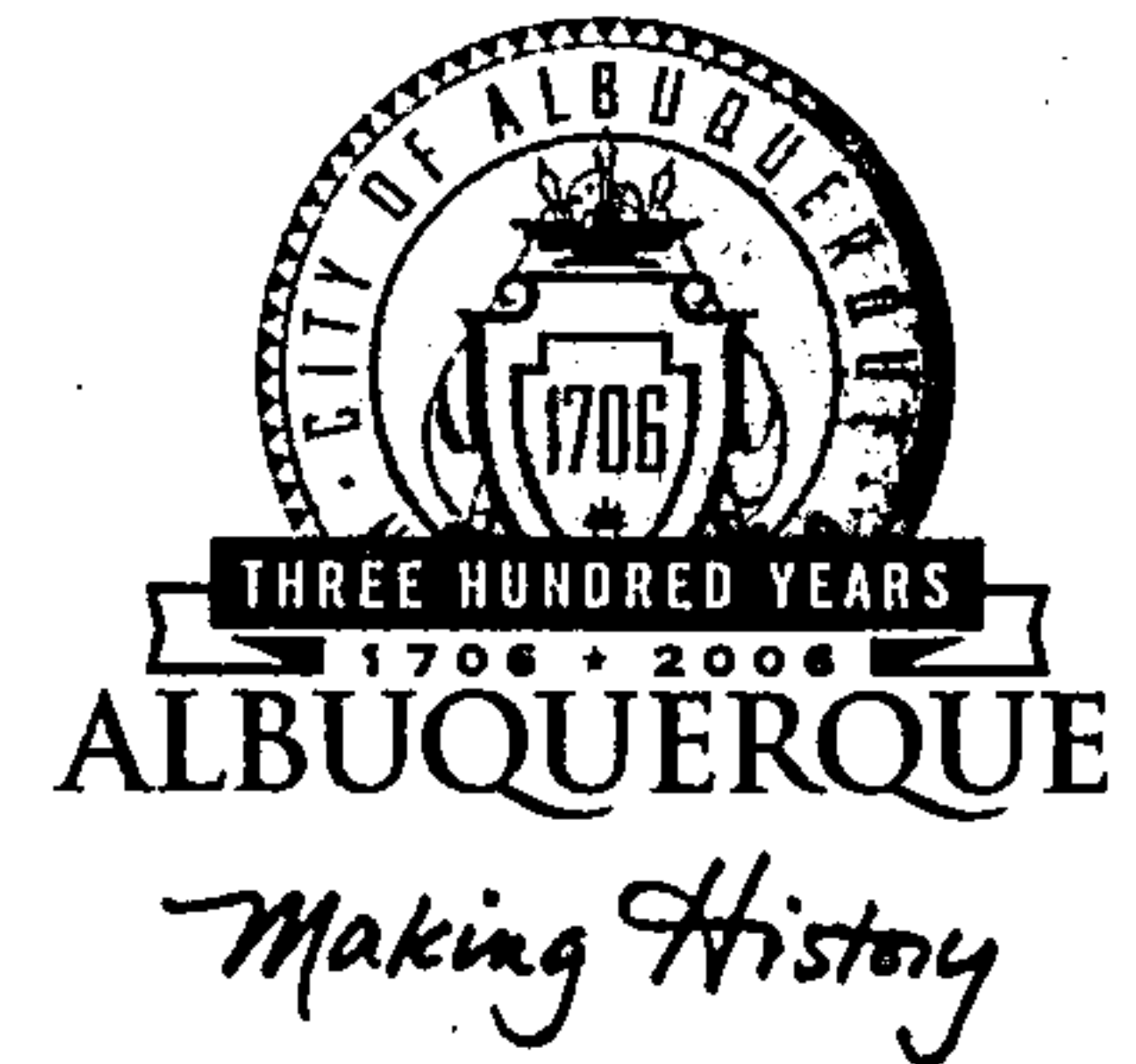


CITY OF ALBUQUERQUE



**Planning Department
Transportation Development Services Section**

August 19, 2005

Shahab Biazar, P.E.
4416 Anaheim Ave NE
Albuquerque, NM 87113

Re: Certification Submittal for Final Building Certificate of Occupancy for
Atrisco Business Park, Big Lots, [J-10 / D32]
465 Coors Blvd NW
Engineer's Stamp Dated 08/17/05

Dear Mr. Biazar:

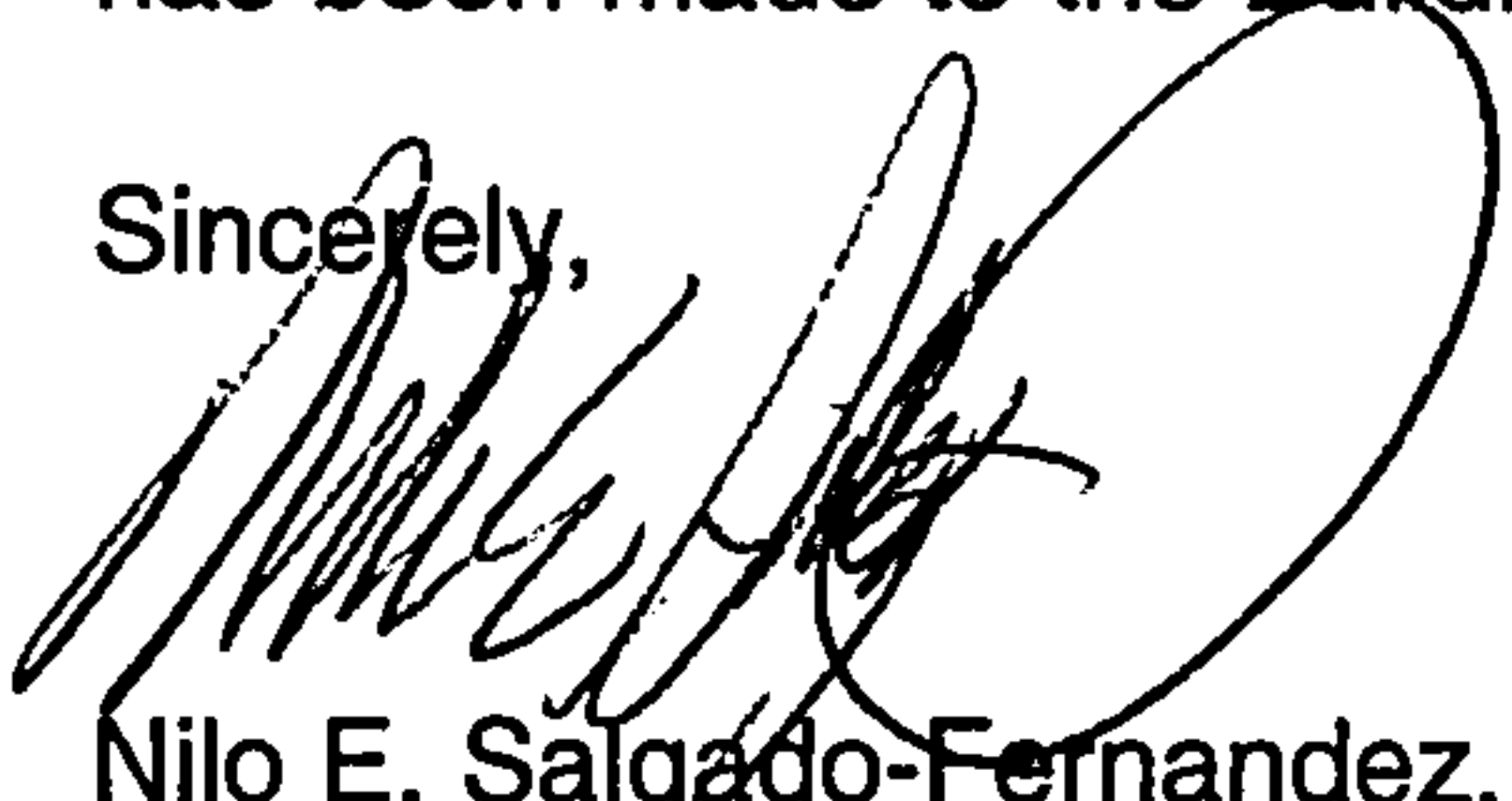
P.O. Box 1293

The TCL / Letter of Certification submitted on August 19, 2005 is sufficient for acceptance by this office for final Certificate of Occupancy (C.O.). Notification has been made to the Building and Safety Section.

Albuquerque

Sincerely,

New Mexico 87103


Nilo E. Salgado-Fernandez, P.E.
Senior Traffic Engineer
Development and Building Services
Planning Department

www.cabq.gov

c: Engineer
Hydrology file
CO Clerk

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3, (Big Lots) ZONE ATLAS/DRG. FILE #: J10 / D32
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3

CITY ADDRESS: 465 COORS BLVD. N.W.

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: 4416 Anaheim Ave., NE
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Blazar
PHONE: (505) 899-5570
ZIP CODE: 87113

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☒ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☒ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ STORM PIPE CONNECTION DETAILS

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

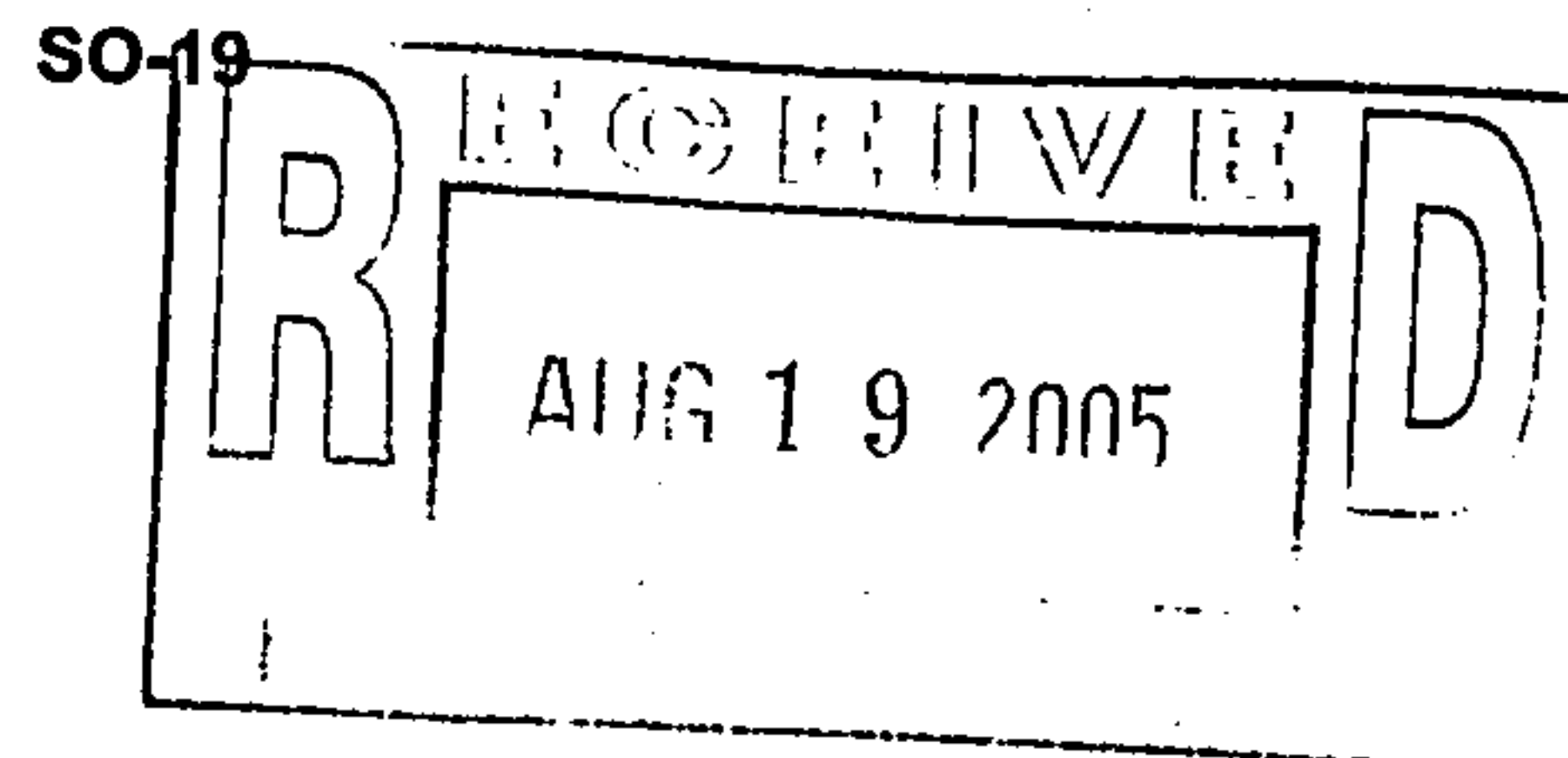
- ☐ YES
☒ NO
☐ COPY PROVIDED

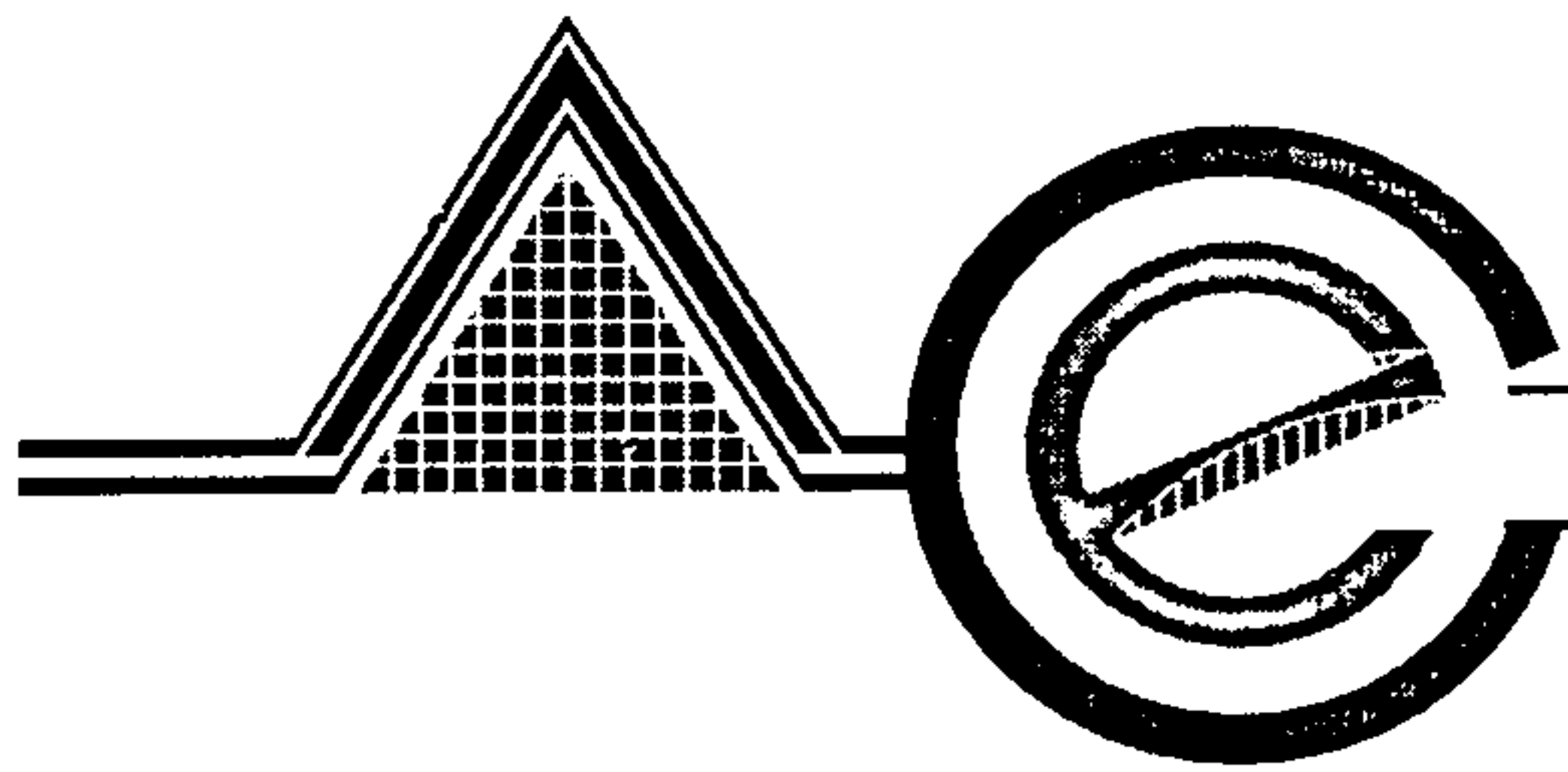
DATE SUBMITTED: 08 / 17 / 2005

BY: Shahab Blazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more





ADVANCED ENGINEERING and CONSULTING, LLC

August 17, 2005

*Consulting
Design
Development
Management
Inspection
Surveying*

Mr. Wilfred Gallegos, P.E.
City of Albuquerque Transportation Department
600 Second Street, NW
Albuquerque, New Mexico 87102

Re: Engineer's Certification for Site Plan (TCL) Tract F-6-A-1, Atrisco Business Park, Big
Lots, 465 Coors, SW, Zone Atlas Page J-10-Z

