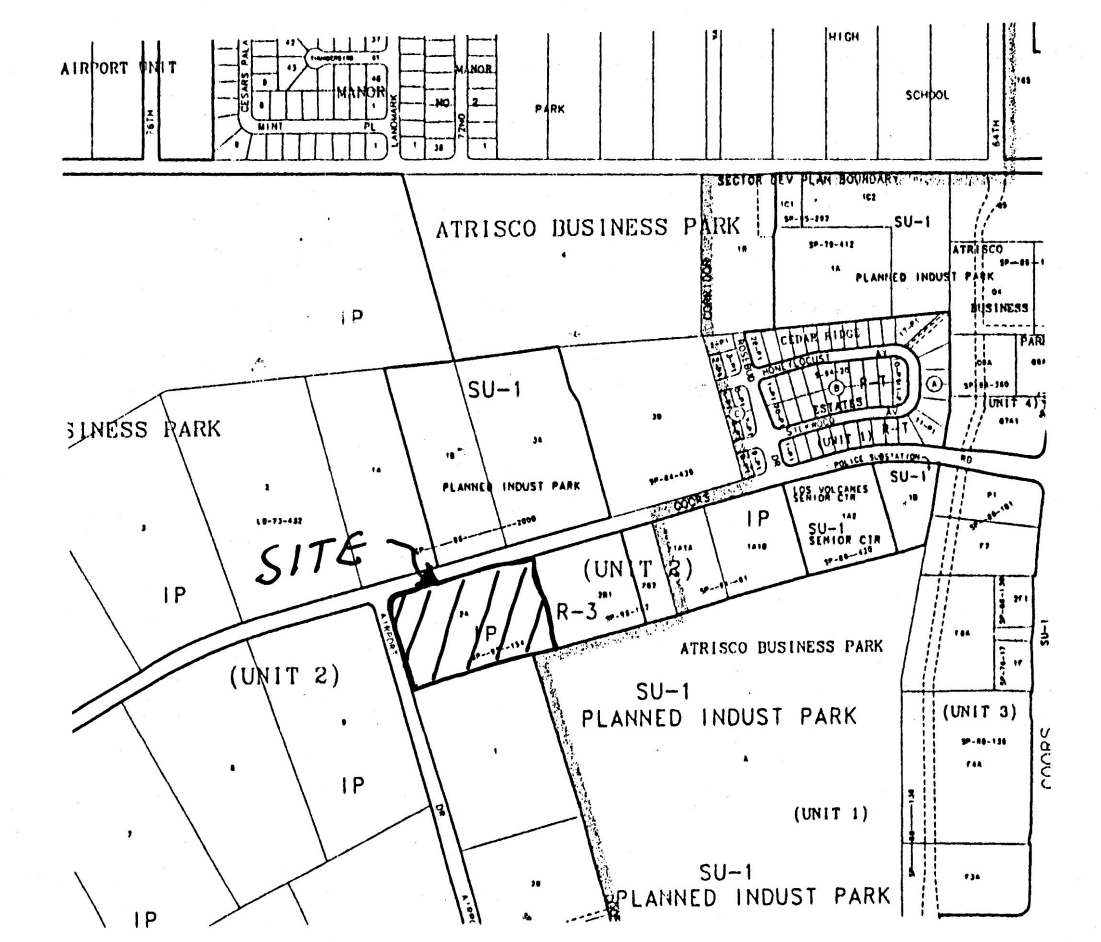
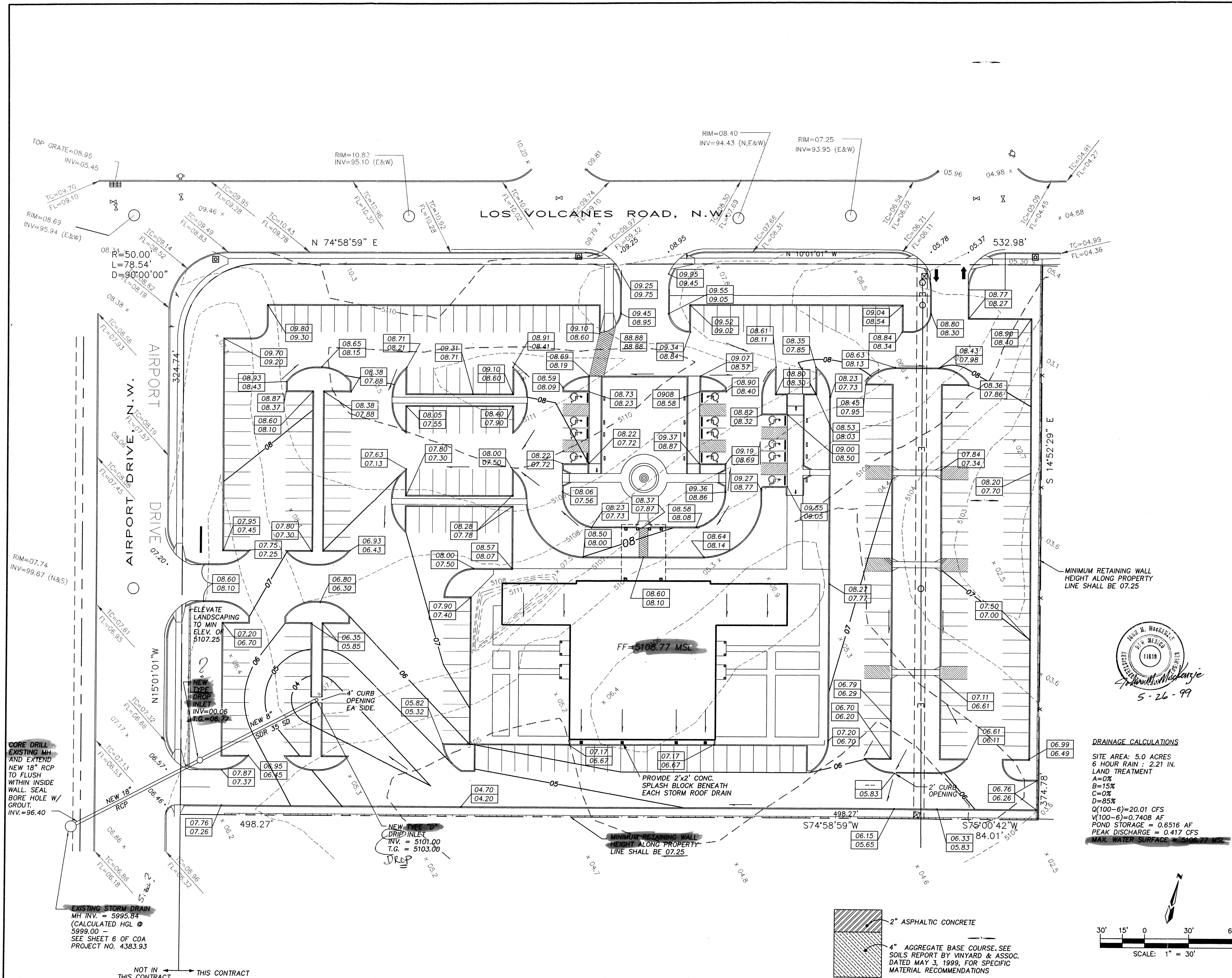




VICINITY MAP ZONE MAP: J-10

ACS BENCHMARK

BENCHMARK
ACS MONUMENT "1-J9"
ELEVATION=5199.19

LEGAL DESCRIPTION

ATRISCO BUSINESS PARK
UNIT 2, TRACT N,
LOT 2-A
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 1999

LEGEND

- 5110 - EXISTING CONTOUR (MAJOR)
- 5110 - PROPOSED CONTOUR
- TC= EXIST. TOP OF CURB
- FL= FLOWLINE
- x 00.00 EXIST SPOT ELEVATION
- CONCRETE CURB
- WATER VALVE
- FIRE HYDRANT
- OVERHEAD ELECTRIC LINE
- POWER POLE
- STREET LIGHT
- TELEPHONE PEDESTAL
- DROP INLET
- FLOW DIRECTION
- RETAINING WALL (DESIGN BY OTHERS)

NOTES

- CONTRACTOR SHALL CAP 8" DROP INLET OUT FALL AND BORE 2-1/2" DIAMETER HOLE IN CAP. CENTER OF 2-1/2" BORE HOLE SHALL BE 1-1/4" ABOVE INVERT OF 8" OUT-FALL PIPE.
- OFF SITE FLOWS DO NOT ADVERSELY IMPACT THIS SITE.
- THIS DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
- TOPOGRAPHIC SURVEY PROVIDED BY ALDRICH LANDS SURVEYING, INC., APRIL 1999
- PRIOR TO EARTHWORK OPERATIONS, CONTRACTOR MUST OBTAIN SURFACE DISTURBANCE PERMIT FROM CITY OF ALBUQUERQUE ENVIRONMENTAL HEALTH DEPARTMENT (768-2600).
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL PONDS AND ON-SITE STORM DRAINS.
- ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND AVOIDING CONFLICT WITH UNDERGROUND UTILITIES.
- ALL RETAINING WALL ARE TO BE DESIGNED AND INSPECTED BY OTHERS.
- SITE DISCHARGE ALLOWANCE IS IN ACCORDANCE WITH THE ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN, BY EASTERING AND ASSOCIATES, INC. DATE 10/93

DRAINAGE CALCULATIONS

SITE AREA: 5.0 ACRES
6 HOUR RAIN : 2.21 IN.
LAND TREATMENT
A=0%
B=15%
C=0%
D=85%
Q(100-6)=20.01 CFS
V(100-6)=0.7408 AF
POND STORAGE = 0.6516 AF
PEAK DISCHARGE = 0.417 CFS
MAX. WATER SURFACE = 5108.77 MSL

NEW LIFE BAPTIST CHURCH

GRADING AND DRAINAGE PLAN

MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS

P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed: Drawn: SPS Checked: DMG Sheet 1 of 1
Scale: 1" = 30' Date: 05/25/99 Job: 99046

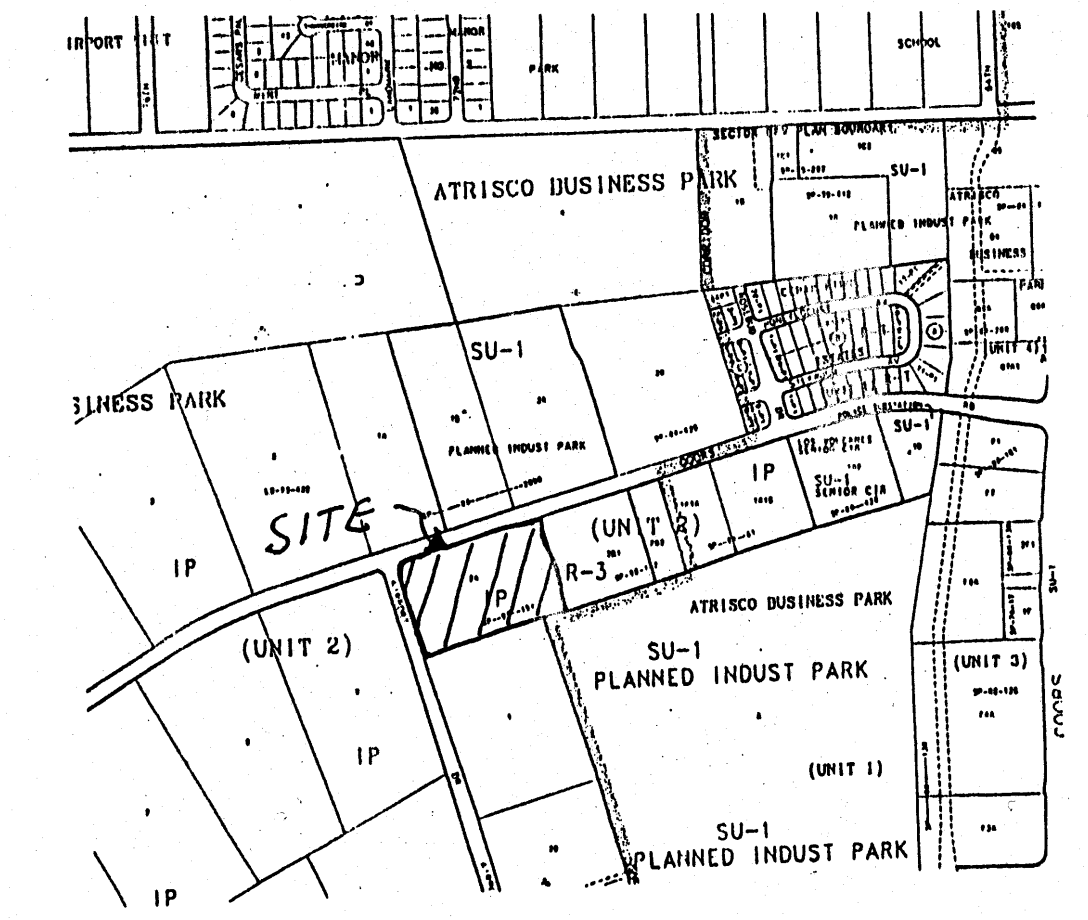
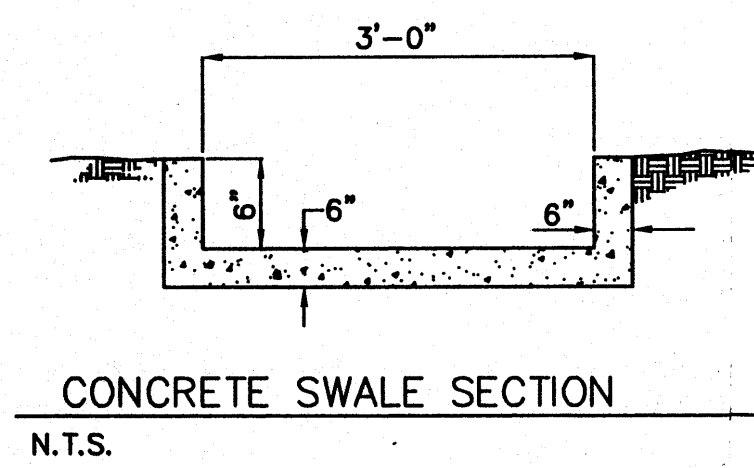
NOTICE TO CONTRACTOR

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2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with "City of Albuquerque Standard Specifications for Public Works Construction" (1986 Edition).
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4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical locations of all obstructions. Should a conflict exist, the Contractor shall notify the Engineer so that the conflict can be resolved with a minimum of delay.
5. Backfill compaction shall be according to residential street use.
6. Maintenance of these facilities shall be the responsibility of the Owner of the property served.
7. Contractor is responsible for obtaining excavation permit for the S.O. 19 and providing proof of acceptance by the City prior to Hydrology sign-off for Certificate of Occupancy.

DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE



VICINITY MAP ZONE MAP: J-10-Z

ACS BENCHMARK

ACS MONUMENT "1-J" ELEVATION = 5199.19

LEGAL DESCRIPTION

ATRISCO BUSINESS PARK UNIT 2, TRACK N, LOT 2-A WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

NOTES

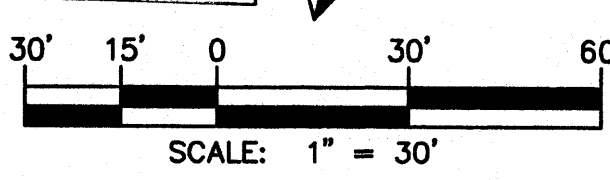
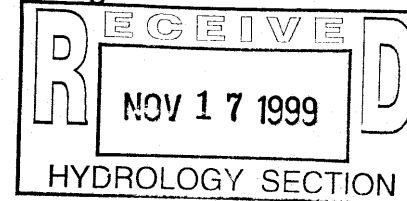
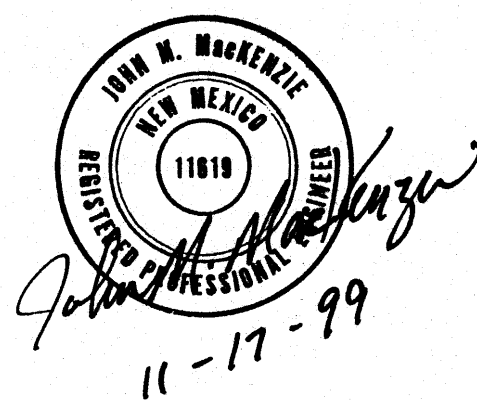
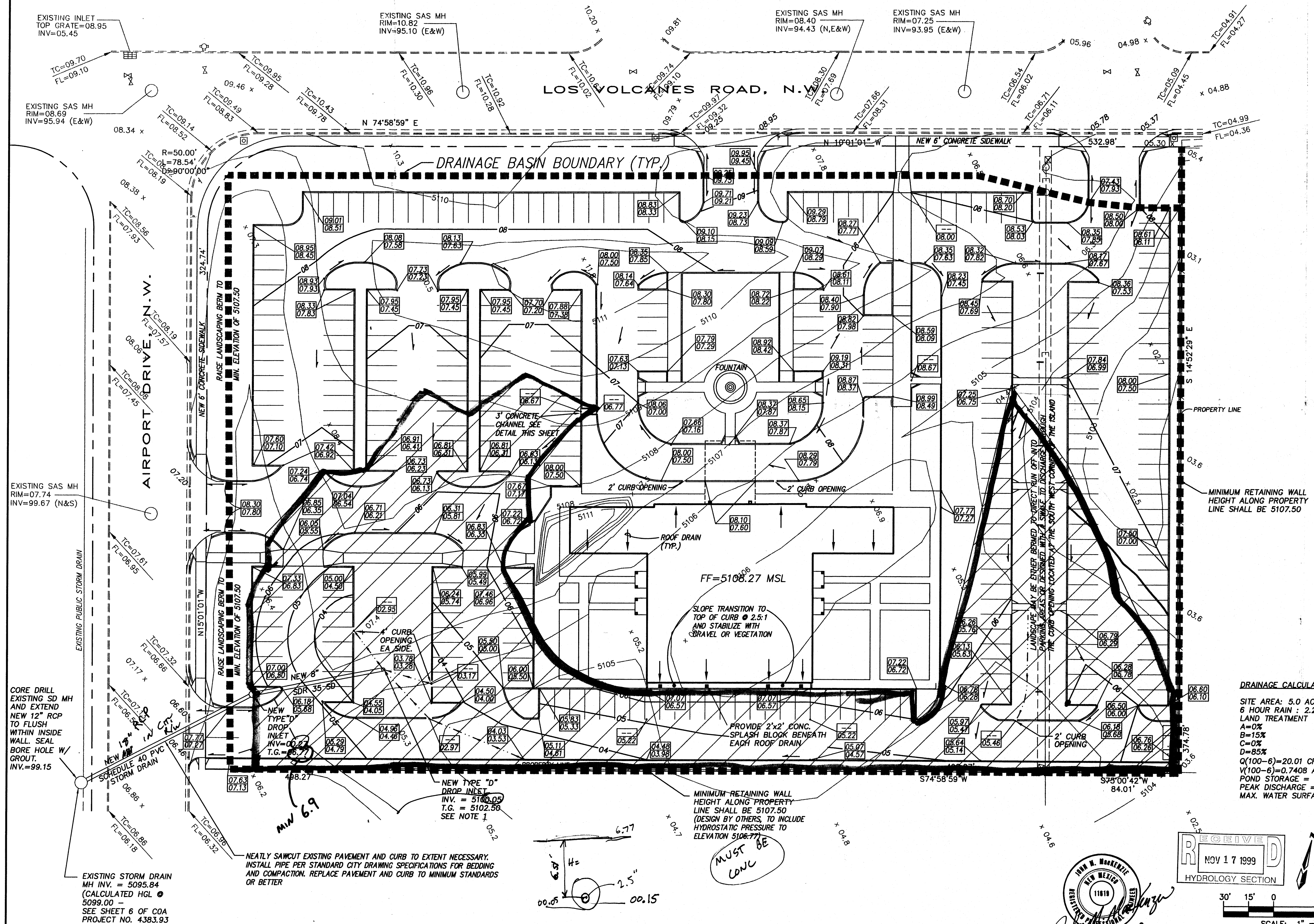
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2. OFF SITE FLOWS DO NOT ADVERSELY IMPACT THIS SITE.
3. THIS DOES NOT LIE WITHIN A 100 YEAR FLOOD ZONE.
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7. ROOF DRAINS ARE DESIGNED TO DISCHARGE THROUGH FACE OF CURB
8. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND AVOIDING CONFLICT WITH UNDERGROUND UTILITIES.
9. ALL RETAINING WALL ARE TO BE DESIGNED AND INSPECTED BY OTHERS.
10. SITE DISCHARGE ALLOWANCE IS IN ACCORDANCE WITH THE ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN, BY EASTERLING AND ASSOCIATES, INC., DATED 10/93

