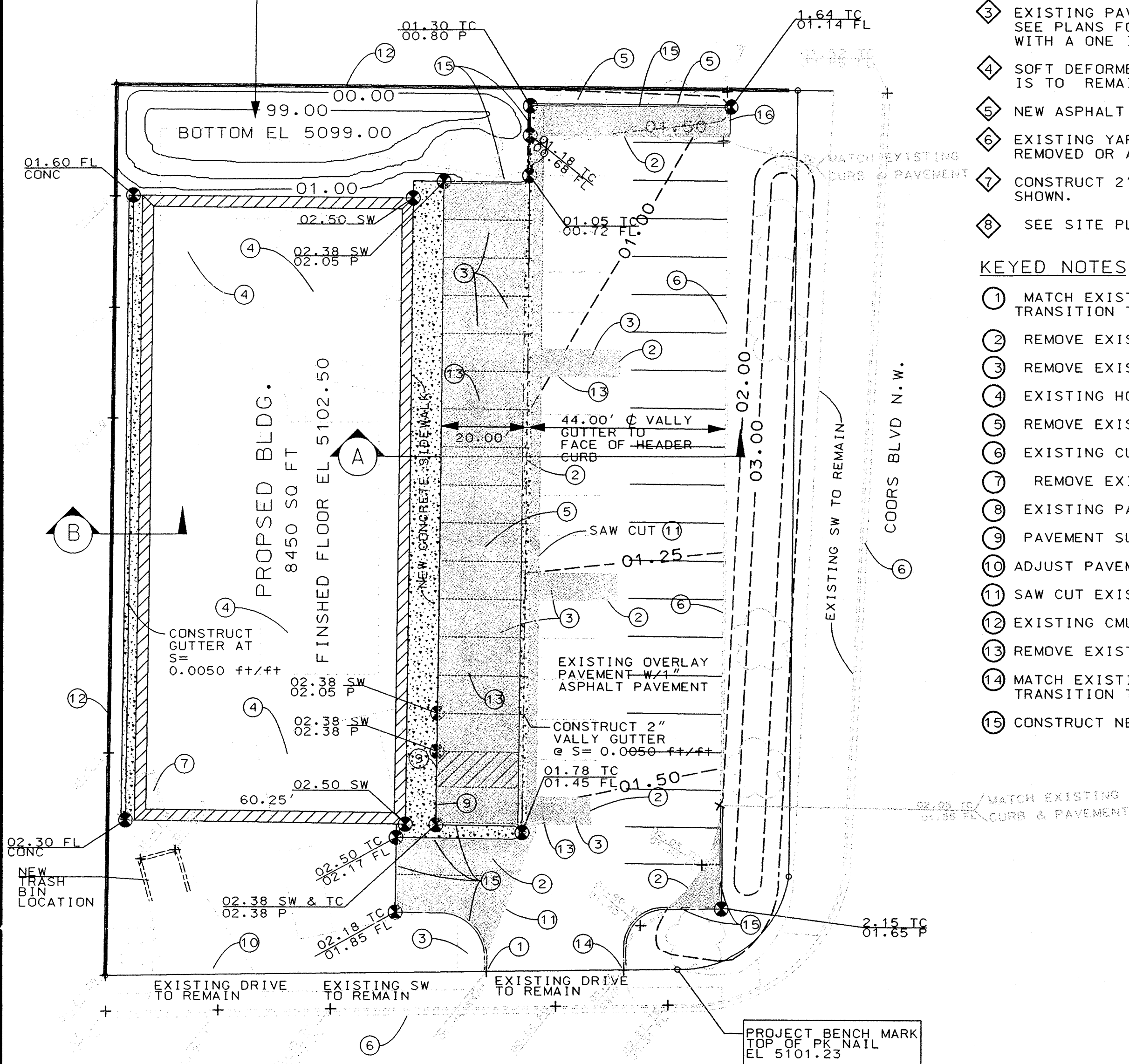


DEVELOPE PONDING AREA WITH A MINIMUM VOLUME OF 4960 FT³ APPROXIMATE GRADING SHOWN. BOTTOM OF POND ELEVATION OF 99.00 100 YR WATER SURFACE EL = 5101.30



GRADING & DRAINAGE PLAN

SCALE: 1" = 20'

GENERAL CONSTRUCTION NOTES:

- EXISTING HOUSES AND GARAGE TO BE REMOVED BY OTHERS.
- EXISTING CURB AND SIDEWALK TO BE REMOVED AT LOCATIONS DESIGNATED.
- EXISTING PAVEMENT TO BE SALVAGED TO EXTENT POSSIBLE. SEE PLANS FOR LIMITS. REMAINING PAVEMENT TO BE OVER LAID WITH A ONE INCH (1") LIFT OF ASPHALT PAVEMENT.
- SOFT DEFORMED AREAS IN EXISTING ASPHALT PAVEMENT WHICH IS TO REMAIN ARE TO BE REPAIRED BEFORE APPLICATION OF 1" OVERLAY.
- NEW ASPHALT PAVEMENT TO BE 2" OF ASPHALT CONSTRUCTED TO GRADES SHOWN.
- EXISTING YARD LIGHTS AND UNDERGROUND ELECTRICAL ARE TO BE REMOVED OR ABANDONED.
- CONSTRUCT 2'-0" CONCRETE VALLY GUTTER AS DETAILED TO GRADES SHOWN.
- SEE SITE PLAN FOR PARKING SPACE STRIPING AND SIGNING REQUIREMENTS.

KEYED NOTES:

- MATCH EXISTING SIDEWALK WITH TOP OF CURB. TRANSITION TO 4" CURB HEIGHT IN 4'.
- REMOVE EXISTING CURB
- REMOVE EXISTING SIDEWALK
- EXISTING HOUSE TO BE REMOVED BY OTHERS.
- REMOVE EXISTING TREE.
- EXISTING CURB TO REMAIN.
- REMOVE EXISTING TRASH BIN.
- EXISTING PAVEMENT TO REMAIN.
- PAVEMENT SURFACE TO MATCH SIDEWALK IN THIS AREA.
- ADJUST PAVEMENT APPROCH TO NEW TRASH BIN LOCATION.
- SAW CUT EXISTING PAVEMENT
- EXISTING CMU WALL ON PROPERTY LINE TO REMAIN.
- REMOVE EXISTING YARD LIGHT.
- MATCH EXISTING SIDEWALK WITH TOP OF CURB AND TRANSITION TO 6" CURB HEIGHT IN 4'.
- CONSTRUCT NEW HEADER CURB.

DRAINAGE NOTES:

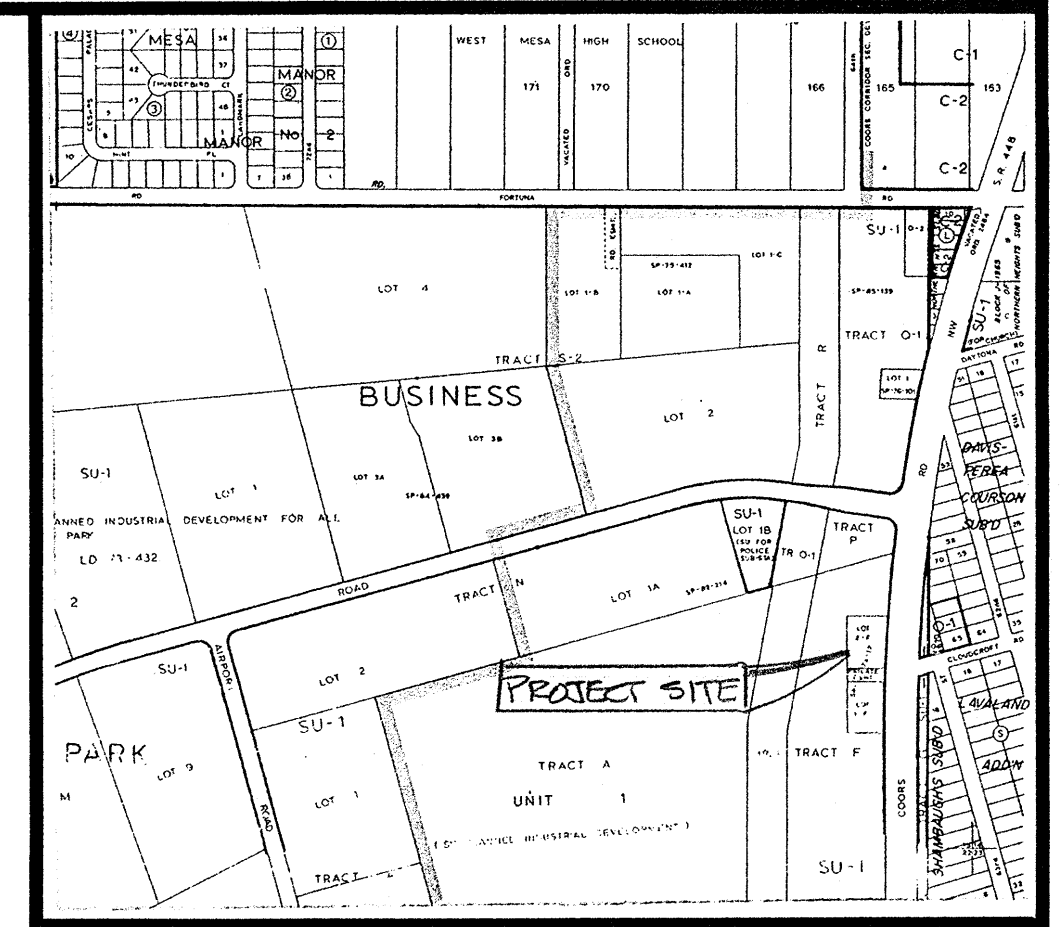
- PONDING VOLUME CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DPM CHAPTER 22. FOR 100 YEAR, 24 HOUR STORM, ZONE 1
- TOTAL PLATTED AREA OF SITE IS 0.689 ACERS.
- TOTAL VOLUME OF RUNOFF FOR DEVELOPED CONDITIONS WILL BE PONDED ON SITE IN A RETENTION POND LOCATED AT THE N.W. CORNER OF THIS SITE.
- FLAWS WILL BE DELIVERED TO RETENTION POND IN CONCRETE VALLY GUTTERS.
- BOUNDARY INFORMATION TAKEN FROM A.L.T.A./A.C.S.M. SURVEY BY MARQUEZ SURVEYING CO., INC. DATE JULY 17, 2001
- TOPOGRAPHY SURVEY PERFORMED BY CMS&CE ON JANUARY 12, 2002
- BENCH MARK USED IS CITY OF ALBUQUERQUE CONTROL STATION 2-J10. EL = 5100.44.
- PROJECT BENCH MARK ESTABLISHED TOP OF PK NAIL AT S.E. PROPERTY CORNER EL = 5101.23 (SEE PLAN)