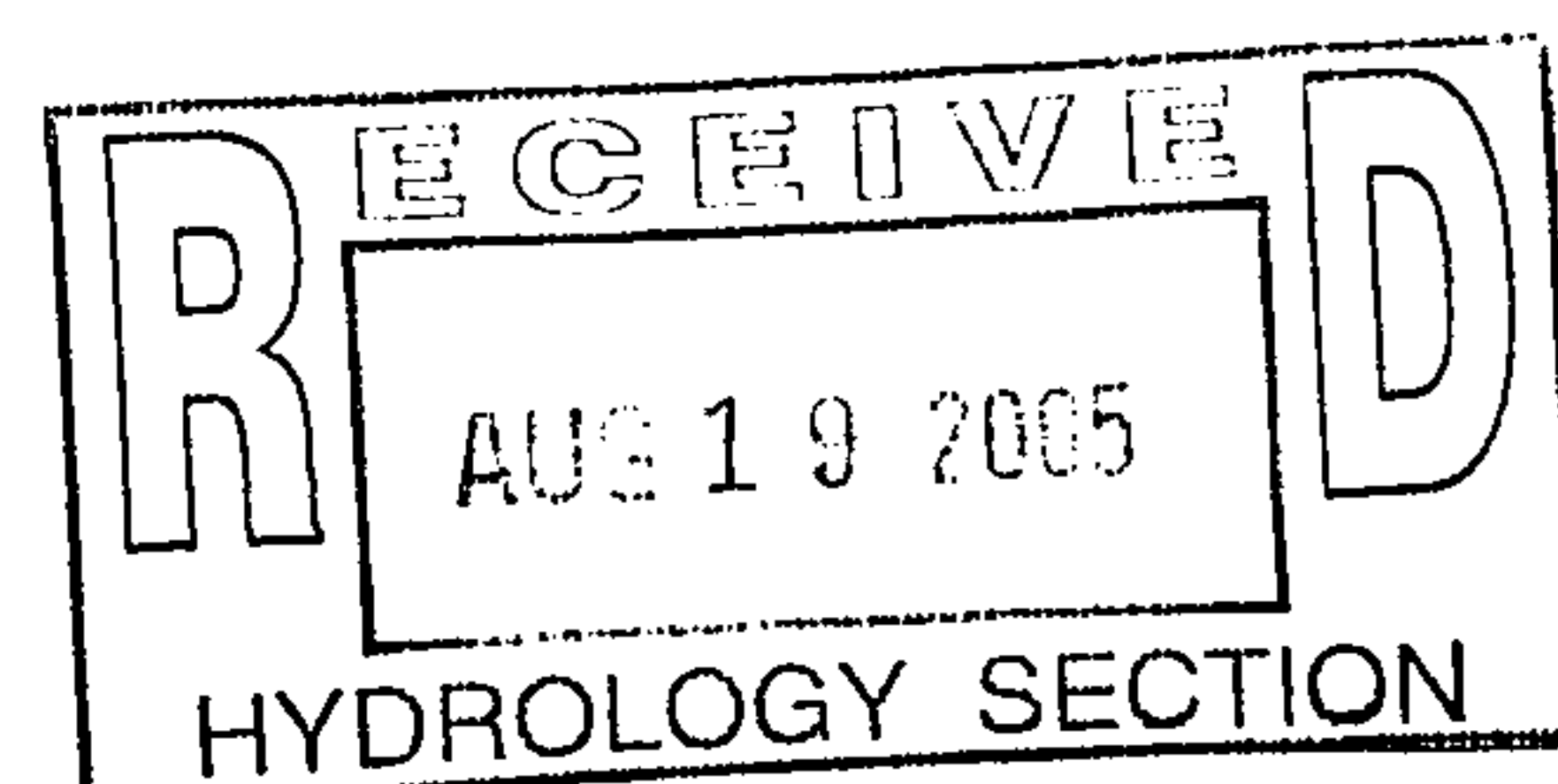
Dear Mr. Gallegos:

Enclosed please find copy of the as-built Site Plan for the above mentioned site. The project was inspected by Advanced Engineering and Consulting, LLC on August 17, 2005. All the parking spaces including the handicap parking and signs are built. All the dimensions and radiuses are built as per plan. I certify that the project was built in substantial compliance with approved site plan dated December 15, 2004.

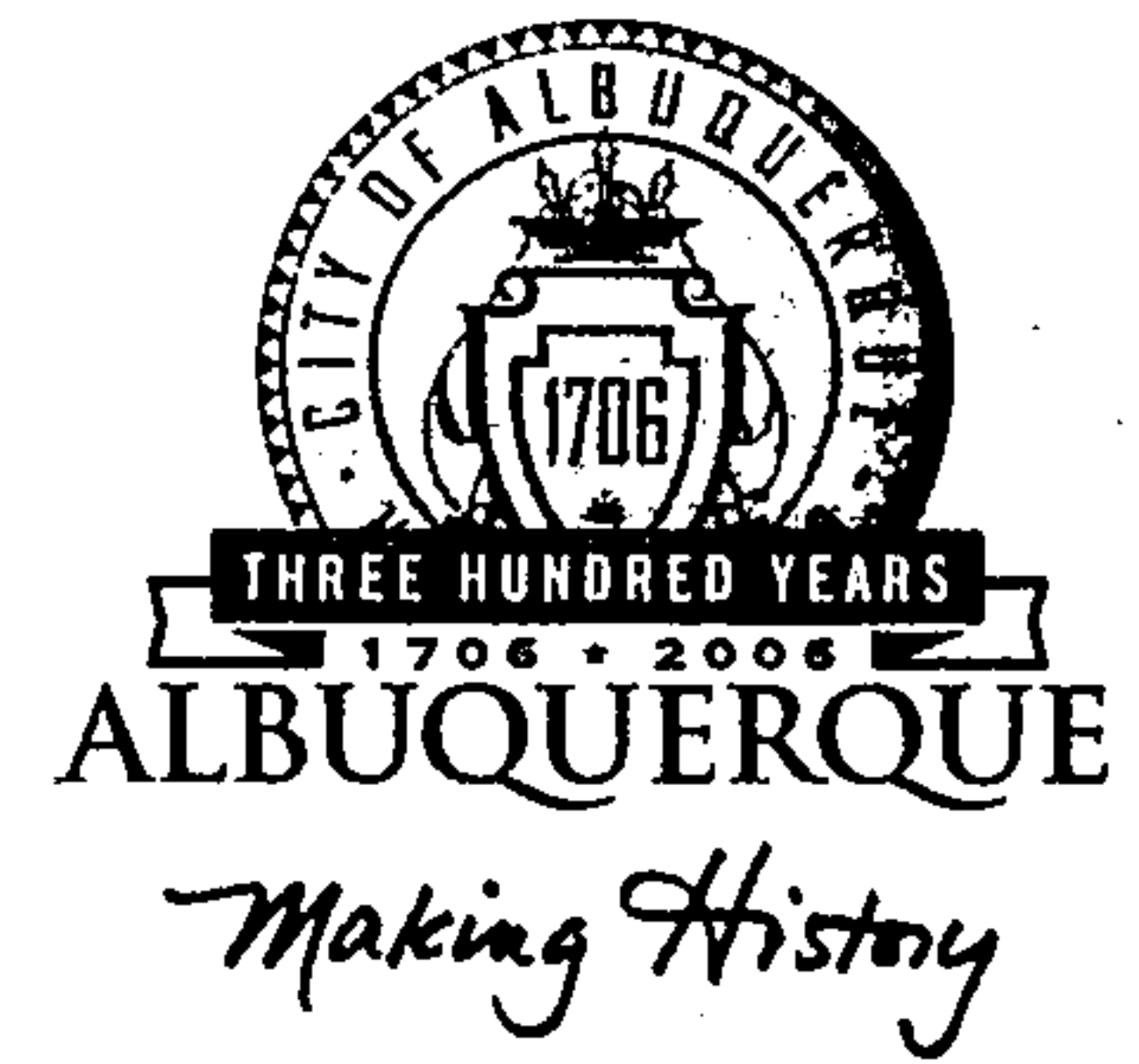
Should you have any questions, please do not hesitate to contact our office.

Sincerely,

Shawn Biazar, Managing Member



CITY OF ALBUQUERQUE



August 19, 2005

Mr. Shahab Biazar, P.E.
**ADVANCED ENGINEERING AND
CONSULTING, LLC**
4416 Anaheim Ave. NE
Albuquerque, NM 871113

Re: ATRISCO BUSINESS PARK, UNIT 3 (BIG LOTS)
465 Coors Blvd. NW
Approval of Temporary Certificate of Occupancy (C.O.)
Engineer's Stamp dated 12/07/2004 (J-10/D32)
Certification dated 08/17/2005

Dear Shahab:

P.O. Box 1293

Based upon the information provided in your submittal received 08/19/2005, the above referenced certification is approved for release of 30-day Temporary Certificate of Occupancy by Hydrology.

Albuquerque

Upon acceptance of the required SO-19, please resubmit an updated Certification for Permanent C.O.

New Mexico 87103

If you have any questions, you can contact me at 924-3982.

www.cabq.gov

Sincerely,

Arlene V. Portillo
Plan Checker, Planning Dept. - Hydrology
Development and Building Services

C: Phyllis Villanueva
File

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3, (Big Lots) ZONE ATLAS/DRG. FILE #: J10 / D32
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3

CITY ADDRESS: 465 COORS BLVD. NW

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC

ADDRESS: 4416 Anaheim Ave., NE

CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar

PHONE: (505) 899-5570

ZIP CODE: 87113

OWNER: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

ARCHITECT: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

SURVEYOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CONTRACTOR: _____

ADDRESS: _____

CITY, STATE: _____

CONTACT: _____

PHONE: _____

ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT

☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL

☐ CONCEPTUAL GRADING & DRAINAGE PLAN

☐ GRADING PLAN

☐ EROSION CONTROL PLAN

☒ ENGINEER'S CERTIFICATION (HYDROLOGY)

☐ CLOMR / LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)

☐ ENGINEER'S CERTIFICATION (TCL)

☒ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)

☐ STORM PIPE CONNECTION DETAILS

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE

☐ PRELIMINARY PLAT APPROVAL

☐ S. DEV. PLAN FOR SUB'D. APPROVAL

☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL

☐ SECTOR PLAN APPROVAL

☐ FINAL PLAT APPROVAL

☐ FOUNDATION PERMIT APPROVAL

☐ BUILDING PERMIT APPROVAL

☒ CERTIFICATE OF OCCUPANCY (PERM.)

☐ CERTIFICATE OF OCCUPANCY (TEMP.)

☐ GRADING PERMIT APPROVAL

☐ PAVING PERMIT APPROVAL

☐ WORK ORDER APPROVAL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES

☒ NO

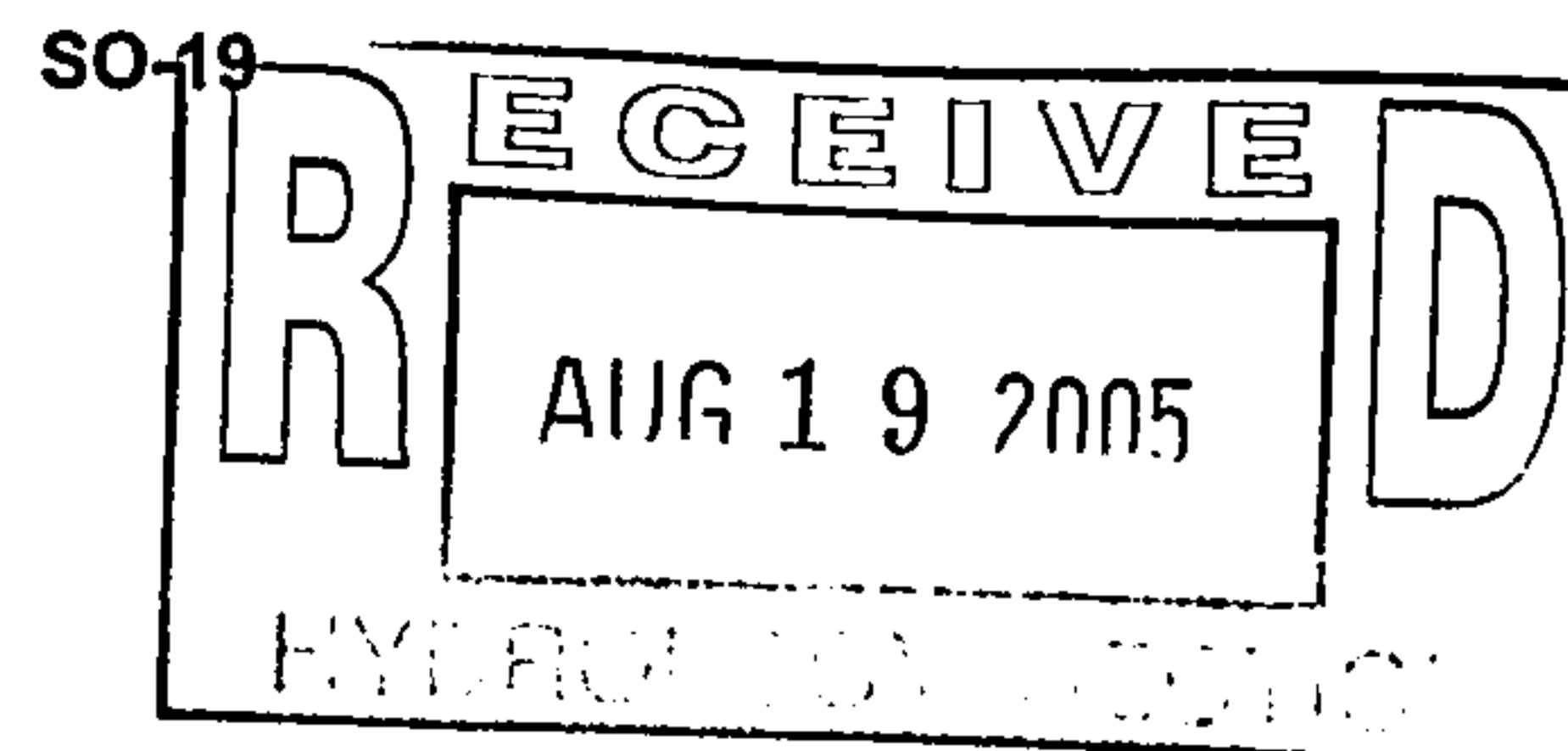
☐ COPY PROVIDED

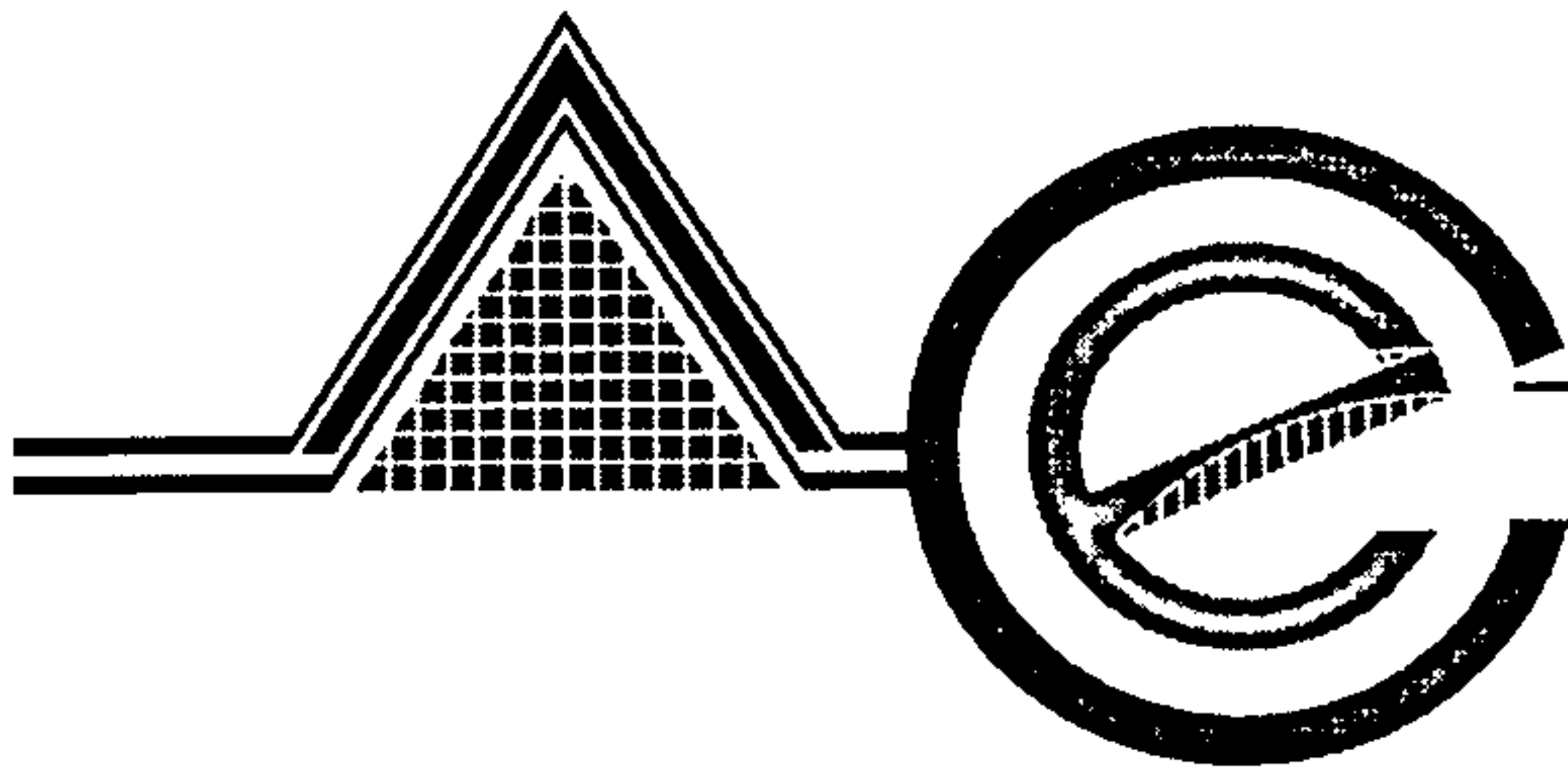
DATE SUBMITTED: 08 / 17 / 2005

BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more





ADVANCED ENGINEERING and CONSULTING, LLC

August 17, 2005

Mr. Brad Bingham, PE
City of Albuquerque Hydrology Dept.
Plaza Del Sol-2nd Floor West
600 2nd Street NW
Albuquerque, NM 87102

