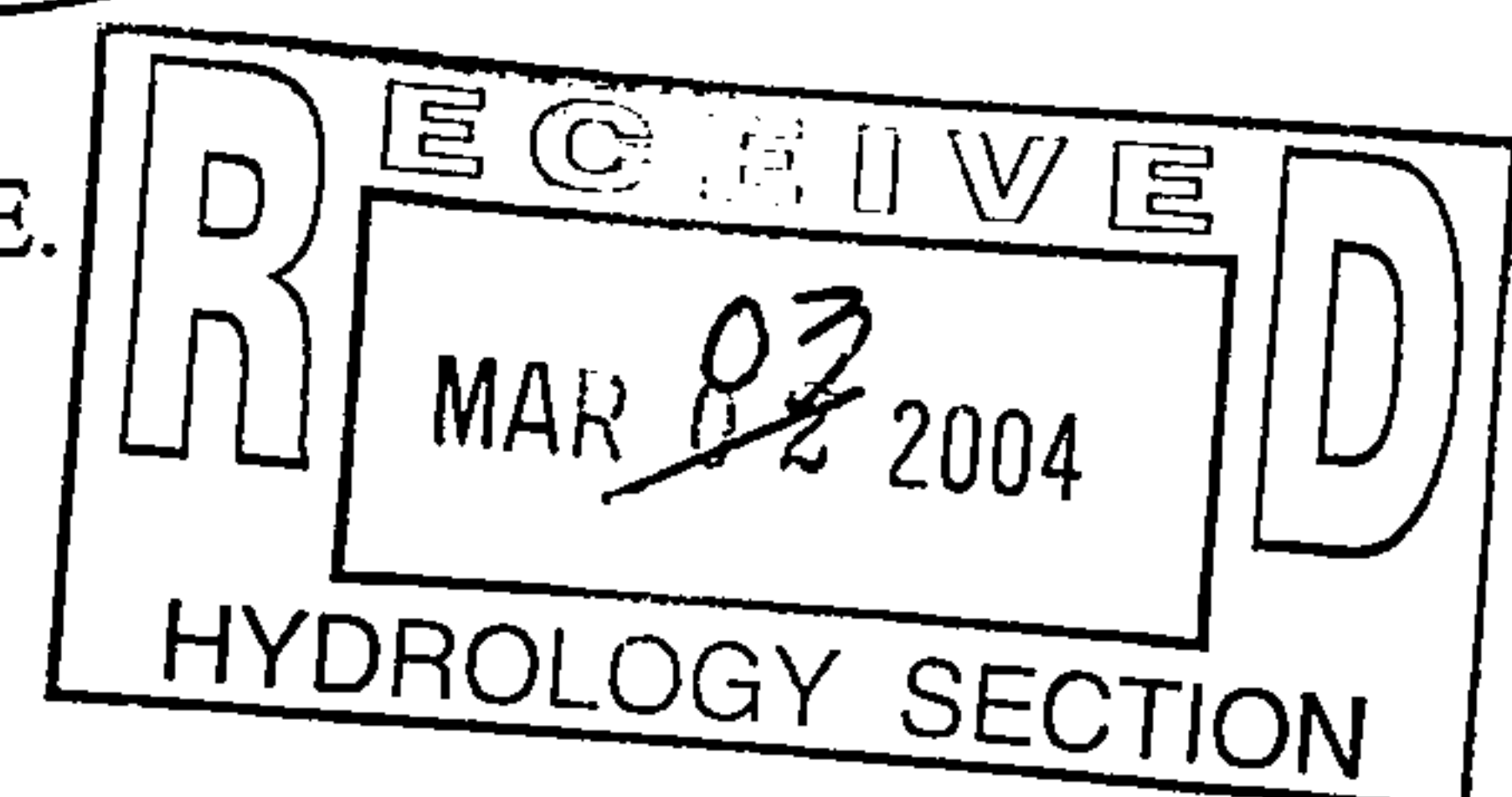
Enclosed please find copy of the as-built Grading Plan for the above mentioned site. The grades are built according to the grading & drainage plan approved with engineering stamp date 11-17-2003. We are requesting Final Certification of Occupancy. Please send any future responses to our new address at:

4416 Anaheim Ave., NE  
Albuquerque, NM 87113

Should you have any questions, please do not hesitate to contact our office.

Sincerely yours,

  
Shahab Biazar, P.E.





# *City of Albuquerque*

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

October 19, 2000

John MacKenzie, P.E.  
Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, NM 87199

RE: ENGINEER'S CERTIFICATION FOR NEW LIFE BAPTIST CHURCH (J-10/  
D029), ENGINEER'S STAMP DATED 1/27/00, CERTIFICATION DATED  
10/9/2000.

Dear Mr. MacKenzie,

Your submittal is lacking the City inspector's sign-off for the SO 19 which allows for the pond connection to the storm drain in Airport Drive. Please provide us with that approval at your earliest convenience so that we may release the Certificate of Occupancy.

If you have any questions, please call me at 924-3988.

Sincerely,

*Stuart Reeder, P.E.*

Stuart Reeder, P.E.  
Hydrology Division

xc: Whitney Reiersen  
File



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

January 31, 2000

John MacKenzie PE  
Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, NM 87199

**Re: New Life Baptist Church Grading and Drainage Plan (J10/D29)**  
**Engineers Stamp dated 1-27-00**

Dear Mr. MacKenzie,

After review of your submittal dated 1-27-00, the above referenced plan is approved for Building, Foundation and SO#19 permits.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, a separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

Please be advised that prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986

Sincerely,

Bradley L. Bingham, PE  
Hydrology Review Engineer

C: ~~Allen Parillo~~  
file



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: New Life Baptist Church ZONE/ATLAS/DRNG, FILE#: J-10-Z  
DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: Tract 2-A, Unit 2, Tract N, Artrisco Business Park  
CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM:	<u>Mark Goodwin &amp; Associates</u>	CONTACT:	<u>John MacKenzie, PE</u>
ADDRESS:	<u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE:	<u>828-2200</u>
OWNER:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____
ARCHITECT:	<u>Stricklin Drafting &amp; Design</u>	CONTACT:	<u>Shelley Stricklin</u>
ADDRESS:	<u>Los Lunas, NM</u>	PHONE:	<u>865-7768</u>
SURVEYOR:	_____	CONTACT:	_____
ADDRESS:	_____	PHONE:	_____
CONTACTOR:	<u>Desert Rose Custom Homes, Inc.</u>	CONTACT:	<u>Don Mock</u>
ADDRESS:	<u>P.O. Box 2635, Corrales, NM 87048-2635</u>	PHONE:	<u>898-0144</u>

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY

DATE SUBMITTED: 1-27-00

BY: John M. MacKenzie



# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

## **PUBLIC WORKS DEPARTMENT**

January 31, 2000

**INTEROFFICE CORRESPONDENCE**

**HYDROLOGY DIVISION**

**TO:** Glen Jurgenson, Storm Drain Maintenance Division

**FROM:** Bradley L. Bingham PE, Hydrology Div., PWD *BLB*

**SUBJECT: MODIFICATIONS TO DRAINAGE FACILITIES WITHIN PUBLIC  
RIGHT-OF-WAY DRAINAGE FILE NUMBER (J10/D29).**

---

Transmitted herewith is a copy of the approved drainage plan for the referenced project incorporating the SO #19 design.

This plan is being submitted to you for permitting and inspection. Please provide this section with a signed-off copy per the signature block upon construction and acceptance by your office.

As you are aware, the signed off SO#19 is required by this office for Certificate of Occupancy release; therefore your expeditious processing of this plan would be greatly appreciated and would avoid any unnecessary delay in the release of Certificate of Occupancy.

Thank you for your cooperation and if you should have any questions and/or comments, please feel free to call me at 924-3986.

Attachment



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

January 27, 2000

Mr. Brad Bingham, PE  
City of Albuquerque  
Public Works Department - Hydrology  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: New Life Baptist Church (J10 - D29)**

Dear Mr. Bingham:

In response to your comments I have revised the drawing as follows:

1. The elevation of the grate for the drop inlet positioned at the southwest corner of the site as an overflow device has been raised to elevation 5106.90 MSL.
2. The inverts of the private internal storm drain have also been adjusted to provide for more positive drainage away from the on-site ponding area.
3. The storm drain in Airport Drive has been changed to a Class III RCP.
4. The legend calls for the south retaining wall to consist of concrete.

If I can be of further assistance, please contact me.

Sincerely,

MARK GOODWIN & ASSOCIATES, PE

John M. MacKenzie, PE  
Senior Engineer

JMM/sw

f:\newlife\comments.no2



# DRAINAGE INFORMATION SHEET

PROJECT TITLE:	New Life Baptist Church	ZONE/ATLAS/DRNG, FILE#:	J-10-Z / D029
DRB#:	EPC#	WORK ORDER#:	
LEGAL DESCRIPTION:	Tract 2-A, Unit 2, Tract N, Artrisco Business Park		
CITY ADDRESS:			
ENGINEERING FIRM:	Mark Goodwin & Associates	CONTACT:	John MacKenzie, PE
ADDRESS:	P.O. Box 90606, Albuquerque, NM 87199	PHONE:	828-2200
OWNER:		CONTACT:	
ADDRESS:		PHONE:	
ARCHITECT:	Stricklin Drafting & Design	CONTACT:	Shelley Stricklin
ADDRESS:	Los Lunas, NM	PHONE:	865-7768
SURVEYOR:		CONTACT:	
ADDRESS:		PHONE:	
CONTACTOR:	Desert Rose Custom Homes, Inc.	CONTACT:	Don Mock
ADDRESS:	P.O. Box 2635, Corrales, NM 87048-2635	PHONE:	898-0144

## TYPE OF SUBMITTAL:

<input type="checkbox"/>	DRAINAGE REPORT
<input checked="" type="checkbox"/>	DRAINAGE PLAN
<input type="checkbox"/>	CONCEPTUAL GRADING & DRAINAGE PLAN
<input checked="" type="checkbox"/>	GRADING PLAN
<input type="checkbox"/>	EROSION CONTROL
<input type="checkbox"/>	ENGINEER'S CERTIFICATION
<input type="checkbox"/>	OTHER
<input type="checkbox"/>	EASEMENT VACATION