LEGEND

— 5110 —	EXISTING CONTOUR (MAJOR)
— 08 —	PROPOSED CONTOUR
TC=	EXISTING TOP OF CURB
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x 00.00	EXISTING SPOT ELEVATION
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—	EXISTING FIRE HYDRANT
—	EXISTING OVERHEAD ELECTRIC LINE
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—	EXISTING DROP INLET
—	FLOW DIRECTION
—	RETAINING WALL (DESIGN BY OTHERS)
—	LANDSCAPE SWALE
—	PROPERTY LINE
—	DRAINAGE BASIN BOUNDARY
—	PONDING LIMITS

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LAND TREATMENT
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 $Q(100-6)=20.01$ CFS
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PEAK DISCHARGE = 0.417 CFS
MAX. WATER SURFACE = 5106.77 MSL



NEW LIFE BAPTIST CHURCH GRADING AND DRAINAGE PLAN

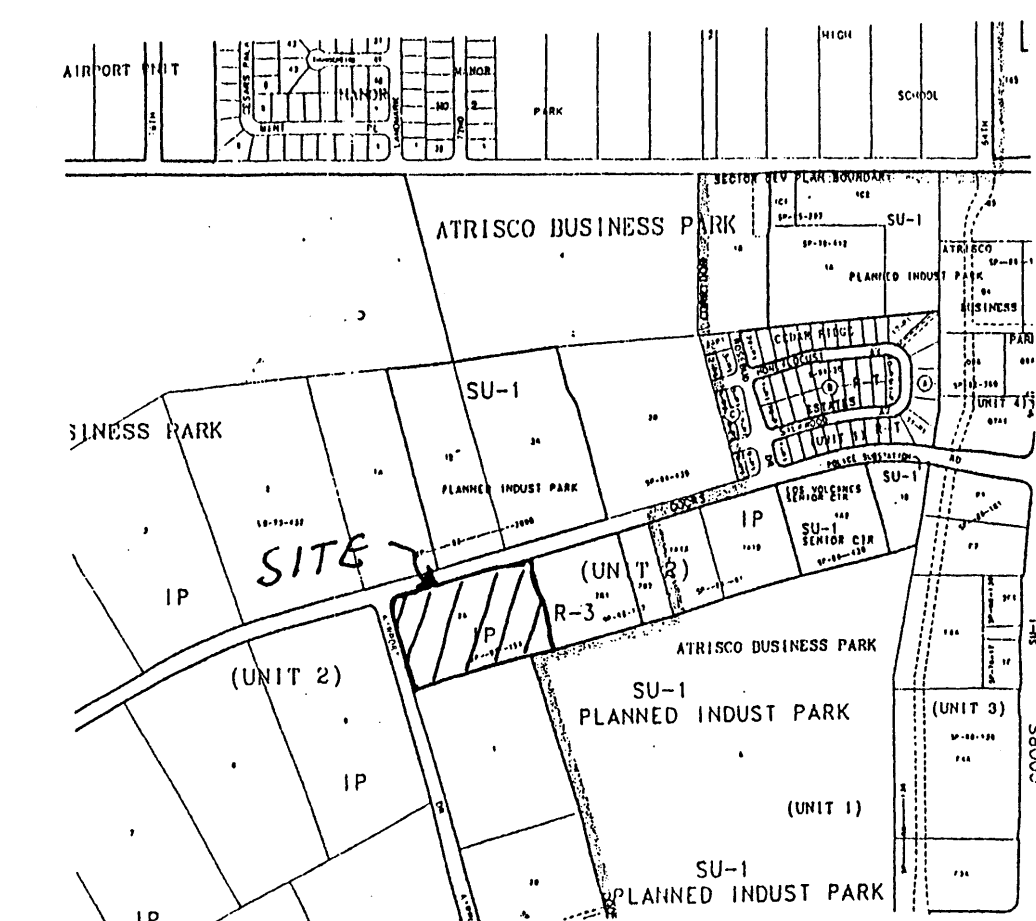
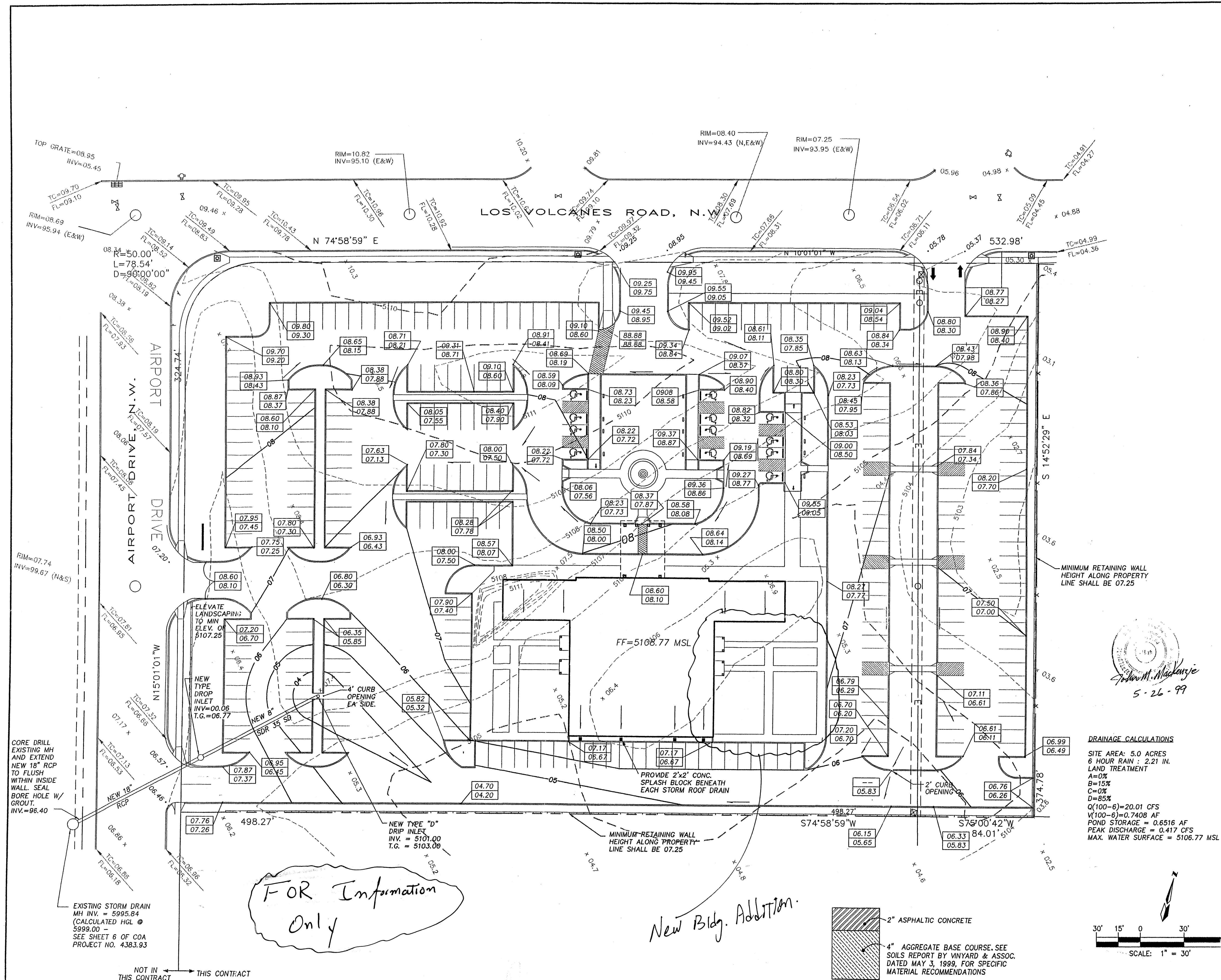
MARK GOODWIN & ASSOCIATES, P.A.
CONSULTING ENGINEERS
P.O. BOX 90606
ALBUQUERQUE, NEW MEXICO 87199
(505)828-2200, FAX (505)797-9539

Designed:	Drawn: SPS, WLW	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 05/25/99	Job: 99046	

$$Q = .6(A) \sqrt{2gh}$$

$$= .6(.03)$$

$$= .36$$



VICINITY MAP ZONE MAP: J-10

ACS BENCHMARK
BENCHMARK
ACS MONUMENT "1-J9"
ELEVATION=5199.19

LEGAL DESCRIPTION

ATRISCO BUSINESS PARK
UNIT 2, TRACT X, H
LOT 2-A
WITHIN THE
TOWN OF ATRISCO GRANT
PROJECTED SECTION 15
TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM
CITY OF ALBUQUERQUE
BERNALILLO COUNTY, NEW MEXICO
APRIL, 1999

LEGEND

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NEW LIFE BAPTIST CHURCH
GRADING AND DRAINAGE PLAN

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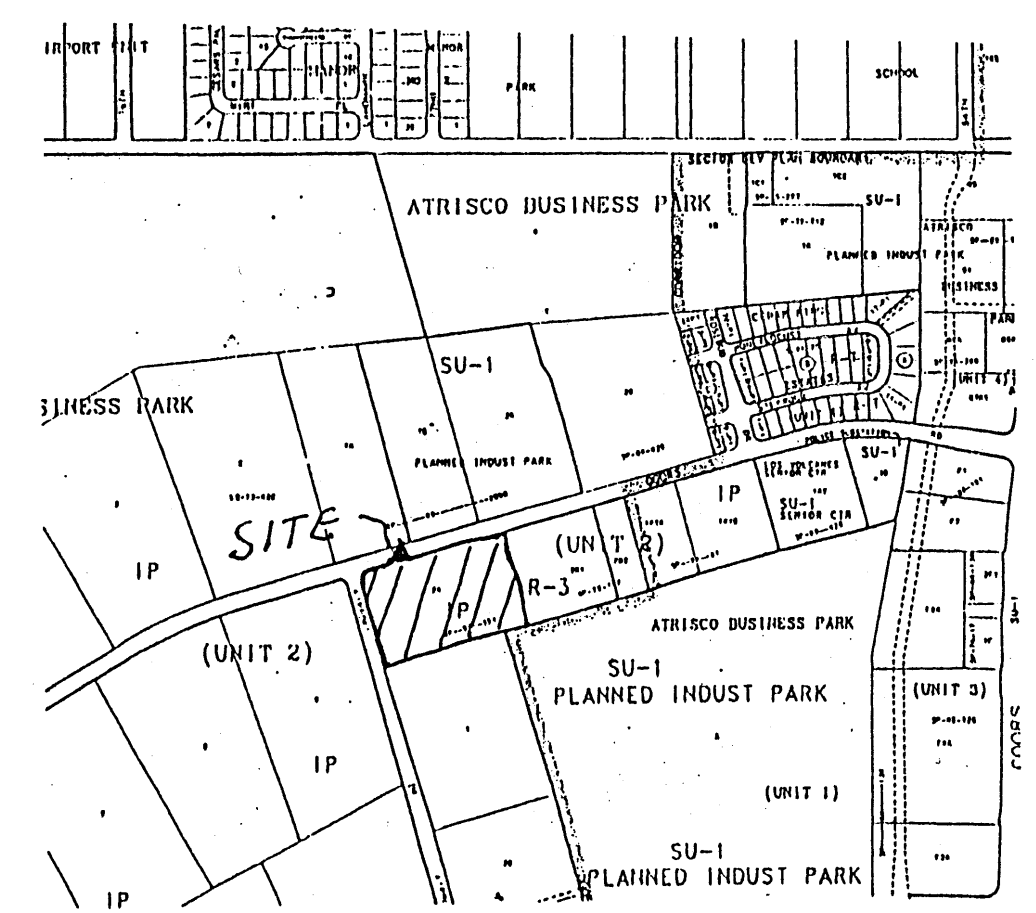
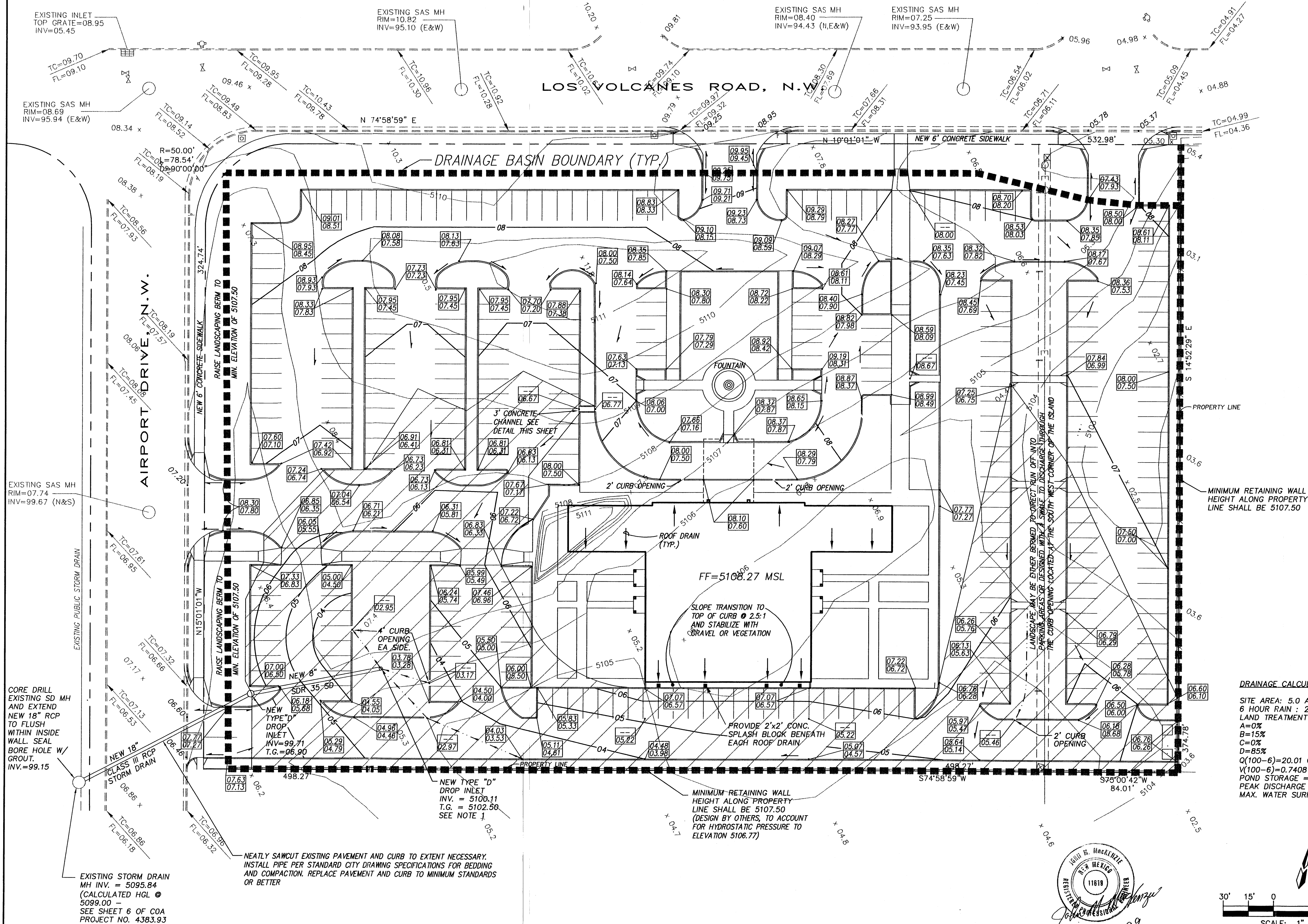
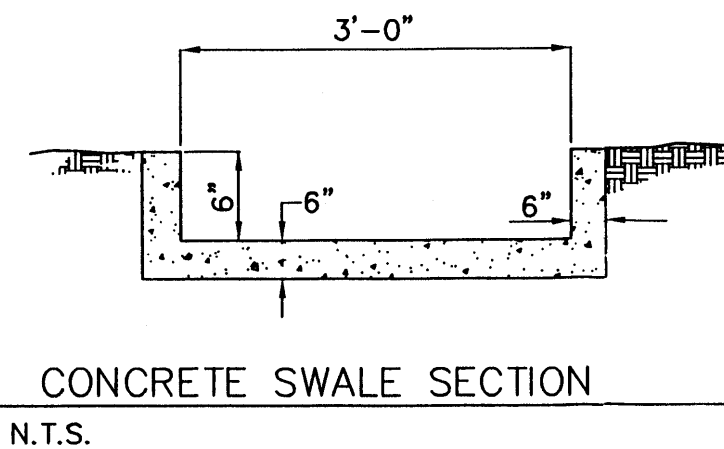
Designed: SPS Drawn: SPS Checked: DMG
Scale: 1" = 30' Date: 05/25/99 Job: 99046 Sheet 1 of 1

NOTICE TO CONTRACTOR

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DRAINAGE FACILITIES WITHIN CITY RIGHT OF WAY

Design Approval	HYDROLOGY SECTION	DATE
Inspection Approval	CONSTRUCTION SECTION	DATE
Acceptance	CONSTRUCTION/SECTION/PERMITS	DATE



VICINITY MAP ZONE MAP: J-10-Z

ACS BENCHMARK

ACS MONUMENT "1-18" ELEVATION = 5199.19

LEGAL DESCRIPTION

ATRISCO BUSINESS PARK UNIT 2, TRACK N, LOT 2-A WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

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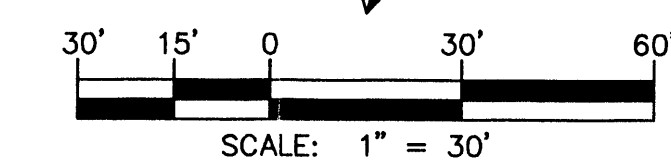
LEGEND