*Consulting
Design
Development
Management
Inspection
Surveying*

RE: Engineer's Certification for (Hydrology), J10/D23, Tract F-6-A-1, Atrisco Business Park,
Big Lots, 465 Coors, SW, Zone Atlas Page J-10-Z

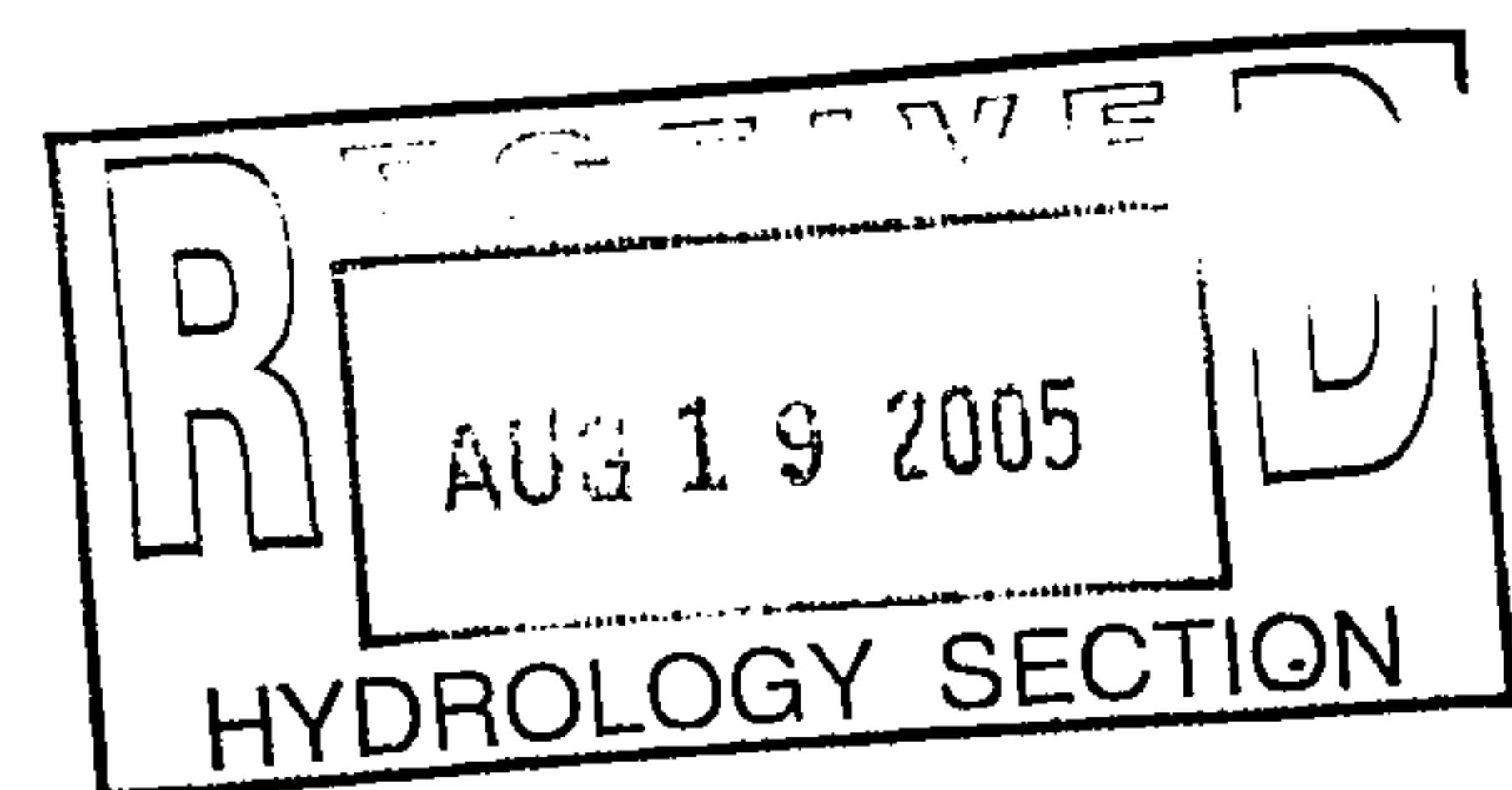
Dear Mr. Bingham:

Enclosed please find one copy of the as-built Grading Plan for the above mentioned site. The grades are built according to the approved grading & drainage plan with engineering stamp date of 12-07, 2004. We are requesting a Final Grading Certification for Certificate of Occupancy.

Should you have any questions, please do not hesitate to contact our office.

Sincerely,

Shawn Biazar, Managing Member



CITY OF ALBUQUERQUE

PERMIT FOR EXCAVATION, CONSTRUCTION AND BARRICADING

| | | | | |
|---|--|-----------------------------------|------------|----|
| CONTRACTOR LICENSE ADDRESS | T.L.C. COMPANY, INC. GF09 511 COMANCHE RD. NE ALBUQUERQUE, NM 87107 761-9696 | PERMIT NUMBER | 2096004 | |
| S I T E | 465 COORS BD NW | PROJECT NUMBER | | |
| PERMIT AND DETOUR PLAN COMMENTS | | PERMIT ISSUE DATE | 06/14/2005 | |
| | | BARRICADED BY | CON | |
| SO19 LETTER ON FILE, 6/14/05, J10-D32 TRACT F-5-A-1, ATRISCO BUSINESS PARK, UNIT 3, 465 & 475 COORS BLVD NW, GRADE NG & DRAINAGE PLAN, ENGINEER STMP 6/9 | | BLUE STAKE | | |
| | | PAVING BY | | |
| | | EXCAVATION 443008-5810000 | 42.00 | EX |
| | | SIDEWALK 443012-5810000 | 0.00 | SW |
| | | DRIVEPAD 443011-5810000 | 0.00 | DP |
| | | CURB/GUTTER 443010-5810000 | 0.00 | CG |
| | | BARRICADING 443009-5810000 | 25.00 | BR |
| | | RESTORATION 443017-5810000 | 0.00 | RS |
| | | TOTAL FEE | 67.00 | |

| START DATE | COMPLETION DATE | PERMIT EXPIRES | INSURANCE EXPIRES | BOND EXPIRES | ZONE ATLAS |
|------------|-----------------|----------------|-------------------|--------------|------------|
| 06/14/2005 | 06/24/2005 | 06/24/2005 | 07/01/2005 | 12/31/2005 | |

APPLICANT

ISSUED BY

VOID UNTIL VALIDATED BY CITY TREASURER

RECEIPT# 00044951-00044951

PERMITH 2096004

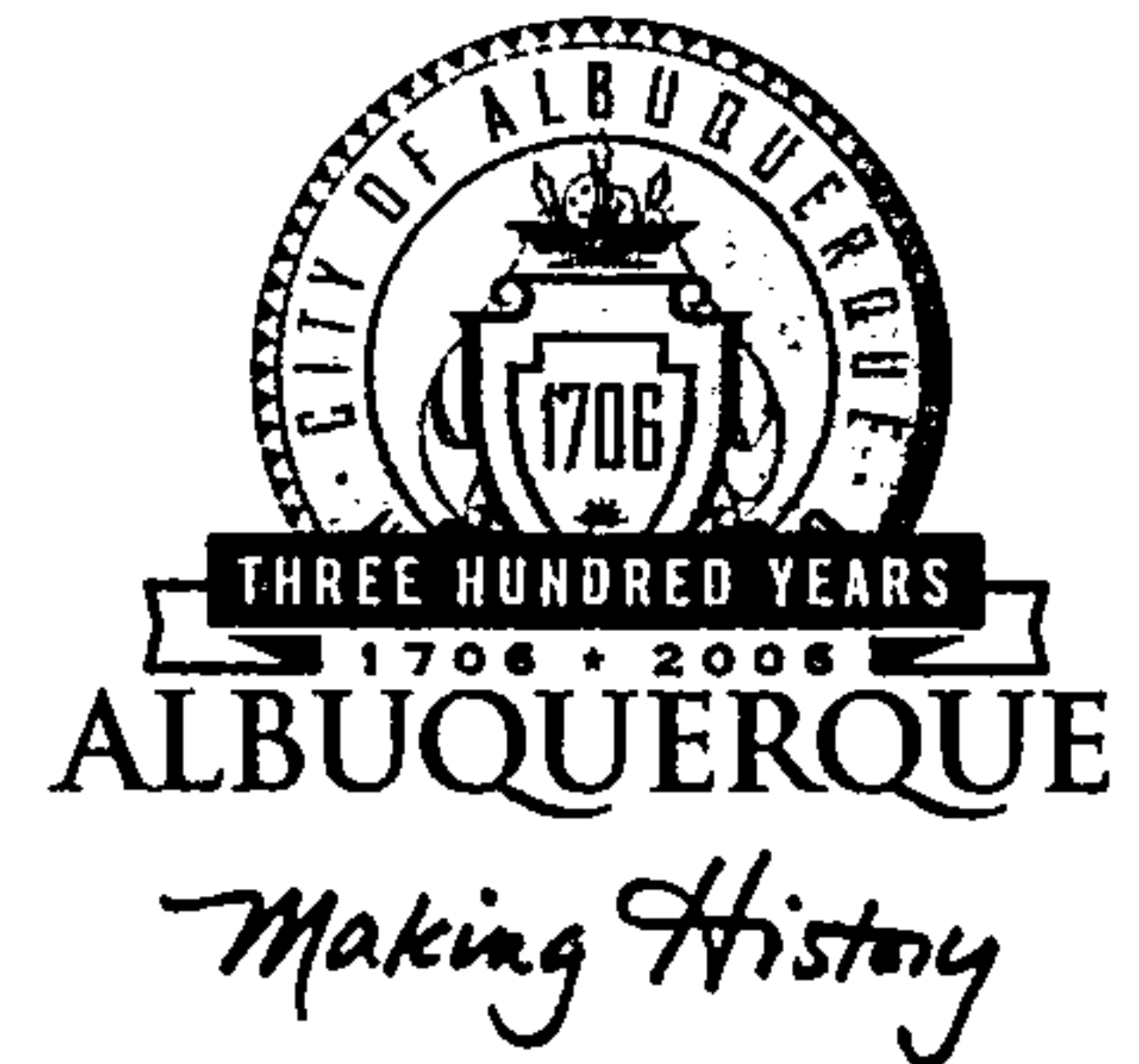
Trans Amt \$1,343.00

Excavation

PERMITTEE AGREES TO ASSUME ALL LIABILITY, INCLUDING INDEMNIFYING, DEFENDING AND HOLDING THE CITY HARMLESS FOR ALL DAMAGES OR INJURY TO PERSONS OR PROPERTY RESULTING FROM PERMITTEE'S EXCAVATION AND/OR BARRICADE WORK. THIS PERMIT IS GRANTED IN CONSIDERATION OF PERMITTEE'S ASSUMING SAID LIABILITY AND IS APPROVED FOR THE WORK DESCRIBED ABOVE. IN ACCORDANCE WITH SECTION 6-5-2-1 ET SEQ. R.O. (1994), PERMITTEE AGREES TO COMPLY WITH ALL APPLICABLE CITY RULES, REGULATIONS AND ORDINANCES. AND WHEN EXCAVATING, TO PATCH OR PLATE PRIOR TO OPENING TO TRAFFIC IN ACCORDANCE WITH APPLICABLE RULES, REGULATIONS AND ORDINANCES. PLEASE CALL 924-3400 FOR ADDITIONAL INFORMATION.

CAUTION: PROTECT UNDERGROUND UTILITIES CALL 260-1990, 48 HOURS IN ADVANCE FOR LINE STAKING

CITY OF ALBUQUERQUE



June 14, 2005

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Ave. NE
Albuquerque, NM 87113

**Re: Tract F-6-A-1, Atrisco Business Park, Unit 3, 465 & 475 Coors Blvd.
Grading & Drainage Plan - Engineer's Stamp dated 6-9-05 (J10-D32)**

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 6-9-05, the above referenced plan is approved for SO19 Permit.

If you have any questions, you can contact me at 924-3990.

P.O. Box 1293

Albuquerque

New Mexico 87103

Sincerely,

Phillip J. Lovato, E.I., C.F.M.
Engineering Associate, Hydrology,
Development and Building Services,
Planning Department

www.cabq.gov

Cc: Liz Sanchez, Excavation & Barricading
Matt Cline, Storm Drain Maintenance
file

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3 ZONE ATLAS/DRG. FILE #: J10 / D32
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3
CITY ADDRESS: 465 & 475 COORS BLVD.

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: 4416 Anaheim Ave., NE
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Blazar
PHONE: (505) 899-6570
ZIP CODE: 87113

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☐ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☒ STORM PIPE CONNECTION DETAILS

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☐ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☐ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☒ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED

DATE SUBMITTED: 06 / 08 / 2005 BY: Shahab Blazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