## PRE-DESIGN MEETING:

<input type="checkbox"/>	YES
<input checked="" type="checkbox"/>	NO
<input type="checkbox"/>	COPY PROVIDED

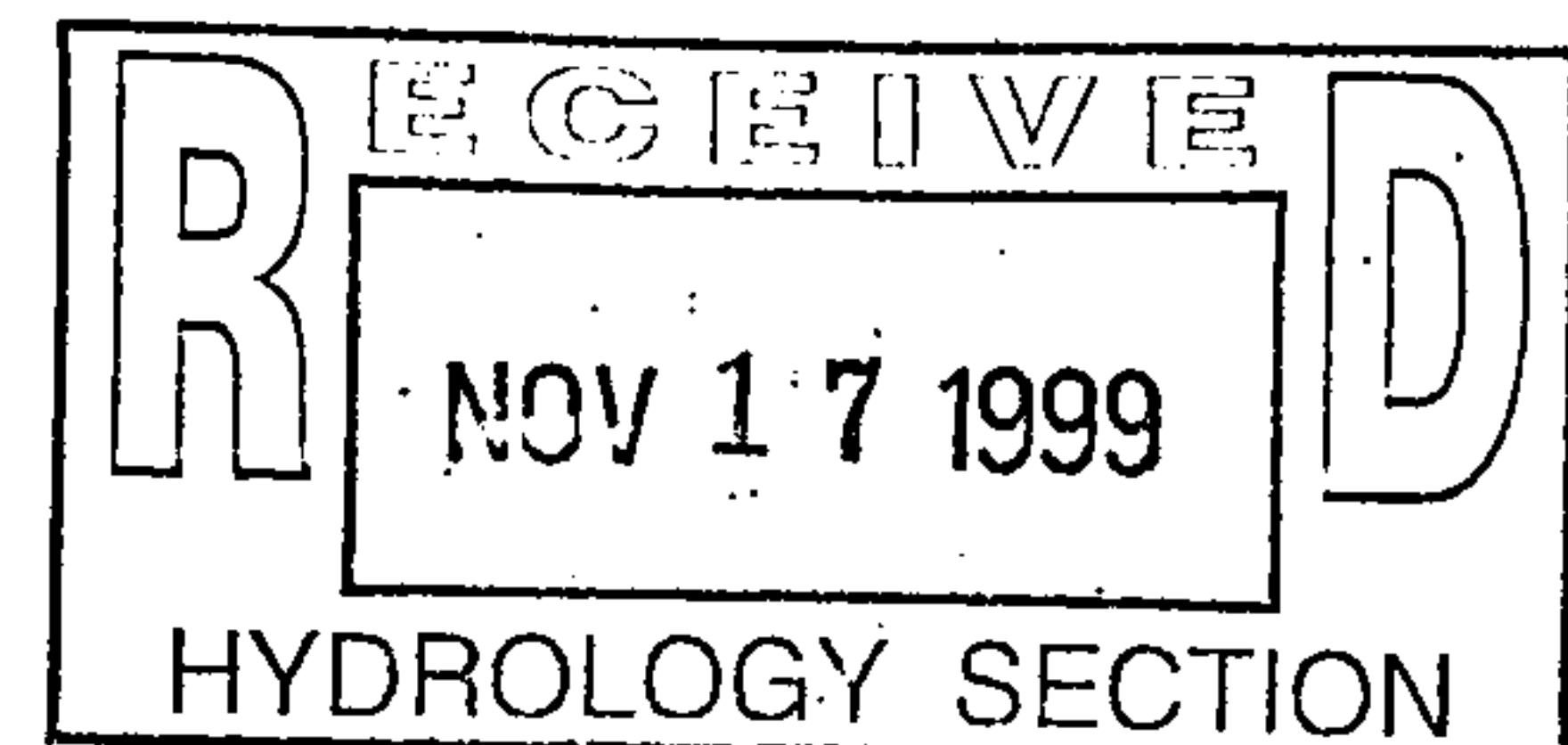
## CHECK TYPE OF APPROVAL SOUGHT:

<input type="checkbox"/>	SKETCH PLAT APPROVAL
<input type="checkbox"/>	PRELIMINARY PLAT APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR SUB'D APPROVAL
<input type="checkbox"/>	S. DEV. PLAN FOR BLDG PERMIT APPROVAL
<input type="checkbox"/>	SECTOR PLAN APPROVAL
<input type="checkbox"/>	FINAL PLAT APPROVAL
<input checked="" type="checkbox"/>	FOUNDATION PERMIT APPROVAL
<input checked="" type="checkbox"/>	BUILDING PERMIT APPROVAL
<input type="checkbox"/>	CERTIFICATION OF OCCUPANCY APPROVAL
<input type="checkbox"/>	GRADING PERMIT APPROVAL
<input type="checkbox"/>	PAVING PERMIT APPROVAL
<input type="checkbox"/>	S.A.D. DRAINAGE REPORT
<input type="checkbox"/>	DRAINAGE REQUIREMENTS
<input type="checkbox"/>	OTHER
<input type="checkbox"/>	RELEASE OF FINANCIAL GUARANTY

DATE SUBMITTED:

BY:

11/17/99  
OK  
John M. MacKenzie





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

November 17, 1999

Mr. John P. Murray, PE  
City of Albuquerque  
Public Works Department - Hydrology  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: New Life Baptist Church (J10 - D29)**

Dear Mr. Murray:

In response to your comments I have the following:

1. Drainage calculations are minimal because the Atrisco Business Park Drainage Master Plan has already determined that the maximum allowable discharge for this site is 0.45 cfs (see original submittal). Drainage basin for the site is now defined.
2. An SO 19 has been added to the plan.
3. The existing storm drain and its calculations relative to downstream capacity have already been addressed by the Atrisco Business Park Drainage Master Plan. The HGL for this existing storm drain is 5099.00 or about 3 1/2' below the lowest on-site grate.
4. The top of the grate is 5102.5 or about 04.25' lower than the maximum water surface elevation of 06.77.
5. The limits of the pond are now shown on the plan.
6. The builder has been informed the retaining wall design must accommodate the maximum water surface elevation of 5106.77.

If I can be of further assistance, please contact me.

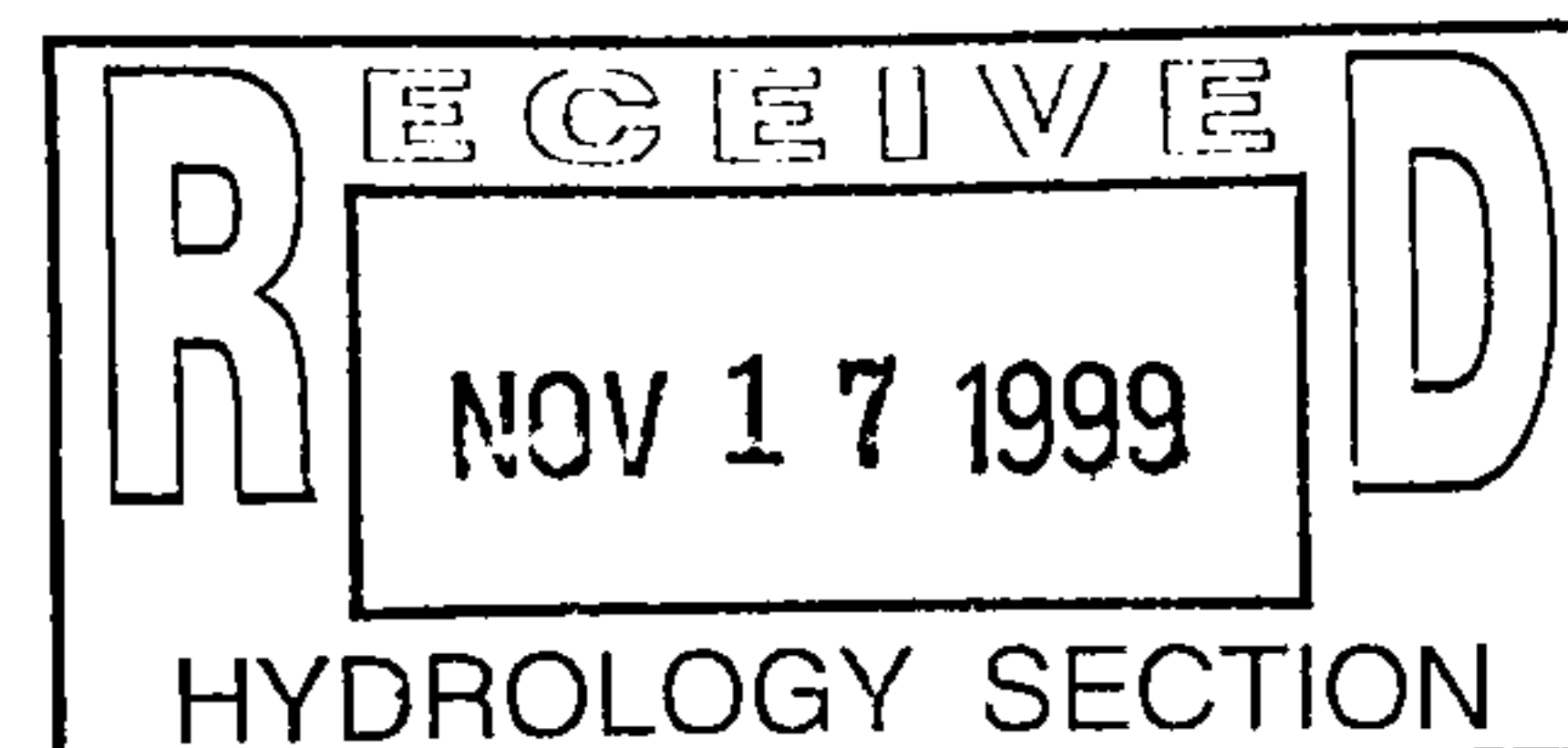
Sincerely,

MARK GOODWIN & ASSOCIATES, PE

John M. MacKenzie, PE  
Senior Engineer

JMM/sw

f:\newlife\comments.no2







# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

June 17, 1999

John McKenzie, Reg. Arch.,  
D. Mark Goodwin & Assocs. P.A.,  
P.O. 90606,  
Albuquerque, New Mexico 87119

Re: Site Plan submittal for Building Permit approval for New Life Baptist Church,  
Atrisco Business Park, Tract 2-A, Unit 2 (Zone Map J-10-Z),  
Architect's Stamp dated - - - .