— 5110 —	EXISTING CONTOUR (MAJOR)
— 08 —	PROPOSED CONTOUR
TC=	EXISTING TOP OF CURB
FL=	EXISTING FLOWLINE
x 00.00	EXISTING SPOT ELEVATION
— — —	EXISTING CONCRETE CURB
⊗	EXISTING WATER VALVE
⊕	EXISTING FIRE HYDRANT
— E —	EXISTING OVERHEAD ELECTRIC LINE
○	EXISTING POWER POLE
□	EXISTING STREET LIGHT
⊠	EXISTING TELEPHONE PEDESTAL
⊞	EXISTING DROP INLET
→	FLOW DIRECTION
— — —	CONCRETE RETAINING WALL (DESIGN BY OTHERS)
— — —	LANDSCAPE SWALE
— — —	PROPERTY LINE
■ ■ ■	DRAINAGE BASIN BOUNDARY
▨ ▨ ▨	PONDING LIMITS

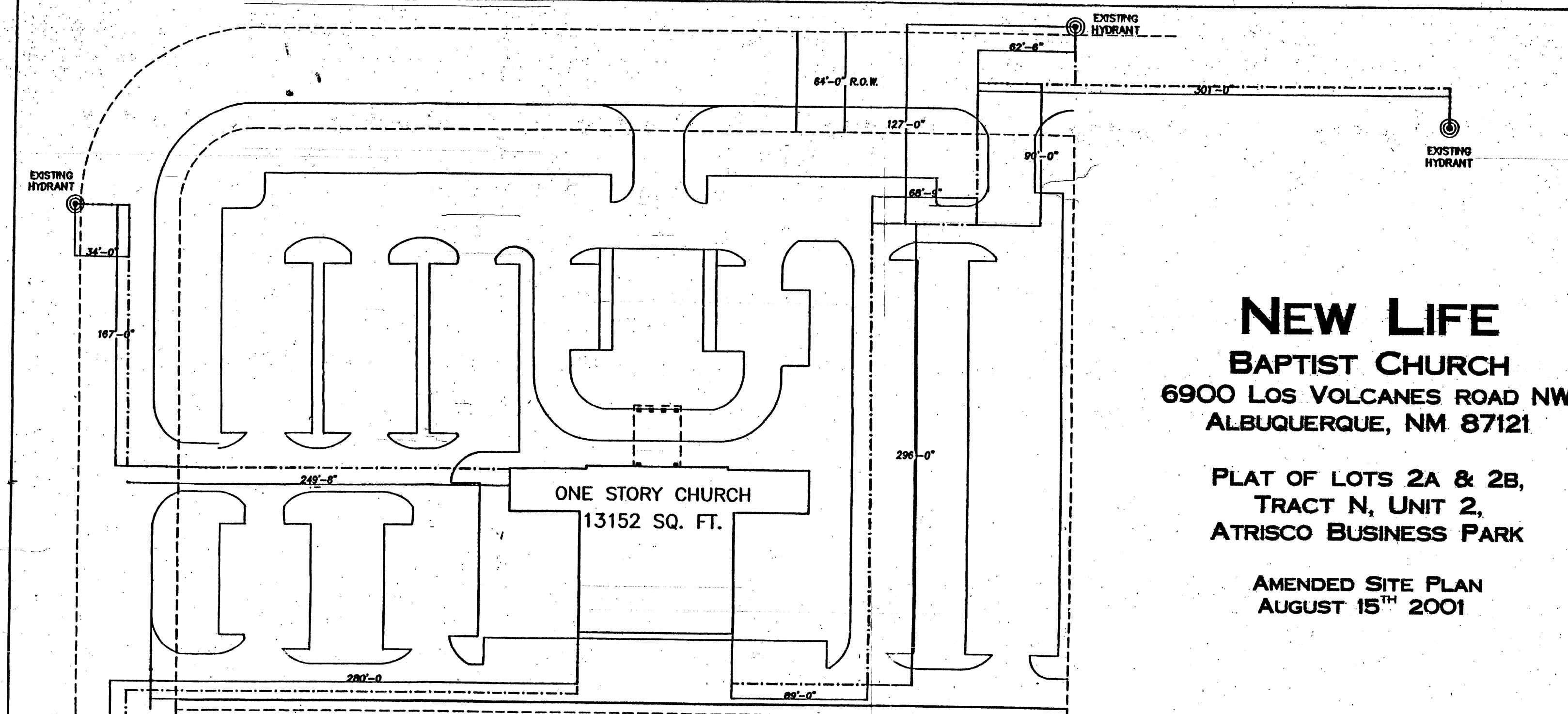
NEW LIFE BAPTIST CHURCH GRADING AND DRAINAGE PLAN

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 P.O. BOX 90606
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Designed:	Drawn: SPS, WLV	Checked: DMG	Sheet 1 of 1
Scale: 1" = 30'	Date: 05/25/99	Job: 99046	



9046BCH/9046GRD/1-27-00/SPS WLV JMM



**NEW LIFE
BAPTIST CHURCH**
6900 LOS VOLCANES ROAD NW
ALBUQUERQUE, NM 87121

PLAT OF LOTS 2A & 2B,
TRACT N, UNIT 2,
ATRISCO BUSINESS PARK

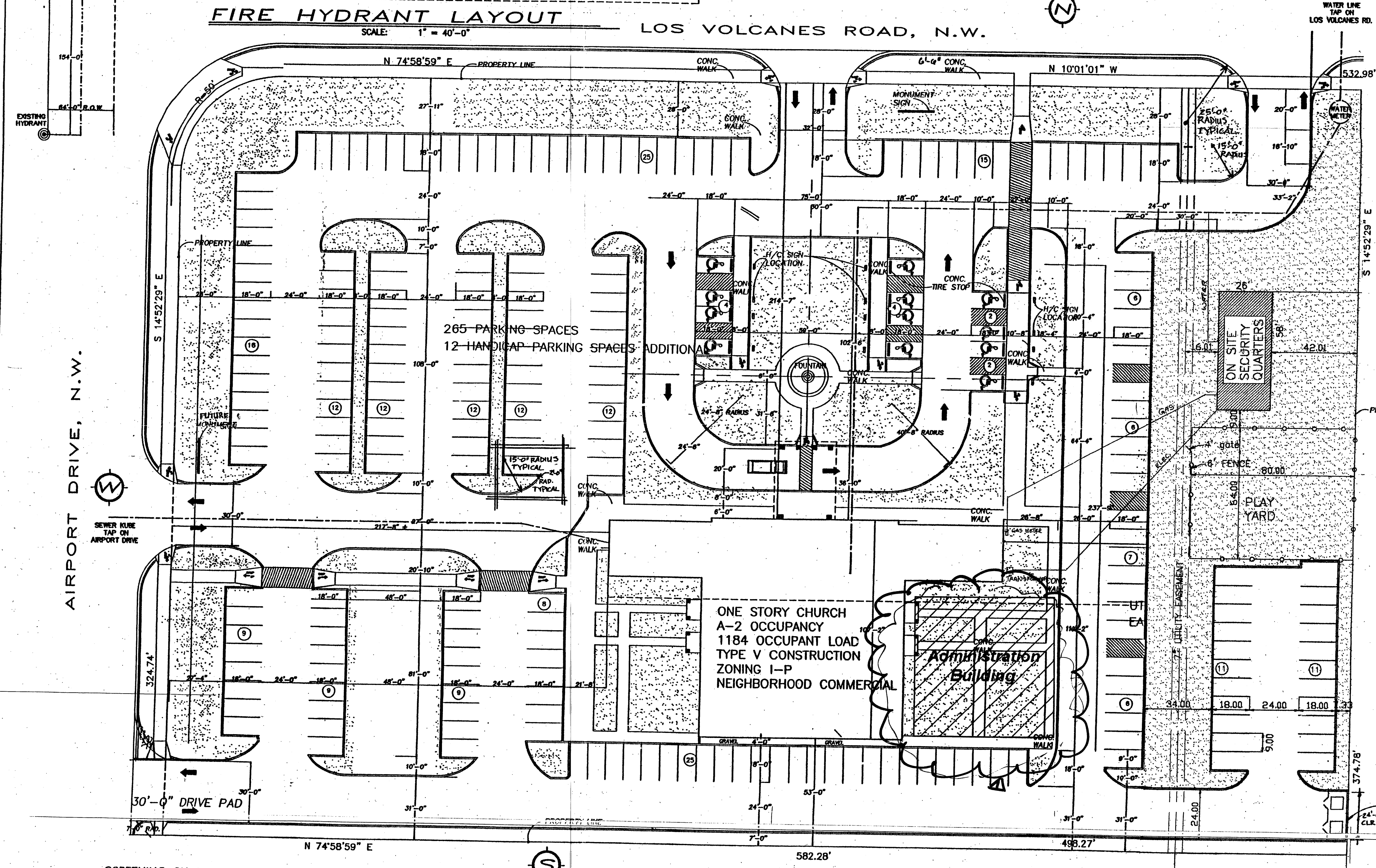
AMENDED SITE PLAN
AUGUST 15TH 2001

PROJECT NUMBER: 100 H26
Application Number: 03DRB-00812

DRE SITE DEVELOPMENT PLAN APPROVAL:

<i>Phil Dine</i> Traffic Engineering, Transportation Division	7/30/03 Date
<i>Roger L. Hume</i> Utilities Development	7/17/03 Date
<i>Christine Sandoval</i> Parks and Recreation Department	7/30/03 Date
<i>Bradley A. Byrum</i> City Engineer	7/30/03 Date
N/A Environmental Health Department (optional)	Date
N/A Solid Waste Management	Date
<i>Sharon Matson</i> DRB Chairperson, Planning Department	7/30/03 Date

- ### LEGEND
- WALKWAY ACROSS TRAFFIC MARKED AND STRIPED
 - HANDICAP PARKING W/ CONCRETE TIRE STOP
 - H/C SIGN
 - LANDSCAPED AREAS
 - TRAFFIC DIRECTIONAL ARROW
 - RAMP DIRECTIONAL ARROW
 - MONUMENT SIGN APX. LOCATION
 - CURB & GUTTER
 - PARKWAY
 - 6'-6" WIDE CONC. WALK



- ### GENERAL INFORMATION
- ALL RADIUS NOT SPECIFICALLY NOTED TO BE MIN. 25'-0" RADIUS.
 - LANDSCAPING INFORMATION AS PER LANDSCAPING PLAN
 - PROPERTY LINE AS INDICATED
 - CONCRETE WALK ON PUBLIC RIGHT OF WAY 4'-0" MIN. WIDTH
 - CURB, GUTTER & H/C RAMPS TO BE CONSTRUCTED PER CITY OF ALBUQUERQUE, STANDARD DETAIL DRAWING # 2426
 - ALL CURBING TO BE 8"
 - MINIMUM END ISLAND WIDTH TO BE 10'-0"
 - HANDICAP SIGNS TO BE INDUSTRY STANDARD, WITH SIZE AND LOCATION AS PER CITY, STATE AND NATIONAL REQUIREMENTS.

ISHAHAB BIAZAR, A REGISTER ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE SITE PLAN WITH APPROVED DATE OF 7/03/2003. THE SITE WAS INSPECTED BY ADVANCED ENGINEERING AND CONSULTING, LLC ON 2-11-2004. THERE WERE NO CHANGES TO THE EXISTING TRAFFIC CIRCULATIONS AND PARKING LOTS. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

PROJECT # 100 H26
DRB Application # 01450-01196

APPROVALS:

<i>James E. Sandoval</i> DESIGN AND DEVELOPMENT, PARKS & RECREATION	11/14/01 DATE
<i>Phil Dine</i> TRAFFIC ENGINEERING	9/25/01 DATE
<i>Bradley A. Byrum</i> CITY ENGINEERING	11/14/01 DATE
<i>Sharon Matson</i> UTILITY DEVELOPMENT	9/25/01 DATE

NORTH

W E
S

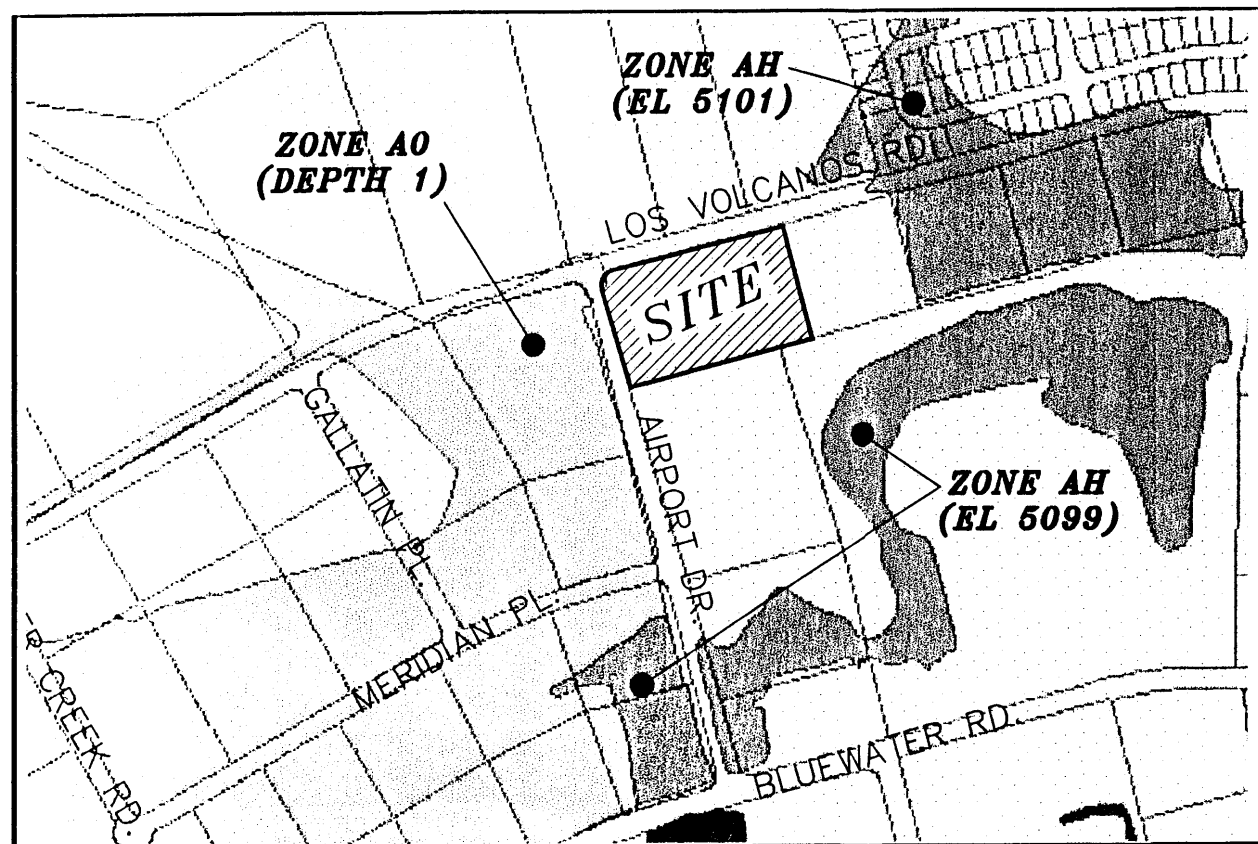
RECEIVED
MAR 03 2004
HYDROLOGY SECTION

SCREENING ON SOUTH SIDE OF PROPERTY IS TO BE INSTALLED 3'-0" TO 5'-0" RETAINING WALL (CONCRETE), WITH CMU BLOCK STUCCO'D PILASTERS AND WOOD PANELS PAINTED TO MATCH COLOR OF CHURCH

AMENDED SITE PLAN FOR BUILDING PERMIT
SCALE: 1" = 20'-0"

TRACT "A"
SOUTHSIDE FARMS
BERNALILLO COUNTY, NEW MEXICO

REFUSE SCREENING TO BE 6'-0" HT. CMU BLOCK WALL WITH STUCCO APPLIED ON EXTERIOR WITH 6'-0" HT. PAINTED DOUBLE GATE THAT IS CAPABLE OF BEING LOCKED



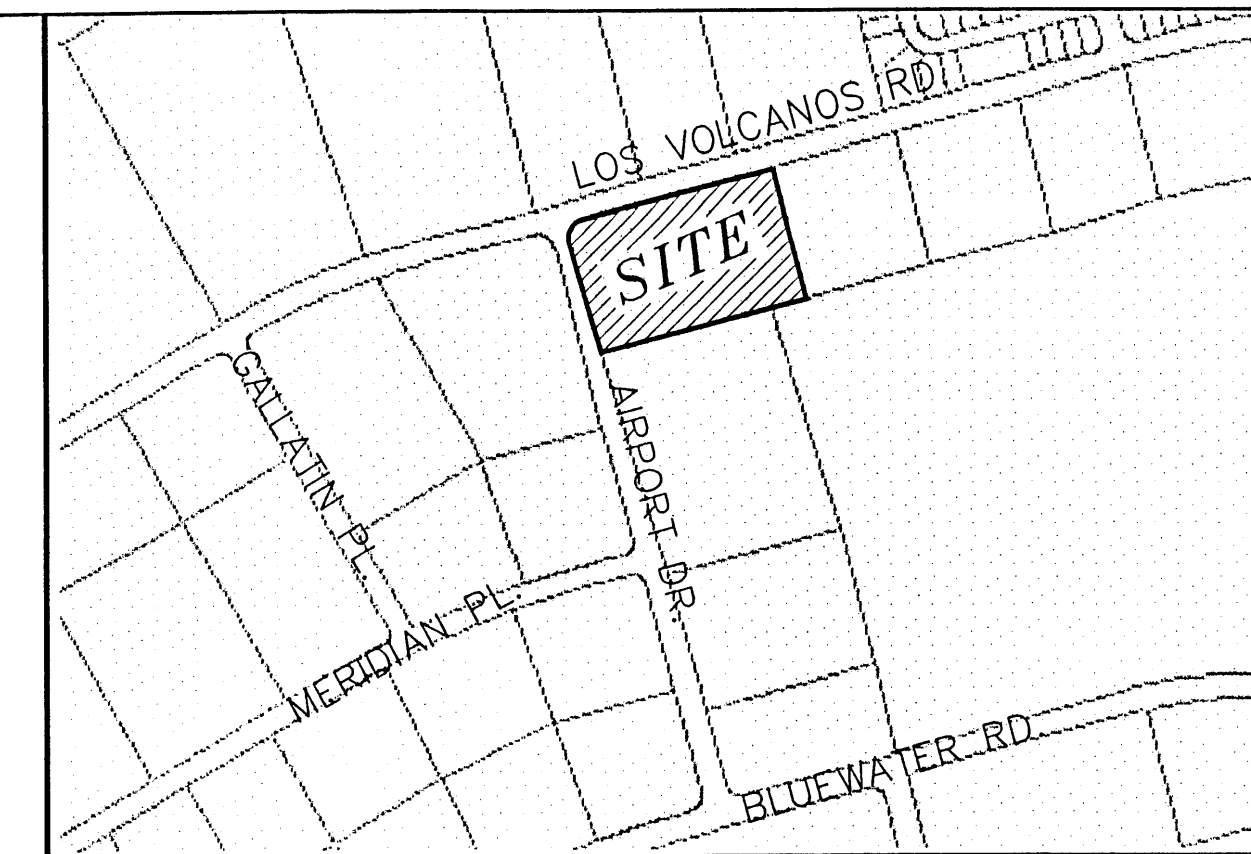
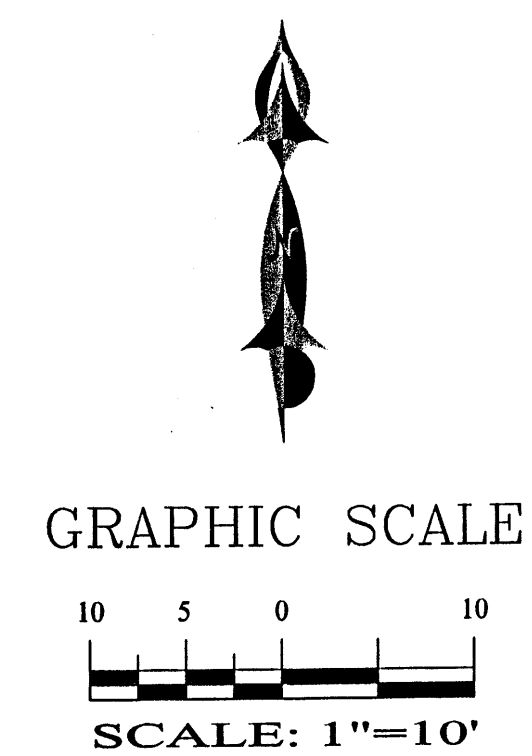
FIRM MAP: 35001C0329 D

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.