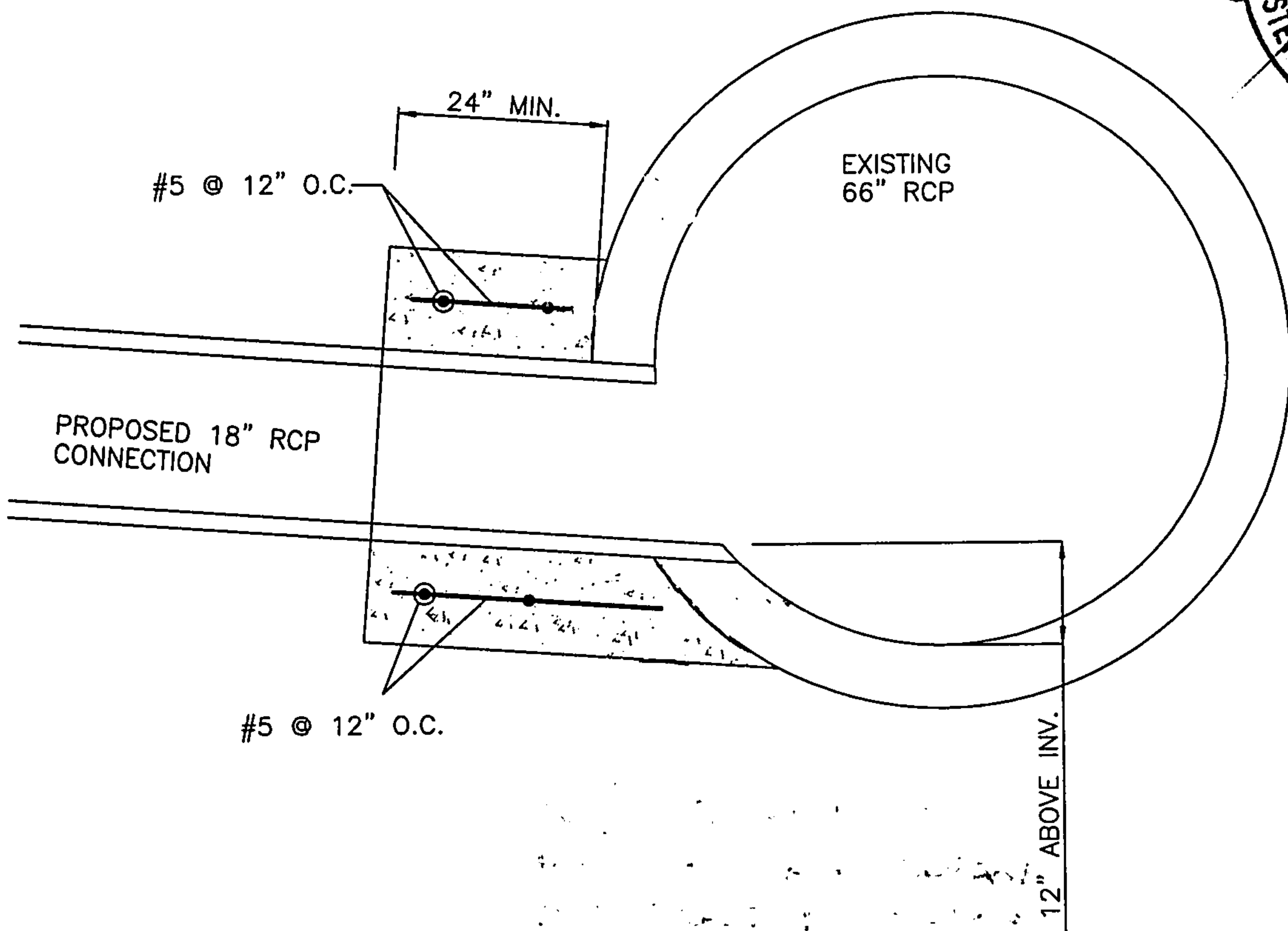
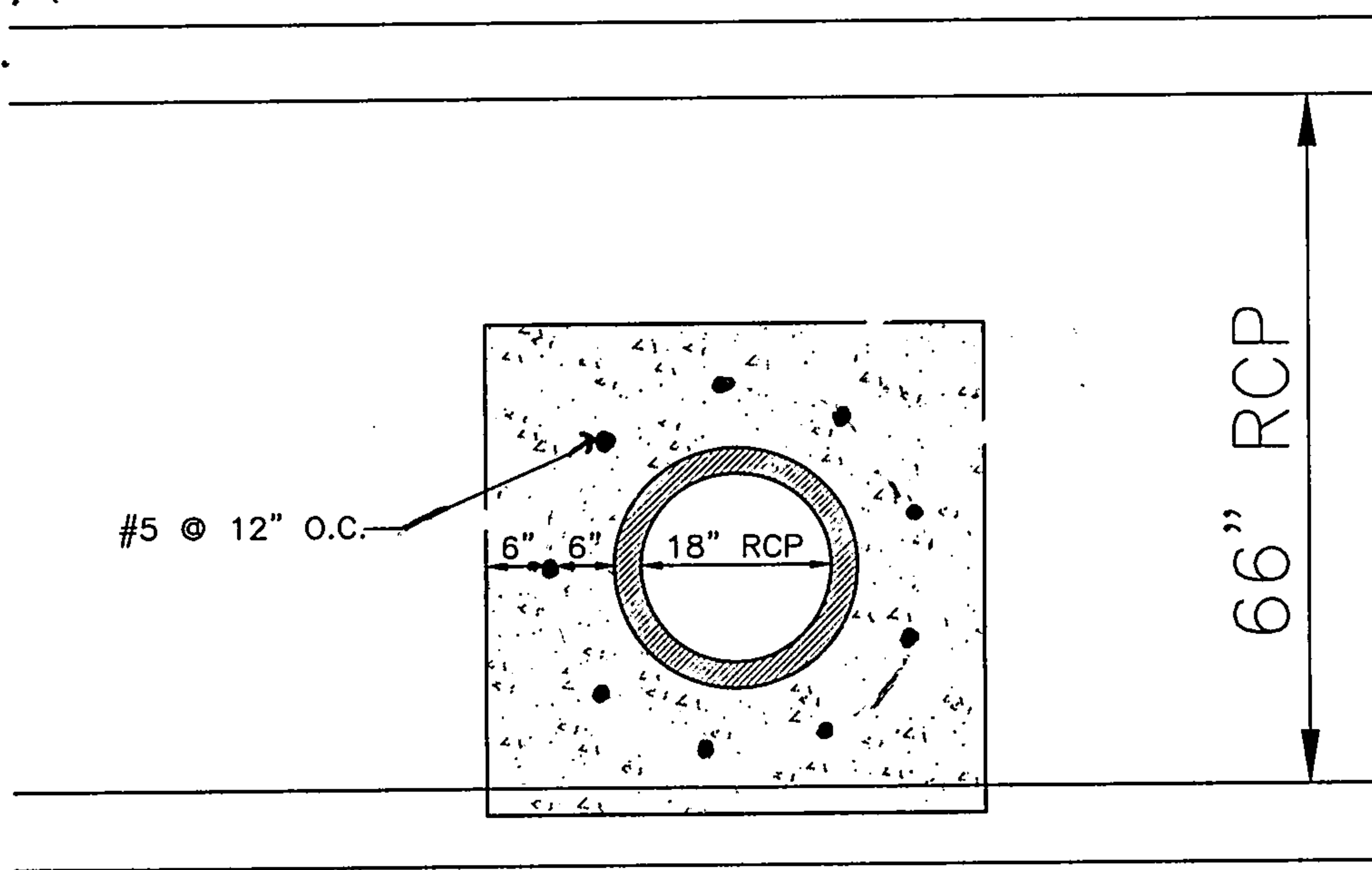
Rec'd
6-13-05



This plan view illustrates the sanitary sewerage system layout. Key features include:

- Pipes:** A main 60" RCP pipe runs vertically through the center, and an 18" SD pipe runs horizontally at the bottom.
- Inlets and Manholes:** Two DBL-D SD Inlet-Grates are shown with their respective elevations (e.g., IN=94.80, OUT=94.80).
- Elevations:** Numerous spot elevations and invert elevations are provided throughout the system.
- Other Features:** The plan includes an external fence, gravel/pumice area, match grades, and existing manholes and power poles.

Rec'd
6-13-05

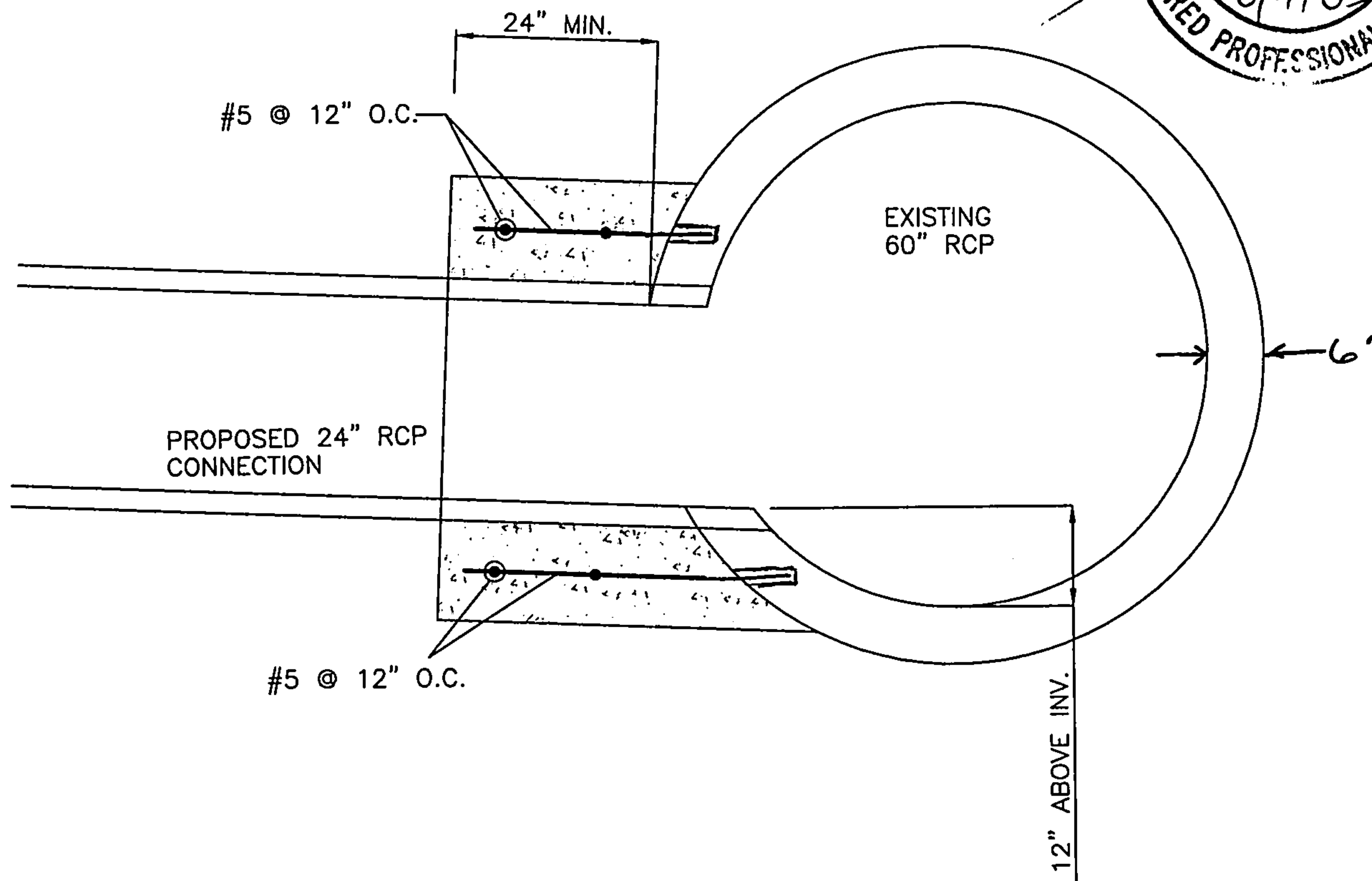
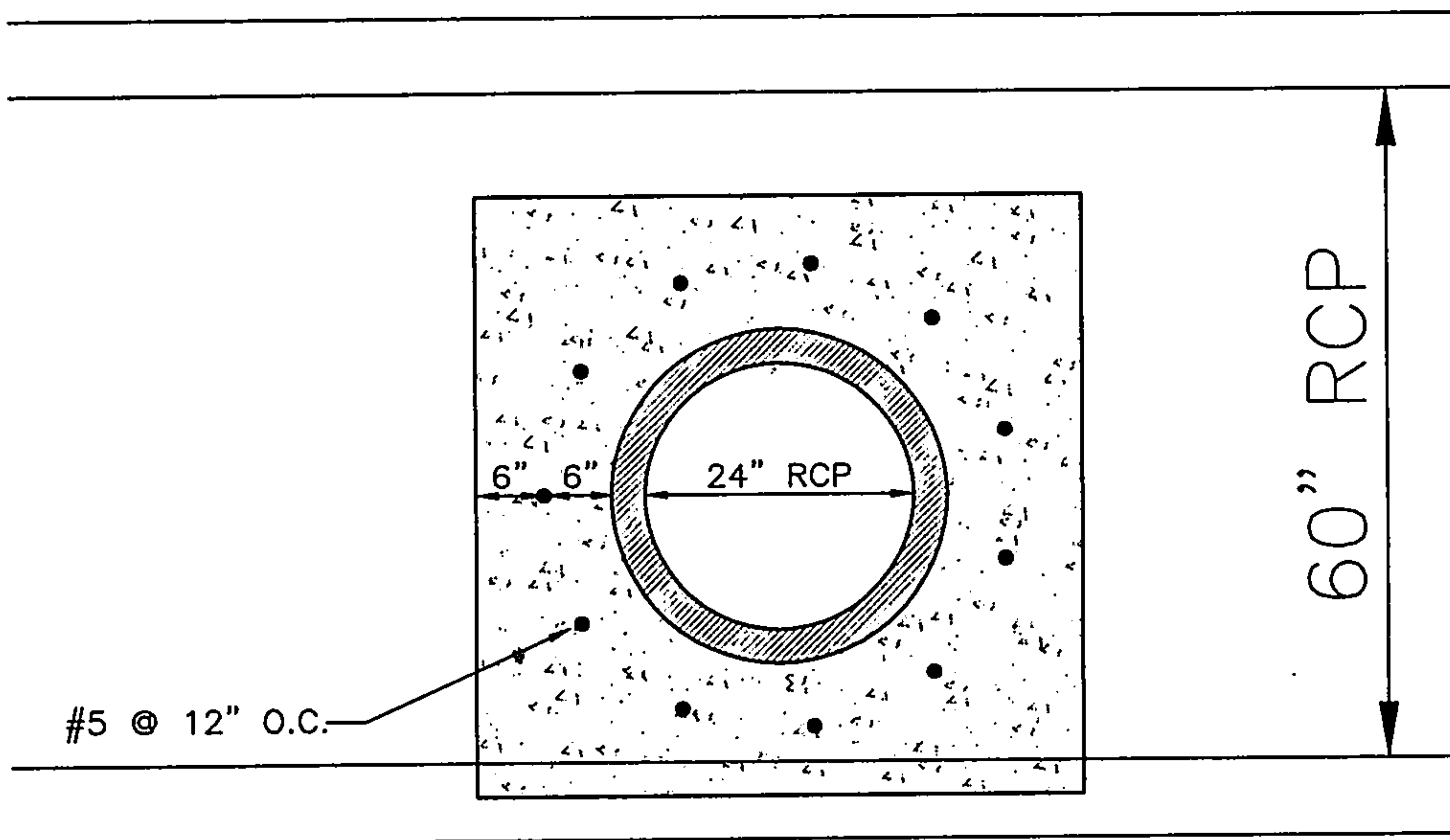


DETAIL CONNECTION "A"

NTS

Rec'd
6-13-05

SHEET 2 OF 3



DETAIL CONNECTION "B"

NTS

Rec'd
6-13-05

SHEET 3 OF 3

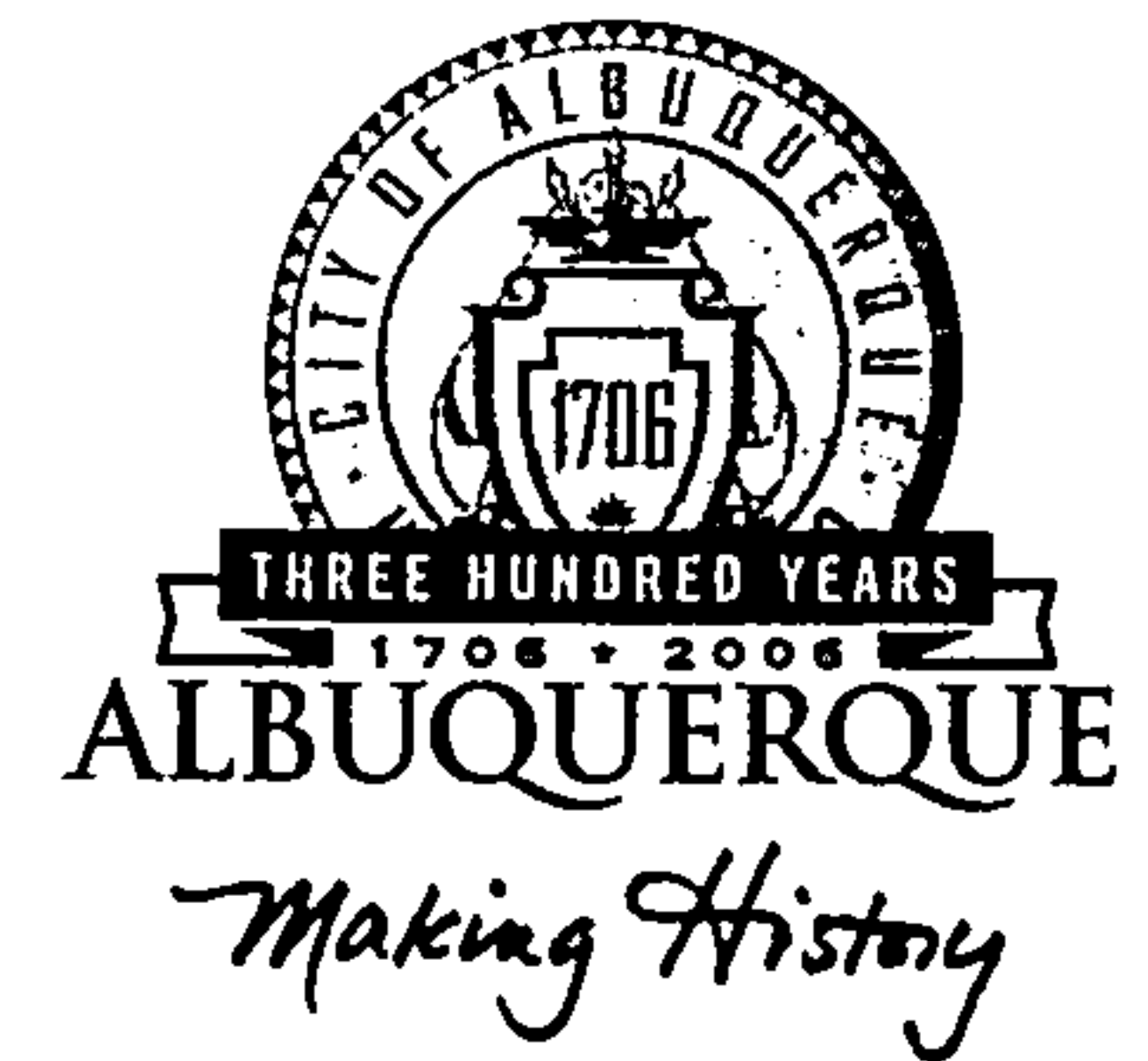


ADVANCED
ENGINEERING
and CONSULTING, LLC

FACSIMILE TRANSMITTAL

| | | |
|---------|----------------|----------------------|
| To: | Brad Bingham | FAX: (505) 924-3864 |
| From: | Shahab Biazar | TOTAL PAGE(S): (2) |
| Subject | Drainage Sheet | JN: J10/D32 |
| Date: | 6-10-05 | City Project # |

CITY OF ALBUQUERQUE



June 7, 2005

Shahab Biazar, P.E.
Advanced Engineering & Consulting, LLC
4416 Anaheim Ave. NE
Albuquerque, NM 87113

**Re: Tract F-6-A-1, Atrisco Business Park, Unit 3 – Grading & Drainage Plan
Engineer's Stamp dated 5-3-05 (J10-D32)**

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 5-16-05, the above referenced plan cannot be approved for SO19 Permit until the following comments are addressed:

P.O. Box 1293

- Show detail for connection to existing storm drain on plan.
- Provide addresses for both sites connecting to existing storm drain.