LEGEND

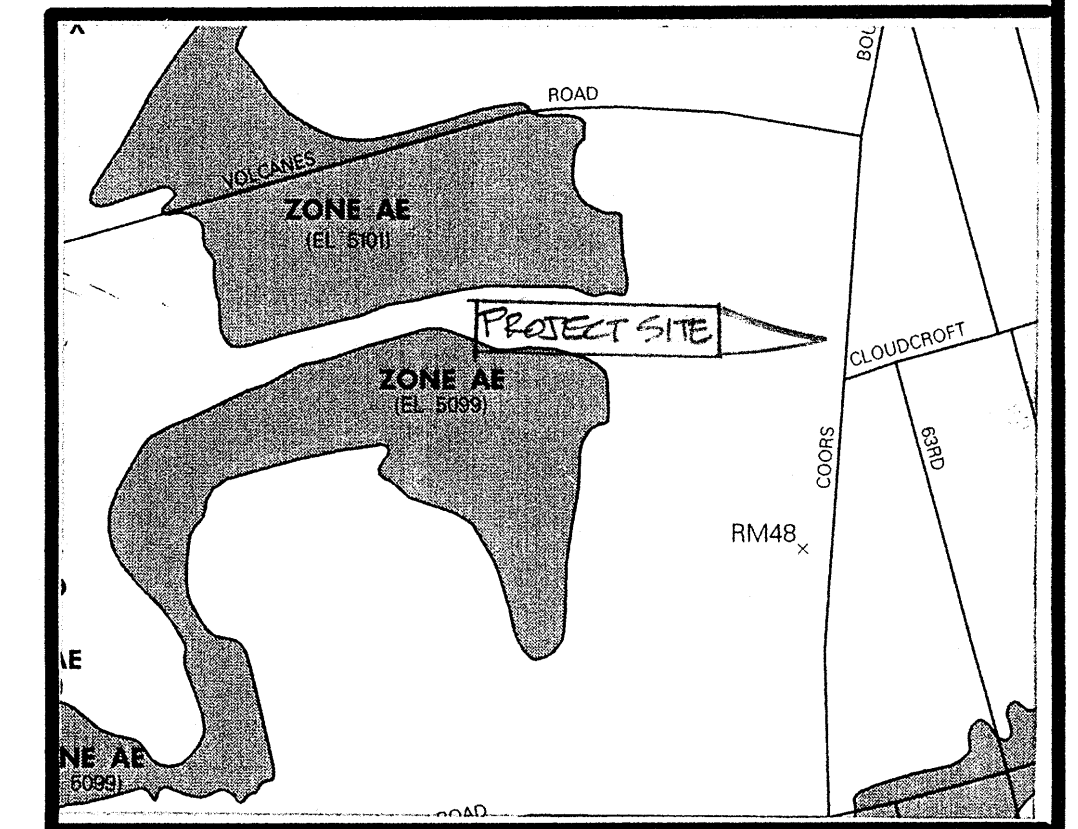
	NEW BUILDING LIMITS
	NEW CONC SLAB/SIDEWALK
	EXISTING HEADER CURB 6" X 18"
	NEW HEADER CURB 6" X 18"
	PROPERTY/ LOTLINE
	EXISTING GROUND CONTOUR
	EXISTING SPOT ELEVATION
	FINISHED GRADE CONTOUR
	NEW SPOT ELEVATION
	EXISTING POWER POLE
	EXISTING CMU WALL
	EXISTING TREE
	EXISTING YARD LIGHT
	NEW ASPHALT PAVEMENT 2" DEPTH

ABBREVIATIONS

TC	=	TOP OF CURB
SW	=	SIDEWALK
EL	=	ELEVATION
P	=	PAVEMENT
FL	=	FLOWLINE
CL	=	CENTERLINE
S	=	SLOPE
FT/FT	=	FEET PER FOOT
G	=	GROUND
FT ³	=	CUBIC FT



VICINITY MAP



FLOOD MAP 35001C0329 D
SEPTEMBER 20, 1996

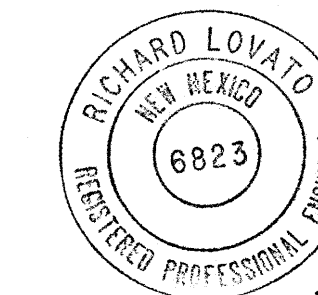
DESCRIPTION	LAND USE				TOTAL	REMARKS
	A	B	C	D		
EXCESS PRECIPITATION INCHES	0.44	0.67	0.90	1.97		
DEVELOPED CONDITIONS		7.565 ft ² 0.174 AC		24.435 ft ² 0.515 AC	30.000 ft ²	
V _{GHR} = A					4.100 ft ³	
V _{24HR} = B					4.960 ft ³	MINIMUM POND VOLUME REQUIRED

NOTE:

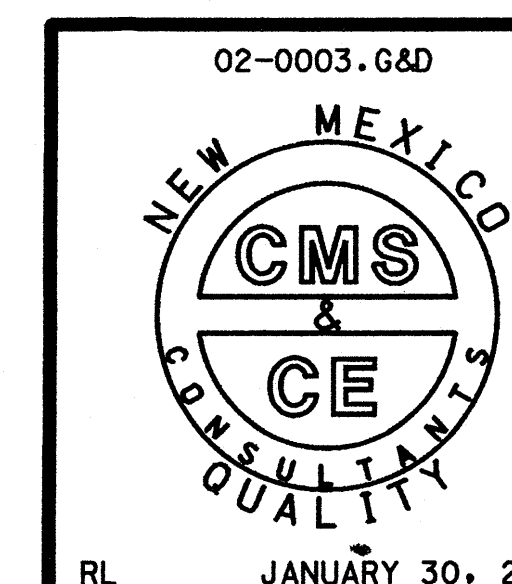
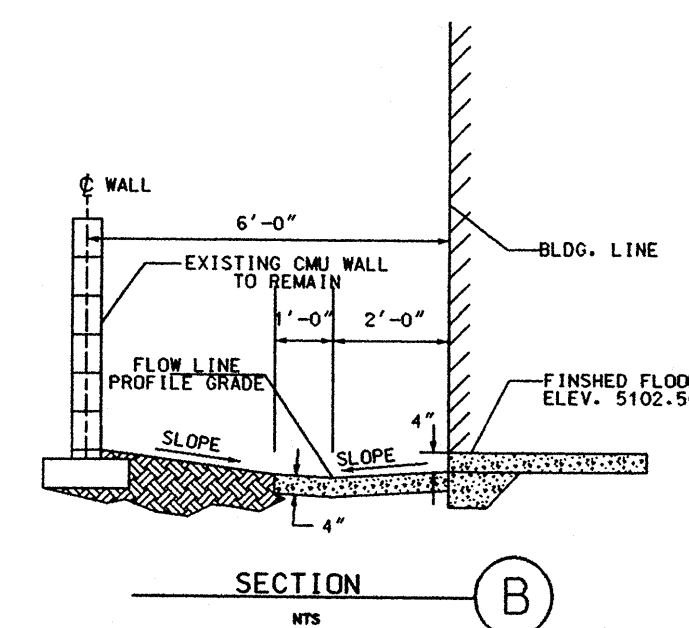
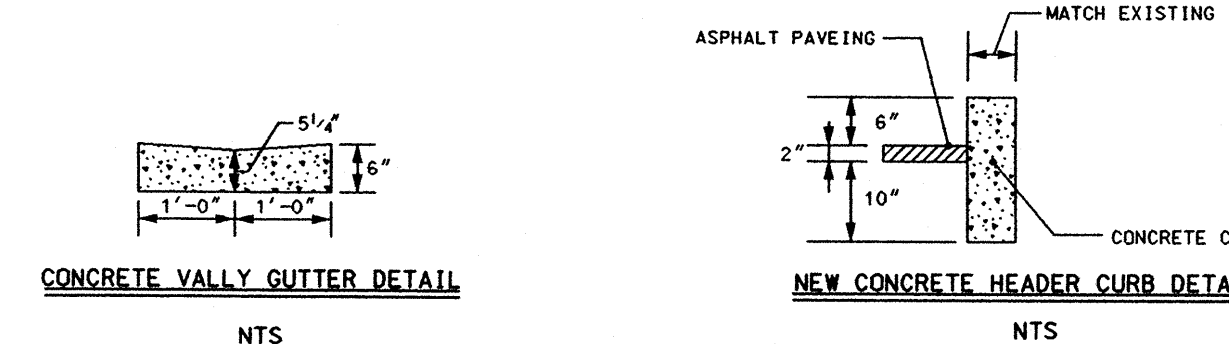
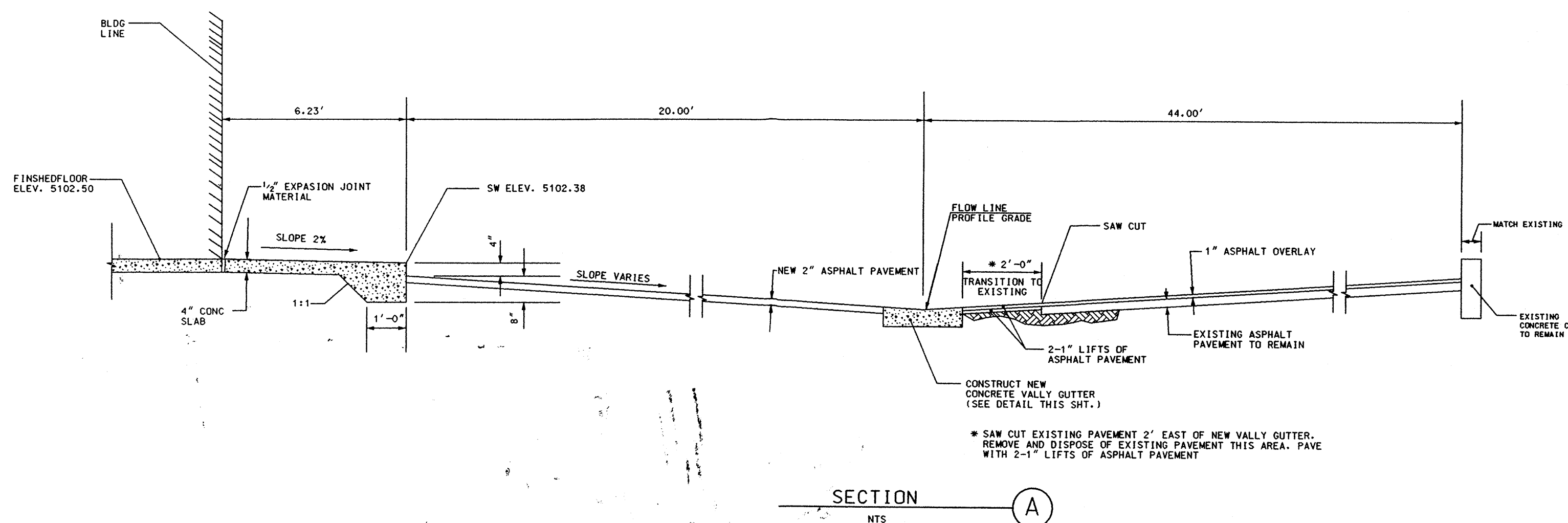
LAND USE B LANDSCAPING
LAND USE A PAVED