VICINITY MAP: J-10-Z

LEGAL DESCRIPTION:

ATRISCO BUSINESS PARK UNIT 2, TRACK N, LOT 2-A WITHIN THE TOWN OF ATRISCO, GRANT PROJECTED SECTION 15 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING 8" SAS
	EXISTING 16" WL
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	100-YEAR WSEL (FROM HEC-RAS OUTPUT)
	EXISTING FENCE
	FLOODPLAIN LIMITS FROM FEMA MAP
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING

I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/17/2003. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE # 13479

DATE

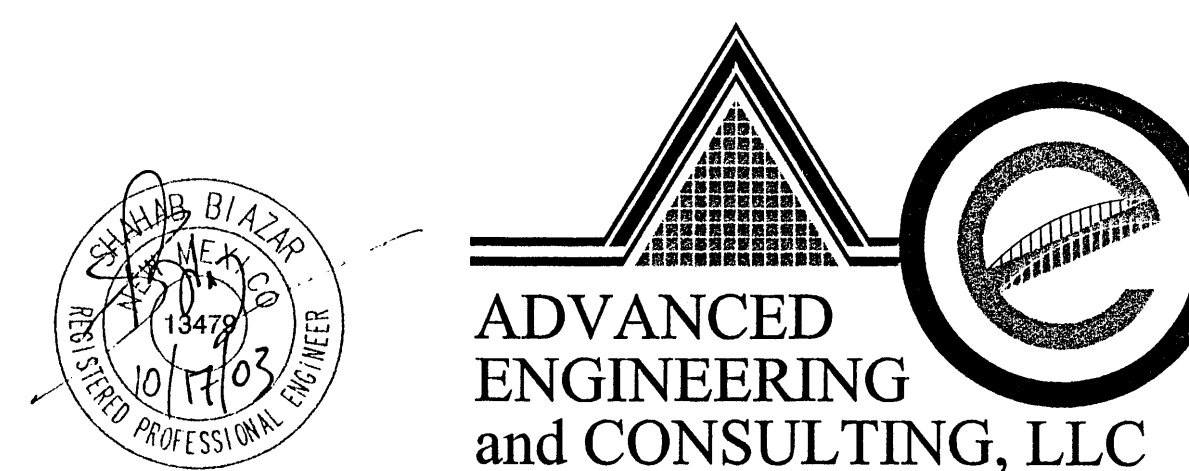
2/13/04



- GENERAL NOTES:
1. ADD 5100 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
 2. THE ORIGINAL GRADING AND SITE LAYOUT WAS PROVIDED BY THE OWNER
 3. SLOPES ARE AT 4:1 MAXIMUM.

ROUGH GRADING APPROVAL

DATE



SHAHAB BIAZAR
P.E. #13479

10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

LIFE BAPTIST CHURCH ADDITION GRADING AND DRAINAGE PLAN

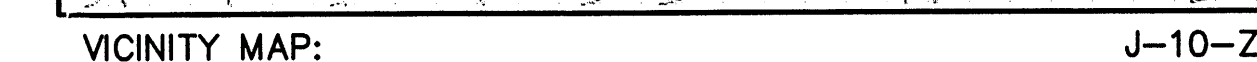
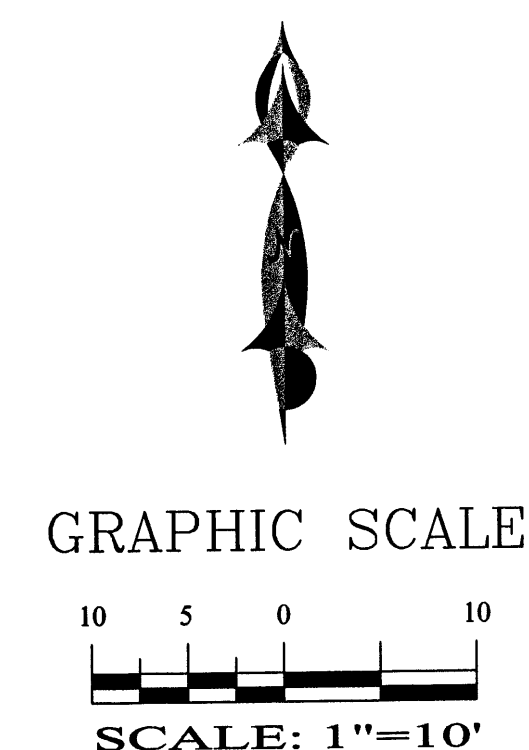
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200348-GR.DWG	SBB	09-23-2003	1 OF 1

LAST REVISION: 09-23-2003

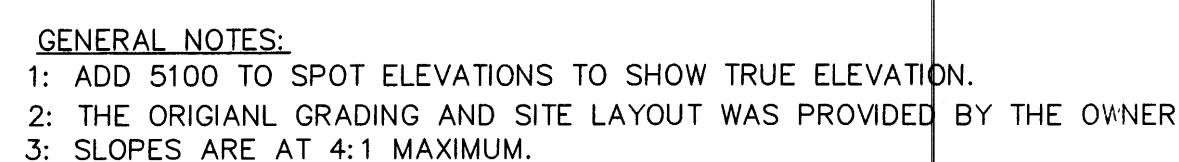


1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
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3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

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ATRISCO BUSINESS PARK UNIT 2, TRACK N, LOT 2-A WITHIN THE TOWN OF
ATRISCO GRANT PROJECTED SECTION 15 TOWNSHIP 10 NORTH, RANGE 2 EAST,
JPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.



 EXISTING MANHOLE
 EXISTING METER
 EXISTING VALVE W/BOX
 EXISTING FIRE HYDRANT
 EXISTING AIR RELEASE VALVE
 EXISTING REDUCER
----- Ex. 8" SAS ----- EXISTING SANITARY SEWER LINE
----- Ex. 16" WL ----- EXISTING WATER LINE
===== EXISTING CURB & GUTTER
===== EXISTING CURB & GUTTER
---5100--- EXISTING CONTOUR (MAJOR)
---5102--- EXISTING CONTOUR (MINOR)
- - - - - BOUNDARY LINE
- - - - - EASEMENT
- - - - - LIMITS OF TOP OF EXISTING SLOPE
[] [] [] [] [] [] [] [] [] [] PROPOSED SIDEWALK
TC → [70.90]
FL → [70.40]
X 70.28
* 5265.16
----- X ----- EXISTING POWER LINES
--x--x--x--x--x--x-- EXISTING FENCE
--- 100' R-WSEL --- 100' R-WSEL --- 100-YEAR WSEL (FROM HEC-RAS OUTPUT)
--- FEMA --- FEMA --- FEMA --- FEMA --- FLOODPLAIN LIMITS FROM FEMA MAP
 EXISTING GARDEN WALL
 PROPOSED RETAINING WALL
 PROPOSED EXTENDED STEM WALL

TRW=38.00

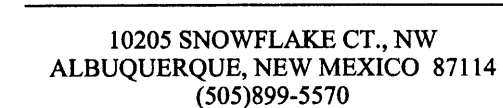
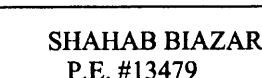
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TOP OF RETAINING WALL
TOP OF FOOTING

TSW=34.00

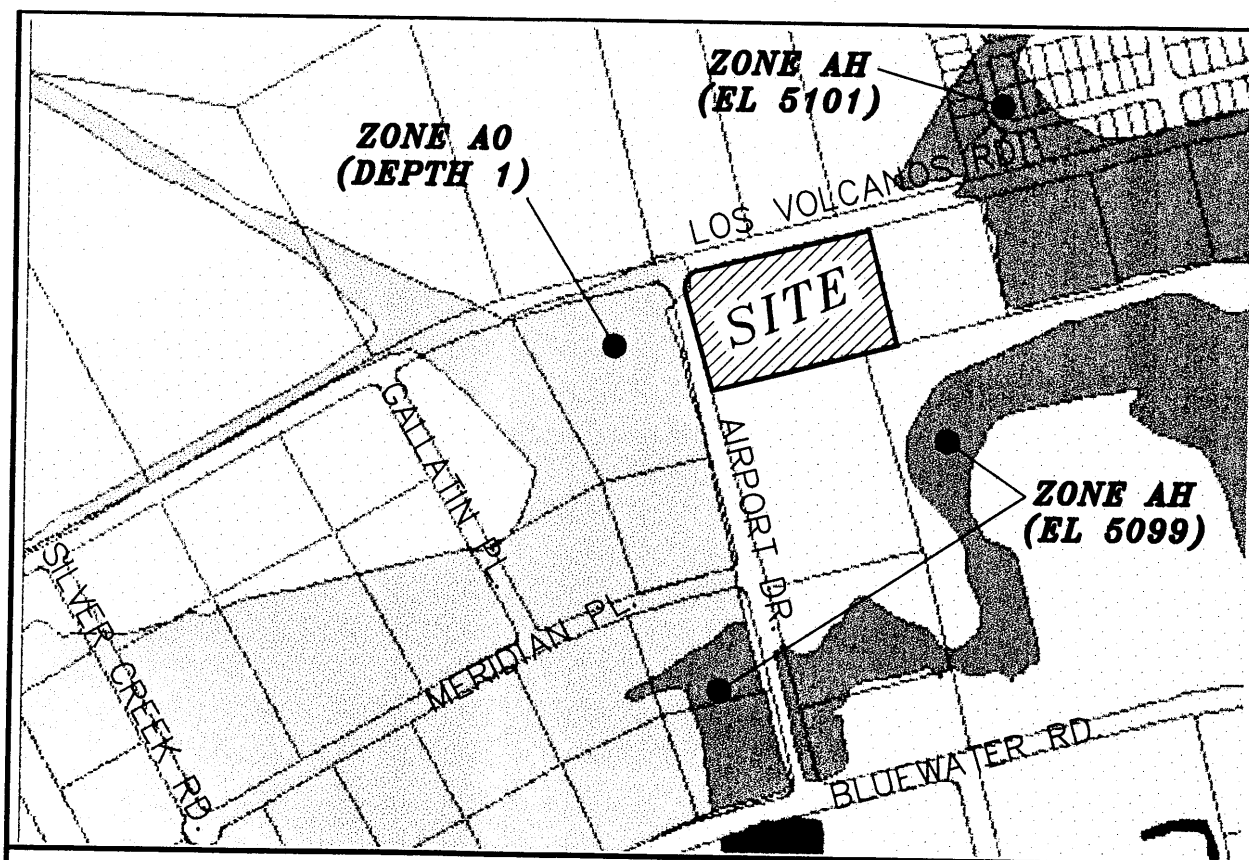
TF=32.00

TOP OF EXTENDED STEM WALL
TOP OF FOOTING



DRAWING: 200348-GR.DWG	DRAWN BY: SBB	DATE: 09-23-2003	SHEET # 1 OF 1
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ROUGH GRADING APPROVAL _____ DATE _____



FIRM MAP: 35001C0329 D

GENERAL NOTES:

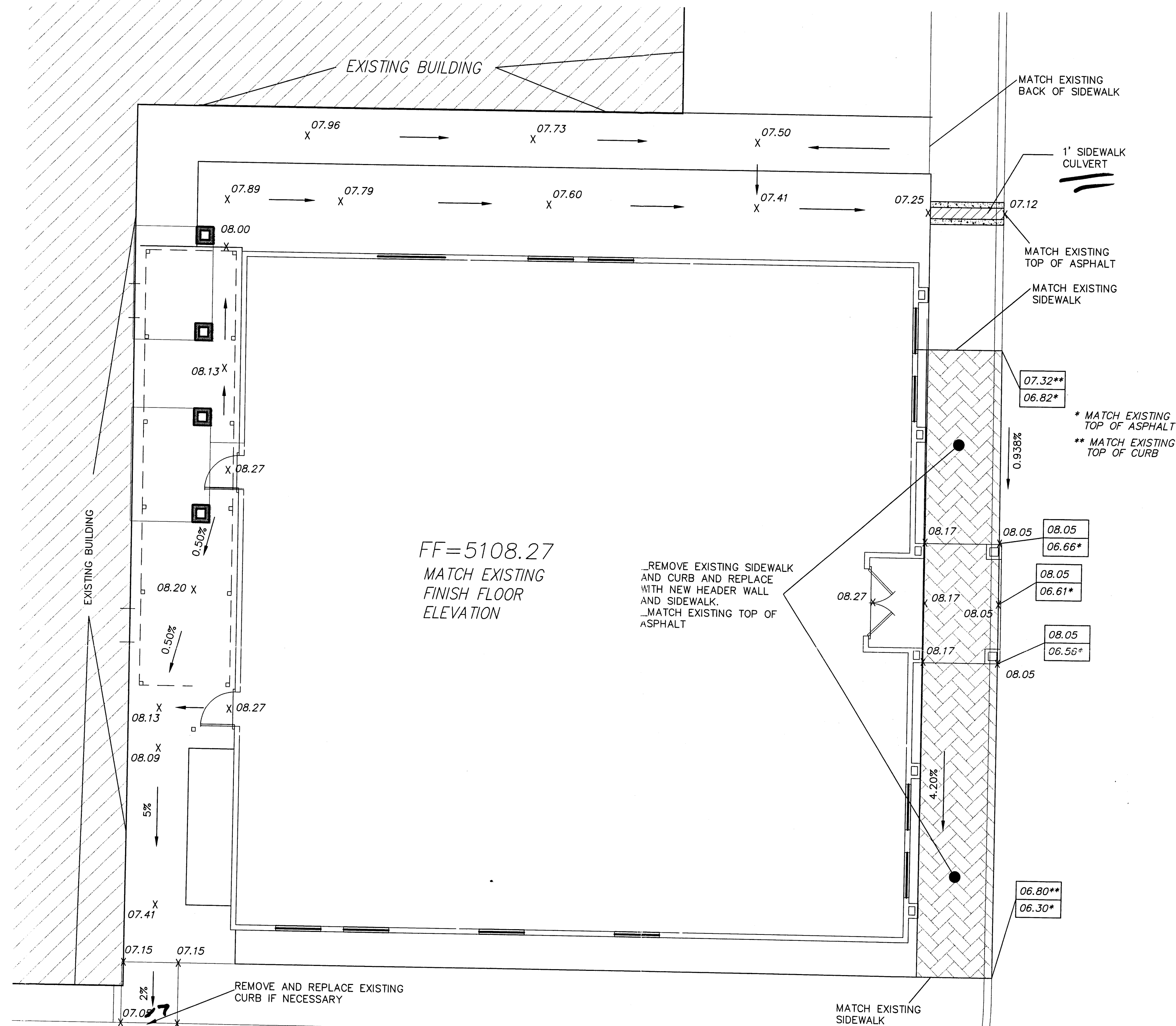
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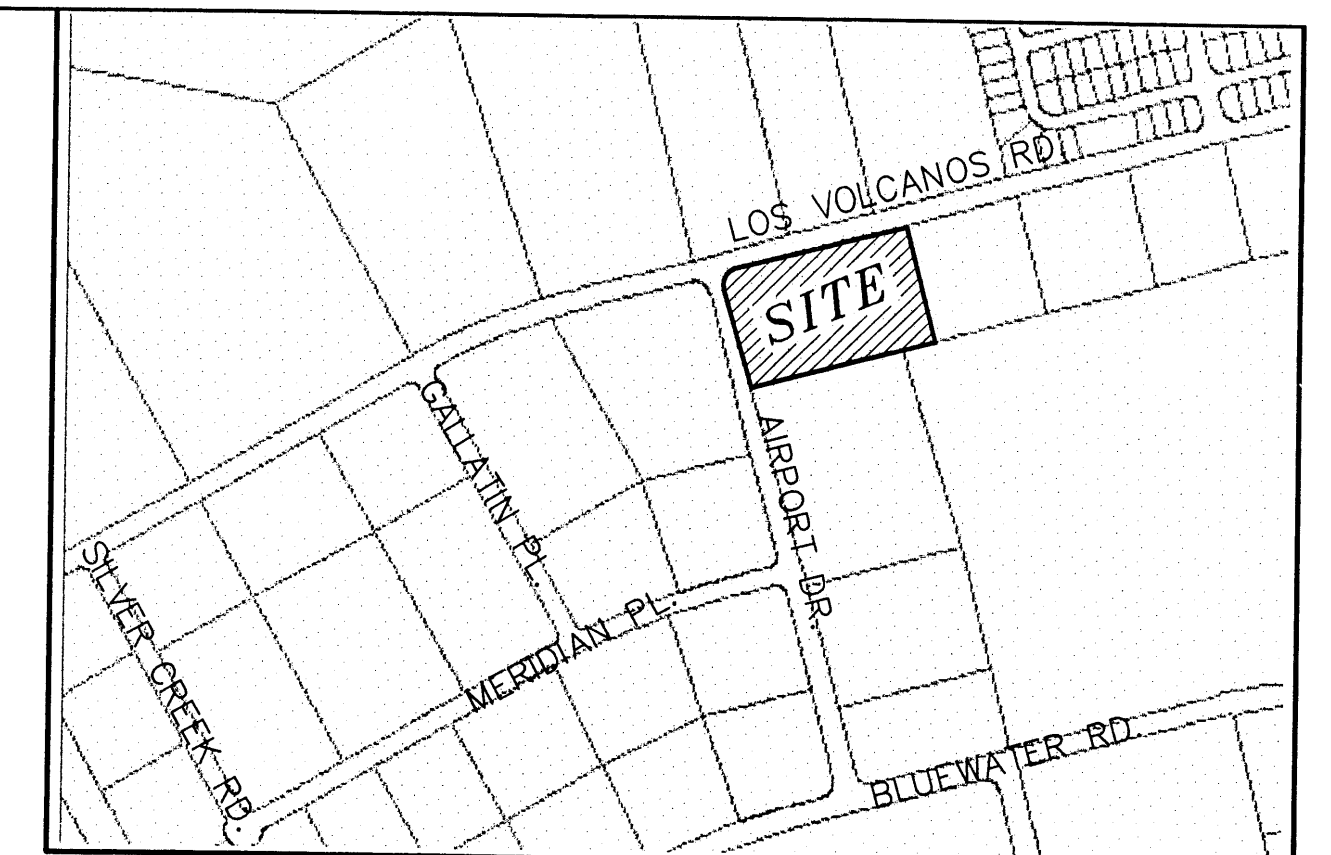
LEGEND