Dear Mr. McKenzie,

The above referenced plan requires modification to the Site Plan prior to Building Permit release as follows:

- Site Plan must be stamped and dated.
- Standard Site Plan submittal for permit is titled with sheet numbering and all other appropriate information, please provide.
- Red-lined markup of Site Plan submitted and typed comments should be used to make corrections required. Return markup with corrections.
- Only one Site Plan is needed per Permit submittal. Any excess Site Plans will need to match exactly.
- New and existing elements noted on the Site Plan must be shown, labelled, and dimensioned correctly and accurately, this includes street sidewalks and curb & gutter. \_\_\_ Need to see clear differentiation between new construction and existing on Site Plan. \_\_\_
- Label, and dimension existing and/or new street sidewalks.
- Dimension stalls - label "typical" or call out in individual locations, if not typical.
- Label 6" concrete curb, and type (or show detail labelled "typical"), at each individual location-or-call out double-line style (or equivalent) linework, used to designate curbing, as "typical". \_\_\_ If extruded concrete is used, top of surface of landscape mulching (gravel, bark, etc.) must be level with, or up to 1" below top of curb.
- Minim. 5' wide sidewalk, raised 6" above parking surface, needed at the front of parked vehicles along the front of building.
- Label - "Construct driveways per City of Albuquerque Std. Detail Dwg. No. 2426, typical."
- Need to see that all existing obstacles in City right-of-way, in existing sidewalks, have been picked up.
- All Civil Sheets (Drainage Plan, Site Plan and Landscape Plan) must be together at front of plan set.
- Linework on Drainage Plan and Landscape Plan must match Site Plan exactly. \_\_\_ Verify changes in Site Plan with Hydrology. If acceptable, callout on Site Plan: INSPECTION OF CONSTRUCTION FOR C.O. BY TRANSPORTATION WILL BE DONE FROM THIS SHEET.
- Any pending City Street Projects adjacent to project site must be verified with Art Kelly, Public Works, Transportation, Planning at 505-768-2768.
- H.C. ramp at street corner is too large, must be per City standard and A.D.A.
- Place concrete wheel stop (only at front of [H.C.] stalls), 18'-0" from rear of stall, use #6 rebar anchors, 18" in length.
- On future submittals need to see valuation of project on Application.

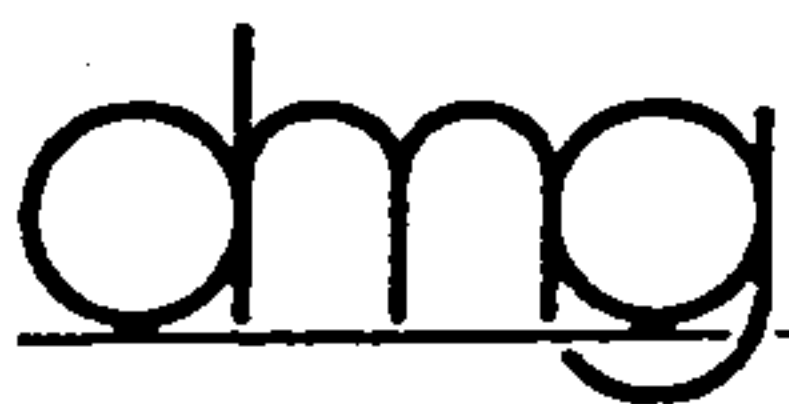
Please provide revised Site Plan reflecting above corrections along with marked up copy.

Sincerely, -

Mike Zamora,  
Commercial Plan Checker



# LETTER OF TRANSMITTAL



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

DATE <u>6/3/99</u>	JOB NO.
ATTENTION <u>Mike Zamora</u>	
RE: <u>New Life Baptist Church</u>	

TO Transportation - Bldg Permits

WE ARE SENDING YOU ☐ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- ☐ Shop drawings    ☐ Prints    ☐ Plans    ☐ Samples    ☐ Specifications  
☐ Copy of letter    ☐ Change order    ☐ \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
<u>1</u>			<u>Site Plan</u>

THESE ARE TRANSMITTED as checked below:

- ☐ For approval    ☐ Approved as submitted    ☐ Resubmit \_\_\_\_\_ copies for approval  
☐ For your use    ☐ Approved as noted    ☐ Submit \_\_\_\_\_ copies for distribution  
☒ As requested    ☐ Returned for corrections    ☐ Return \_\_\_\_\_ corrected prints  
☐ For review and comment    ☐ \_\_\_\_\_  
☐ FOR BIDS DUE \_\_\_\_\_ 19 \_\_\_\_\_ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS As requested

COPY TO \_\_\_\_\_

SIGNED: John Mackenzi

# DRAINAGE INFORMATION SHEET

PROJECT TITLE: New Life Baptist Church ZONE/ATLAS/DRNG, FILE#: J-10-Z 029  
 DRB#: \_\_\_\_\_ EPC# \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
 LEGAL DESCRIPTION: Tract 2-A, Unit 2, ~~Tract N~~, Artrisco Business Park  
 CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: <u>Mark Goodwin &amp; Associates</u>	CONTACT: <u>John MacKenzie, PE</u>
ADDRESS: <u>P.O. Box 90606, Albuquerque, NM 87199</u>	PHONE: <u>828-2200</u>
OWNER: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
ARCHITECT: <u>Stricklin Drafting &amp; Design</u>	CONTACT: <u>Shelley Stricklin</u>
ADDRESS: <u>Los Lunas, NM</u>	PHONE: <u>865-7768</u>
SURVEYOR: _____	CONTACT: _____
ADDRESS: _____	PHONE: _____
CONTACTOR: <u>Desert Rose Custom Homes, Inc.</u>	CONTACT: <u>Don Mock</u>
ADDRESS: <u>P.O. Box 2635, Corrales, NM 87048-2635</u>	PHONE: <u>898-0144</u>

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

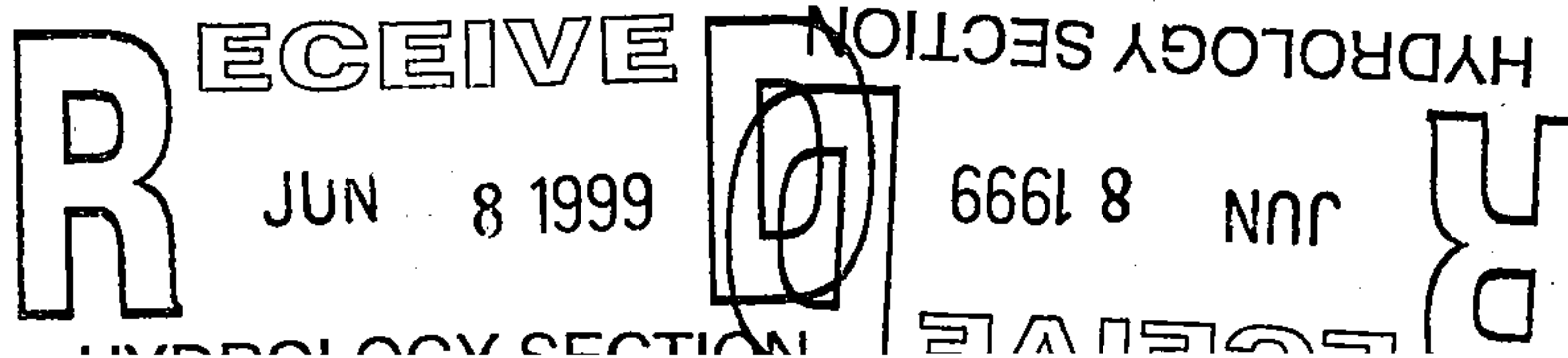
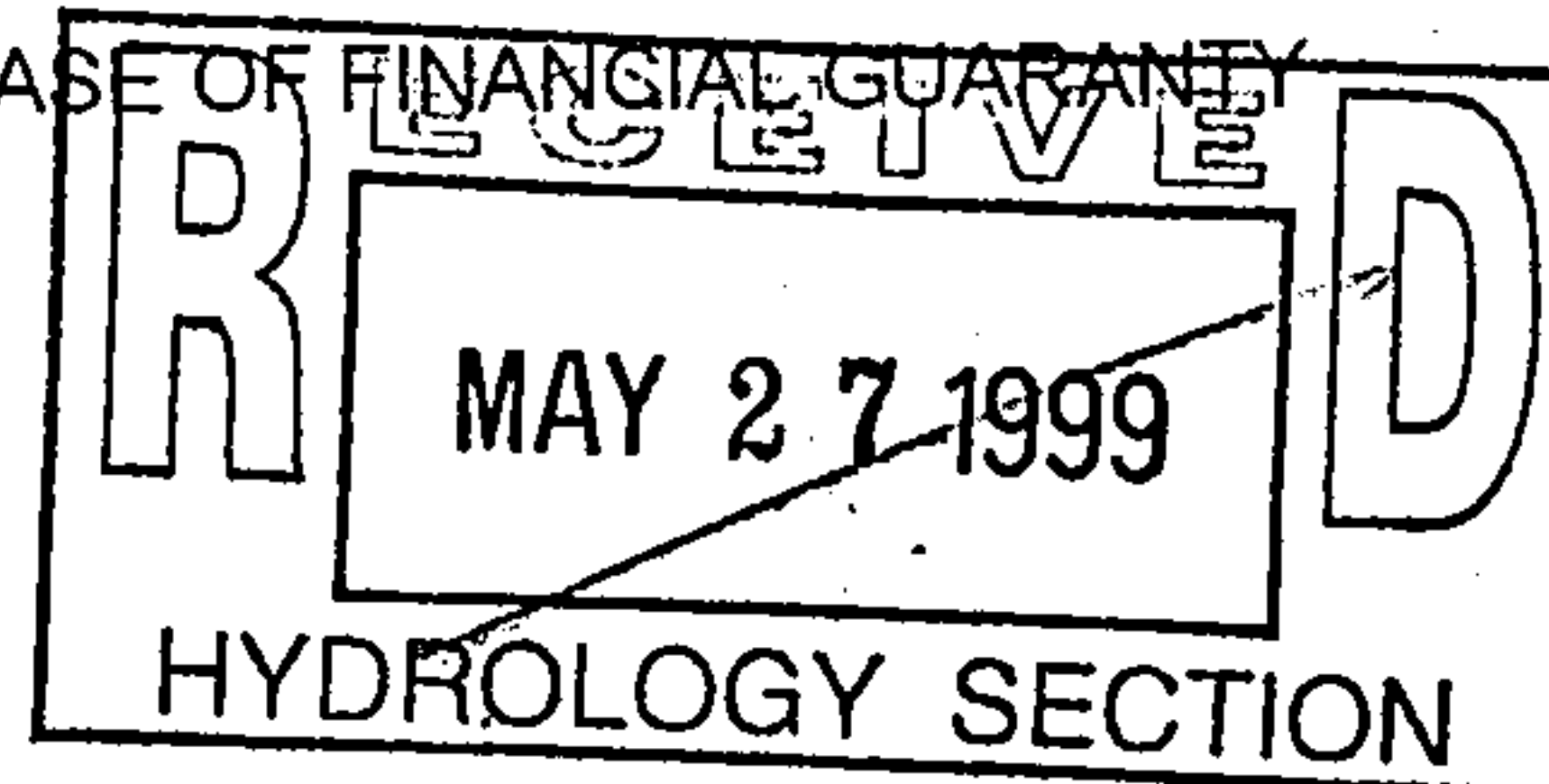
☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☒ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTEE

DATE SUBMITTED: May 26, 1999

BY: John M. MacKenzie





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

May 26, 1999

City of Albuquerque  
Public Works Department  
Hydrology Division  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: Tract 2-A, Unit 2, Tract N, Atrisco Business Park (New Life Baptist Church)**

To whom it may concern:

This is a request for approval of a grading and drainage plan for a new church within the Atrisco Business Park located on the southeast corner of Los Volcanes Rd. and Airport Rd. In 1993, Easterling and Associates received approval from the City on the Atrisco Business Park Master Drainage Plan, which established allowable discharge rates for all parcels within the plan area. An allowable rate of 0.45 cfs was set for the subject site with discharge to be directed into the existing storm drain on the west side of Airport Dr. Connection to this storm drain will require a work order to be processed through the City's DRC.

The AHYMO run for this site indicates the site develops approximately 20 cfs during the 100 year-6 hour storm. On-site ponding has restrained the site discharge to 0.42 cfs with the aid of an orifice plate within the on-site drop inlet. The resulting maximum water surface elevation is 5106.77. The finished floor of the building has been set to 5108.77. Retaining walls have been placed along the south and east boundary of the site to help contain the ponding on-site. A second drop inlet, intended to serve as an emergency overflow, has been placed over the storm drain just inside the west property line. This will function if the orifice becomes clogged with debris or if the site is impacted by a storm of magnitude greater than the 100 year-6 hour design storm.

Ponding and discharge calculations are attached hereto. Please contact me if there are any questions.

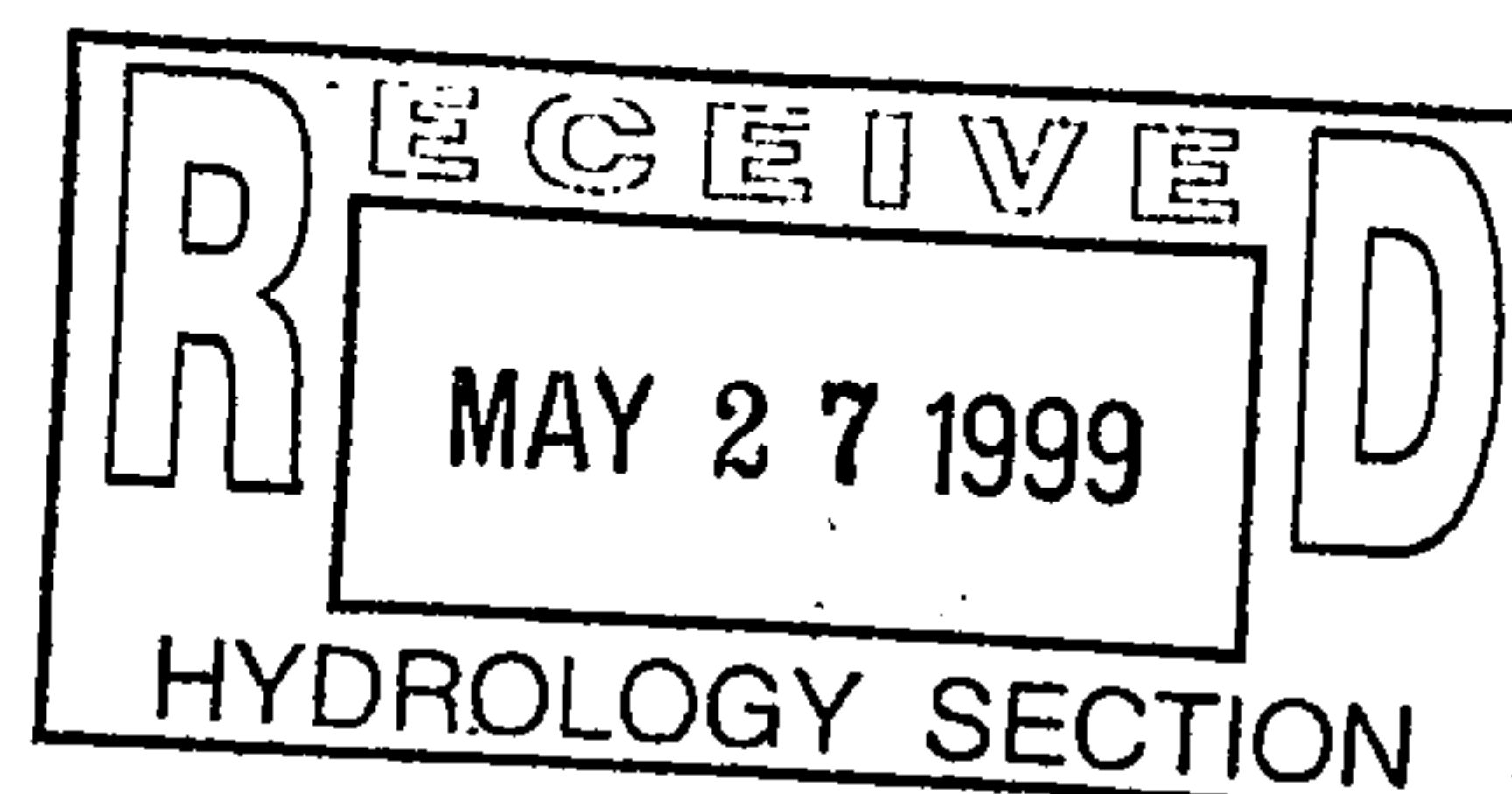
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE  
Senior Engineer

JMM/st

f:\newlife\comments.wpd





AHYMO PROGRAM (AHYMO194) - AMAFCA Hydrologic Model - January, 1994  
 RUN DATE (MON/DAY/YR) = 05/21/1999  
 START TIME (HR:MIN:SEC) = 16:59:05 USER NO.= M\_GOODWN.I01  
 INPUT FILE = baptist.dat

START TIME=0.0

\*\*\*\*\* BAPTIST CHURCH AT LOS VOLCANES AND AIRPORT RD.

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
 RAIN ONE=1.88 IN RAIN SIX=2.21 IN  
 RAIN DAY=2.67 IN DT=0.033 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40 H  
 DT = .033000 HOURS END TIME = 5.973000 HOURS

.0000	.0016	.0032	.0049	.0066	.0084	.0101
.0120	.0138	.0158	.0177	.0197	.0218	.0239
.0261	.0284	.0307	.0331	.0355	.0381	.0407
.0435	.0463	.0493	.0523	.0556	.0589	.0624
.0661	.0700	.0741	.0790	.0843	.0901	.0981
.1219	.1596	.2147	.2910	.3923	.5226	.6859
.8863	1.1280	1.2361	1.3119	1.3782	1.4381	1.4930
1.5439	1.5913	1.6357	1.6775	1.7169	1.7540	1.7892
1.8225	1.8542	1.8842	1.9126	1.9397	1.9578	1.9638
1.9693	1.9747	1.9797	1.9846	1.9893	1.9937	1.9981
2.0022	2.0063	2.0102	2.0139	2.0176	2.0212	2.0246
2.0280	2.0313	2.0345	2.0376	2.0407	2.0437	2.0466
2.0495	2.0523	2.0551	2.0578	2.0604	2.0630	2.0656
2.0681	2.0706	2.0730	2.0754	2.0778	2.0801	2.0823
2.0846	2.0868	2.0890	2.0911	2.0933	2.0953	2.0974
2.0995	2.1015	2.1034	2.1054	2.1073	2.1093	2.1112
2.1130	2.1149	2.1167	2.1185	2.1203	2.1221	2.1238
2.1255	2.1273	2.1290	2.1306	2.1323	2.1339	2.1356
2.1372	2.1388	2.1404	2.1419	2.1435	2.1450	2.1466
2.1481	2.1496	2.1511	2.1526	2.1540	2.1555	2.1569
2.1584	2.1598	2.1612	2.1626	2.1640	2.1653	2.1667
2.1681	2.1694	2.1707	2.1721	2.1734	2.1747	2.1760
2.1773	2.1786	2.1798	2.1811	2.1823	2.1836	2.1848
2.1861	2.1873	2.1885	2.1897	2.1909	2.1921	2.1933
2.1944	2.1956	2.1968	2.1979	2.1991	2.2002	2.2013
2.2025	2.2036	2.2047	2.2058	2.2069	2.2080	2.2091

\*HYDROGRAPHS FOR 5 ACRE ON-SITE BASIN

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.0078 SQ MI  
 PER A=0.0 PER B=15.0 PER C=0.0 PER D=85.0  
 TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N =  
 UNIT PEAK = 26.176 CFS UNIT VOLUME = .9990 B = 526.28 P60 = 1.88  
 AREA = .006630 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033000

K = .130816HR TP = .133300HR K/TP RATIO = .981365 SHAPE CONSTANT, N =  
 UNIT PEAK = 2.8740 CFS UNIT VOLUME = .9955 B = 327.44 P60 = 1.88  
 AREA = .001170 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR  
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT = .033000

PRINT HYD

ID=1 CODE=1

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 1.78080 INCHES = .7408 ACRE-FEET  
 PEAK DISCHARGE RATE = 20.01 CFS AT 1.518 HOURS BASIN AREA = .0078 SQ. MI.