ENGINEERS CERTIFICATION

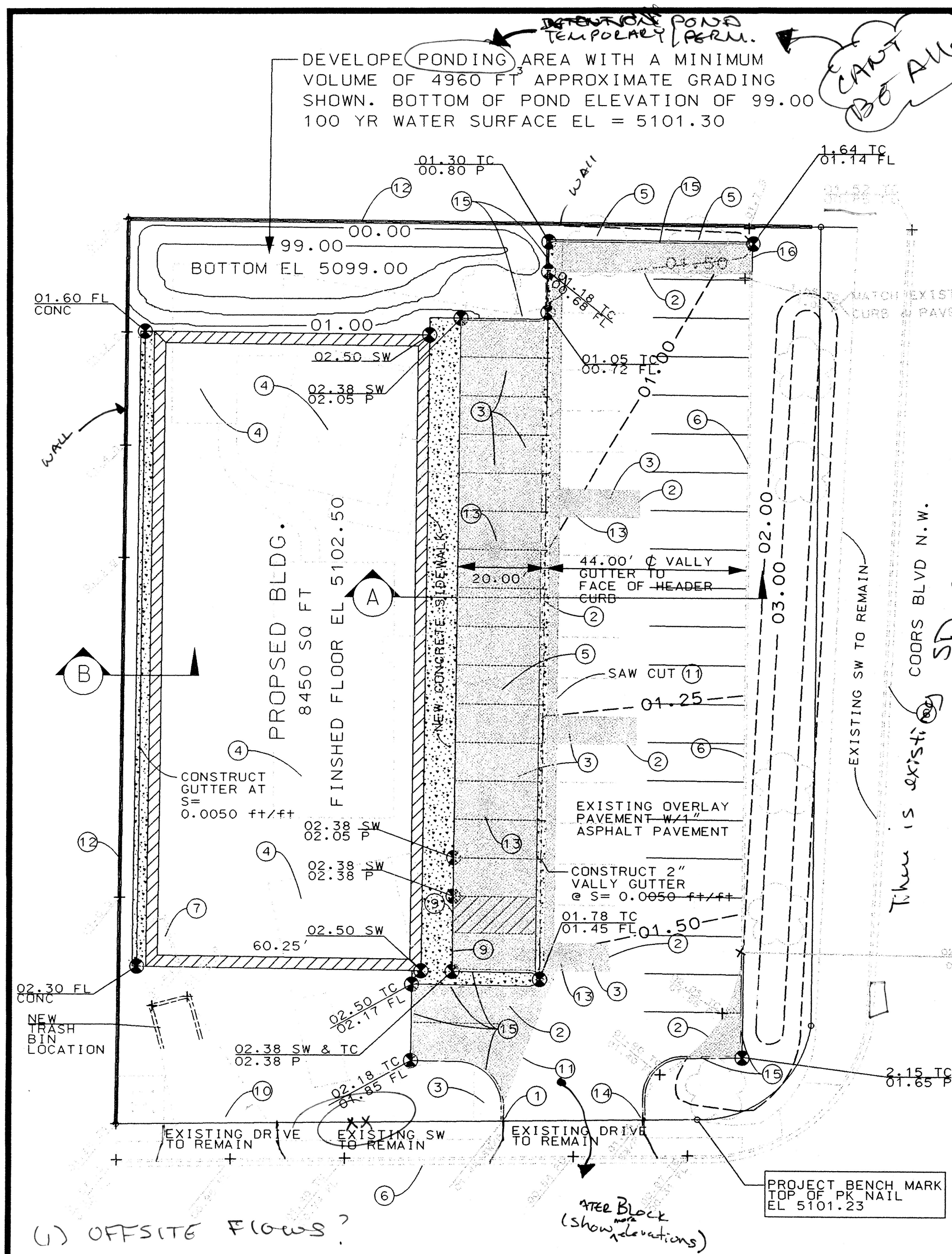
THIS IS TO CERTIFY THAT I INPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON JANUARY 25, 2002 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.



Richard Lovato 1/31/02
RICHARD LOVATO NMPE NO 6823



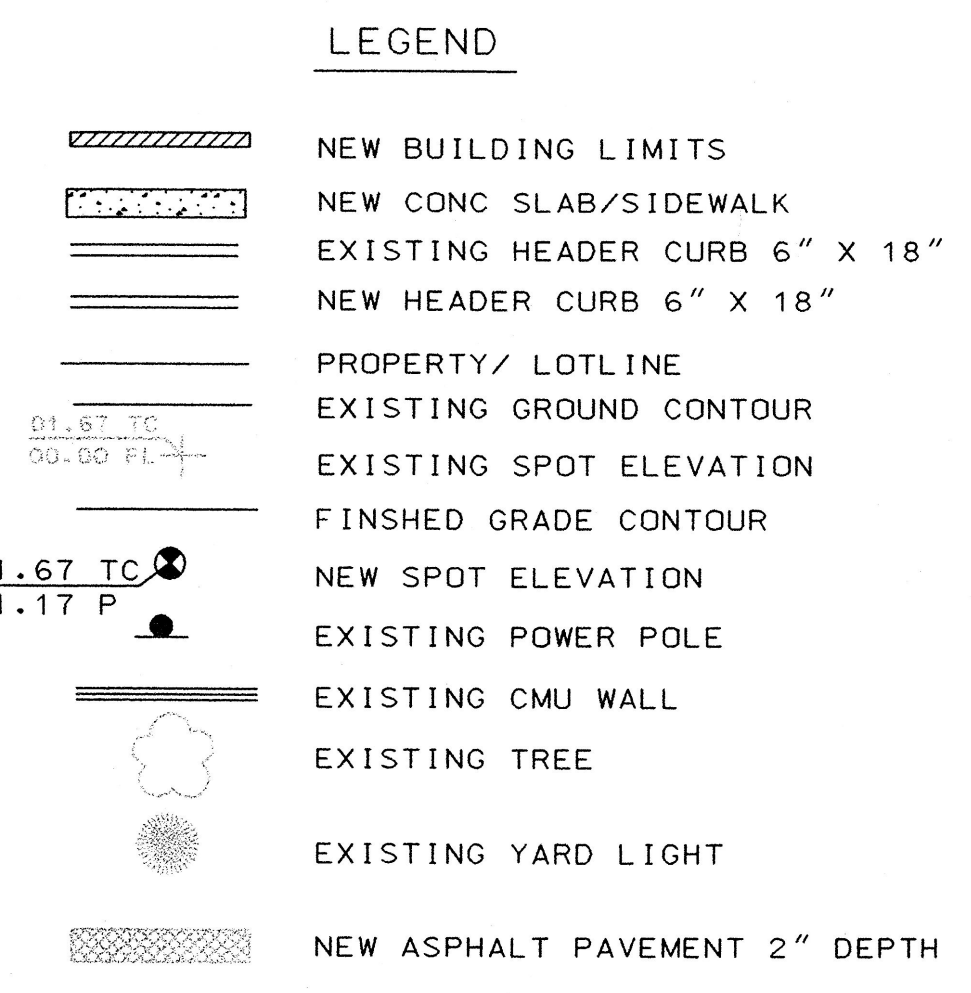
02-0003.G&D
LOT 2-F-1
ATRISCO BUSINESS PARK
UNIT 1
465 COORS BLVD. N.W.
DRAINAGE & GRADING PLAN
NM QUALITY CMS & CE
CONSULTANTS
1020 SAN PEDRO NE
ALBUQUERQUE, NM 87110
PHONE: 505-254-4952 FAX: 505-254-4959
SHEET
FEB 05 2002
HYDROLOGY SECTION