	EXISTING SAS MANHOLE
	EXISTING METER
	EXISTING VALVE W/BOX
	EXISTING FIRE HYDRANT
	EXISTING AIR RELEASE VALVE
	EXISTING REDUCER
	EXISTING 8" SAS
	EXISTING 16" WL
	EXISTING CURB & GUTTER
	EXISTING CURB & GUTTER
	EXISTING CONTOUR (MAJOR)
	EXISTING CONTOUR (MINOR)
	BOUNDARY LINE
	EASEMENT
	LIMITS OF TOP OF EXISTING SLOPE
	PROPOSED SIDEWALK
	PROPOSED GRADE
	PROPOSED SPOT ELEVATION
	EXISTING GRADE
	EXISTING POWER LINES
	EXISTING FENCE
	100-YR WSEL (FROM HEC-RAS OUTPUT)
	EXISTING FENCE
	FLOODPLAIN LIMITS FROM FEMA MAP
	EXISTING GARDEN WALL
	PROPOSED RETAINING WALL
	PROPOSED EXTENDED STEM WALL
	TOP OF RETAINING WALL
	TOP OF FOOTING
	TOP OF EXTENDED STEM WALL
	TOP OF FOOTING



Show location relative to site

Contours? MARK GOODWIN G.D. Plan Not Included



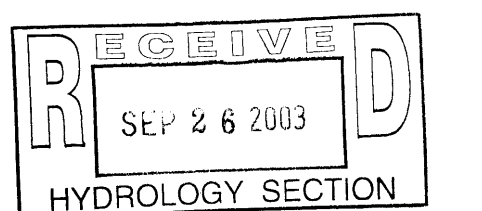
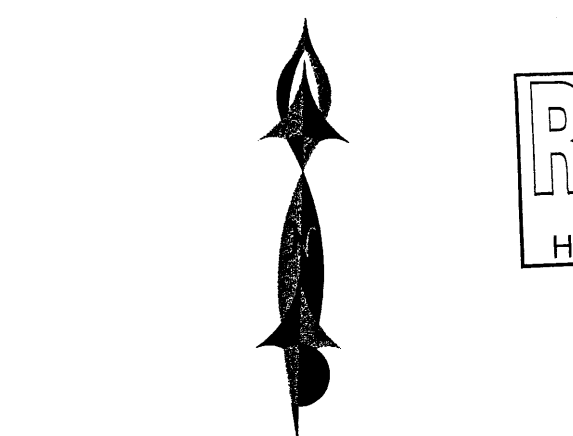
VICINITY MAP: J-10-Z

LEGAL DESCRIPTION:

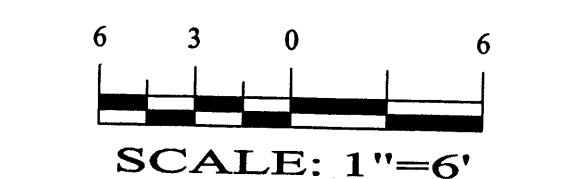
ATRISCO BUSINESS PARK UNIT 2, TRACK N, LOT 2-A WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 15 TOWNSHIP 10 NORTH, RANGE 2 EAST, NMPM CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

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GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479

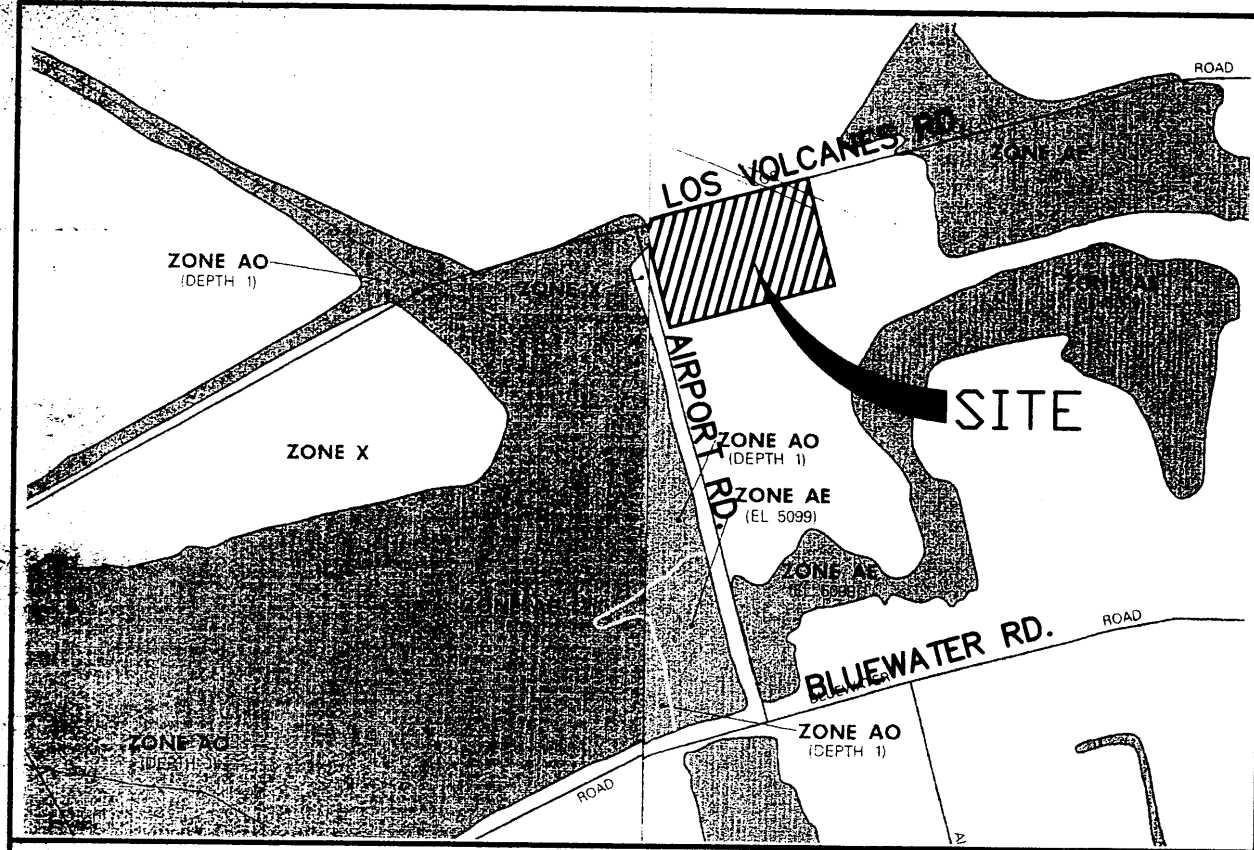
10205 SNOWFLAKE CT., NW
ALBUQUERQUE, NEW MEXICO 87114
(505)899-5570

LIFE BAPTIST CHURCH ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200348-GR.DWG	SBB	09-23-2003	1 OF 1

ROUGH GRADING APPROVAL DATE

LAST REVISION: 09-23-2003



FIRM MAP: 35001C0128 D & 0129 D

GENERAL NOTES:

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2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-9-J10 HAVING AN ELEVATION OF 5111.549 (NAVD88) FEET ABOVE SEA LEVEL.
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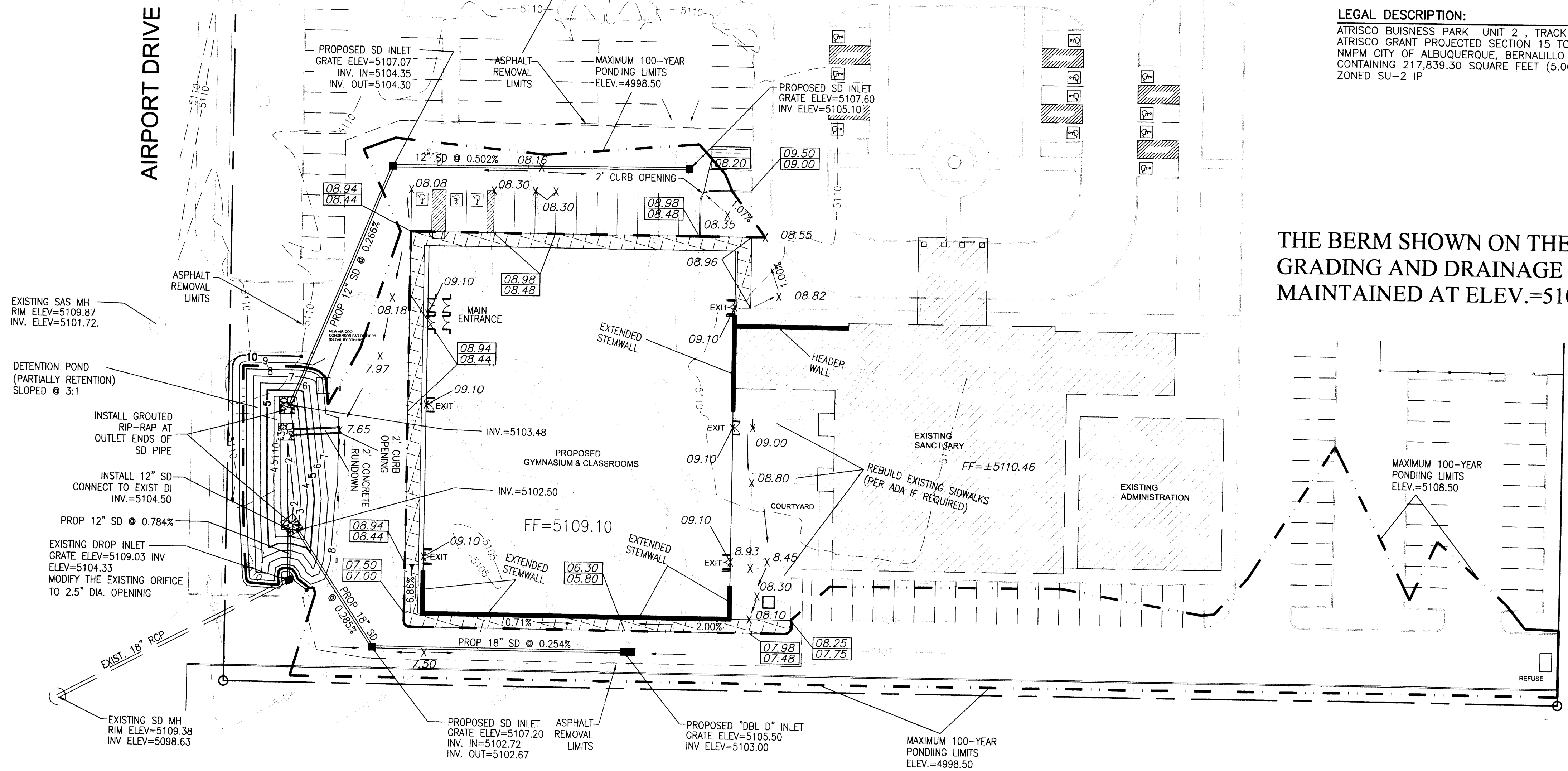
EXISTING SAS MH
RIM ELEV=5110.92
INV. ELEV=5098.12

EXISTING SAS MH
RIM ELEV=5113.00
INV. ELEV=5097.52

LOS VOLCANES ROAD

REMOVE AND REPLACE
EXISTING ASPHALT AS
NEEDED TO PROVIDE
POSITIVE DRAINAGE

AIRPORT DRIVE



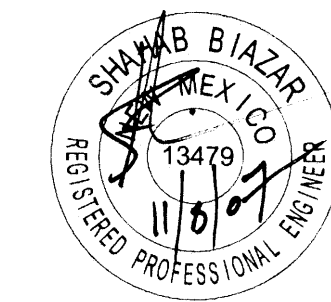
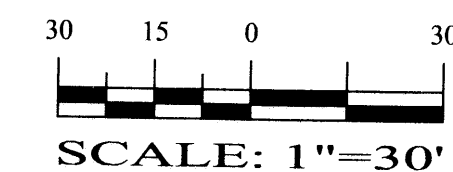
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CONCRETE RUNDOWN

NTS

GRAPHIC SCALE



SHAHAB BIAZAR
P.E. #13479



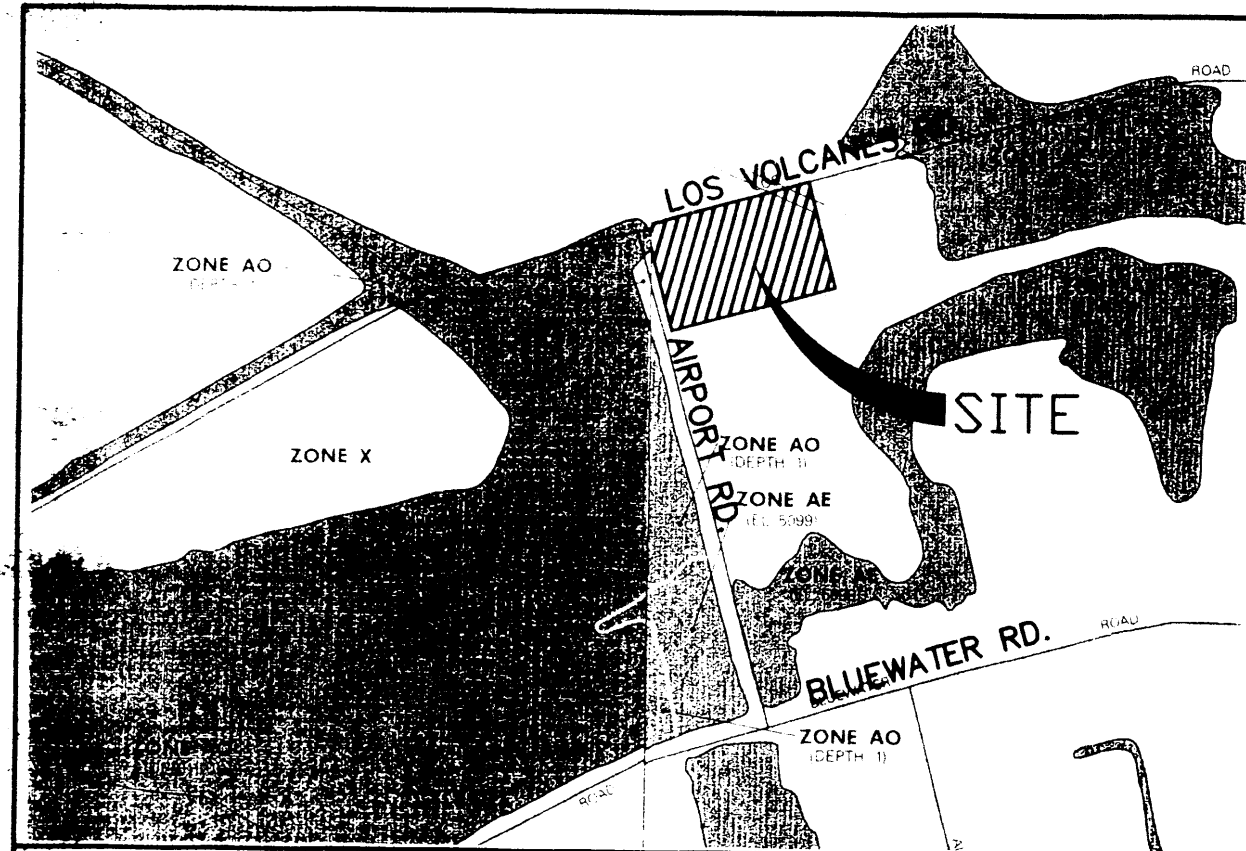
4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

NEW LIFE BAPTIST CHURCH ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200554-GR.DWG	SBB	09-24-2007	1 OF 1

NOV 9 2007

HYDROLOGY SECTION



FIRM MAP: 35001C0128 D & 0129 D

GENERAL NOTES:

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- EXISTING REDUCER
- EXISTING 8" SAS
- EXISTING 16" WL
- EXISTING SANITARY SEWER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- EXISTING CONTOUR (MAJOR)
- EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- EASEMENT
- LIMITS OF TOP OF EXISTING SLOPE
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- PROPOSED GRADE
- PROPOSED SPOT ELEVATION
- EXISTING GRADE
- EXISTING POWER LINES
- EXISTING FENCE
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
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- EXISTING STREET LIGHT
- EXISTING ANCHOR
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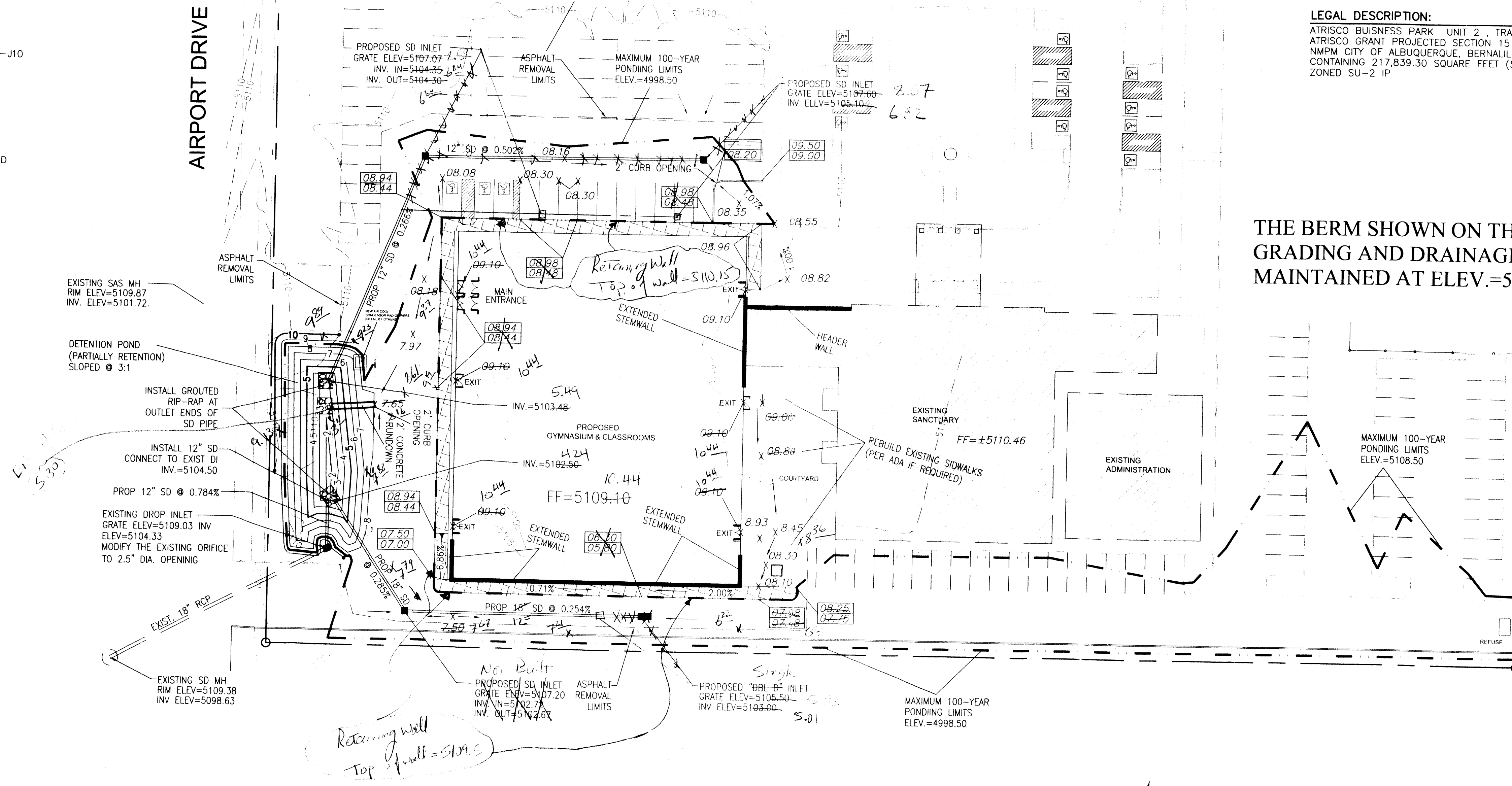
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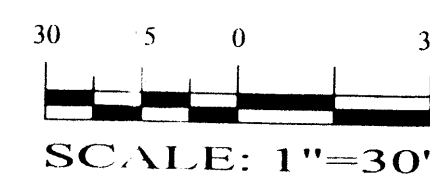
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CONCRETE RUNDOWN