ROUTE RESERVOIR

ID=2 HYD NO=107.1 INFLOW ID=1 CODE=24

OUTFLOW(CFS)	STORAGE(ACFT)	ELEVATION (FT)
0.0	0.0	1.0
0.26	0.0001	3.0
0.33	0.0102	4.0
0.37	0.1610	5.0
0.41	0.5215	6.0
0.45	1.2567	7.0

\* \* \* \* \*

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
.00	.00	1.00	.000	.00
.79	.00	1.00	.000	.00
1.58	15.15	5.46	.326	.39
2.38	.90	6.17	.647	.42
3.17	.18	6.17	.646	.42
3.96	.11	6.14	.627	.42
4.75	.11	6.12	.607	.41
5.54	.12	6.09	.587	.41
6.34	.01	6.06	.567	.41
7.13	.00	6.03	.540	.41
7.92	.00	5.98	.513	.41
8.71	.00	5.90	.487	.41
9.50	.00	5.83	.460	.40
10.30	.00	5.76	.434	.40
11.09	.00	5.68	.408	.40
11.88	.00	5.61	.382	.39
12.67	.00	5.54	.356	.39
13.46	.00	5.47	.330	.39
14.26	.00	5.40	.305	.39
15.05	.00	5.33	.280	.38
15.84	.00	5.26	.255	.38
16.63	.00	5.19	.230	.38
17.42	.00	5.12	.205	.37
18.22	.00	5.06	.181	.37
19.01	.00	4.97	.157	.37

PEAK DISCHARGE = .417 CFS - PEAK OCCURS AT HOUR 2.67  
 MAXIMUM WATER SURFACE ELEVATION = 6.177  
 MAXIMUM STORAGE = .6516 AC-FT INCREMENTAL TIME= .033000HRS

PRINT HYD

ID=2 CODE=1

PARTIAL HYDROGRAPH 107.10

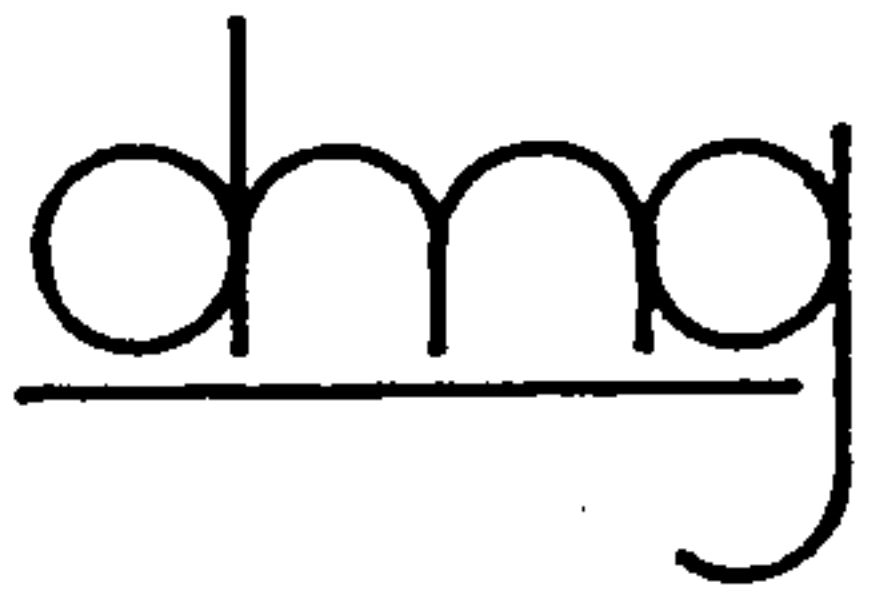
RUNOFF VOLUME = 1.46029 INCHES = .6075 ACRE-FEET  
PEAK DISCHARGE RATE = .42 CFS AT 2.673 HOURS BASIN AREA = .0078 SQ. MI.

FINISH

NORMAL PROGRAM FINISH

END TIME (HR:MIN:SEC) = 16:59:06





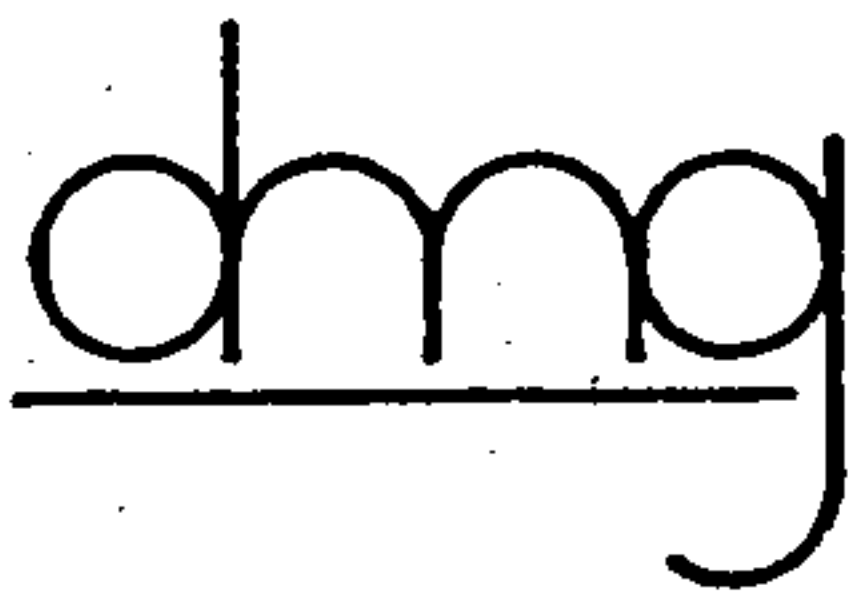
D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS

PROJECT New Life Baptist  
SUBJECT Drainage  
BY JMM DATE 5/25/99  
CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
SHEET \_\_\_\_\_ OF \_\_\_\_\_

### Ponding Calculations

<u>Elev.</u>	<u>Area</u>	<u>Avg Area</u>	<u>Depth</u>	<u>Vol.</u>	<u>Cum Vol.</u>
					<u>CF AC</u>
3.0	0	888	1	444	444
4.0	1776	6568	1	6568	0.0102
5.0	11,360	15,704	1	15,704	0.1610
6.0	20,048	32,024	1	32,024	0.5215
7.0	44,000				1.2567





D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS

PROJECT New Life Baptist  
SUBJECT Drainage  
BY JMM DATE 5/25/99  
CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
SHEET \_\_\_\_\_ OF \_\_\_\_\_

## Discharge Calculations

Orifice Controlled

Elevation of

Invert in Drop Inlet = 0.0

@ Elev. 2.0,  $Q = 0.7 A \sqrt{2gh}$

$$Q = 0.7(A) \sqrt{2(32.2)(1.92)}$$

$$Q = 0.17 \text{ cfs}$$

$$A = \frac{\pi (0.168)^2}{4}$$

$$A = 0.0218 \text{ SF}$$

For @ 2" orifice

@ 3'  $h = 2.92$   $Q = 0.21 \text{ cfs}$

@ 4'  $h = 3.92$   $Q = 0.24 \text{ cfs}$

@ 5'  $h = 4.92$   $Q = 0.27 \text{ cfs}$

@ 6'  $h = 5.92$

$Q = 0.30$

not enough

2.5" opening

$$d = 0.208'$$

$$A = \frac{\pi (0.208)^2}{4}$$

$$A = 0.034$$

For a 2 1/2" orifice

@ 2'  $h = 1.90$   $Q = 0.26 \text{ cfs}$

@ 3'  $h = 2.90$   $Q = 0.33 \text{ cfs}$

@ 4'  $h = 3.90$   $Q = 0.37 \text{ cfs}$

@ 5'  $h = 4.90$   $Q = 0.41 \text{ cfs}$

@ 6'  $h = 5.90$   $Q = 0.45 \text{ cfs}$

$$h = 1.90$$





# ***City of Albuquerque***

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

July 15, 1999

John MacKenzie, P.E.  
Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, NM 87199

***RE: NEW LIFE BAPTIST CHURCH (J10-D29). GRADING AND DRAINAGE PLAN  
FOR FOUNDATION AND BUILDING PERMIT APPROVALS. ENGINEER'S  
STAMP DATED MAY 26, 1999.***

Dear Mr. MacKenzie:

Based on the information provided on your May 27, 1999 submittal, City Hydrology has the following comments:

Drainage calculations are minimal. Drainage basins need to be defined.