Albuquerque

If you have any questions, you can contact me at 924-3986.

New Mexico 87103

Sincerely,

Bradley L. Bingham, P.E.
Principal Engineer, Planning Dept.
Development and Building Services

www.cabq.gov

Cc: file

DRAINAGE INFORMATION SHEET
(REV. 1/28/2003rd)

J-10/D32

PROJECT TITLE: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3 ZONE ATLAS/DRG. FILE #: J10 / D32
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3
CITY ADDRESS: _____

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: 4416 Anaheim Ave., NE
CITY, STATE: Albuquerque, New Mexico

CONTACT: Shahab Biazar
PHONE: (505) 899-5570
ZIP CODE: 87113

OWNER: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____

CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

_____ DRAINAGE REPORT
_____ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
_____ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
_____ EROSION CONTROL PLAN
_____ ENGINEER'S CERTIFICATION (HYDROLOGY)
_____ CLOMR / LOMR
_____ ☒ TRAFFIC CIRCULATION LAYOUT (TCL)
_____ ENGINEER'S CERTIFICATION (TCL)
_____ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
_____ OTHER

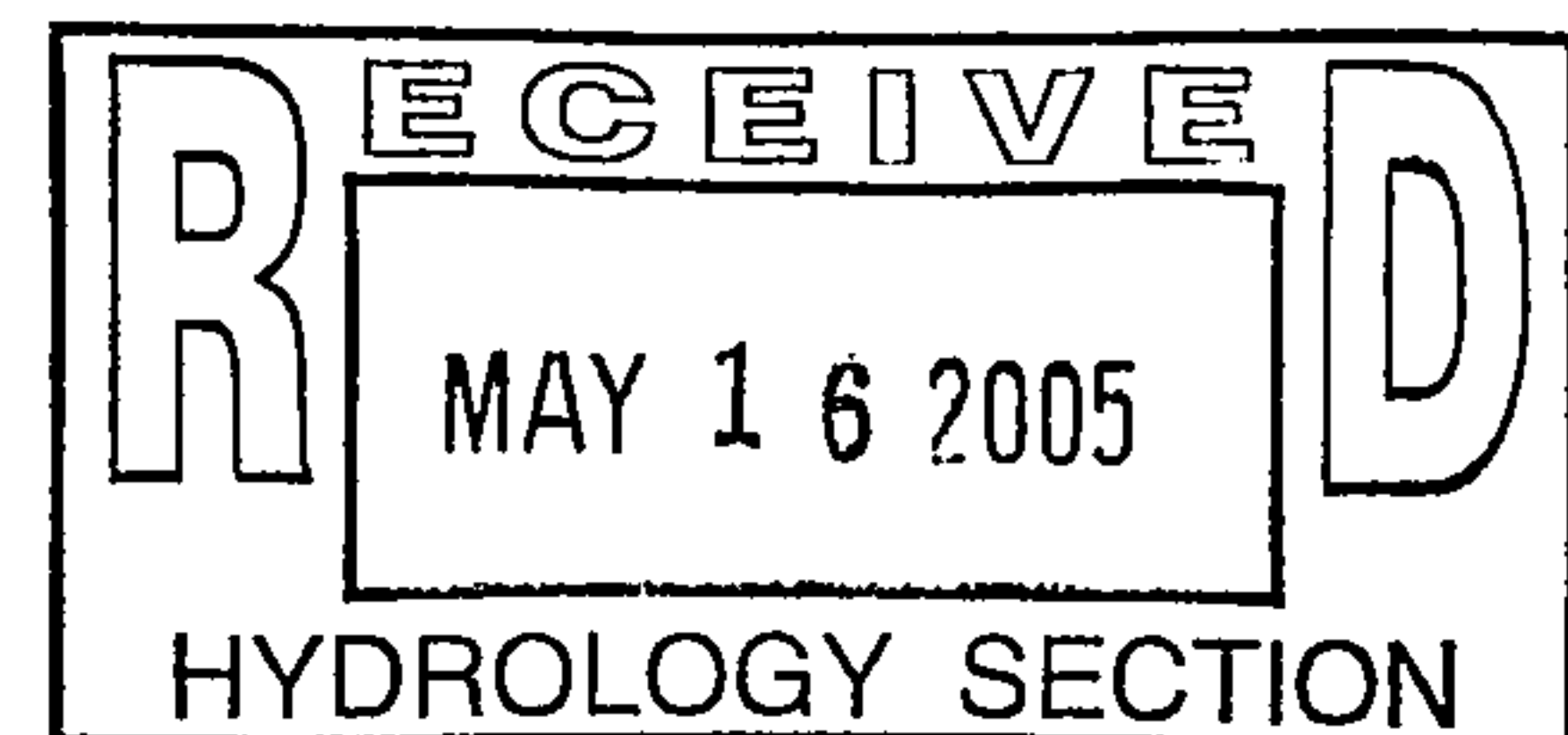
CHECK TYPE OF APPROVAL SOUGHT:

_____ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
_____ S. DEV. PLAN FOR SUB'D. APPROVAL
_____ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
_____ SECTOR PLAN APPROVAL
_____ FINAL PLAT APPROVAL
_____ FOUNDATION PERMIT APPROVAL
_____ BUILDING PERMIT APPROVAL
_____ CERTIFICATE OF OCCUPANCY (PERM.)
_____ CERTIFICATE OF OCCUPANCY (TEMP.)
_____ GRADING PERMIT APPROVAL
_____ PAVING PERMIT APPROVAL
_____ WORK ORDER APPROVAL
☒ SO-19

WAS A PRE-DESIGN CONFERENCE ATTENDED:

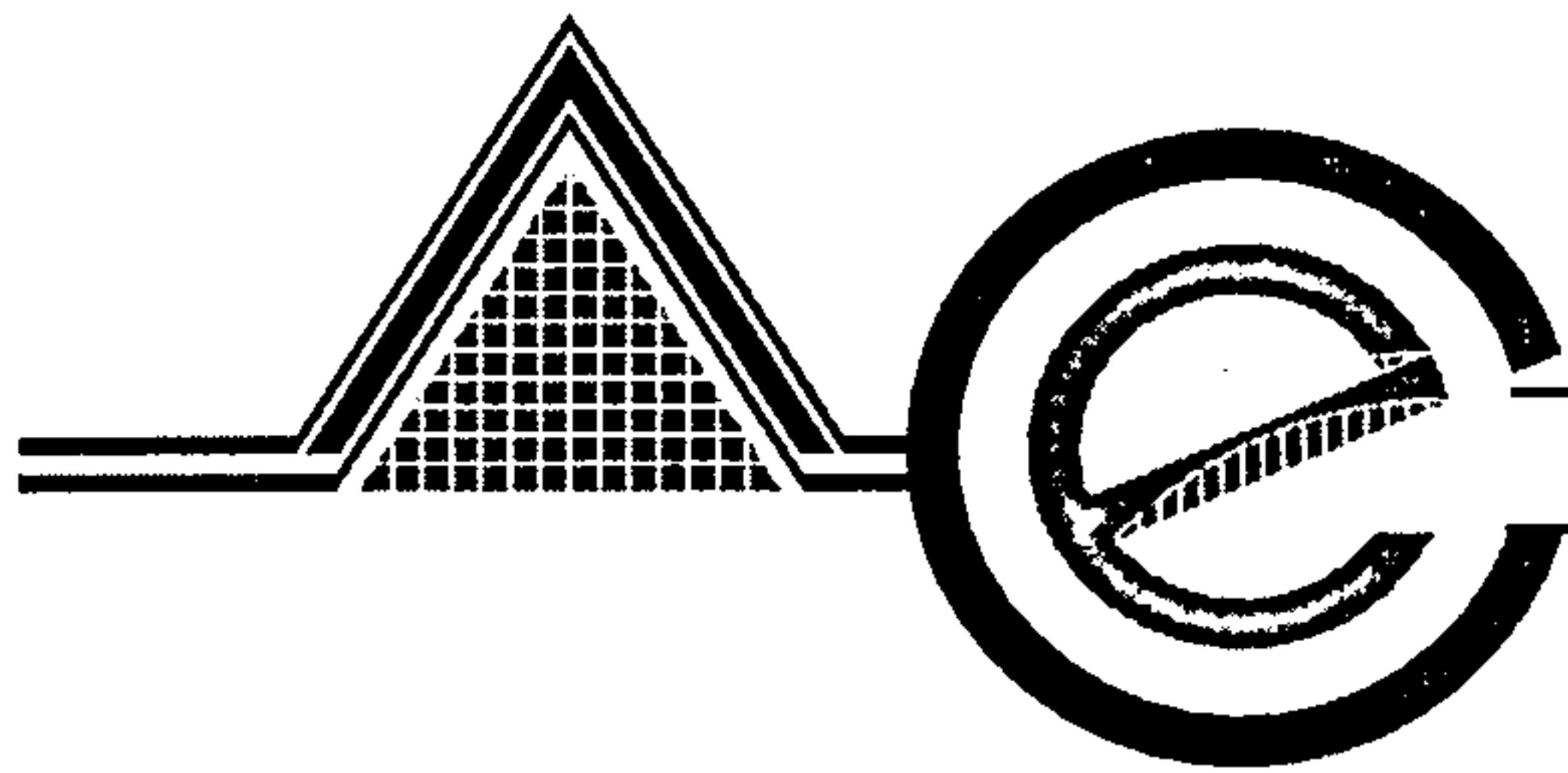
_____ YES
☒ NO
_____ COPY PROVIDED

DATE SUBMITTED: 05 / 16 / 2005 BY: Shahab Biazar, P.E.



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

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3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more.



ADVANCED ENGINEERING and CONSULTING, LLC

*Consulting
Design
Development
Management
Inspection
Surveying*

May 16, 2005

Mr. Bradley L. Bingham, P.E.
Principal Engineer, Planning Dept.
Development and Building Services
600 Second Street NW
Albuquerque, New Mexico 87102

RE: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3 (J10 / D32)

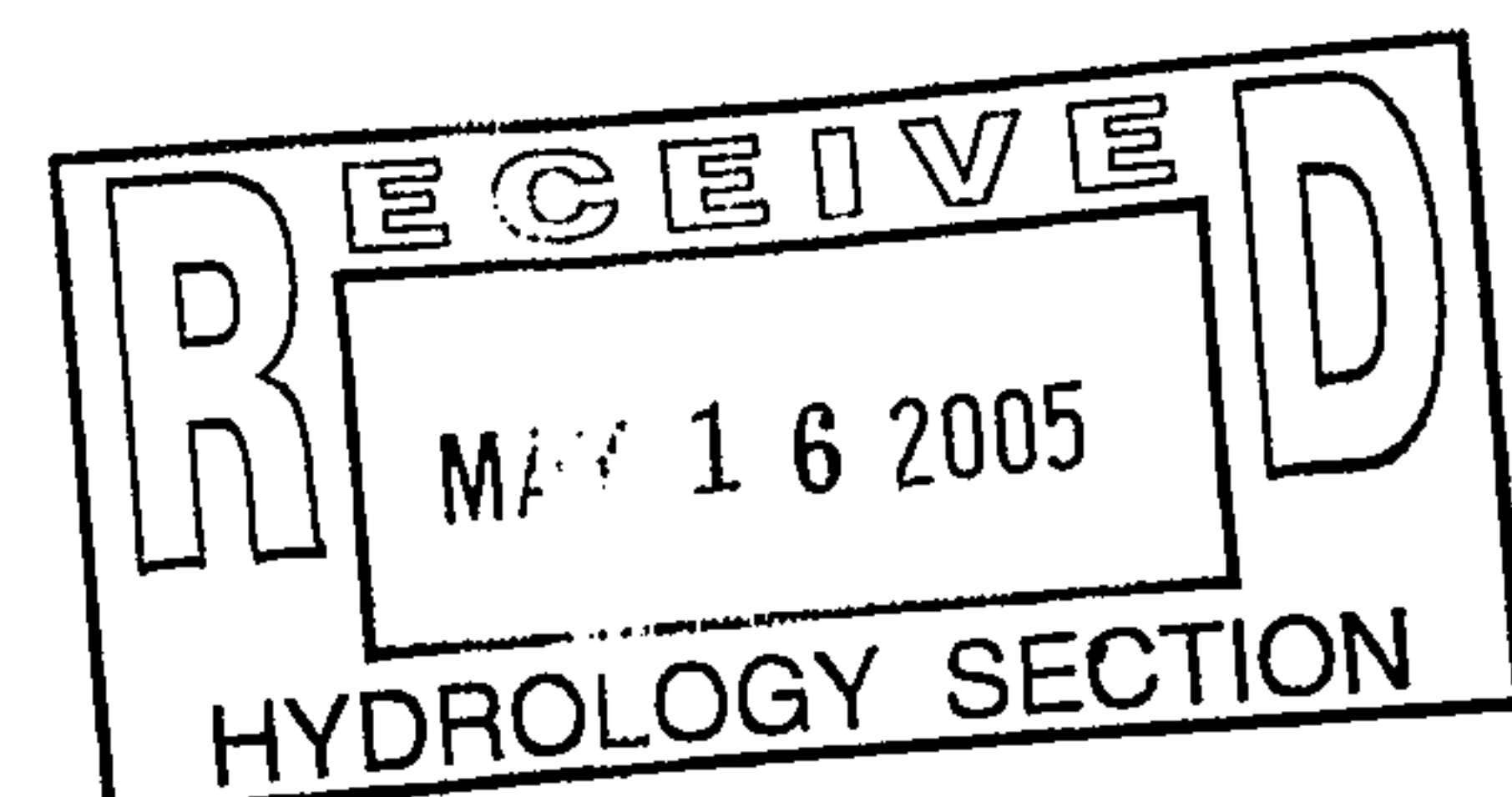
Dear Mr. Bingham:

This submittal is to obtain SO-19 approval for the above mentioned project along with the project located to the north. We are requesting SO-19 approval in order to tie to the exiting storm sewer system recently built by the City of Albuquerque. As per our conversation I have included both storm sewer connections for this project and for the one to the north under one drainage submittal.

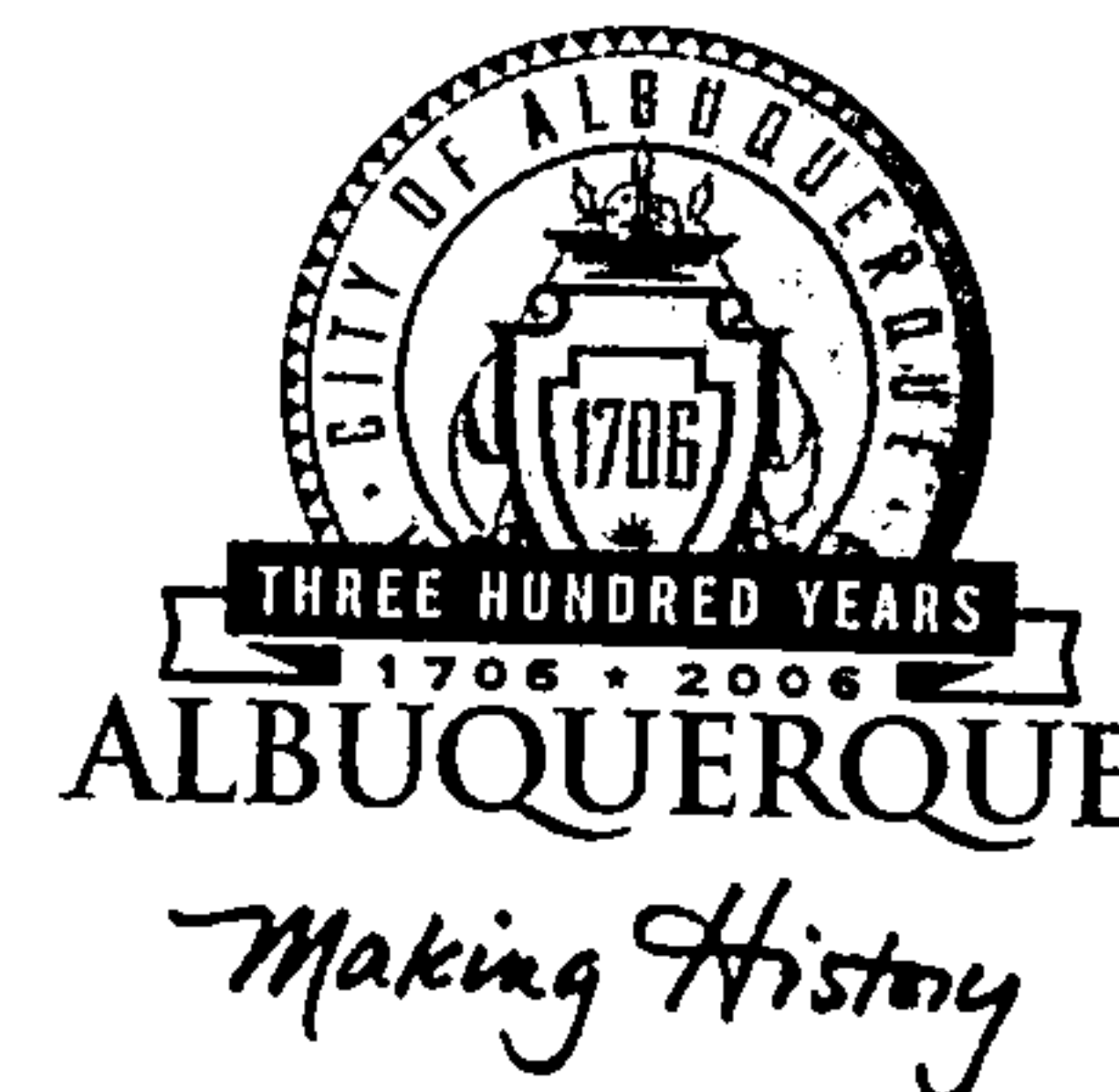
Please contact me if there are any questions or concerns regarding this submittal.