NTS

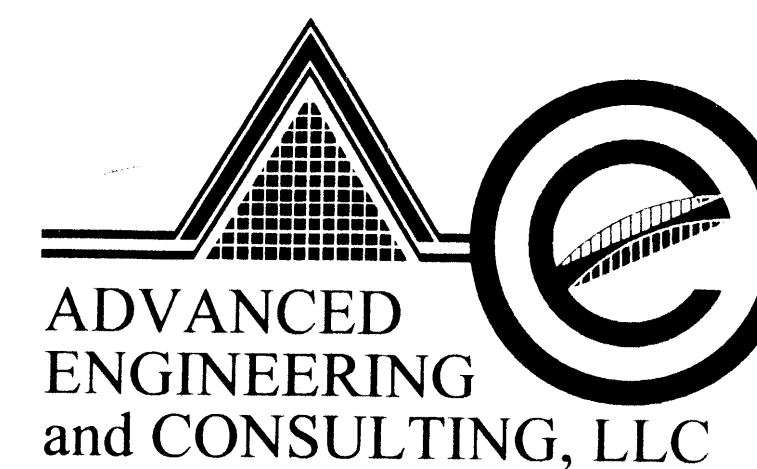
GRAPHIC SCALE



SCALE: 1"=30'



SHAHAB BIAZAR
P.E. #13479



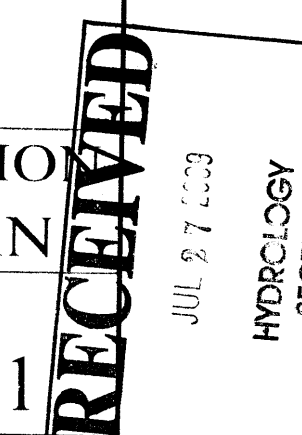
ADVANCED
ENGINEERING
and CONSULTING, LLC

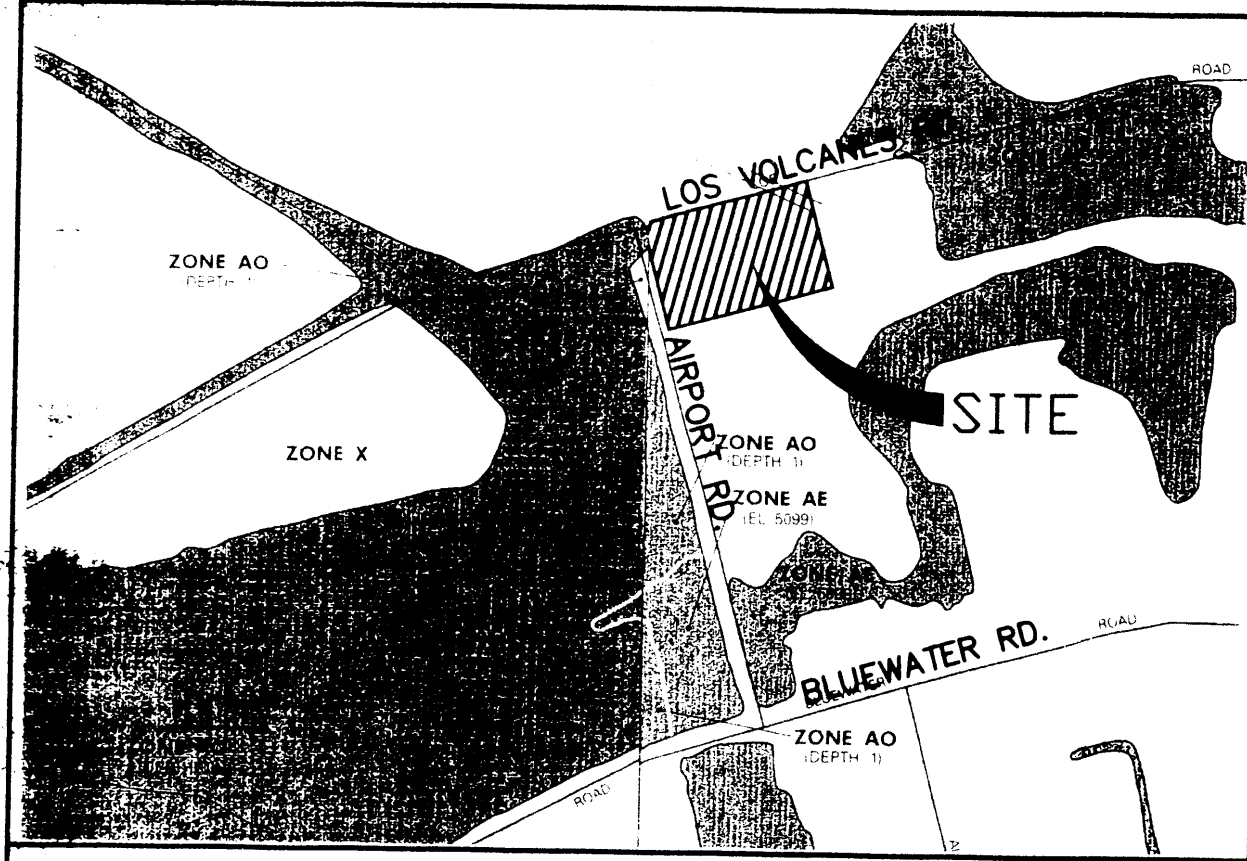
4416 ANAHEIM AVE., NE
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NEW LIFE BAPTIST CHURCH ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200554-GR.DWG	SBB	09-24-2007	1 OF 1

(LAST REVISION: 11-08-07)





FIRM MAP: 35001C0128 D & 0129 D

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- EXISTING ANCHOR
- EXISTING POWER POLE

EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

LOS VOLCANES ROAD

EXISTING SAS MH
RIM ELEV=5110.92
INV. ELEV=5098.12

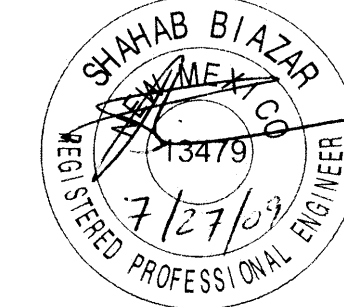
EXISTING SAS MH
RIM ELEV=5113.00
INV. ELEV=5097.52

I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/08/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR TEMPORARY CERTIFICATION OF OCCUPANCY.

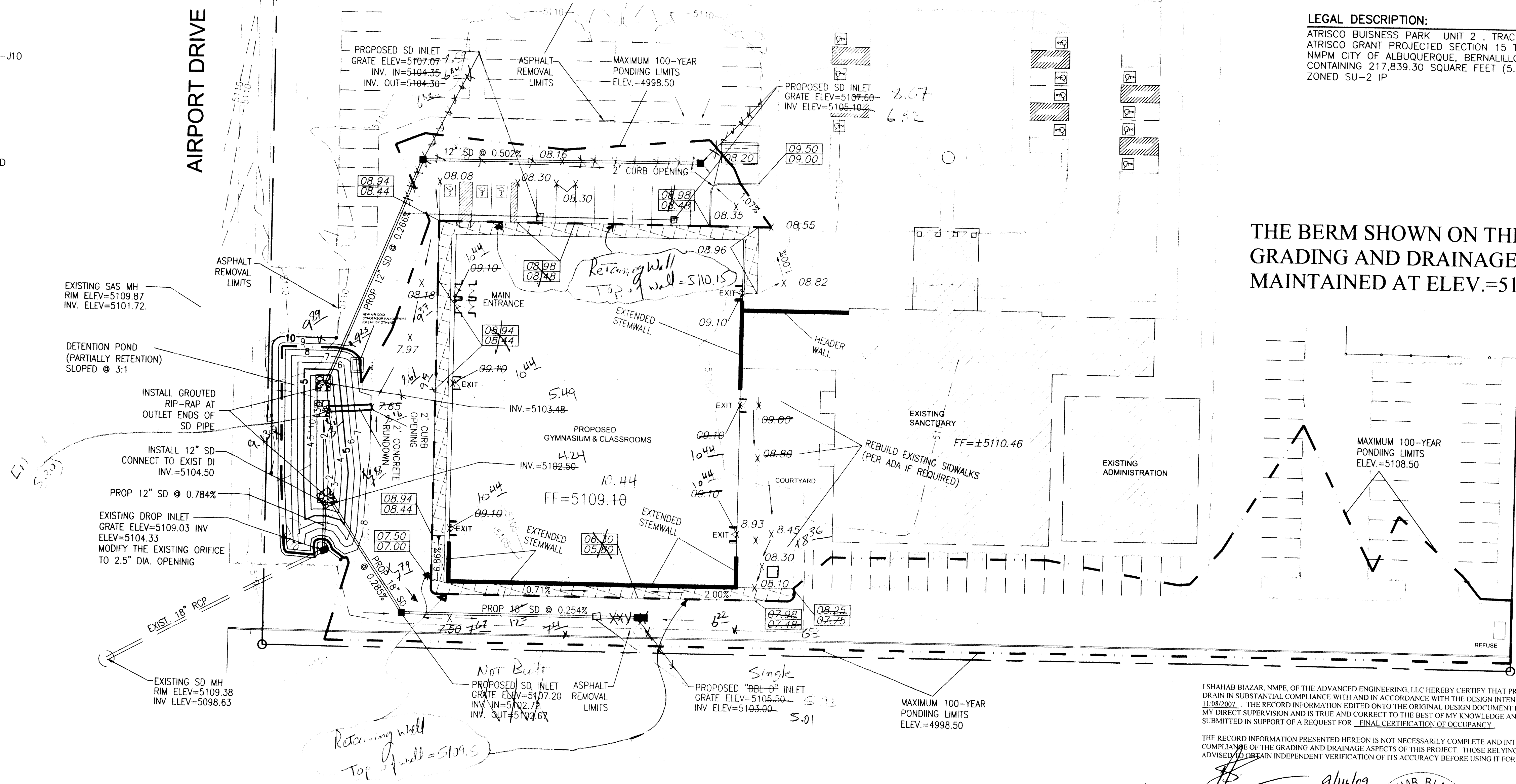
THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE # 13479

7/27/09



REMOVE AND REPLACE EXISTING ASPHALT AS NEEDED TO PROVIDE POSITIVE DRAINAGE



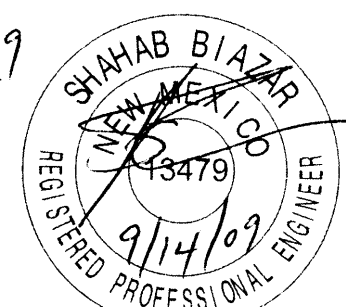
THE BERM SHOWN ON THE ORIGINAL GRADING AND DRAINAGE PLAN SHOULD BE MAINTAINED AT ELEV.=5108.50'

I SHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 11/08/2007. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR FINAL CERTIFICATION OF OCCUPANCY.

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

SHAHAB BIAZAR, NMPE # 13479

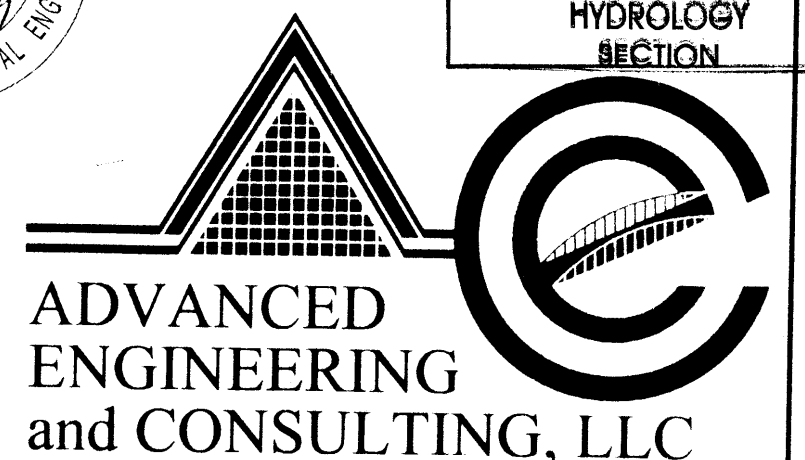
9/14/09



RECEIVED

SEP 23 2009

HYDROLOGY SECTION



ADVANCED
ENGINEERING
and CONSULTING, LLC

SHAHAB BIAZAR
P.E. #13479

4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

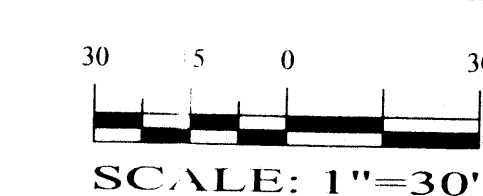
NEW LIFE BAPTIST CHURCH ADDITION GRADING AND DRAINAGE PLAN

DRAWING:	DRAWN BY:	DATE:	SHEET #
200554-GR.DWG	SBB	09-24-2007	1 OF 1

CONCRETE RUNDOWN

NTS

GRAPHIC SCALE

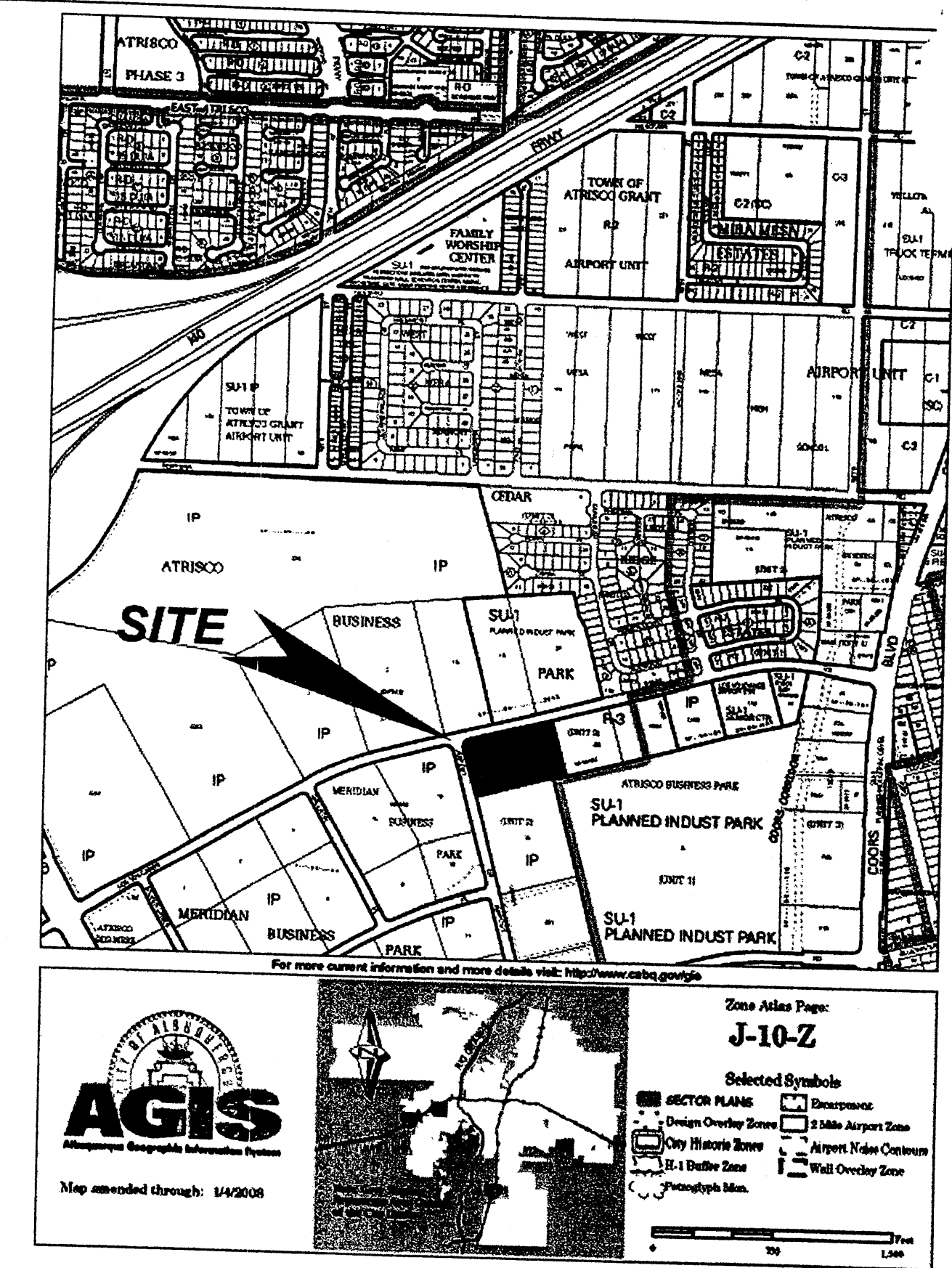
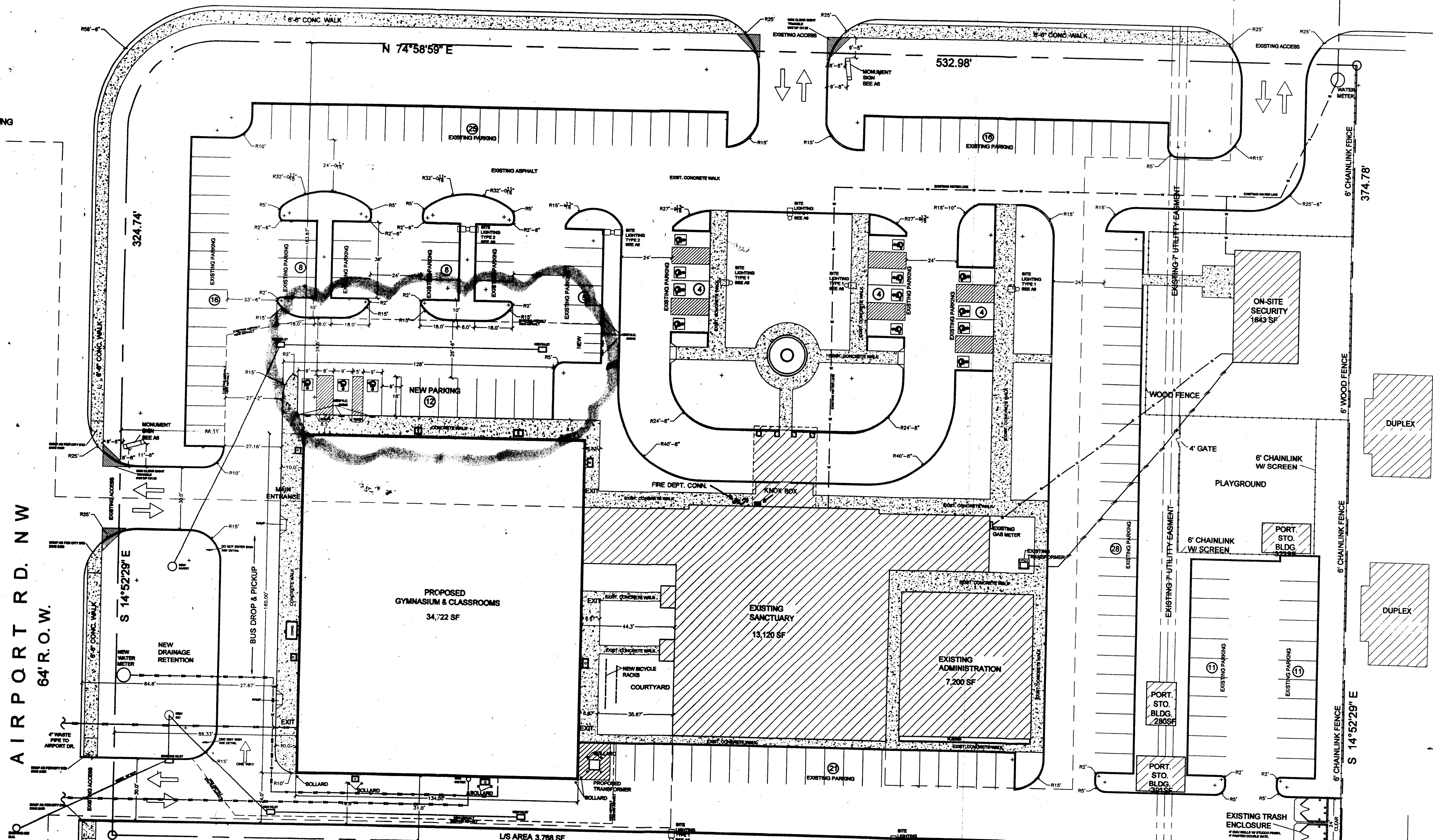