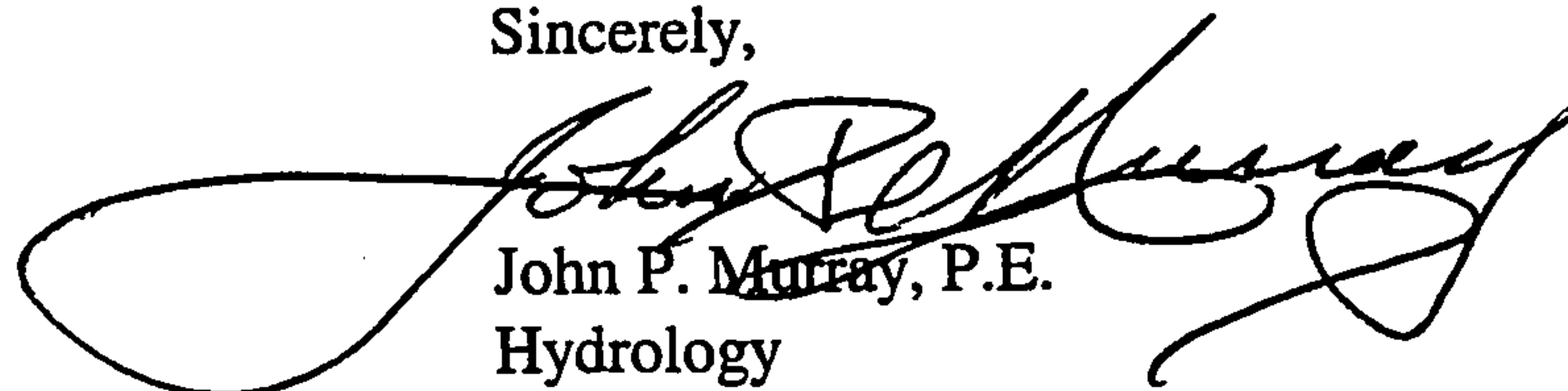
Proposed work in Airport Drive will require a SO#19 Permit. Add appropriate notes and signature block to plan. Provide data on existing storm drain therein, i.e., address downstream capacity, etc.

The top of grate elevation for the New Type (?) Drop Inlet is given as 06.77', the same as the MAX. water surface for pond. The limits of that surface for the pond should be shown on the plan. The pond will be 2.5' deep at the retaining wall which would affect the adjacent lot and development thereon.

Transportation has reviewed the T.C.L. Their letter is enclosed with this correspondence.

If I can be of further assistance, please feel free to contact me at 924-3984.

Sincerely,



John P. Murray, P.E.  
Hydrology

✓ c. File  
Encl: As stated



# DRAINAGE INFORMATION SHEET

PROJECT TITLE: New Life Baptist Church ZONE/ATLAS/DRNG, FILE#: J-10-Z (J10-DZ9)  
DRB#: EPC# WORK ORDER#:   
LEGAL DESCRIPTION: Tract 2-A, Unit 2, Tract N, Artrisco Business Park  
CITY ADDRESS:   
ENGINEERING FIRM: Mark Goodwin & Associates CONTACT: John MacKenzie, PE  
ADDRESS: P.O. Box 90606, Albuquerque, NM 87199 PHONE: 828-2200  
OWNER:  CONTACT:   
ADDRESS:  PHONE:   
ARCHITECT: Stricklin Drafting & Design CONTACT: Shelley Stricklin  
ADDRESS: Los Lunas, NM PHONE: 865-7768  
SURVEYOR:  CONTACT:   
ADDRESS:  PHONE:   
CONTACTOR: Desert Rose Custom Homes, Inc. CONTACT: Don Mock  
ADDRESS: P.O. Box 2635, Corrales, NM 87048-2635 PHONE: 898-0144

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL  
☒ ENGINEER'S CERTIFICATION  
☐ OTHER  
☐ EASEMENT VACATION

## PRE-DESIGN MEETING:

☐ YES  
☒ NO  
☐ COPY PROVIDED

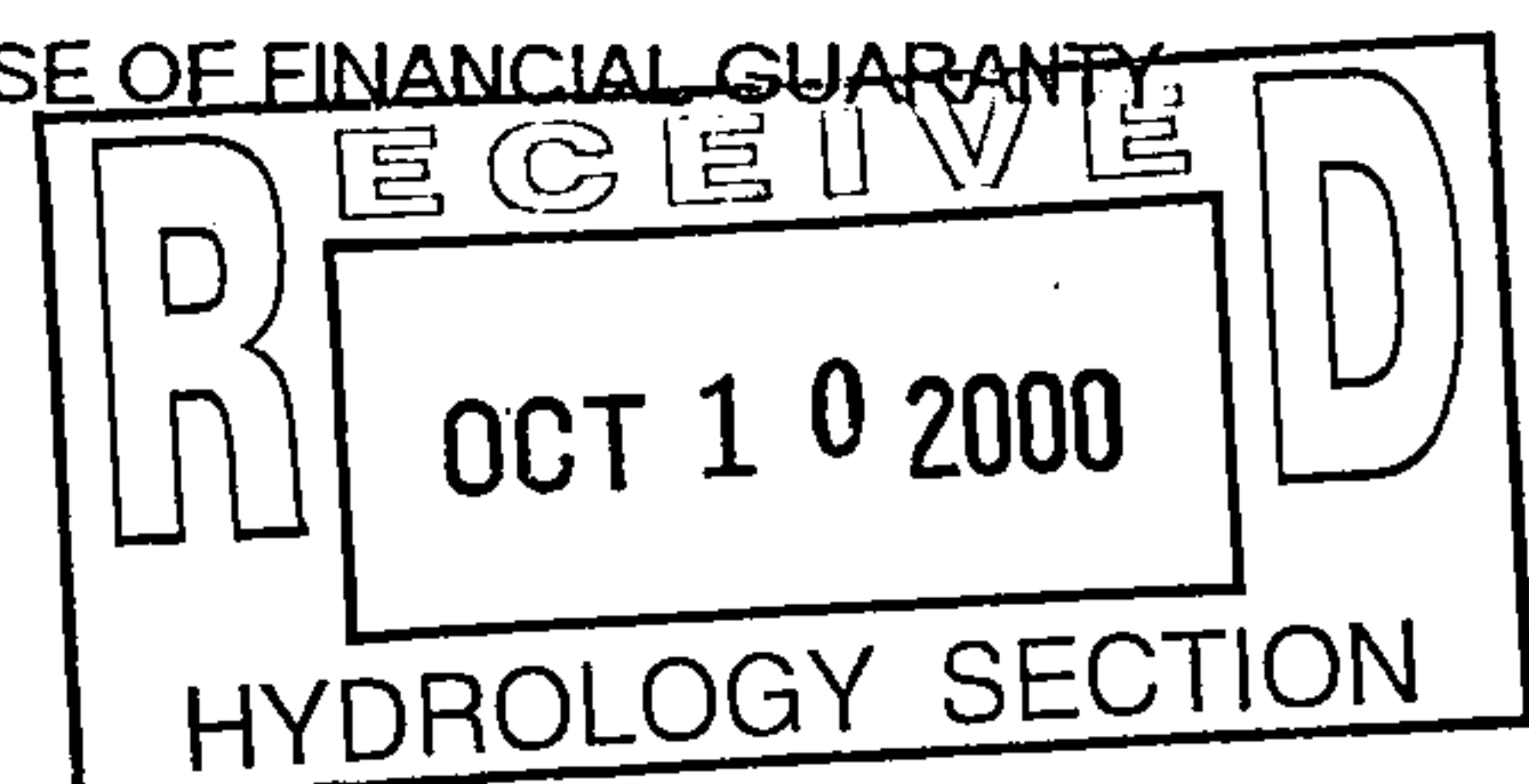
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER  
☐ RELEASE OF FINANCIAL GUARANTY

DATE SUBMITTED:

BY:

10-10-00  
John M. MacKenzie





D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

October 9, 2000

City of Albuquerque  
Public Works Department  
Hydrology Division  
P.O. Box 1293  
Albuquerque, NM 87103

**Re: New Life Baptist Church (J10/D29)**

To whom it may concern:

This is a request for approval of an engineer's certification on the grading and drainage plan for the referenced project.

The approved G & D was varied from the approved plan in the following ways:

- 1) Half of the east parking lot has been converted to a future building site.
- 2) Conflicts with existing utilities in Airport Drive have required the SW pond outfall to be raised and the new Type "D" Inlet at the bottom of the pond to be replaced by an alternative inlet.
- 3) The required wall along the south property line was replaced by an earthen berm.

With regard to 1) the future building construction will require a new grading and drainage plan specifying a particular design to conform with before it's built.

With regard to 2) the outfall invert in the SW ponding area had to be raised and the orifice-controlled opening enlarged to compensate for the reduced head acting on the opening. See attached calculations and new AHYMO run on the new elevations. The revised discharge rate is still within the site's allowed discharge rate of 0.45 cfs.

With regard to 3) the church is currently engaged in negotiation with the owner of the property to the south. They plan to expand to the south, which would be in conjunction with future building plans within the east parking lot, so a temporary berm should be considered an acceptable alternative to the more permanent aspect of a retaining wall along the property line.