- GENERAL CONSTRUCTION NOTES:**
- EXISTING HOUSES AND GARAGE TO BE REMOVED BY OTHERS.
 - EXISTING CURB AND SIDEWALK TO BE REMOVED AT LOCATIONS DESIGNATED.
 - EXISTING PAVEMENT TO BE SALVAGED TO EXTENT POSSIBLE. SEE PLANS FOR LIMITS. REMAINING PAVEMENT TO BE OVER LAID WITH A ONE INCH (1") LIFT OF ASPHALT PAVEMENT.
 - SOFT DEFORMED AREAS IN EXISTING ASPHALT PAVEMENT WHICH IS TO REMAIN ARE TO BE REPAIRED BEFORE APPLICATION OF 1" OVERLAY.
 - NEW ASPHALT PAVEMENT TO BE 2" OF ASPHALT CONSTRUCTED TO GRADES SHOWN.
 - EXISTING YARD LIGHTS AND UNDERGROUND ELECTRICAL ARE TO BE REMOVED OR ABANDONED.
 - CONSTRUCT 2'-0" CONCRETE VALLY GUTTER AS DETAILED TO GRADES SHOWN.
 - SEE SITE PLAN FOR PARKING SPACE STRIPING AND SIGNING REQUIREMENTS.

- KEYED NOTES:**
- MATCH EXISTING SIDEWALK WITH TOP OF CURB. TRANSITION TO 4" CURB HEIGHT IN 4'.
 - REMOVE EXISTING CURB
 - REMOVE EXISTING SIDEWALK
 - EXISTING HOUSE TO BE REMOVED BY OTHERS.
 - REMOVE EXISTING TREE.
 - EXISTING CURB TO REMAIN.
 - REMOVE EXISTING TRASH BIN.
 - EXISTING PAVEMENT TO REMAIN.
 - PAVEMENT SURFACE TO MATCH SIDEWALK IN THIS AREA.
 - ADJUST PAVEMENT APPROCH TO NEW TRASH BIN LOCATION.
 - SAW CUT EXISTING PAVEMENT
 - EXISTING CMU WALL ON PROPERTY LINE TO REMAIN.
 - REMOVE EXISTING YARD LIGHT.
 - MATCH EXISTING SIDEWALK WITH TOP OF CURB AND TRANSITION TO 6" CURB HEIGHT IN 4'.
 - CONSTRUCT NEW HEADER CURB.

- DRAINAGE NOTES:**
- PONDING VOLUME CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DPM CHAPTER 22. FOR 100 YEAR, 24 HOUR STORM, ZONE 1
 - TOTAL PLATTED AREA OF SITE IS 0.689 ACERS.
 - TOTAL VOLUME OF **RUNOFF** FOR DEVELOPED CONDITIONS WILL BE **PONDED ON SITE** IN A RETENTION POND LOCATED AT THE N.W. CORNER OF THIS SITE.
 - FLows WILL BE **DELIVERED TO RETENTION POND IN CONCRETE VALLY GUTTERS**.
 - BOUNDARY INFORMATION TAKEN FROM A.L.T.A./A.C.S.M. SURVEY BY MARQUEZ SURVEYING CO., INC. DATE JULY 17, 2001
 - TOPOGRAPHY SURVEY PERFORMED BY CMS&CE ON JANUARY 12, 2002
 - BENCH MARK USED IS CITY OF ALBUQUERQUE CONTROL STATION 2-J10. EL = 5100.44.
 - PROJECT BENCH MARK ESTABLISHED TOP OF PK NAIL AT S.E. PROPERTY CORNER EL = 5101.23 (SEE PLAN)

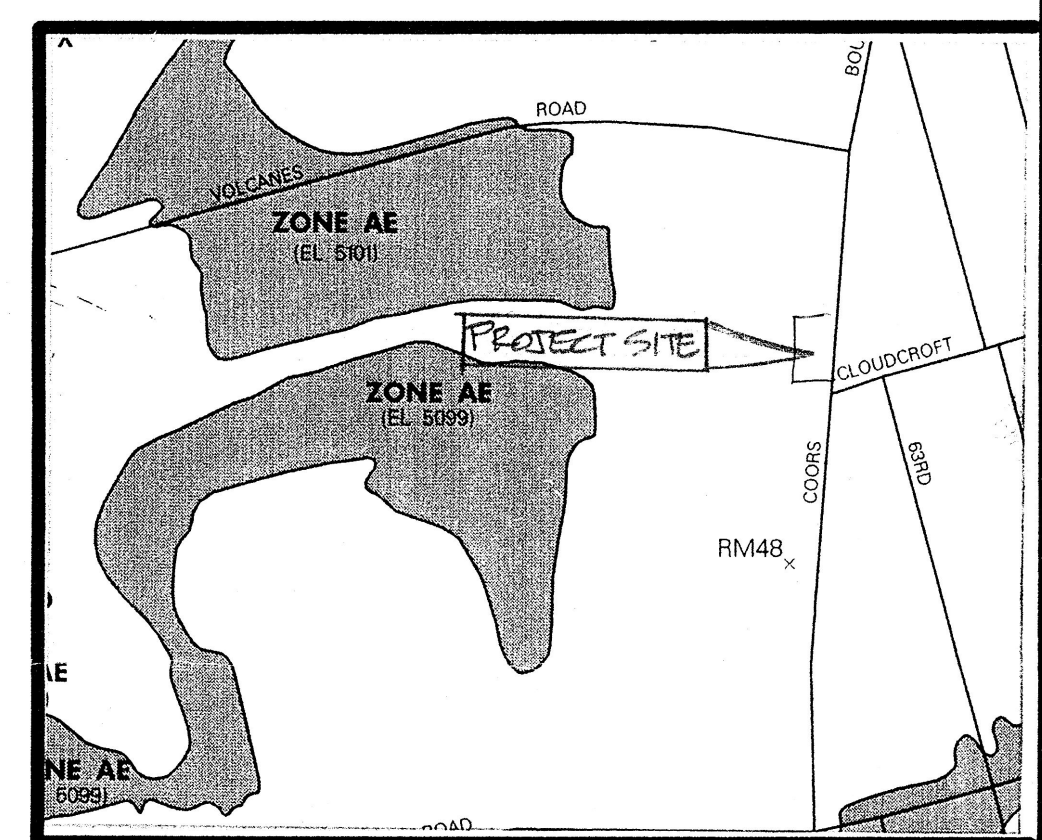
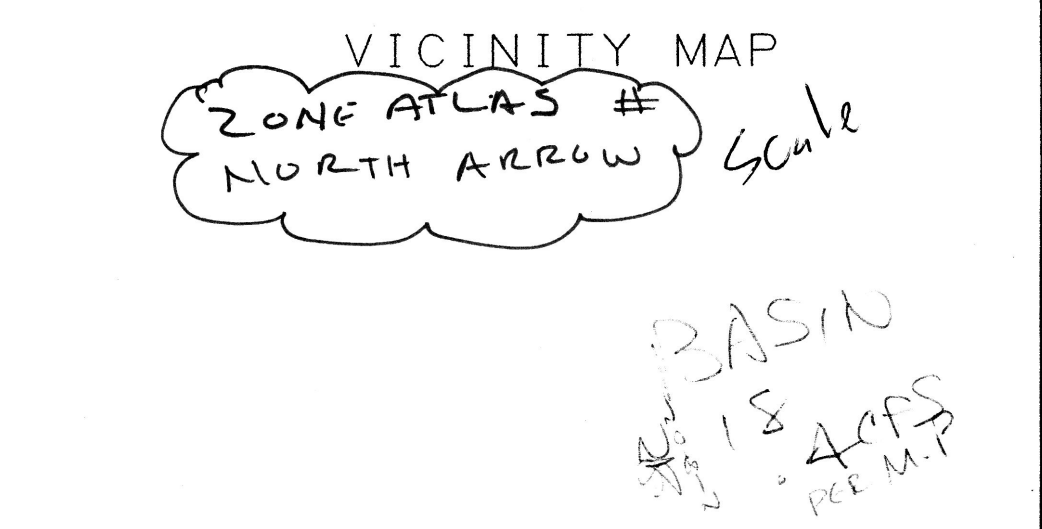
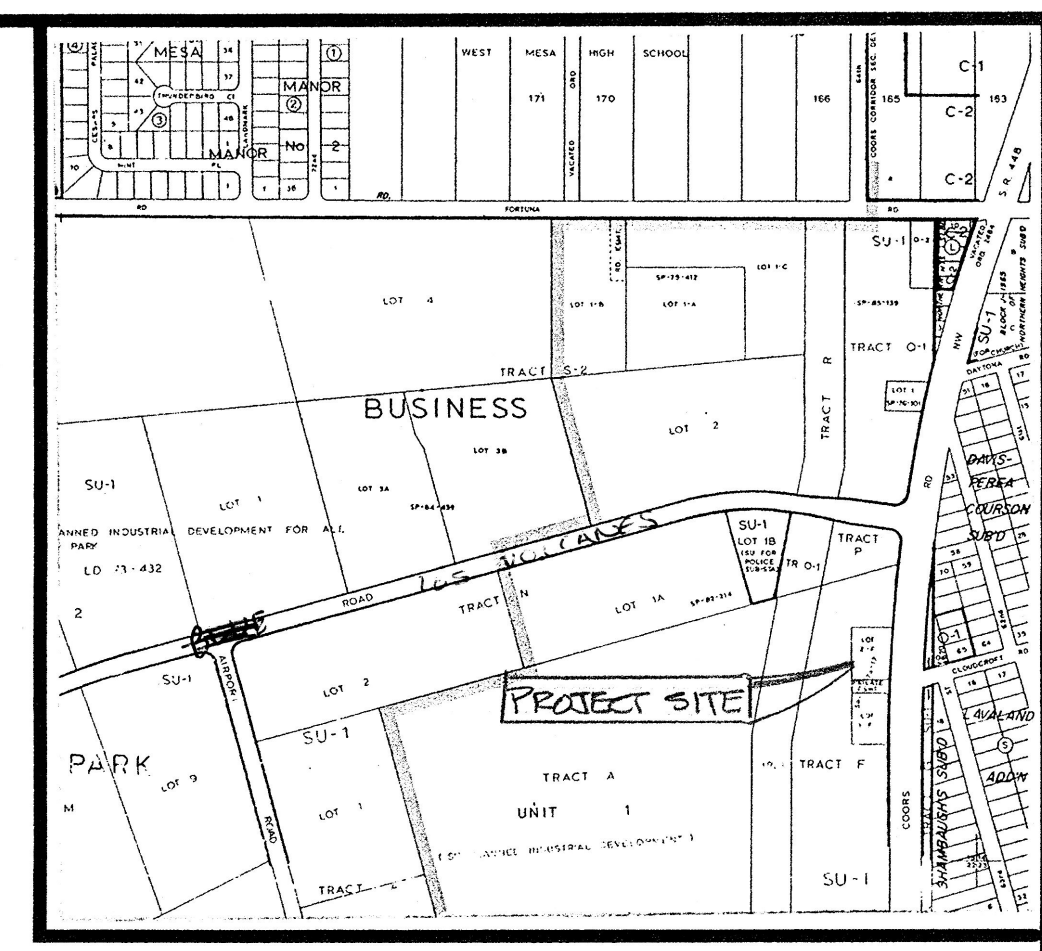