Sincerely yours,

Shahab Biazar, P.E.



CITY OF ALBUQUERQUE



February 17, 2005

Shahab Biazar PE
Advanced Engineering and Consulting
4416 Anaheim Ave. NE
Albuquerque, NM 87113

**Re: Tract F-6-A-1, Atrisco Business Park Drainage Report
Engineer's Stamp dated 12-7-04 (J10/D32)**

Dear Mr. Biazar,

Based upon the information provided in your submittal dated 12-7-04, the above referenced report is approved for Site Development Plan for Building Permit action by the DRB. It is also approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

This project requires a National Pollutant Discharge Elimination System (NPDES) permit. Refer to the attachment that is provided with this letter for details. If you have any questions please feel free to call the Municipal Development Department, Hydrology section at 768-3654 (Charles Caruso).

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Principal Engineer, Planning Dept.
Development and Building Services

C: Chuck Caruso, DMD
file

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

DRAINAGE INFORMATION SHEET

(REV. 1/28/2003rd)

PROJECT TITLE: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3 ZONE ATLAS/DRG. FILE #: J10/D32
DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3
CITY ADDRESS: _____

ENGINEERING FIRM: Advanced Engineering and Consulting, LLC
ADDRESS: 4416 Anaheim Ave., NE
CITY, STATE: Albuquerque, New Mexico
CONTACT: Shahab Biazar
PHONE: (505) 899-5570
ZIP CODE: 87113

OWNER: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

ARCHITECT: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

SURVEYOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CONTRACTOR: _____
ADDRESS: _____
CITY, STATE: _____
CONTACT: _____
PHONE: _____
ZIP CODE: _____

CHECK TYPE OF SUBMITTAL:

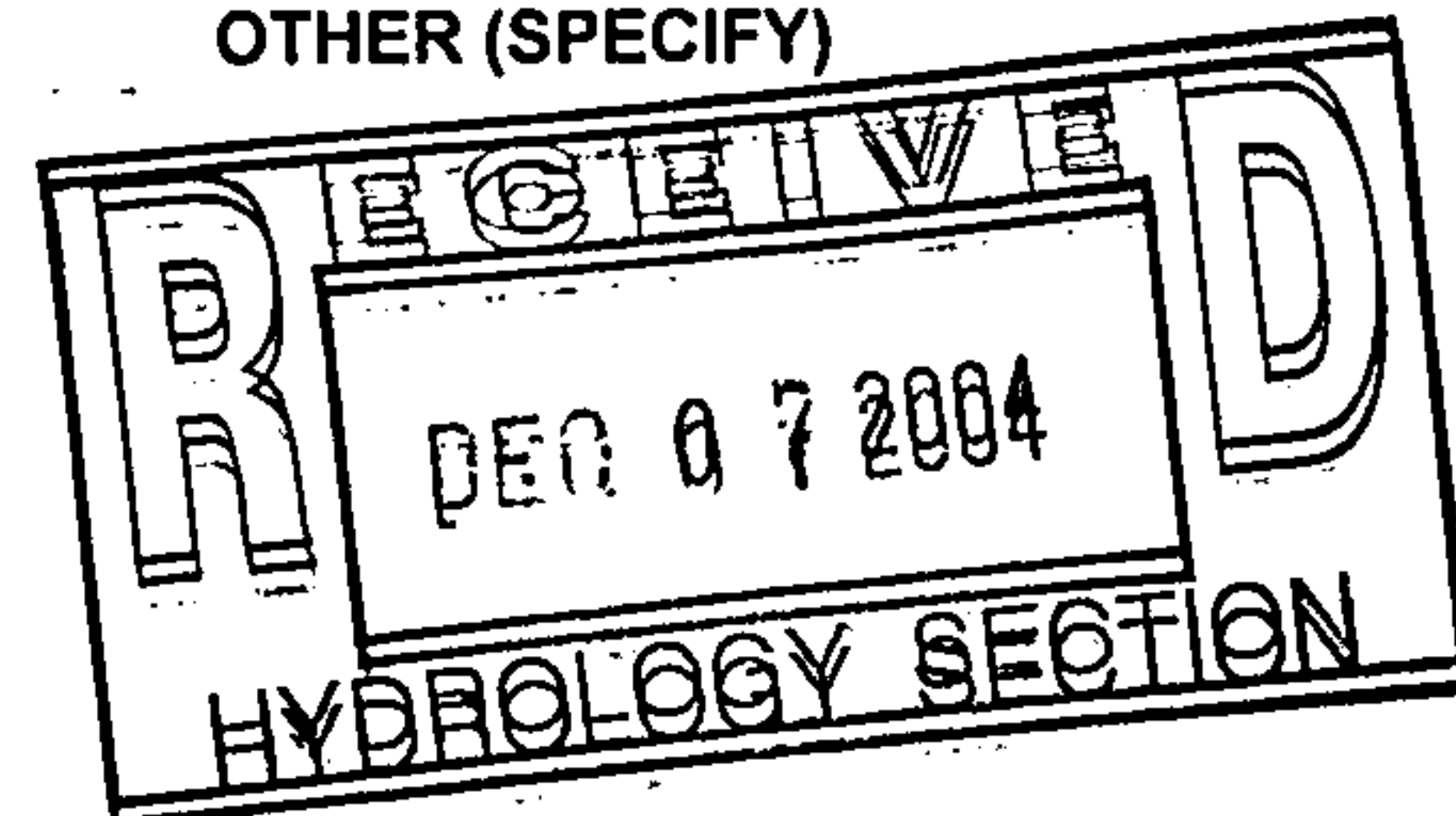
☒ DRAINAGE REPORT
☐ DRAINAGE PLAN 1ST SUBMITTAL, REQUIRES TCL OR EQUAL
☐ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
☐ CLOMR / LOMR
☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ ENGINEER'S CERTIFICATION (TCL)
☐ ENGINEER'S CERTIFICATION (DRB APPR. SITE PLAN)
☐ OTHER

CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA / FINANCIAL GUARANTEE RELEASE
☒ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D. APPROVAL
☒ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☒ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☐ CERTIFICATE OF OCCUPANCY (PERM.)
☐ CERTIFICATE OF OCCUPANCY (TEMP.)
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ WORK ORDER APPROVAL
☐ OTHER (SPECIFY)

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES
☒ NO
☐ COPY PROVIDED



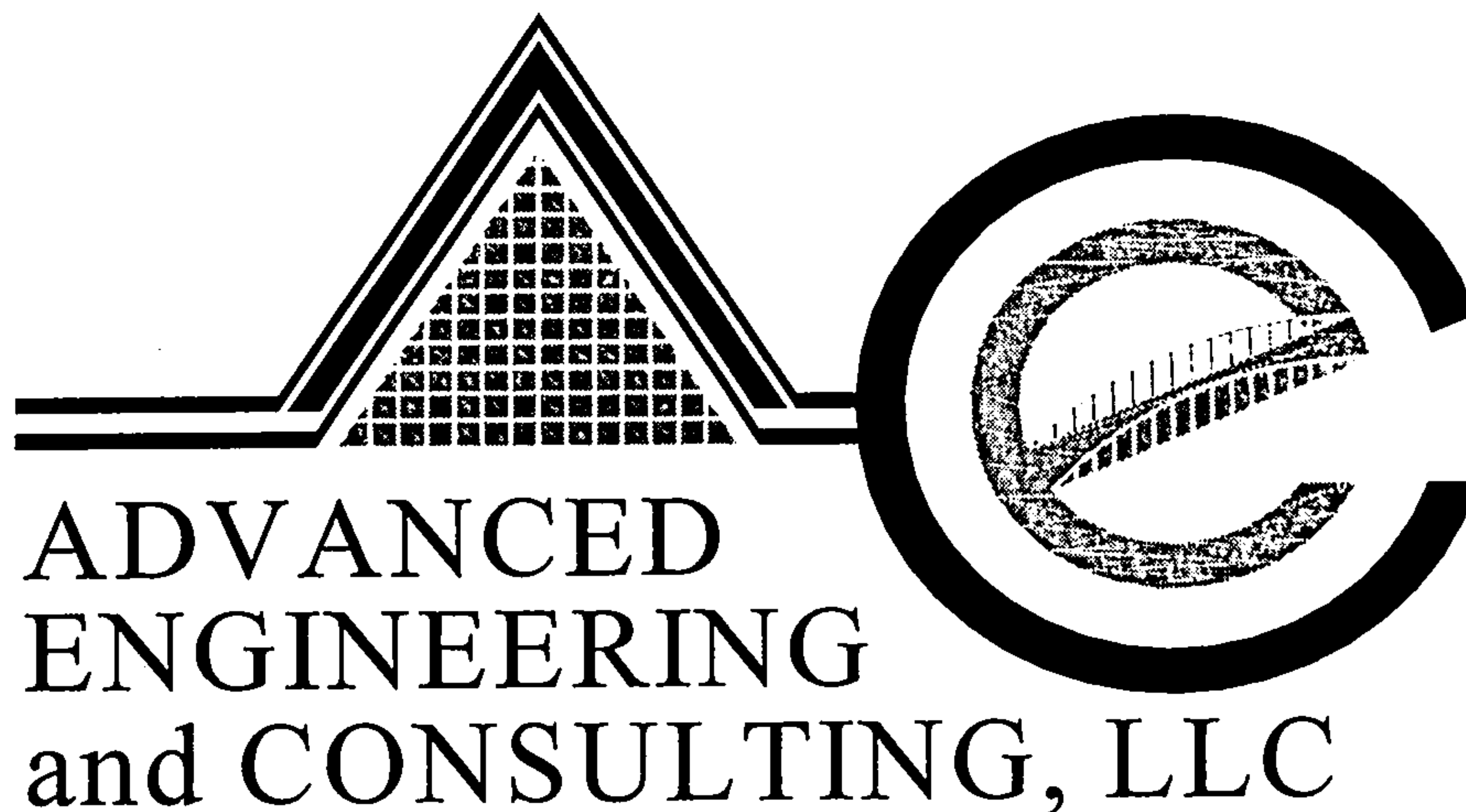
DATE SUBMITTED: 12 / 07 / 2004 BY: Shahab Biazar, P.E.

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittals may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5)
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or containing five (5) acres or more

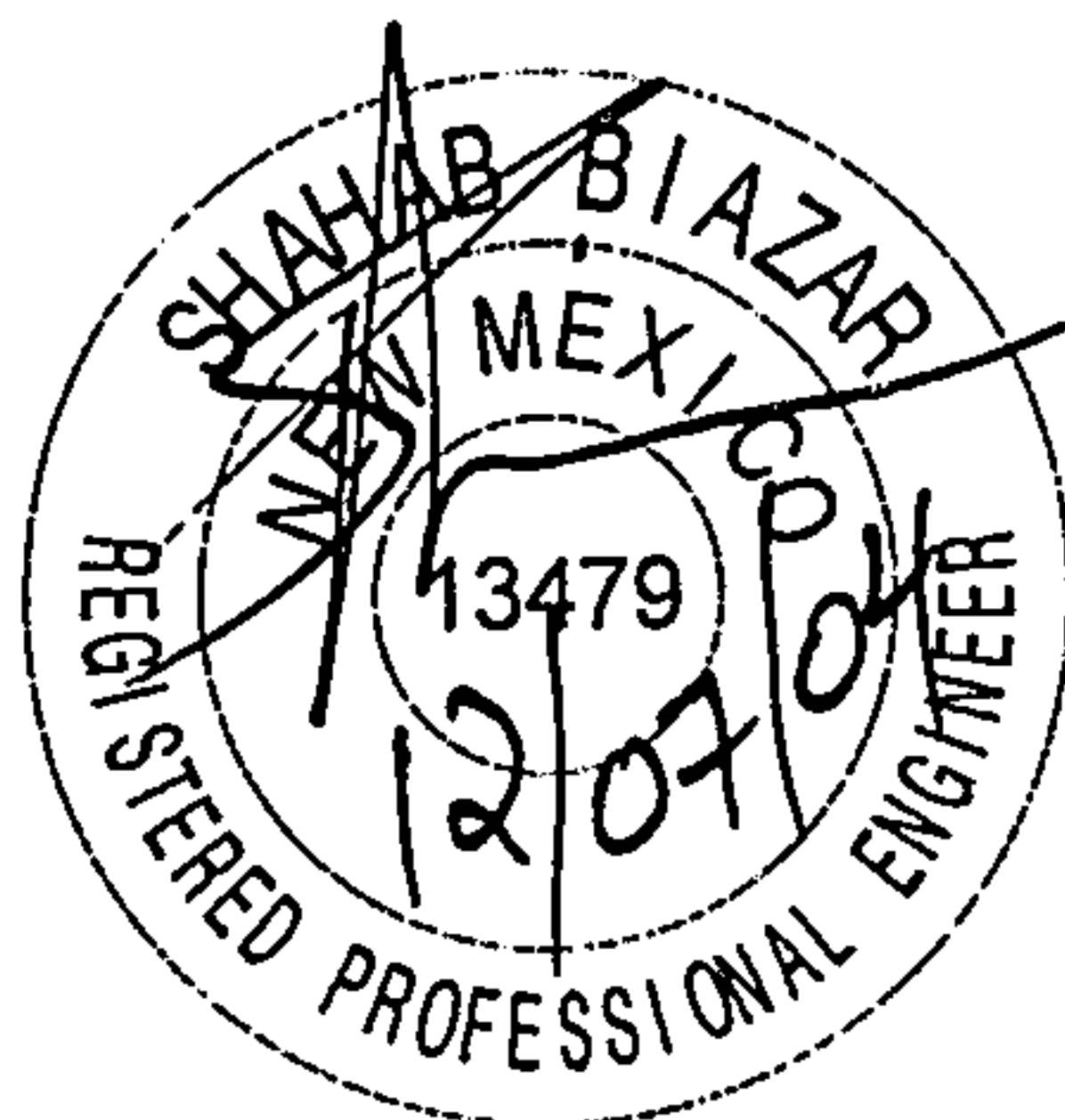
DRAINAGE REPORT
FOR
TRACT F-6-A-1
ATRISCO BUSINESS PARK
UNIT 3

Prepared by:

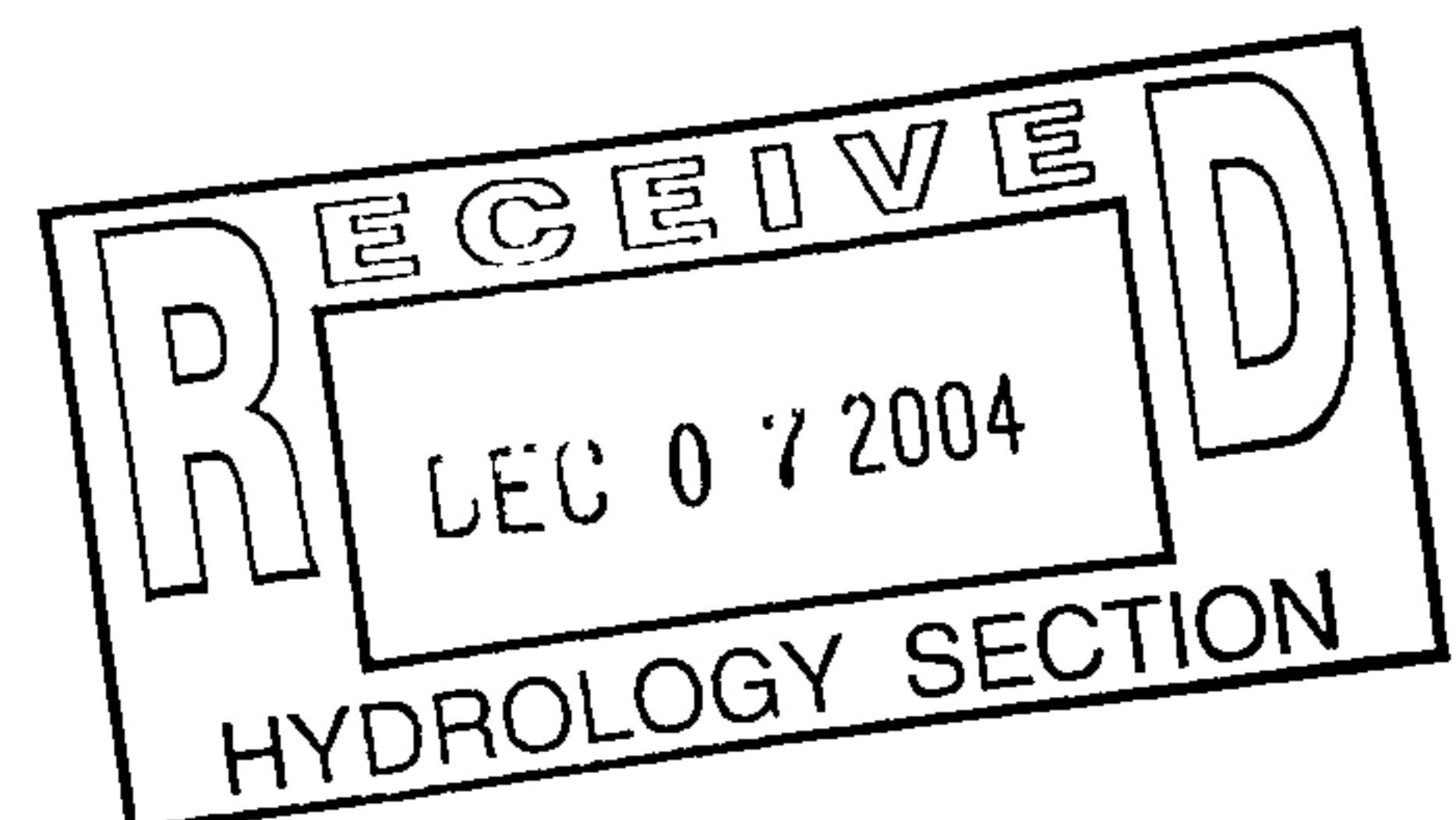


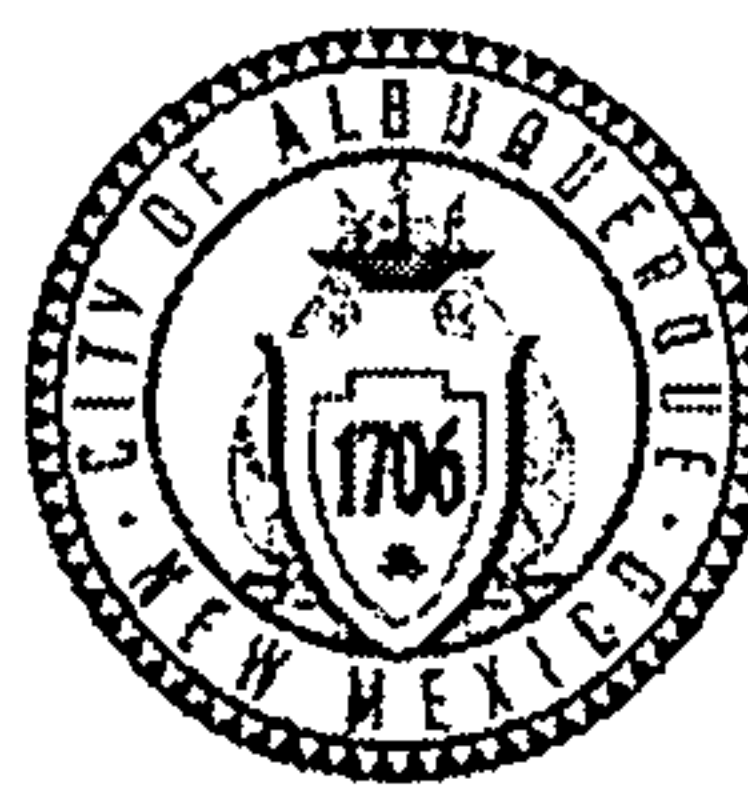
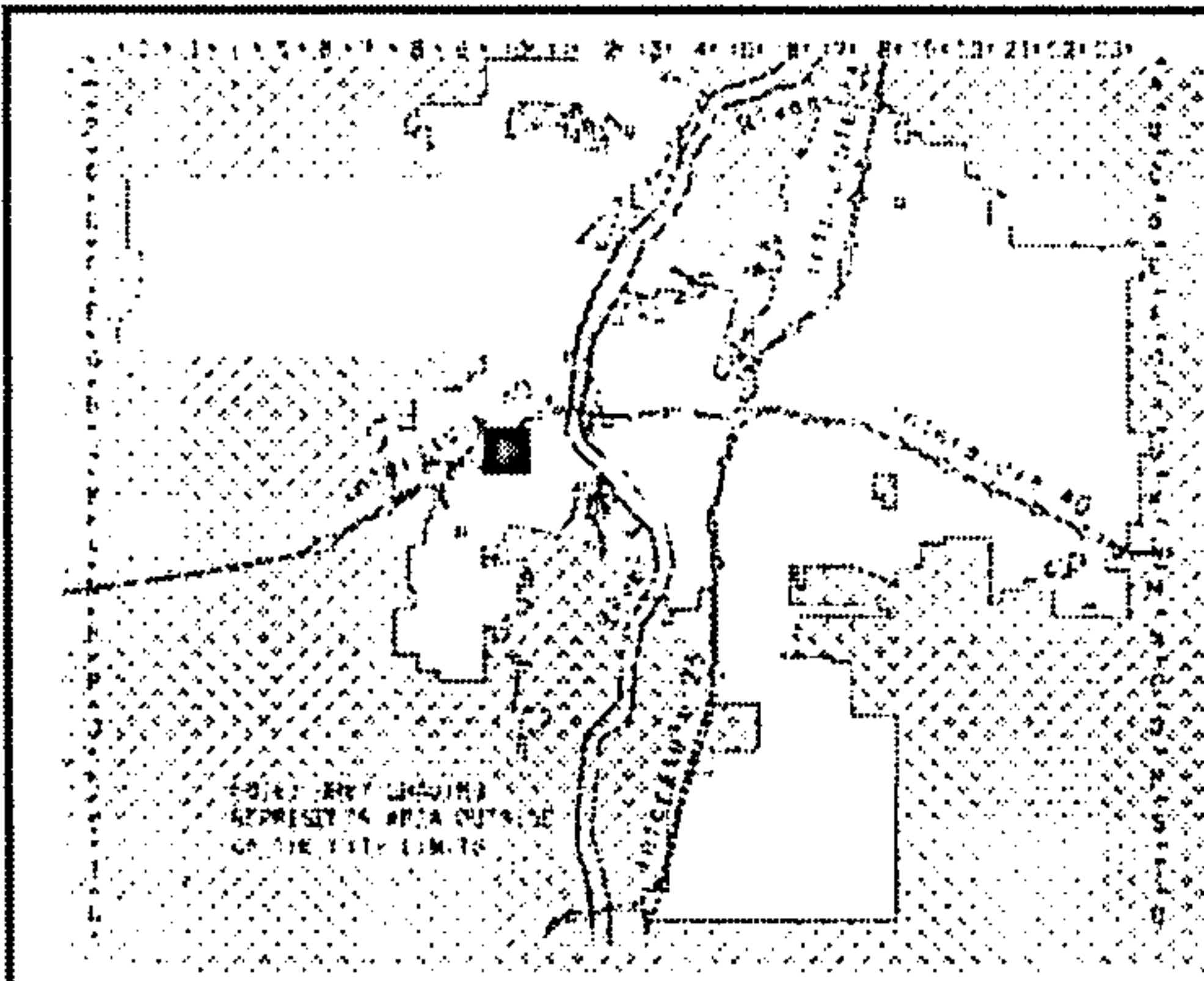
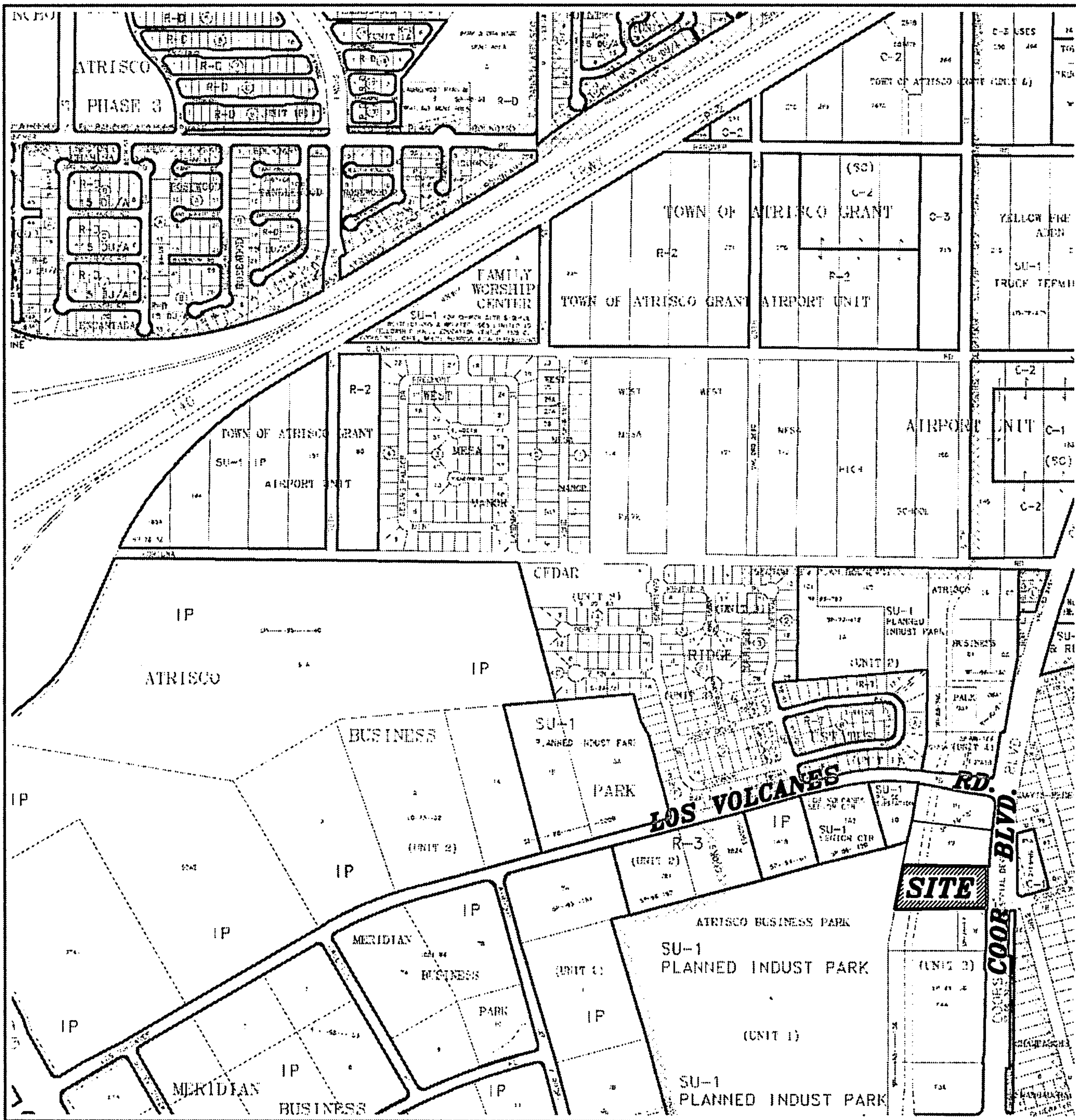
4416 Anaheim Ave., NE
Albuquerque, New Mexico 87113

December, 2004



Shahab Biazar
PE NO. 13479





GRAPHIC SCALE IN FEET



Zone Atlas Page

J-10-Z

Map Amended through May 04, 2004

A G I S
PLANNING DEPARTMENT
© Copyright 2004

Location

Tract F-7-A, Atrisco Business Park, Unit 3, is two tracts south of Los Volcanos Road on the west side of Coors Boulevard. See Attached Zone Atlas page number J-10 for exact location.

Purpose

The purpose of this drainage report is to present a grading and drainage solution for the proposed sites. We are requesting rough grading approval, site development plan for building permit, building permit, preliminary and final plat approval.

Existing Drainage Conditions

The site is fairly flat, and the runoff ponds on site. The site to the north is a development under construction ^{which} ~~which~~ was recently submitted to the City by our office under the City Drainage # J10/D37.

The site to the west is an existing development and does not drain to this site. The runoff to the east is intercepted by Coors Boulevard. The site to the south is flat, and the runoff ponds on site and does enter this project.

There is an existing easement on the west side of this tract where the proposed storm drain pipe (60" RCP) will be built by the City of Albuquerque. This pipe is part of the West Mesa Diversion

Project Phase II, and (according to Mr. David White with the City) the construction for the pipe will start January 10th and will last for 60 days. This project will allow free discharge into the 60" storm sewer system. Enclosed please find copies of the storm sewer pipe. The site does not fall within a 100-year Floodplain.

Proposed Conditions and On-Site Drainage Management Plan

The site falls within portion of the proposed storm sewer pipe (60" RCP) under the West Mesa Diversion Project Phase II. Therefore, all the runoff via surface and storm drain pipe will drain west to the proposed 60" RCP. The pipe will be constructed prior to our project, therefore no on-site ponding will be required. The owner of this project will coordinate the connection of our storm sewer pipe with Dave White or Dan Hogan with the City of Albuquerque. See enclosed copy of the grading plan for the proposed grades and storm sewer pipes and inlets on site.

Calculations

City of Albuquerque, Development Process Manuel, Section 22.2, Hydrology Section was used for runoff calculations. See section this report for Summary Table for runoff results. See also this report for AHYMO input and output files for runoff calculations.

RUNOFF CALCULATIONS

(INPUT DATA FOR AHYMO CALCULATIONS)

The site is @ Zone 1

DEPTH (INCHES) @ 100-YEAR STORM

$$P_{60} = 1.87 \text{ inches}$$

$$P_{360} = 2.20 \text{ inches}$$

$$P_{1440} = 2.66 \text{ inches}$$

DEPTH (INCHES) @ 10-YEAR STORM

$$P_{60} = 1.87 \times 0.667$$
$$= 1.25 \text{ inches}$$

$$P_{360} = 1.47$$

$$P_{1440} = 1.77$$

See the summary output from AHYMO calculations.

Also see the following summary tables.

RUNOFF CALCULATION RESULTS

| BASIN | AREA (SF) | AREA (AC) | AREA (MI²) |
|---------|------------|-----------|------------|
| ON-SITE | 104,795.96 | 2.4058 | 0.003759 |

EXISTING

| BASIN | Q-100 CFS | Q-10 CFS |
|---------|--------------|-------------|
| ON-SITE | 3.13 | 0.59 |

PROPOSED

| BASIN | Q-100 CFS | Q-10 CFS |
|---------|--------------|-------------|
| ON-SITE | 10.06 | 6.53 |

AHYMO INPUT FILE

```
*
* ZONE 1
*
*****
*      100-YEAR,  6-HR STORM (UNDER EXISTING CONDITIONS)      *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.87 IN RAIN SIX=2.20 IN
               RAIN DAY=2.66 IN DT=0.03333 HR

* ON-SITE
COMPUTE NM HYD  ID=1 HYD NO=101.0 AREA=0.003759 SQ MI
               PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
               TP=0.1333 HR MASS RAINFALL=-1
*****
*      10-YEAR,  6-HR STORM (UNDER EXISTING CONDITIONS)      *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.25 IN RAIN SIX=1.47 IN
               RAIN DAY=1.77 IN DT=0.03333 HR

* ON-SITE
COMPUTE NM HYD  ID=1 HYD NO=111.0 AREA=0.003759 SQ MI
               PER A=100.00 PER B=0.00 PER C=0.00 PER D=0.00
               TP=0.1333 HR MASS RAINFALL=-1
*****
*      100-YEAR,  6-HR STORM (UNDER PROPOSED CONDITIONS)     *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.87 IN RAIN SIX=2.20 IN
               RAIN DAY=2.66 IN DT=0.03333 HR

* ON-SITE
COMPUTE NM HYD  ID=1 HYD NO=101.1 AREA=0.003759 SQ MI
               PER A=0.00 PER B=5.00 PER C=5.00 PER D=90.00
               TP=0.1333 HR MASS RAINFALL=-1
*****
*      10-YEAR,  6-HR STORM (UNDER PROPOSED CONDITIONS)     *
*****
START          TIME=0.0
RAINFALL       TYPE=1 RAIN QUARTER=0.0 IN
               RAIN ONE=1.25 IN RAIN SIX=1.47 IN
               RAIN DAY=1.77 IN DT=0.03333 HR

* ON-SITE
COMPUTE NM HYD  ID=1 HYD NO=111.1 AREA=0.003759 SQ MI
               PER A=0.00 PER B=5.00 PER C=5.00 PER D=90.00
               TP=0.1333 HR MASS RAINFALL=-1
*****
FINISH
```

SUMMARY OUTPUT FILE

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = 200450

- VERSION: 1997.02d

RUN DATE (MON/DAY/YR) =12/07/2004
USER NO.= AHYMO-I-9702c01000R31-AH

[illegible]

STORM DRAIN INLET
EFFECTIVE AREA ASSUMING A 50% CLOGGING FACTOR

SINGLE 'D':

Area at the grate:

$$\begin{aligned} L &= 38.375" - 7 (1/2" \text{ middle bars}) \\ &= 34.875" \\ &= 2.906' \end{aligned}$$

$$\begin{aligned} W &= 25.5" - 13 (1/2" \text{ middle bars}) \\ &= 19" \\ &= 1.583' \end{aligned}$$

$$\begin{aligned} \text{Area} &= 1.583' \times 2.906' \\ &= 4.601 \text{ ft}^2 \end{aligned}$$

$$\begin{aligned} \text{Effective Area} &= 4.601 - 0.5 (4.601) \\ &= 2.30 \text{ ft}^2 \end{aligned}$$

$$\text{Effective Area} = 2.30 \text{ ft}^2$$

Drainage Capacity

Orifice Equation: $Q = CA\sqrt{2gh}$

$$C = 0.60$$

$$A = 2.30 \text{ sf}$$

$$g = 32.20$$

$$h = 1.00' \text{ (minimum ponding depth at the inlet)}$$

Check the maximum flow capacity for the inlet:

$$\begin{aligned} Q &= 0.60 \times 2.30 \times \sqrt{(2 \times 32.2 \times 1.00)} \\ &= 11.07 \text{ cfs} \end{aligned}$$

STORM DRAIN INLET

EFFECTIVE AREA ASSUMING A 50% CLOGGING FACTOR

DOUBLE 'D':

Area at the grate:

$$\begin{aligned} L &= 76.75" - 14 (1/2" \text{ middle bars}) - 6" \text{ center piece} \\ &= 63.75" \\ &= 5.3125' \end{aligned}$$

$$\begin{aligned} W &= 25.5" - 13 (1/2" \text{ middle bars}) \\ &= 19" \\ &= 1.583' \end{aligned}$$

$$\begin{aligned} \text{Area} &= 1.583' \times 5.3125' \\ &= 8.410 \text{ ft}^2 \end{aligned}$$

$$\begin{aligned} \text{Effective Area} &= 8.410 - .5 (8.410) \\ &= 4.205 \text{ ft}^2 \end{aligned}$$

Drainage Capacity

Orifice Equation: $Q = CA\sqrt{2gh}$

$$C = 0.60$$

$$A = 4.20 \text{ sf}$$

$$g = 32.20$$

$$h = 1.00' \text{ (minimum ponding depth at the inlet)}$$

Check the maximum flow capacity for the inlet:

$$\begin{aligned} Q &= 0.60 \times 4.20 \times \sqrt{(2 \times 32.2 \times 1.00)} \\ &= 20.22 \text{ cfs} \end{aligned}$$

PIPE FLOW CAPACITY CALCULATIONS

Pipe flow capacity calculations were done using the orifice equation.