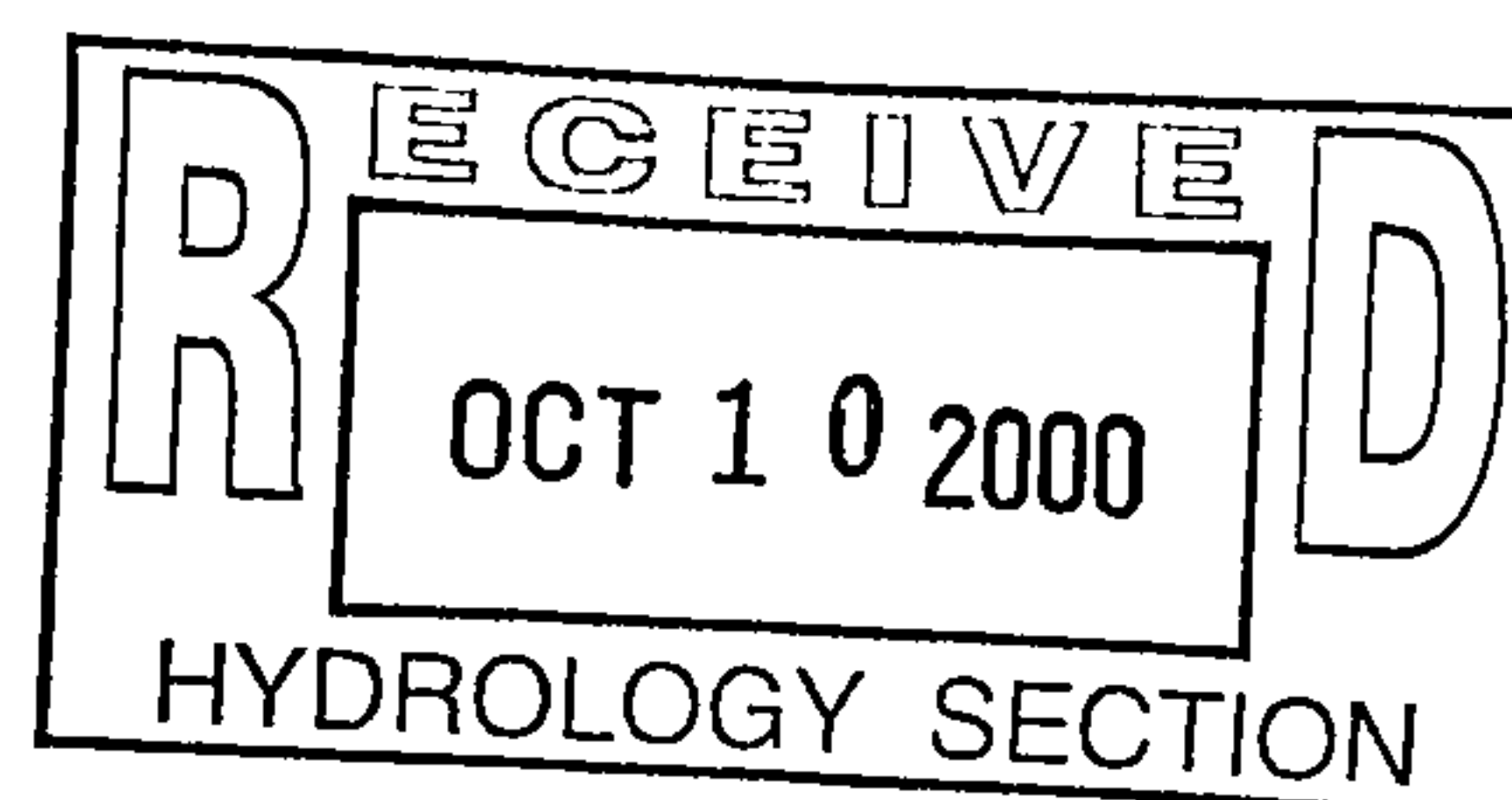
With the plan adjustments as noted above, I believe the modified plan is in substantial compliance with the approved plan.

Please contact me if there are any questions.

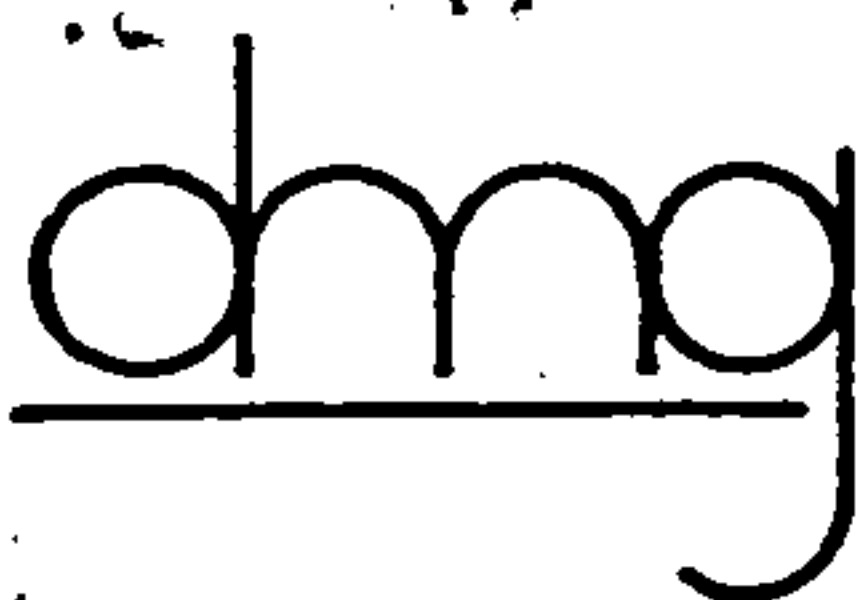
Sincerely,

MARK GOODWIN & ASSOCIATES, PA

John M. MacKenzie, PE  
Vice President







D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS

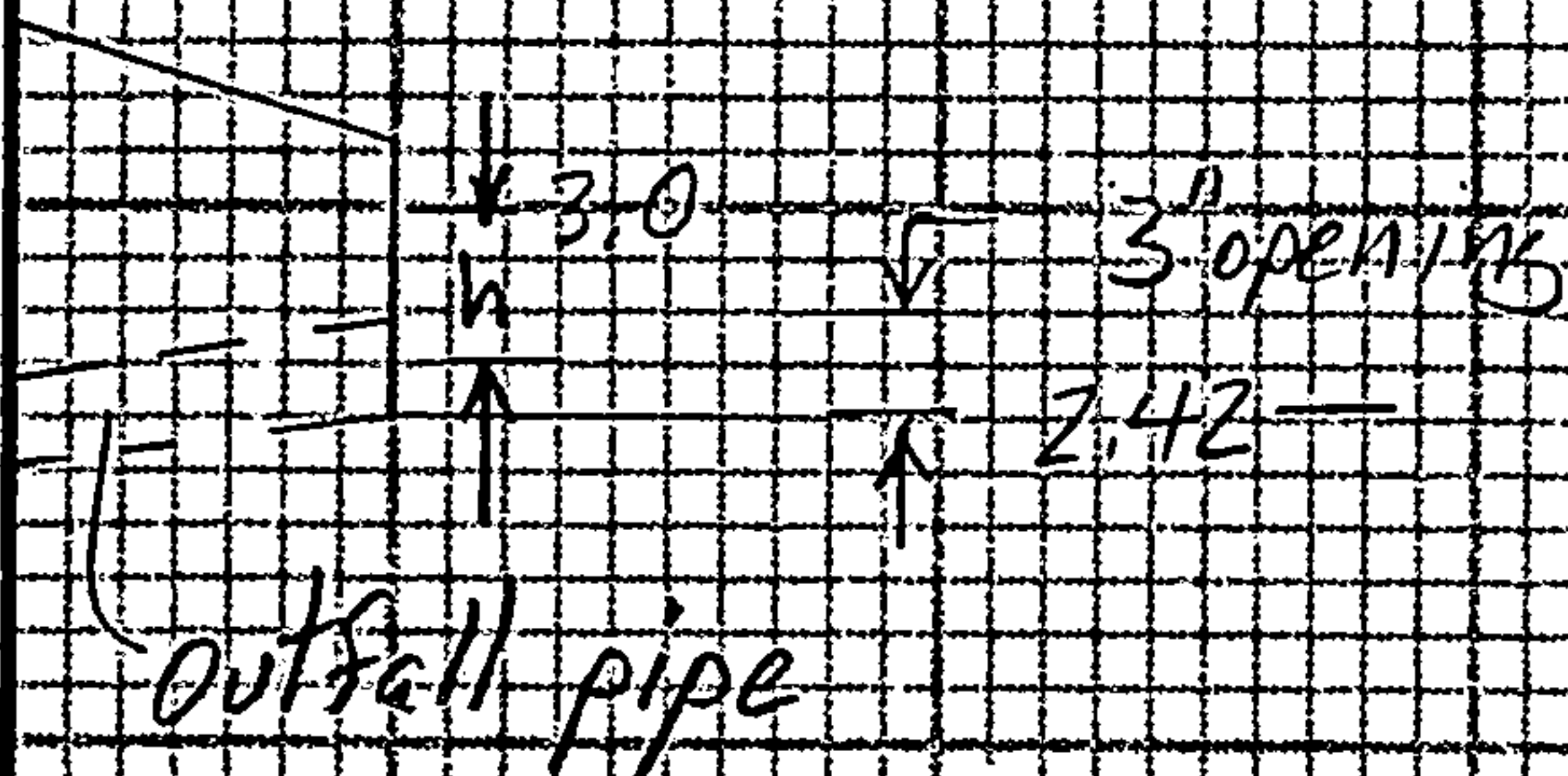
PROJECT New Life Baptist  
SUBJECT Drainage  
BY AMM DATE 8/3/00  
CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
SHEET 1 OF 2

## Discharge Calculations (Revised)

### Orifice Controlled

Elevation of outfall pipe invert = 02.42

proposed size of orifice: 3"



$$Q = 0.7 A \sqrt{2gh}$$

$$A = 0.0491 \text{ SF}$$

w/ 3" opening

@ elev. 3,  $Q = 0.7(0.0491) \sqrt{2(32.2)(0.46)}$   
 $h = 0.46 \text{ ft}$   $Q = 0.19 \text{ cfs}$