ABBREVIATIONS

TC = TOP OF CURB
 SW = SIDEWALK
 EL = ELEVATION
 P = PAVEMENT
 FL = FLOWLINE
 CL = CENTERLINE
 S = SLOPE
 FT/FT = FEET PER FOOT
 G = GROUND
 FT³ = CUBIC FT

DESCRIPTION	LAND USE					REMARKS
	A	B	C	D	TOTAL	
EXCESS PRECIPITATION INCHES	0.44	0.67	0.90	1.97		
DEVELOPED CONDITIONS		7.565 ft² 0.174 AC		24.435 ft² 0.515 AC	30.000 ft²	
V _{6HR} = A					4.100 ft³	
V _{24HR} = B					4.960 ft³	MINIMUM POND VOLUME REQUIRED

NOTE:
 LAND USE B LANDSCAPING
 LAND USE A PAVED



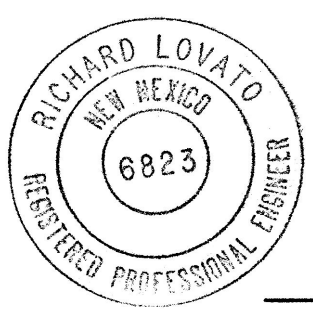
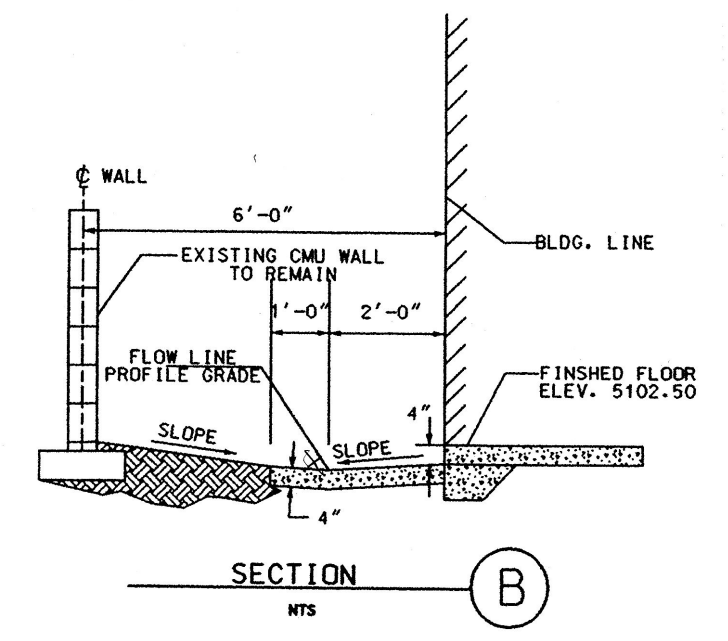
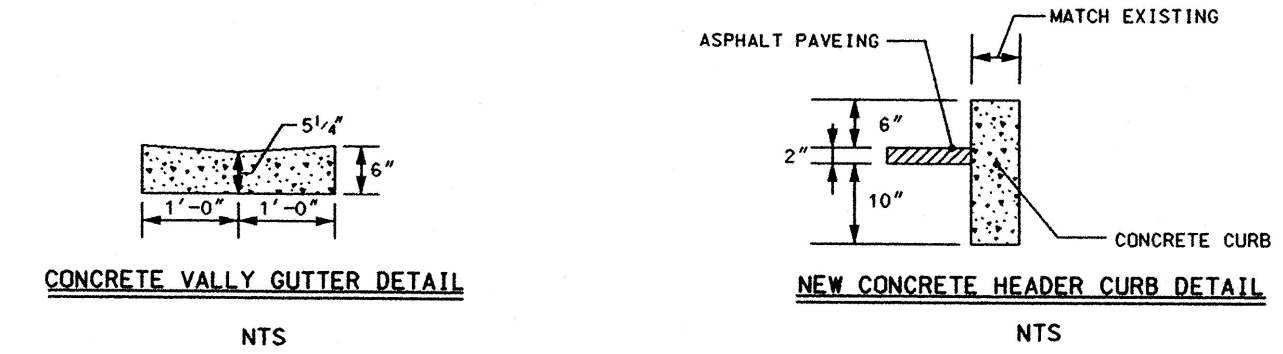
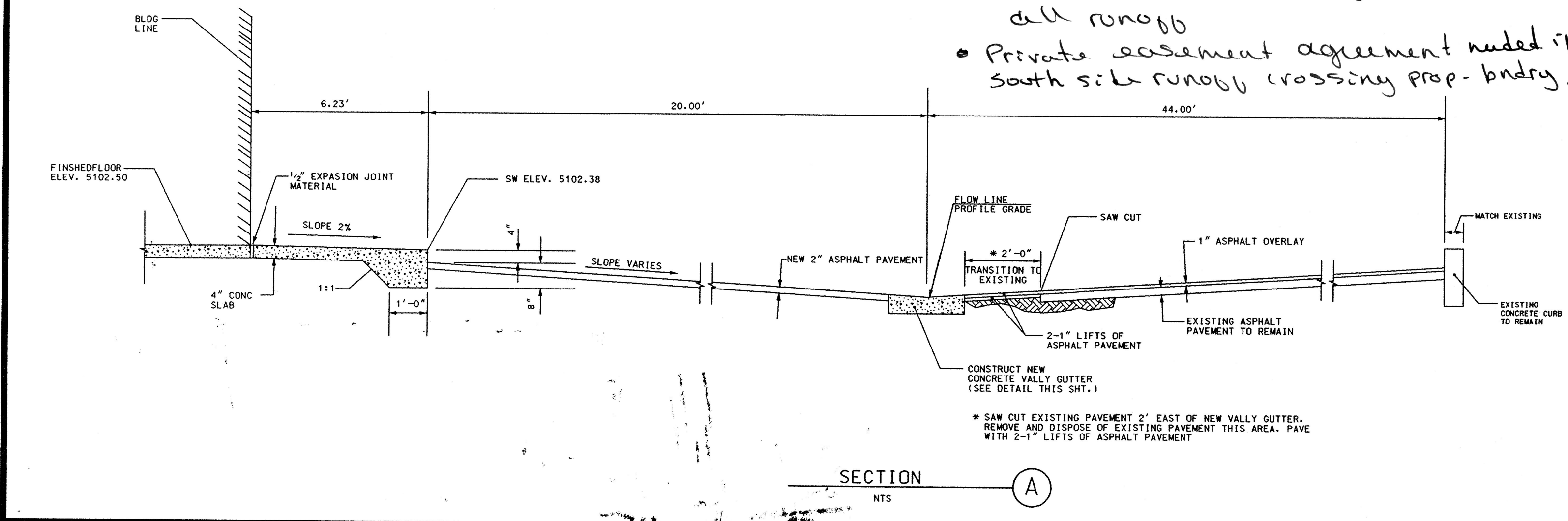
FLOOD MAP 35001C0329 D
 SEPTEMBER 20, 1996

(3) How is runoff maintained in property on south side? Please show, how w/ arrows, how runoff gets to pond? Is there no existing curb @ Property line? curbs NOTED MORE information on South side.