ROUGH GRADING APPROVAL

DATE

LOS VOLCANES RD. NW

64' R.O.W.



VICINITY MAP
1:900

SIGNATURE BLOCK
PROJECT NUMBER: 1001426
APPLICATION NUMBER: 08DRB-70411

IS AN INFRASTRUCTURE LIST REQUIRED? YES NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH PUBLIC RIGHT-OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN APPROVAL:
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION

ABCWUA
Christina Sandoval
PARKS AND RECREATION DEPARTMENT

Bradley D. Bingham
CITY ENGINEER

Michael Holton (existing)
SOLID WASTE MANAGEMENT

DRB CHAIRPERSON, PLANNING DEPARTMENT

ENVIRONMENTAL HEALTH DEPT. (CONDITIONAL)

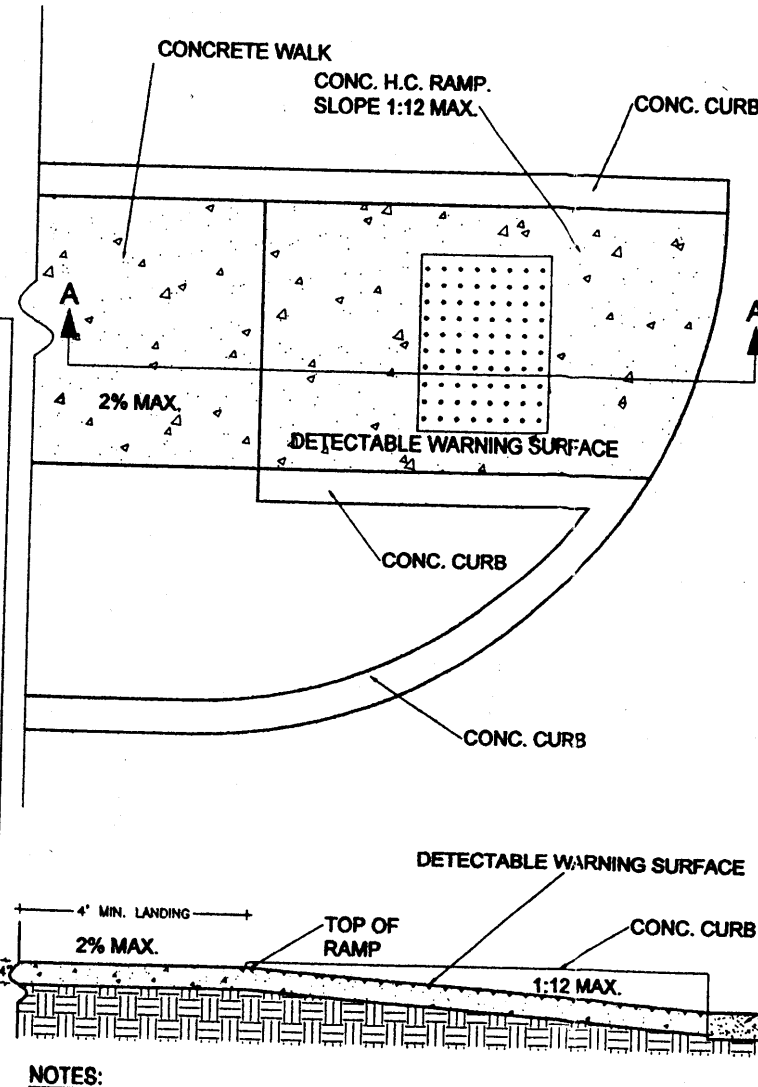
REVISIONS:

NEW LIFE BAPTIST CHURCH
DATE: 9/15/08

GARLAN BRYAN, ARCHITECT
2403 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO

C-1
SITE PLAN

PARKING CALCULATIONS:
EXISTING SCHOOL: 19 STAFF = 19 SPACES
1 H.S. CLASSROOM = 3 SPACES
EXISTING SANCTUARY: 8,850' OF PEW 30" = 295
295 / 4 = 74 SPACES
NEW BUILDING: 25 CLASSROOM STAFF = 25 SPACES
(INCLUDING 2ND FL.)
NEW PARKING REQUIRED = 121 SPACES
(8 OF WHICH MUST BE H.C. ACCESSIBLE + 4 M.C. SPACES)
EXISTING PARKING PROVIDED: 161 SPACES
(12 OF WHICH ARE H.C. + 35 BICYCLE SPACES)



NOTES:
1. THE SURFACE OF THE RAMP & SIDES SHALL HAVE A TRANSVERSE BROOMED SURFACE TEXTURE TOUGHER THAN THE SURROUNDING SIDEWALK.
2. THE RAMP SHALL BE GROOVED IN A TRANSVERSE PATTERN WITH 1" GROOVES APPROX. 1-1/2" O.C. SEE SECTION A-A.
3. THE BOTTOM OF THE RAMP SHALL HAVE A 1" LIP OF 45".
4. RAMP SIDE SLOP VARIES UNIFORMLY FROM A MAXIMUM OF UP TO 10% AT CURBS TO CONFORM WITH LONGITUDINAL SIDEWALK SLOPE ADJACENT TO TOP OF THE RAMP.
5. CONSTRUCT PER A.D.A. STANDARDS.

SECTION A-A

ALBUQUERQUE BUILDING & SAFETY
NOV 07 2008

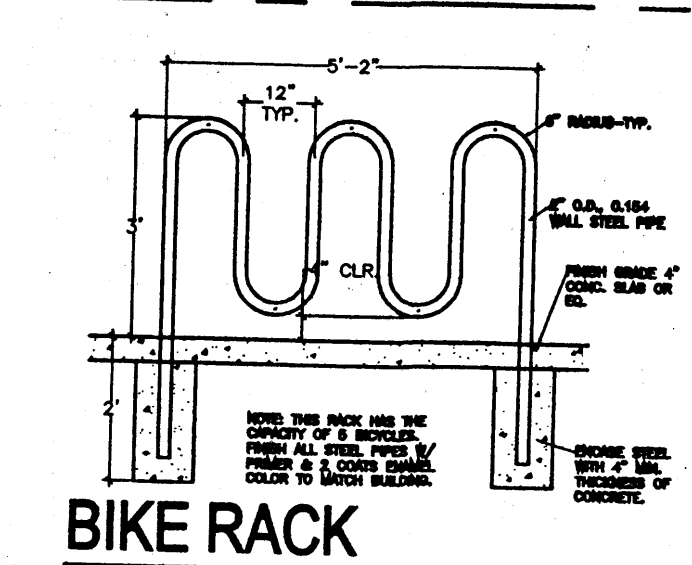
U.B.C. PLAN CHECK SECTION

NEW LIFE BAPTIST CHURCH & ACADEMY

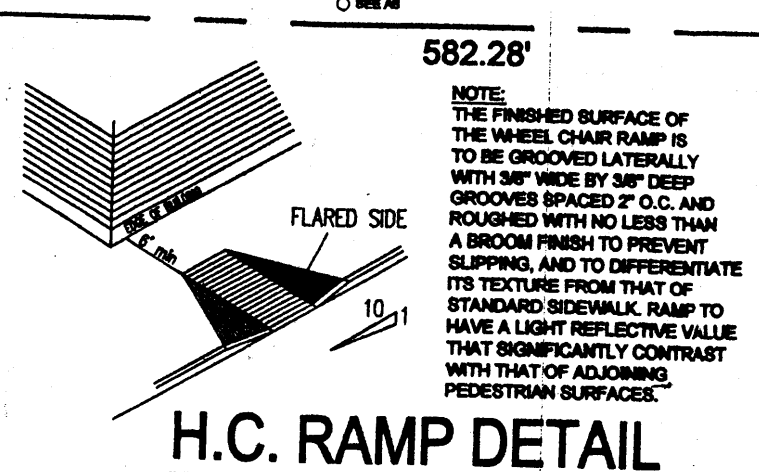
UNIDIRECTIONAL H.C. RAMP

NEW LIFE BAPTIST CHURCH & ACADEMY

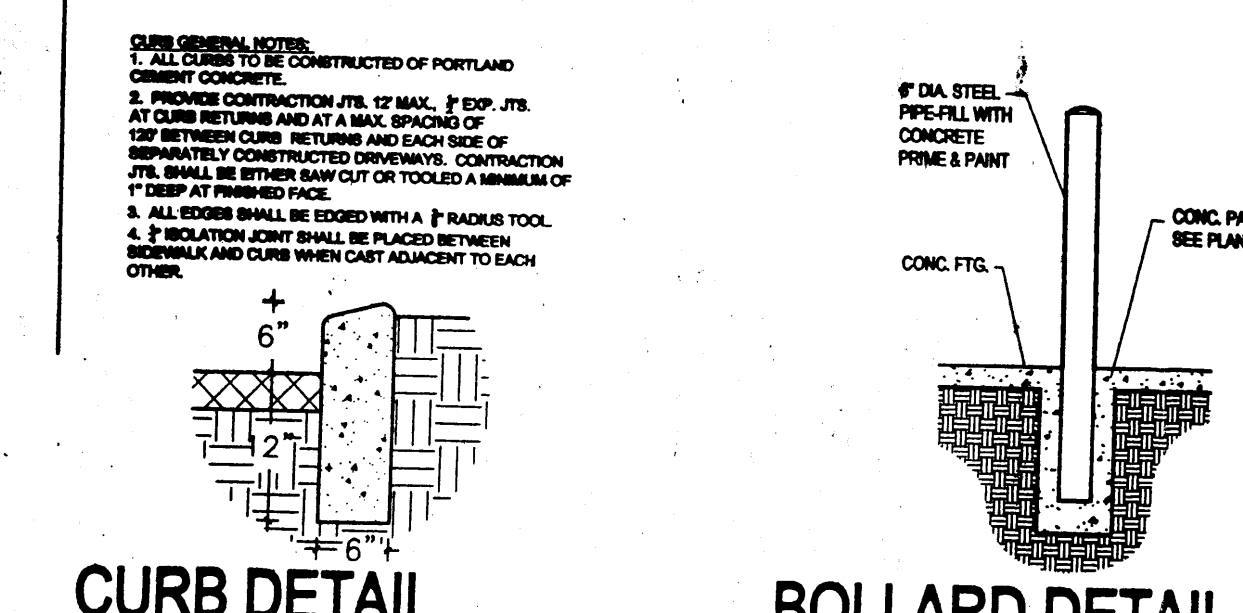
SITE PLAN
SCALE: 1" = 30'
0' 5' 10' 20' 30'



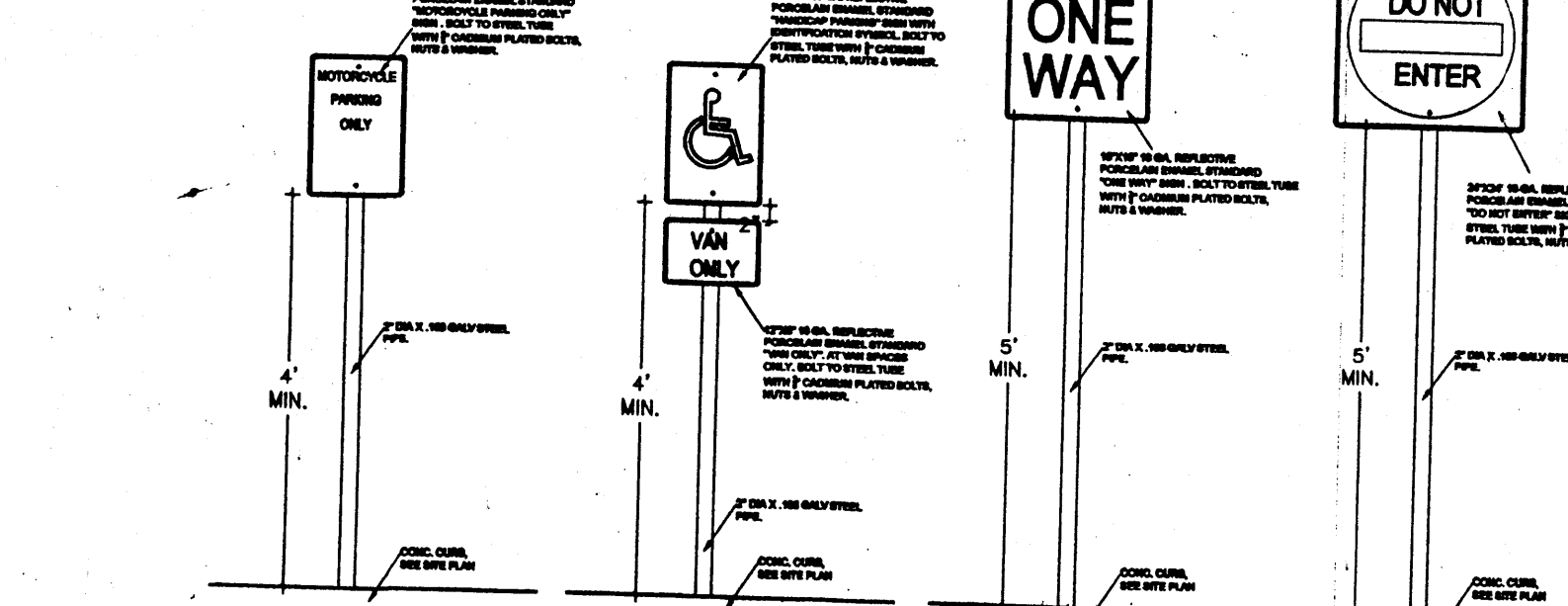
BIKE RACK
SCALE: 1/2" = 1'-0"



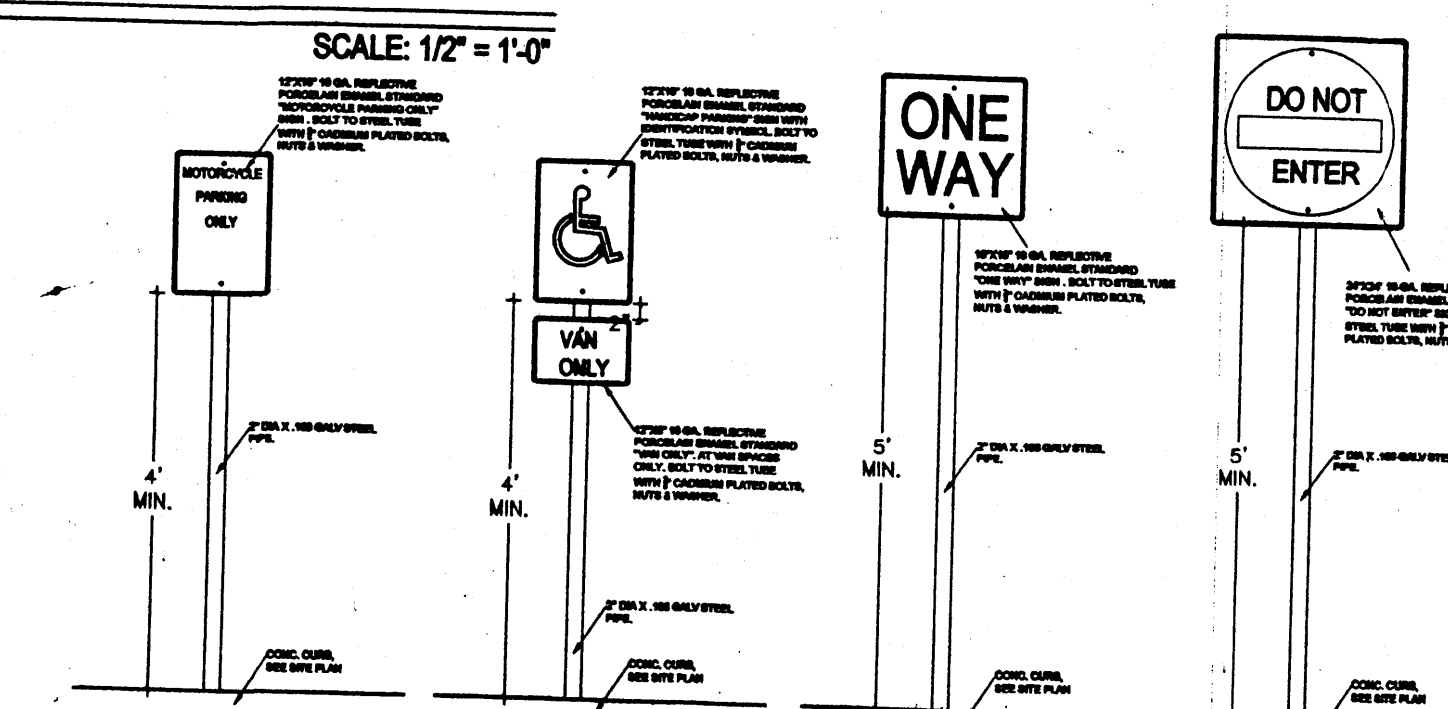
H.C. RAMP DETAIL
NTS



CURB DETAIL
SCALE: 1" = 1'-0"