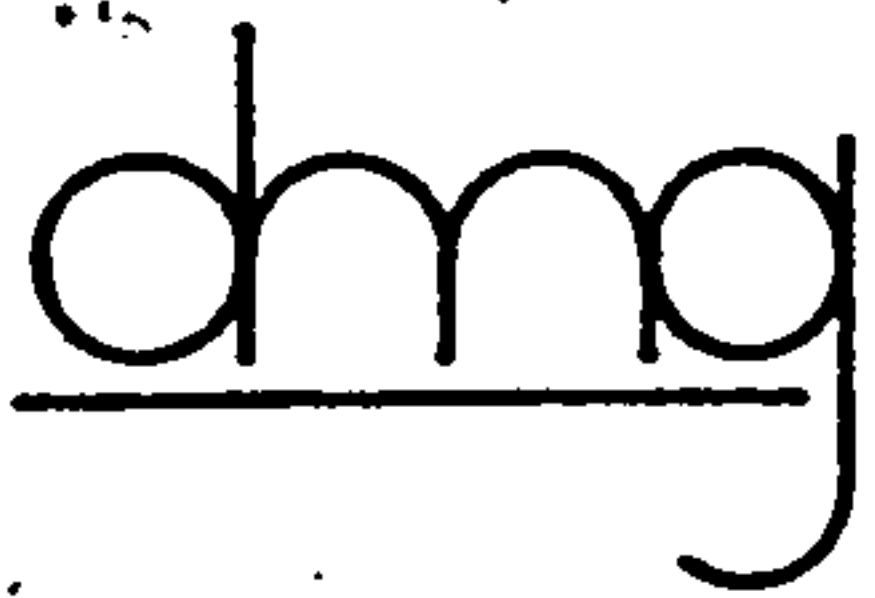
@ elev. 4,  $Q = 0.7(0.0491) \sqrt{2(32.2)(1.46)}$   
 $h = 1.46 \text{ ft}$   $Q = 0.33 \text{ cfs}$

@ elev. 5,  $Q = 0.7(0.0491) \sqrt{2(32.2)(2.46)}$   
 $h = 2.46$   $Q = 0.43 \text{ cfs}$

@ elev. 6,  $Q = 0.7(0.0491) \sqrt{2(32.2)(3.46)}$   
 $h = 3.46$   $Q = 0.51 \text{ cfs}$

@ elev. 7,  $Q = 0.58 \text{ cfs}$  (Exceeds Allowable)





D. MARK GOODWIN & ASSOCIATES, P.A.  
CONSULTING ENGINEERS & SURVEYORS

PROJECT New Life Baptist  
SUBJECT Drainage  
BY JMM DATE 8/3/00  
CHECKED \_\_\_\_\_ DATE \_\_\_\_\_  
SHEET 2 OF 2

## Discharge Calculations (Revised) (cont.)

Area = 0.0412 for 2.75" opening

$$\begin{aligned} @ \text{ Elev. } 3.0 \quad Q &= 0.7 (0.0412) \sqrt{64.4 (0.47)} \\ h &= 0.47' \quad Q = 0.16 \text{ cfs} \end{aligned}$$

$$\begin{aligned} @ \text{ Elev. } 4.0 \quad Q &= 0.7 (0.0412) \sqrt{64.4 (1.47)} \\ h &= 1.47' \quad Q = 0.28 \text{ cfs} \end{aligned}$$

$$\begin{aligned} @ \text{ Elev. } 5.0 \quad Q &= 0.36 \text{ cfs} \\ h &= 2.47' \end{aligned}$$

$$\begin{aligned} @ \text{ Elev. } 6.0 \quad Q &= 0.43 \text{ cfs} \\ h &= 3.47' \end{aligned}$$

$$\begin{aligned} @ \text{ Elev. } 7.0 \quad Q &= 0.49 \text{ cfs} \\ h &= 4.47' \end{aligned} \quad \begin{aligned} \text{Allowable} &= \\ &0.45 \text{ cfs} \end{aligned}$$

See attached AH/APO run

$$Q_{\text{out}} = 0.44 \text{ cfs}$$

OK use  
2 3/4" opening



AHYMO PROGRAM (AHYMO194) - AMAFCA Hydrologic Model - January, 1994  
RUN DATE (MON/DAY/YR) = 08/03/2000  
START TIME (HR:MIN:SEC) = 14:28:54 USER NO.= M\_GOODWN.I01  
INPUT FILE = baptist.dat

START TIME=0.0

\*\*\*\*\* BAPTIST CHURCH AT LOS VOLCANES AND AIRPORT RD.

RAINFALL TYPE=1 RAIN QUARTER=0.0 IN  
RAIN ONE=1.88 IN RAIN SIX=2.21 IN  
RAIN DAY=2.67 IN DT=0.033 HR

COMPUTED 6-HOUR RAINFALL DISTRIBUTION BASED ON NOAA ATLAS 2 - PEAK AT 1.40  
HR.

DT = .033000 HOURS END TIME = 5.973000 HOURS

.0000	.0016	.0032	.0049	.0066	.0084	.0101
.0120	.0138	.0158	.0177	.0197	.0218	.0239
.0261	.0284	.0307	.0331	.0355	.0381	.0407
.0435	.0463	.0493	.0523	.0556	.0589	.0624
.0661	.0700	.0741	.0790	.0843	.0901	.0981
.1219	.1596	.2147	.2910	.3923	.5226	.6859
.8863	1.1280	1.2361	1.3119	1.3782	1.4381	1.4930
1.5439	1.5913	1.6357	1.6775	1.7169	1.7540	1.7892
1.8225	1.8542	1.8842	1.9126	1.9397	1.9578	1.9638
1.9693	1.9747	1.9797	1.9846	1.9893	1.9937	1.9981
2.0022	2.0063	2.0102	2.0139	2.0176	2.0212	2.0246
2.0280	2.0313	2.0345	2.0376	2.0407	2.0437	2.0466
2.0495	2.0523	2.0551	2.0578	2.0604	2.0630	2.0656
2.0681	2.0706	2.0730	2.0754	2.0778	2.0801	2.0823
2.0846	2.0868	2.0890	2.0911	2.0933	2.0953	2.0974
2.0995	2.1015	2.1034	2.1054	2.1073	2.1093	2.1112
2.1130	2.1149	2.1167	2.1185	2.1203	2.1221	2.1238
2.1255	2.1273	2.1290	2.1306	2.1323	2.1339	2.1356
2.1372	2.1388	2.1404	2.1419	2.1435	2.1450	2.1466
2.1481	2.1496	2.1511	2.1526	2.1540	2.1555	2.1569
2.1584	2.1598	2.1612	2.1626	2.1640	2.1653	2.1667
2.1681	2.1694	2.1707	2.1721	2.1734	2.1747	2.1760
2.1773	2.1786	2.1798	2.1811	2.1823	2.1836	2.1848
2.1861	2.1873	2.1885	2.1897	2.1909	2.1921	2.1933
2.1944	2.1956	2.1968	2.1979	2.1991	2.2002	2.2013
2.2025	2.2036	2.2047	2.2058	2.2069	2.2080	2.2091

\*HYDROGRAPHS FOR 5 ACRE ON-SITE BASIN

COMPUTE NM HYD ID=1 HYD NO=101.1 AREA=0.0078 SQ MI  
PER A=0.0 PER B=15.0 PER C=0.0 PER D=85.0  
TP=0.1333 HR MASS RAINFALL=-1

K = .072649HR TP = .133300HR K/TP RATIO = .545000 SHAPE CONSTANT, N = 7.106420  
UNIT PEAK = 26.176 CFS UNIT VOLUME = .9990 B = 526.28 P60 = 1.8800  
AREA = .006630 SQ MI IA = .10000 INCHES INF = .04000 INCHES PER HOUR  
RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT =  
.033000

K = .130816HR TP = .133300HR K/TP RATIO = .981365 SHAPE CONSTANT, N = 3.598385  
 UNIT PEAK = 2.8740 CFS UNIT VOLUME = .9955 B = 327.44 P60 = 1.8800  
 AREA = .001170 SQ MI IA = .50000 INCHES INF = 1.25000 INCHES PER HOUR  
 RUNOFF COMPUTED BY INITIAL ABSTRACTION/INFILTRATION NUMBER METHOD - DT =  
 .033000

PRINT HYD ID=1 CODE=1

PARTIAL HYDROGRAPH 101.10

RUNOFF VOLUME = 1.78080 INCHES = .7408 ACRE-FEET  
 PEAK DISCHARGE RATE = 20.01 CFS AT 1.518 HOURS BASIN AREA = .0078 SQ. MI.

ROUTE RESERVOIR ID=2 HYD NO=107.1 INFLOW ID=1 CODE=24  
 OUTFLOW(CFS) STORAGE(ACFT) ELEVATION (FT)

0.0	0.0	2.42
0.16	0.0001	3.00
0.28	0.0102	4.00
0.36	0.1610	5.00
0.43	0.5215	6.00
0.49	1.2567	7.00

\*\*\*\*\*

TIME (HRS)	INFLOW (CFS)	ELEV (FEET)	VOLUME (AC-FT)	OUTFLOW (CFS)
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.00	.00	2.42	.000	.00
.79	.00	2.42	.000	.00
1.58	15.15	5.46	.328	.39
2.38	.90	6.17	.647	.44
3.17	.18	6.17	.644	.44
3.96	.11	6.14	.624	.44
4.75	.11	6.11	.602	.44
5.54	.12	6.08	.581	.43
6.34	.01	6.05	.559	.43
7.13	.00	6.01	.531	.43
7.92	.00	5.95	.503	.43
8.71	.00	5.87	.476	.42
9.50	.00	5.80	.448	.42
10.30	.00	5.72	.421	.41
11.09	.00	5.65	.394	.41
11.88	.00	5.57	.368	.40
12.67	.00	5.50	.342	.40
13.46	.00	5.43	.316	.39
14.26	.00	5.36	.291	.39
15.05	.00	5.29	.266	.38
15.84	.00	5.22	.241	.38
16.63	.00	5.15	.217	.37



17.42 .00 5.09 .193 .37  
18.22 .00 5.02 .169 .36  
19.01 .00 4.90 .145 .35  
PEAK DISCHARGE = .441 CFS - PEAK OCCURS AT HOUR 2.64  
MAXIMUM WATER SURFACE ELEVATION = 6.176  
MAXIMUM STORAGE = .6509 AC-FT INCREMENTAL TIME= .033000HRS

PRINT HYD ID=2 CODE=1

PARTIAL HYDROGRAPH 107.10

RUNOFF VOLUME = 1.48460 INCHES = .6176 ACRE-FEET  
PEAK DISCHARGE RATE = .44 CFS AT 2.640 HOURS BASIN AREA = .0078 SQ. MI.

FINISH

NORMAL PROGRAM FINISH END TIME (HR:MIN:SEC) = 14:28:54