GRADING & DRAINAGE PLAN

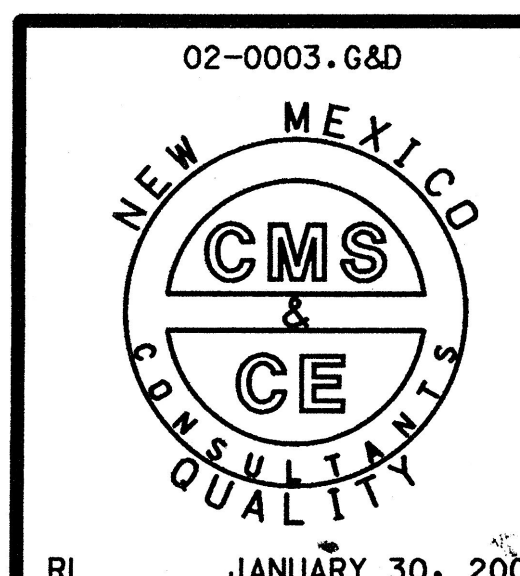
SCALE: 1" = 20'

- Ordinance does not allow retention ponds
- Retention ponds only allowed when downstream capacity cant hold all runoff
- Private easement agreement needed if south side runoff crossing prop. bndry.



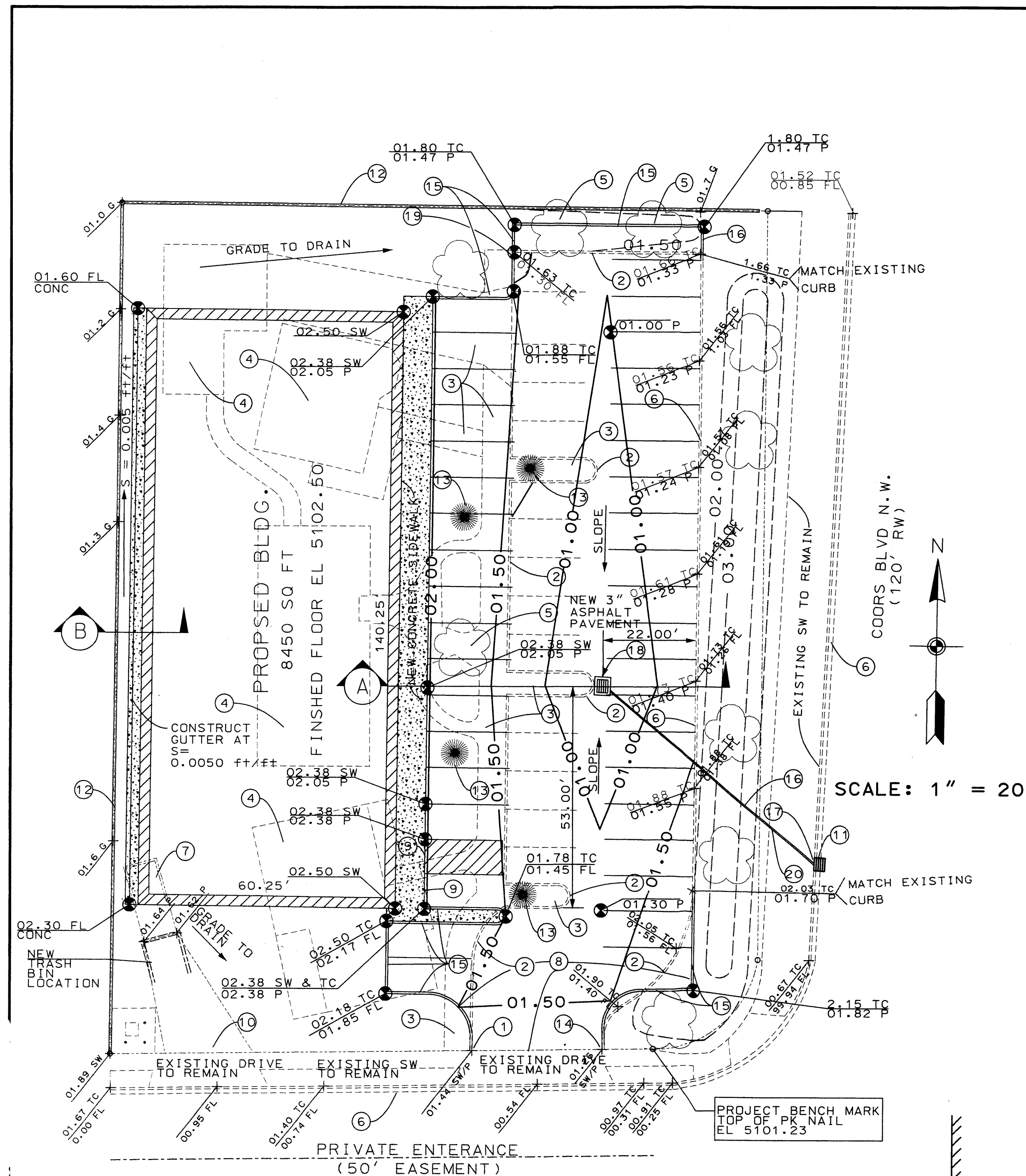
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Richard Lovato 1/31/02
 RICHARD LOVATO NMPE NO 6823



LOT 2-F-1
 ATRISCO BUSINESS PARK
 UNIT 1
 465 COORS BLVD. N.W.
 DRAINAGE & GRADING PLAN

NM QUALITY CMS & CE
 CONSULTANTS
 1020 SAN PEDRO NE
 ALBUQUERQUE, NM 87110
 PHONE: 505-254-4952 FAX: 505-254-4959



GRADING & DRAINAGE PLAN

GENERAL CONSTRUCTION NOTES:

- 1 EXISTING HOUSES AND GARAGE TO BE REMOVED BY OTHERS.
- 2 EXISTING CURB AND SIDEWALK TO BE REMOVED AT LOCATIONS DESIGNATED.
- 3 EXISTING PAVEMENT TO BE REMOVED AND DISPOSED OF.
- 4 SOFT DEFORMED AREAS IN EXISTING SUBGRADE TO BE REPAIRED BEFORE APPLICATION OF NEW PAVEMENT.
- 5 NEW PAVEMENT TO BE 3" OF ASPHALT CONSTRUCTED TO GRADES SHOWN. SUBGRADE TO BE COMPACTED TO 95% OF MAXIMUM DENSITY.
- 6 EXISTING YARD LIGHTS AND UNDERGROUND ELECTRICAL ARE TO BE REMOVED OR ABANDONED.
- 7 CONSTRUCT 4" CONCRETE GUTTER AS DETAILED AND TO GRADES SHOWN.
- 8 SEE SITE PLAN FOR PARKING SPACE STRIPING AND SIGNING REQUIREMENTS.
- 9 EXISTING SPRINKLER SYSTEM TO BE ADJUSTED OR REMOVED AS REQUIRED.

KEYED NOTES:

- 1 MATCH EXISTING SIDEWALK WITH TOP OF CURB. TRANSITION TO 4" CURB HEIGHT IN 4'.
- 2 REMOVE EXISTING CURB
- 3 REMOVE EXISTING SIDEWALK
- 4 EXISTING HOUSE TO BE REMOVED BY OTHERS.
- 5 REMOVE EXISTING TREE.
- 6 EXISTING CURB TO REMAIN.
- 7 REMOVE EXISTING TRASH BIN.
- 8 REMOVE EXISTING PAVEMENT.
- 9 PAVEMENT SURFACE TO MATCH SIDEWALK IN THIS AREA.
- 10 ADJUST PAVEMENT APPROACH TO NEW TRASH BIN LOCATION.
- 11 EXISTING SINGLE "C" CATCH BASIN TO REMAIN. TC EL. = 00.76. GRATE EL. = 99.88
- 12 EXISTING CMU WALL ON PROPERTY LINE TO REMAIN.
- 13 REMOVE EXISTING YARD LIGHT.
- 14 MATCH EXISTING SIDEWALK WITH TOP OF CURB AND TRANSITION TO 4" CURB HEIGHT IN 4'.
- 15 CONSTRUCT NEW HEADER CURB.
- 16 BUILD 65' OF 12" DIAMETER SCHEDULE 40 PVC PIPE FROM EXISTING CATCH BASIN TO NEW CATCH BASIN W/ S=0.0070 ft/ft
- 17 CORE DRILL INTO BACK OF EXISTING CATCH BASIN AND CONNECT 12" PVC PIPE PER COA STD DWG 2237 INV EL 12" PVC = 97.88 ± (VERIFY)
- 18 BUILD SINGLE "D" CATCH BASIN PER COA STD DWG NO. 2206 INV EL 12" = 98.33 GRATE EL = 00.50 INV EL OF INLET = 98.33. CONSTRUCT 1'-0" WIDE X 6" THICK APRON AROUND NEW CATCH BASIN SLOPE TO INLET @ 2%.
- 19 CUT 6" WIDE NOTCH IN HEADER CURB THEORETICAL TC EL = 01.63. PAVEMENT EL = 01.30
- 20 REMOVE AND REPLACE EXISTING SIDEWALK AS REQUIRED TO INSTALL NEW 12" SD LINE. NO DIAGONAL CUTS WILL BE ALLOWED

DRAINAGE NOTES:

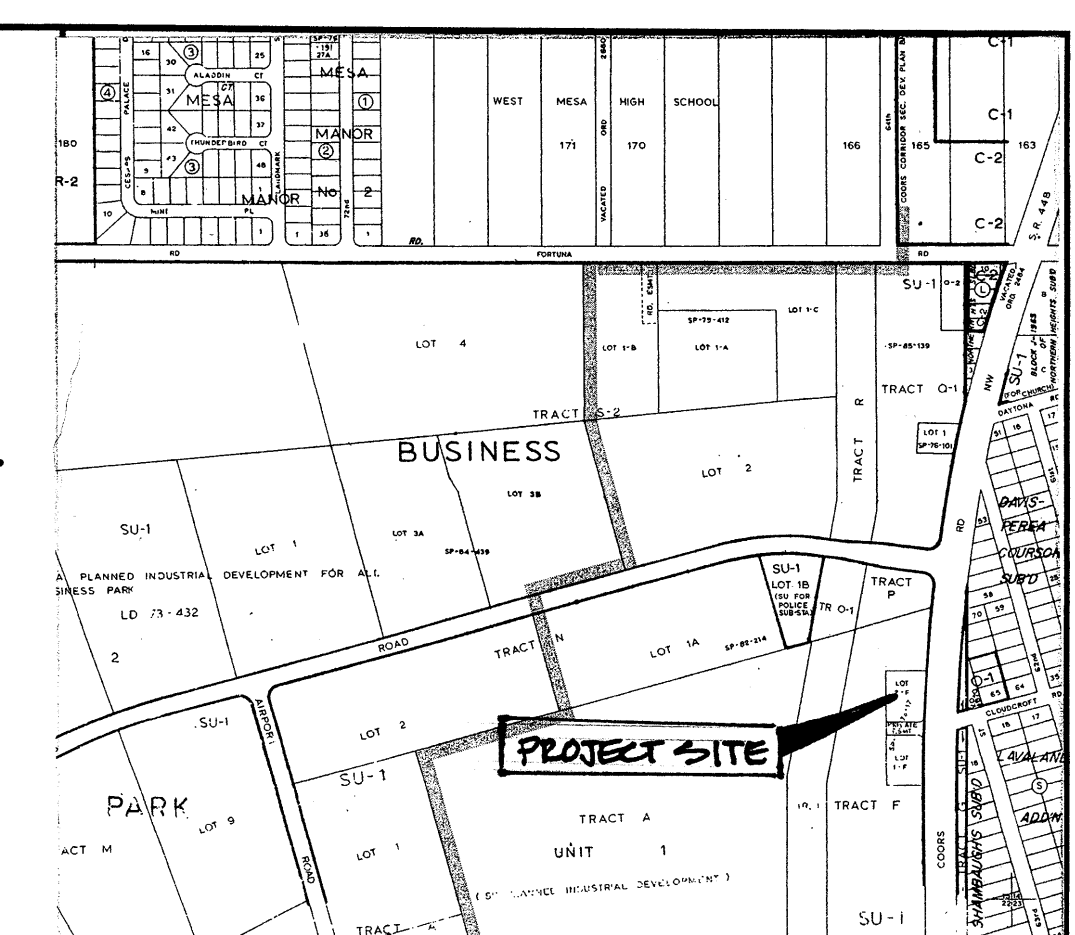
1. THIS SITE IS DESIGNATED AS SUB BASIN 18 IN THE ATRISCO BUSINESS PARK MASTER DRAINAGE PLAN PROPOSED FOR WESTLAND DEVELOPMENT COMPANY INC. IN JUNE 1980 BY FRED DEMY INC. AND ADOPTED BY EASTERLING AND ASSOCIATES.
2. IN ACCORDANCE WITH ABOVE SAID MASTER PLAN AND PER MEETING WITH BRADLEY BINGHAM, PE CITY OF ALBUQUERQUE THE RUNOFF GENERATED ON SITE FOR DEVELOPED CONDITIONS WILL BE DISCHARGED TO THE EXISTING STORM DRAIN IN COORS ROAD. CONNECTION OF 12" PVC LINE WILL BE MADE TO THE BACK OF AN EXISTING CATCH BASIN ON THE WEST SIDE OF COORS ROAD.
3. RUNOFF CALCULATIONS ARE BASED ON CITY OF ALBUQUERQUE DPM CHAPTER 22. FOR 100 YEAR, 6 HOUR STORM, ZONE 1.
4. THERE IS NO OFF SITE RUNOFF ENTERING THIS SITE. THE SITE FENCED ON NORTH AND WEST SIDES WITH CMU WALL. SITE IS BOUNDED ON THE EAST BY COORS ROAD AND ON THE SOUTH BY A PAVED PRIVATE ENTRANCE.
5. TOTAL PLATTED AREA OF SITE IS 0.689 ACERS.
6. BOUNDARY INFORMATION TAKEN FROM A.L.T.A./A.C.S.M. SURVEY BY MARQUEZ SURVEYING CO., INC. DATE JULY 17, 2001
7. TOPOGRAPHY SURVEY PERFORMED BY CMS&CE ON JANUARY 12, 2002
8. BENCH MARK USED IS CITY OF ALBUQUERQUE CONTROL STATION 2-J10. EL = 5100.44.
9. PROJECT BENCH MARK ESTABLISHED TOP OF PK NAIL AT S.E. PROPERTY CORNER EL = 5101.23 (SEE PLAN)

LEGEND

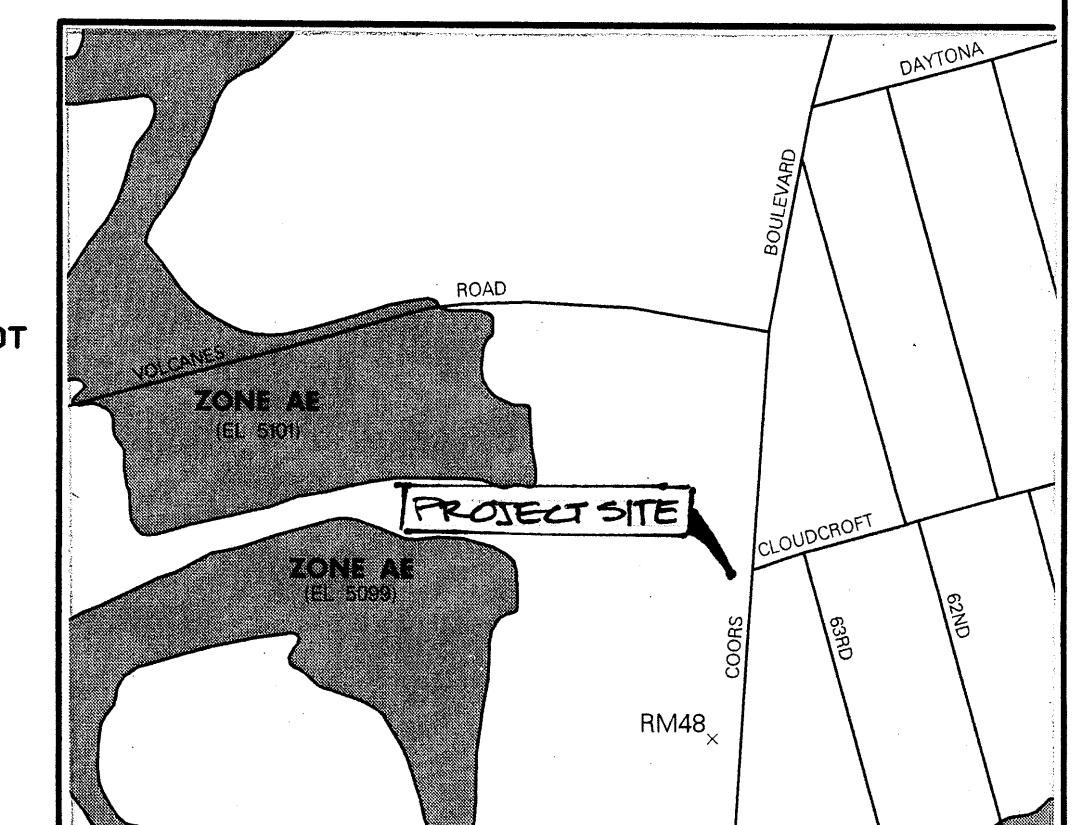
---	PROPERTY/ LOTLINE
---	EXISTING GROUND CONTOUR
01.67 TC 00.00 FL	EXISTING SPOT ELEVATION
---	FINISHED GRADE CONTOUR
---	EXISTING POWER POLE
---	NEW HEADER CURB 6" X 18"
---	EXISTING HEADER CURB 6" X 18"
---	EXISTING TREE
01.67 TC 01.17 P	NEW SPOT ELEVATION
---	NEW CONC SLAB/SIDEWALK
---	NEW BUILDING LIMITS
---	EXISTING CMU WALL
---	EXISTING YARD LIGHT