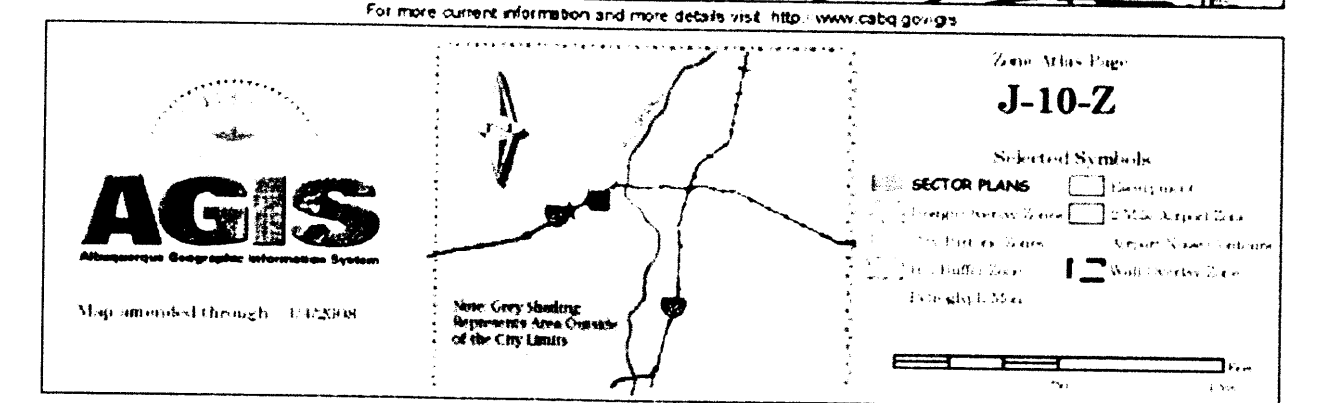
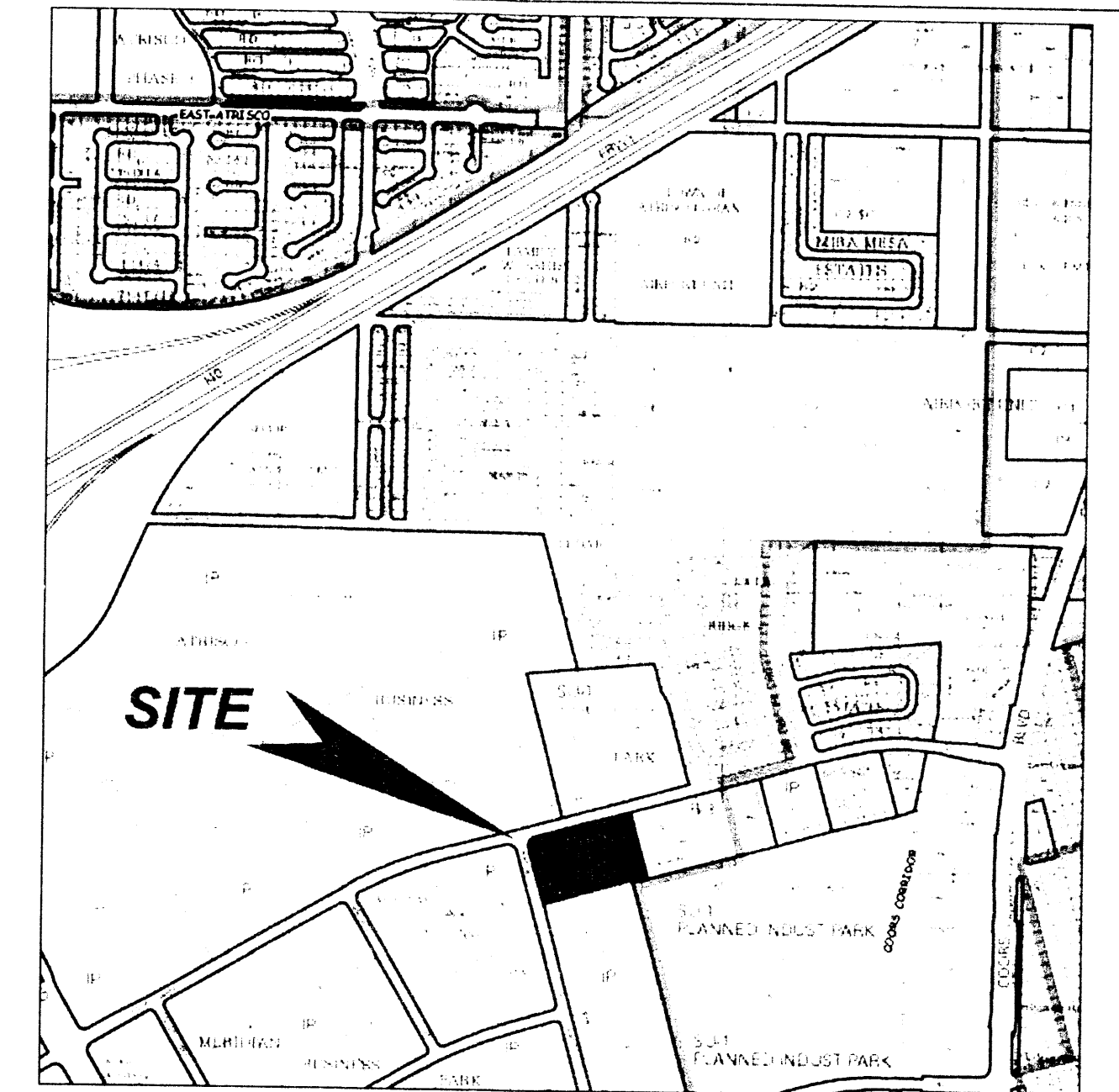
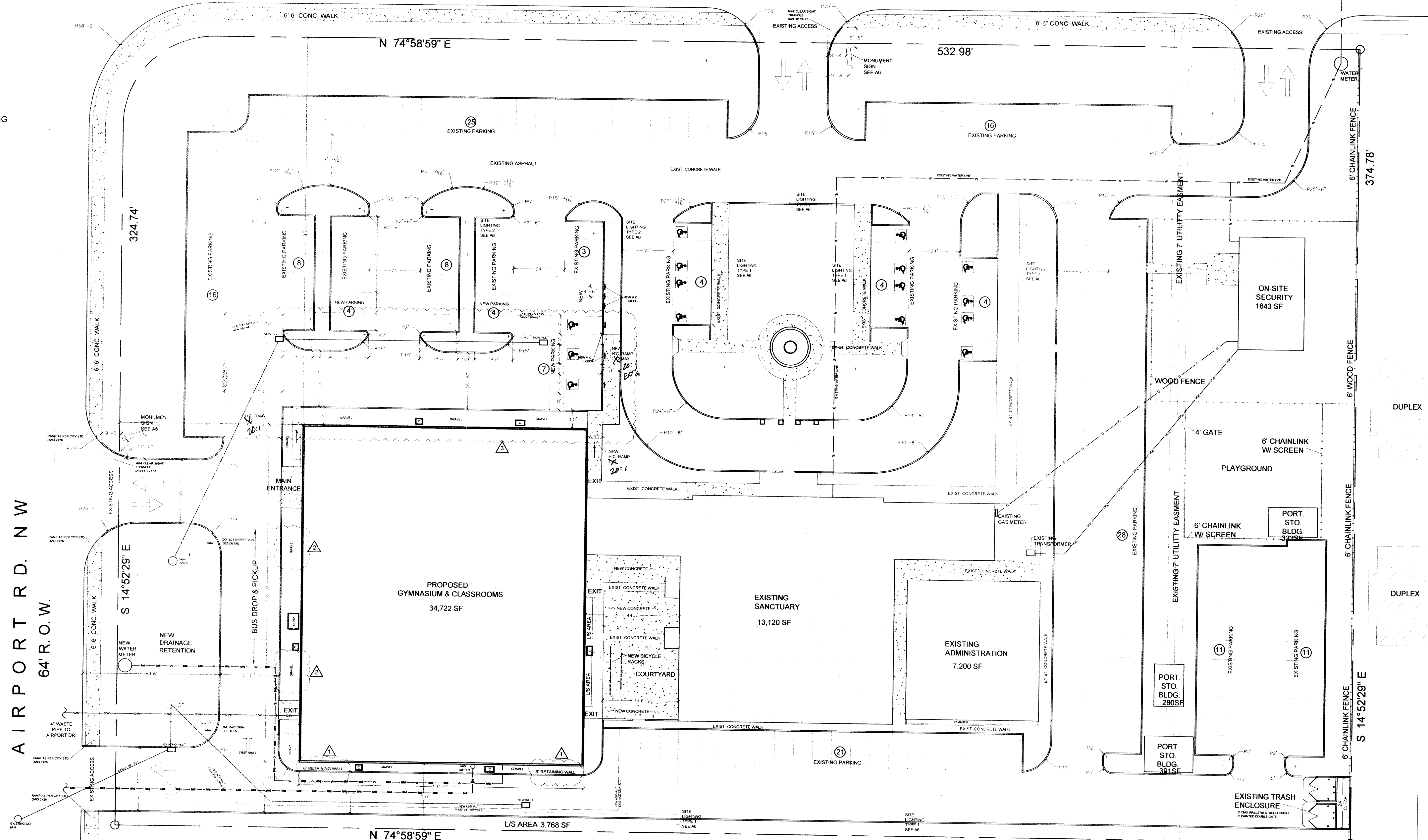
BOLLARD DETAIL
NTS



SIGN DETAILS
SCALE: 1/2" = 1'-0"

LOS VOLCANES RD. NW

64' R.O.W.



VICINITY MAP

1:900

SIGNATURE BLOCK

PROJECT NUMBER:	
APPLICATION NUMBER:	
IS AN INFRASTRUCTURE LIST REQUIRED? YES NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITH PUBLIC RIGHT-OF WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.	
DRB SITE DEVELOPMENT PLAN APPROVAL:	
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
ABCWUA	DATE
PARKS AND RECREATION DEPARTMENT	DATE
CITY ENGINEER	DATE
*ENVIRONMENTAL HEALTH DEPT.. (CONDITIONAL	DATE
SOLID WASTE MANAGEMENT	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE

REVISIONS:

- 8/26/09 ADDITION OF RETAINING WALL ON SOUTH OF BUILDING
- 8/26/09 ADDITION OF GRAVEL IN LIEU OF CONCRETE SIDEWALK
- 8/26/09 RE-CONFIGURE PARKING AREA AS SHOWN

NEW LIFE BAPTIST CHURCH

DATE: 11/29/09



GARLAN BRYAN, ARCHITECT
2403 SAN MATEO BLVD. N.E.
ALBUQUERQUE, NEW MEXICO



Garlan D. Bryan
No. 144
REGISTERED ARCHITECT

RECEIVED
DEC 14 2009

HYDROLOGY
SECTION

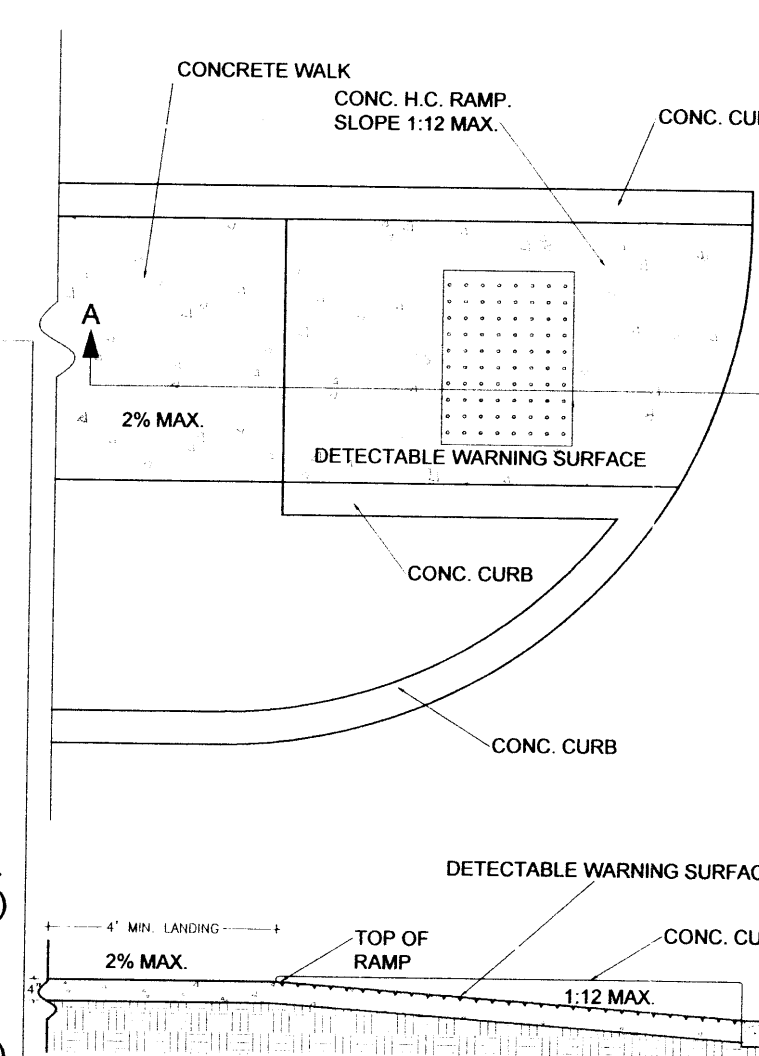
NEW LIFE
BAPTIST CHURCH & ACADEMY

C-1

SITE PLAN

PARKING CALCULATIONS:

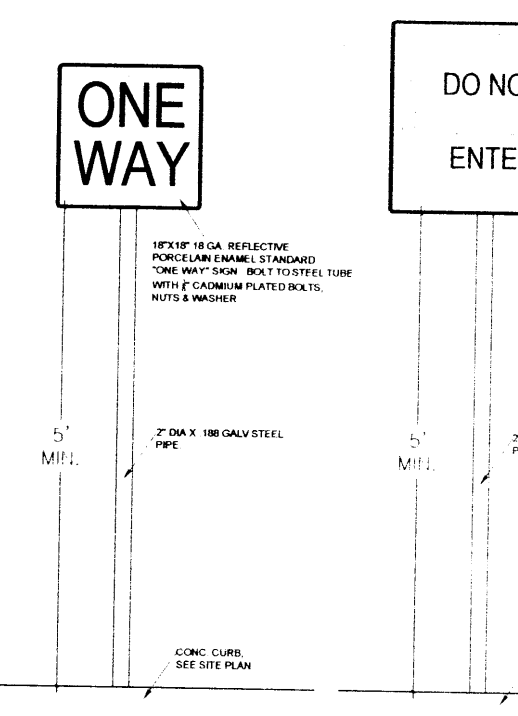
EXISTING SCHOOL: 19 STAFF = 19 SPACES
1 H.S. CLASSROOM = 3 SPACES
EXISTING SANCTUARY: 8,850' OF PEW/30' = 295
295/4 = 74 SPACES
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EXISTING PARKING PROVIDED: 159 SPACES
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- NOTES:
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 - CONSTRUCT PER A.D.A. STANDARDS

H.C. RAMP DETAIL

SCALE: 1/2" = 1'-0"

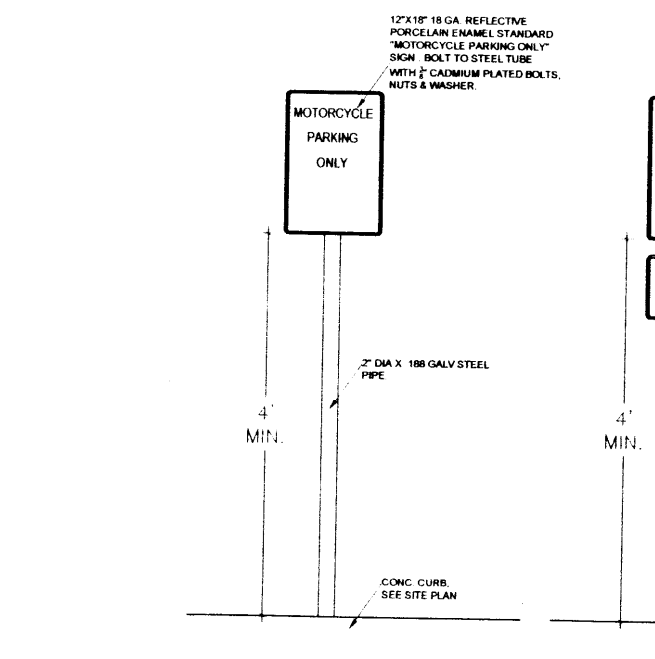


SIGN DETAILS

SCALE: 1/2" = 1'-0"

BIKE RACK

SCALE: 1/2" = 1'-0"

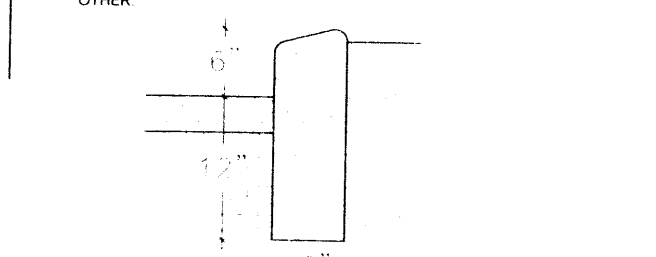


SITE PLAN

SCALE: 1" = 30'

ADMINISTRATIVE AMENDMENTS
File: 0944-10187 Project # 1001426
Parking revisions
APPROVED BY: [Signature] DATE: 09 Dec 09

- CURB GENERAL NOTES:
- ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE
 - PROVIDE CONTRACTION JOINTS 12' MAX. 1" EXP. JOINTS AT CURB RETURNING AND AT MAX. SPACING OF 120' BETWEEN CURBS RETURNING AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOINTS SHALL BE EITHER SAW CUT OR TOOK TO A MINIMUM OF 1" DEEP AT FINISHED FACE
 - ALL EDGES SHALL BE EDGED WITH A 2" RADIUS TOOL
 - 1" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER



CURB DETAIL

SCALE: 1" = 1'-0"

BOLLARD DETAIL

NTS