12" Pipe Flow Capacity Calculation Using Orifice Equation

Orifice Equation: $Q = CA\sqrt{2gh}$

h (head) = 5.54' (minimum head)

$A = 0.79$ sf

$g = 32.20$

$$Q = 0.60 \times 0.79 \times \sqrt{(2 \times 32.2 \times 5.54)}$$
$$= 8.95 \text{ cfs}$$

18" Pipe Flow Capacity Calculation Using Orifice Equation

Orifice Equation: $Q = CA\sqrt{2gh}$

h (head) = 5.37'

$A = 1.77$ sf

$g = 32.20$

$$Q = 0.60 \times 1.77 \times \sqrt{(2 \times 32.2 \times 5.37)}$$
$$= 19.75 \text{ cfs}$$

24" Pipe Flow Capacity Calculation Using Orifice Equation

Orifice Equation: $Q = CA\sqrt{2gh}$

h (head) = 5.95'

$A = 3.14$ sf

$g = 32.20$

$$Q = 0.60 \times 3.14 \times \sqrt{(2 \times 32.2 \times 5.95)}$$
$$= 36.88 \text{ cfs}$$

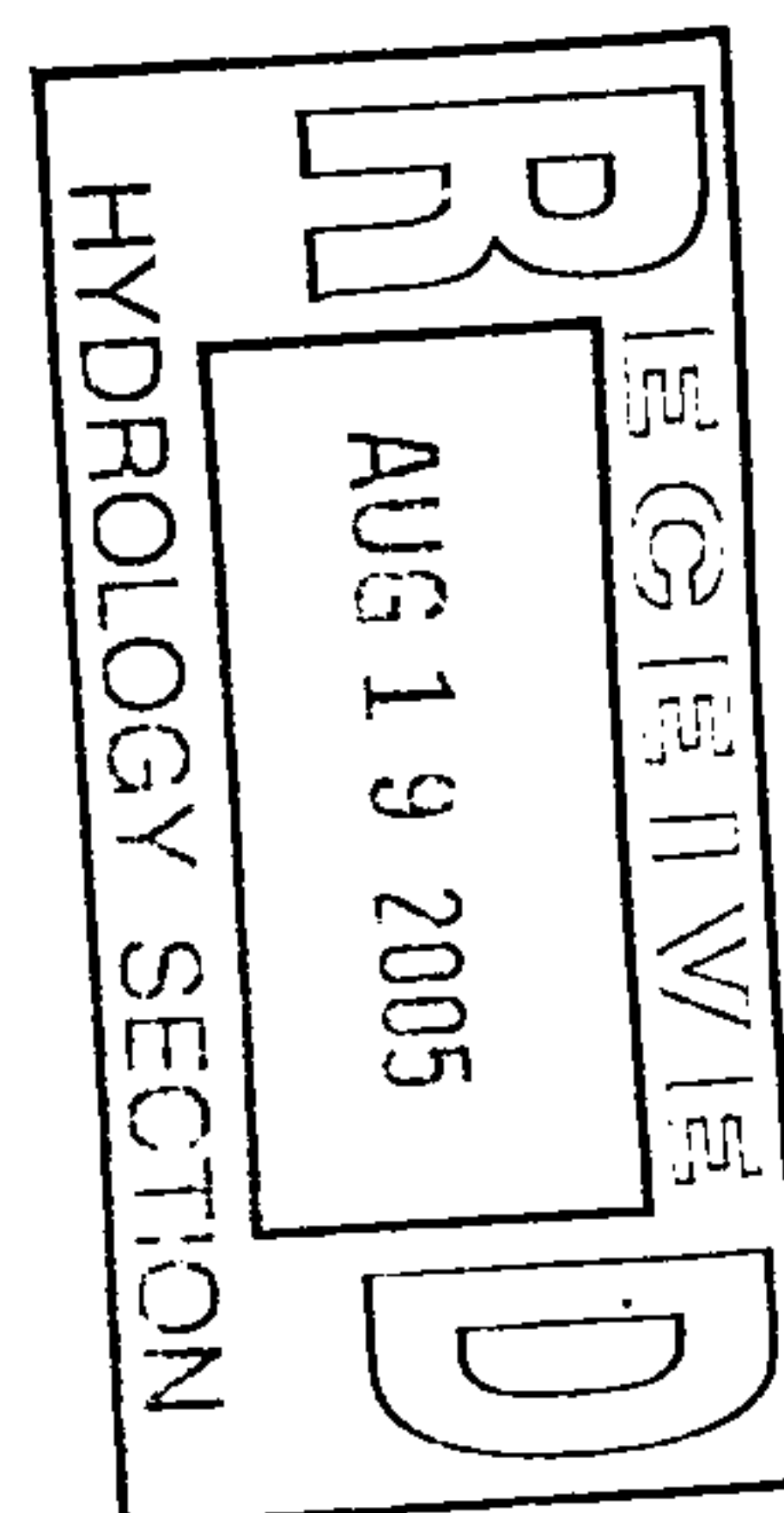
See the table for pipe flow capacity.

**CODE ADMINISTRATION DIVISION
CITY OF ALBUQUERQUE, P.O. BOX 1293
MECHANICAL SECTION**

Location 465.5 475 Coors
Type of Inspection ST (2)
Date 4.12.05, 20____
Approved [Signature] Inspector

FORM B-20

P111201





City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

April 24, 2002

Richard Lovato, PE
NM Quality CMS & CE Consultants
1020 San Pedro NE
Corrales, NM 87110

Re: Frank Barela Bldg. Grading and Drainage Plan
Engineer's Stamp Dated 3-06-02, (J10/D32)

Dear Mr. Weiss,

Based on your submittal dated 4-16-02, the above referenced plan is approved for Building Permit and SO-19 Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

A separate permit is required for construction within city R/W. Sign-off by the City's field inspector for the SO-19 Permit is required for Hydrology final approval.

If you have any questions, you can contact me at 924-3984.

Sincerely,

Leslie Romero

Engineering Associate, PWD
Development and Building Services

c: Terri Martin, Hydrology
Pam Lujan
Matt Cline w/attachment
File (2)

1201771

J-10/D32

APPLICANT'S NAME: FRANK PARRA BLOCH ZONE ATLAS/DRNG. FILE #: J-10-2

DRB #: _____ EPC #: _____ WORK ORDER #: _____

LEGAL DESCRIPTION: LOT 2-F-1 ATRISCO BUSINESS PARK UNIT 1

CITY ADDRESS: 465 COORS BLVD N.W.

ENGINEERING FIRM: NM QUALITY ENGINEERS CONTACT: RICHARD LOVATO

ADDRESS: 1020 SAN PEDRO NE ALBUQUERQUE 81110 PHONE: 261-4127

OWNER: FRANK PARRA CONTACT: _____

ADDRESS: _____ PHONE: _____

ARCHITECT: RICHARD B. MOELLER CONTACT: _____

ADDRESS: 3137 BICA BLVD ROSEMBO NM PHONE: _____

SURVEYOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

CONTRACTOR: _____ CONTACT: _____

ADDRESS: _____ PHONE: _____

TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
☐ DRAINAGE PLAN
☒ CONCEPTUAL GRADING & DRAINAGE PLAN
☒ GRADING PLAN
☐ EROSION CONTROL PLAN
☐ ENGINEER'S CERTIFICATION
☒ OTHER MILITARY PLAN

PRE-DESIGN MEETING:

- ☐ YES
☐ NO
☐ COPY PROVIDED

RESUBMITTAL

CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SKETCH PLAT APPROVAL
☐ PRELIMINARY PLAT APPROVAL
☐ S. DEV. PLAN FOR SUB'D APPROVAL
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
☐ SECTOR PLAN APPROVAL
☐ FINAL PLAT APPROVAL
☐ FOUNDATION PERMIT APPROVAL
☒ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY APPROVAL
☒ GRADING PERMIT APPROVAL
☐ PAVING PERMIT APPROVAL
☐ S.A.D. DRAINAGE REPORT
☒ DRAINAGE REQUIREMENTS
☐ SUBDIVISION CERTIFICATION
☒ OTHER SO-19 (SPECIFY)

DATE SUBMITTED: 3/2/02

BY: Richard Lovato
RICHARD LOVATO

Revised 02/98



City of Albuquerque

P.O. BOX 1293 ALBUQUERQUE, NEW MEXICO 87103

February 11, 2002

Richard Lovato, PE
NM Quality CMS & CE Consultants
1020 San Pedro NE
Corrales, NM 87110

Re: Frank Barela Building Grading and Drainage Plan
Engineer's Stamp Dated 1-31-02, (J10-D32)

Dear Mr. Lovato,

Based on the information contained in your submittal dated 2-05-02, the above referenced plan is not approved for Building Permit, which is inclusive with a Grading Permit, until the following comments are addressed:

- Please address if there are any off-site flows.
- Please show more spot elevations south of proposed building to determine direction of runoff.
- The City of Albuquerque Drainage Ordinance does not allow **retention** ponds unless there is a Master Plan for future storm drain connection to the pond. There is an existing storm drain on Coors Blvd. On site flows must be released to public right-of-way if there is an existing drainage system in place. What does the Master Drainage Plan address for maintaining runoff or the allowable discharge to Coors?
- Include zone map designation and label streets on your next submittal.

As a reminder, when a project is inclusive to a Master Plan, such as this, it should include the excerpts of the Master Plan or include the basin map at least. As you know, a drainage plan should be able to stand-alone. If you have any questions about my comments, you can contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE
Sr. Engineer, PWD
Development and Building Services

c: Terri Martin, Hydrology
File (2)

DRAINAGE INFORMATION SHEET

(REV. 11/01/2001)

J-10/D32

PROJECT TITLE: BUILDING SHELL FOR FRANK DANIELA

ZONE MAP/DRG. FILE #:

DRB #:

EPC#:

WORK ORDER#:

LEGAL DESCRIPTION:

LOT 2 - F-1 ATRISCO BUSINESS PARK UNIT 1

CITY ADDRESS:

465 COORS BLVD N.W.

ENGINEERING FIRM:

N.M. QUALITY CMSC

ADDRESS:

1020 SAN PEDRO N.E.

CITY, STATE:

ALBUQUERQUE NM

CONTACT:

RICHARD LAVATO

PHONE:

261-4127

ZIP CODE:

87110

OWNER:

FRANK DANIELA

ADDRESS:

754 COORS BLVD S.W.

CITY, STATE:

ALBUQUERQUE NM

CONTACT:

FRANK DANIELA

PHONE:

831-2400

ZIP CODE:

87121

ARCHITECT:

RICHARD MOELLER

ADDRESS:

3737 BIK BEND RD. N.W.

CITY, STATE:

ALBUQUERQUE NM

CONTACT:

RICHARD MOELLER

PHONE:

274-2841

ZIP CODE:

87111

SURVEYOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CONTRACTOR:

ADDRESS:

CITY, STATE:

CONTACT:

PHONE:

ZIP CODE:

CHECK TYPE OF SUBMITTAL:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☒ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION (HYDROLOGY)
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ ENGINEERS CERTIFICATION (TCL)
- ☐ ENGINEERS CERTIFICATION (DRB APPR. SITE PLAN)
- ☒ OTHER TCL

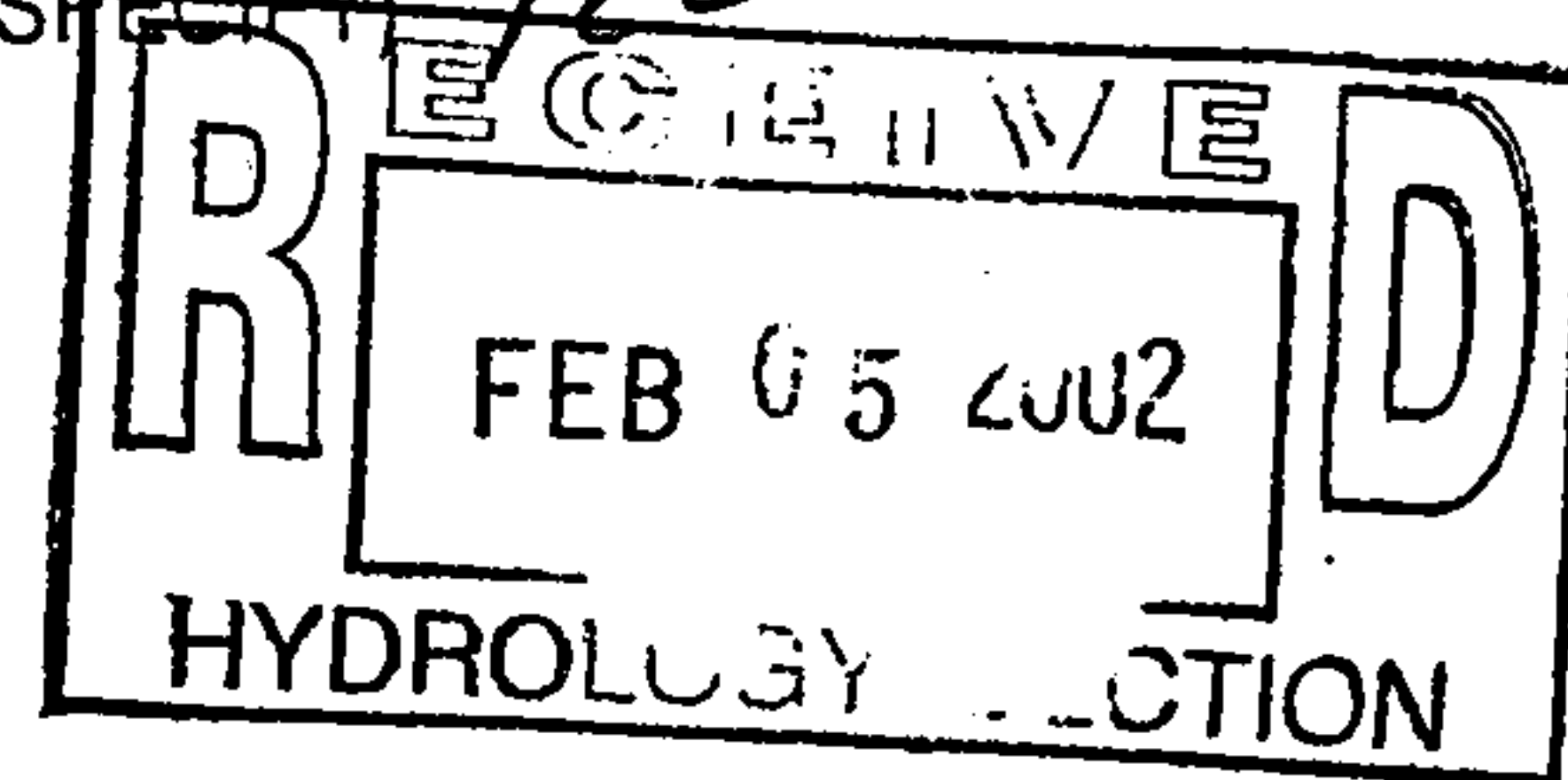
CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA / FINANCIAL GUARANTEE RELEASE
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D. APPROVAL
- ☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY (PERM.)
- ☐ CERTIFICATE OF OCCUPANCY (TEMP.)
- ☒ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ WORK ORDER APPROVAL
- ☒ OTHER (SPECIFY) TCL

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES
- ☐ NO
- ☐ COPY PROVIDED

SP 4/24/02 50-19



DATE SUBMITTED: 2/5/02

BY:

RICHARD MOELLER

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope of the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5)
3. **Drainage Report:** Required for subdivisions containing more than ten (10) lots or constituting five (5) acres or

• Against Ordinance
TEMP. Retention Pond until ^{future} improvements (SD)
may have to put detention for
downstream release to street slowly

x there is an existing SD

on (GORS