ABBREVIATIONS

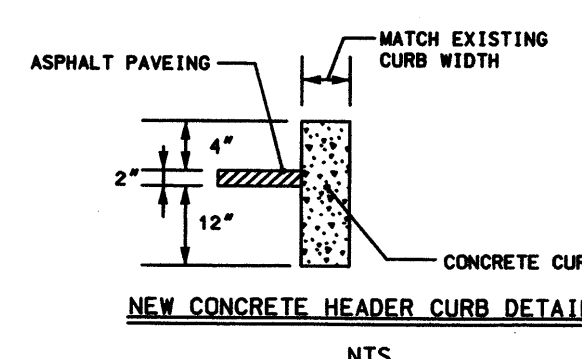
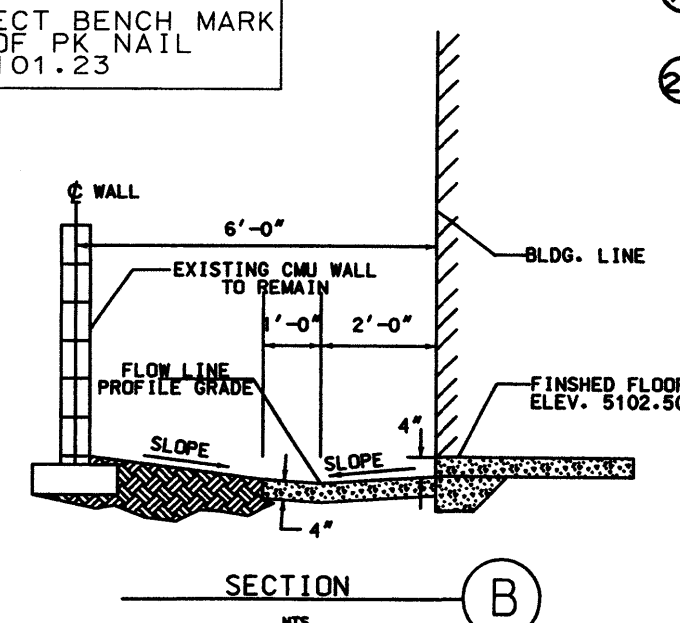
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G	=	GROUND
FT	=	CUBIC FT



VICINITY MAP
3-10-2



FLOOD MAP 35001C0329 D
SEPTEMBER 20, 1996



Drainage facilities within City Right-of-way notice to contractor

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH ALBUQUERQUE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATION SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITHIN A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO COLLECTOR STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. PROOF OF ACCEPTANCE WILL BE REQUIRED PRIOR TO SIGN OFF FOR CERTIFICATE OF OCCUPANCY (C.O.).

DESCRIPTION	LAND USE					REMARKS
	A	B	C	D	TOTAL	
EXCESS PRECIPITATION INCHES	0.44	0.67	0.90	1.97		
PEAK DISCHARGE (CFS/ACRE)	1.29	2.03	2.87	4.37		
DEVELOPED CONDITIONS		7.565 ft ² 0.174 AC		22.435 ft ² 0.515 AC	30.000 ft ² 0.689 AC	
Q ₁₀₀ (CFS)		0.35 cfs		2.25 cfs	2.60 cfs	

NOTE:
LAND USE B LANDSCAPING
LAND USE D PAVED

THIS IS TO CERTIFY THAT I INSPECTED AND PERFORMED A TOPOGRAPHY SURVEY ON THE SUBJECT SITE ON JANUARY 25, 2002 AND THAT NO GRADING, FILLING OR EXCAVATION HAS OCCURRED SINCE THE PREPARATION OF THE TOPOGRAPHY SHOWN ON THIS PLAN.



Richard Lovato
REGISTERED LAND SURVEYOR
NO. 11769
RICHARD LOVATO NMPE NO 6823



LOT 2-F-1
ATRISCO BUSINESS PARK
UNIT 1
465 COORS BLVD. N.W.
GRADING & DRAINAGE PLAN

NM QUALITY CMS & CE
CONSULTANTS

1020 SAN PEDRO NE
ALBUQUERQUE, NM 87110
PHONE: 505-710-3099 FAX: 505-254-4952

SHEET
1 OF 2

INSPECTION APPROVAL:

CONSTRUCTION SECTION

DATE

MARCH 6, 2002

UTILITY NOTES

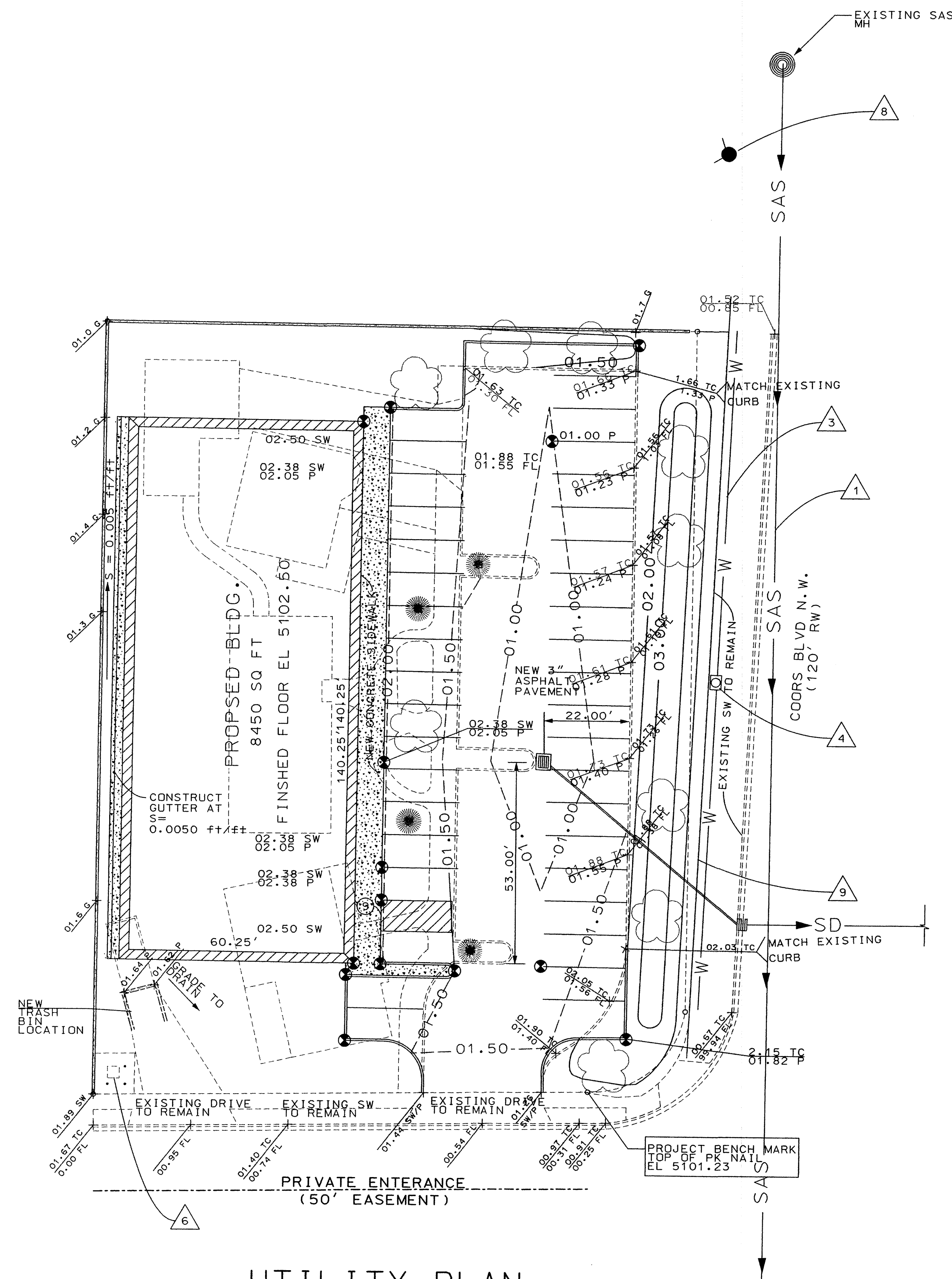
- 1 EXISTING 8" VCP SANITARY SEWER LINE
- 2 THERE IS EXISTING SANITARY SEWER SERVICE LINE TO THIS SITE. THE CONTRACTOR SHALL EXPLORE AND DETERMINE LOCATION OF EXISTING SEWER LINE AND UTILIZE FOR NEW BUILDING. THE LOCATION OF THE EXISTING SERVICE LINE CONNECTION TO THE SANITARY SEWER MAIN IN COORS WAS NOT EVIDENT. TWO WAY CLEAN OUTS ARE TO BE PROVIDED ON NEW 4" SANITARY SEWER LINE TO NEW BUILDING.
- 3 EXISTING 6" CAST IRON WATER LINE
- 4 EXISTING WATER METER BOX. METER GONE. USE EXISTING 6 1/4" WATER METER SERVICE LINE TO SERVICE NEW BUILDING.
- 5 THERE IS EXISTING GAS SERVICE TO THIS SITE. THIS SERVICE IS TO BE UTILIZED TO SERVICE NEW BUILDING.
- 6 EXISTING TRANSFORMER TO REMAIN.
- 7 SEE GRADING AND DRAINAGE PLAN FOR STORM DRAIN IMPROVEMENTS ASSOCIATED WITH THIS SITE.
- 8 EXISTING FIRE HYDRANT TO REMAIN.
- 9 EXISTING 2" PVC TRAFFIC SIGNAL CONDUIT TO REMAIN.

LEGEND

-----	PROPERTY/ LOTLINE
-----	EXISTING GROUND CONTOUR
01.67 TC 00.00 FL	EXISTING SPOT ELEVATION
-----	FINISHED GRADE CONTOUR
-----	EXISTING POWER POLE
=====	NEW HEADER CURB 6" X 18"
-----	EXISTING HEADER CURB 6" X 18"
-----	EXISTING TREE
01.67 TC 01.17 P	NEW SPOT ELEVATION
-----	NEW CONC SLAB/SIDEWALK
=====	NEW BUILDING LIMITS
-----	EXISTING CMU WALL
-----	EXISTING YARD LIGHT

ABBREVIATIONS

SAS	=	SANITARY SEWER LINE
W	=	WATER LINE
TC	=	TOP OF CURB
SW	=	SIDEWALK
EL	=	ELEVATION
P	=	PAVEMENT
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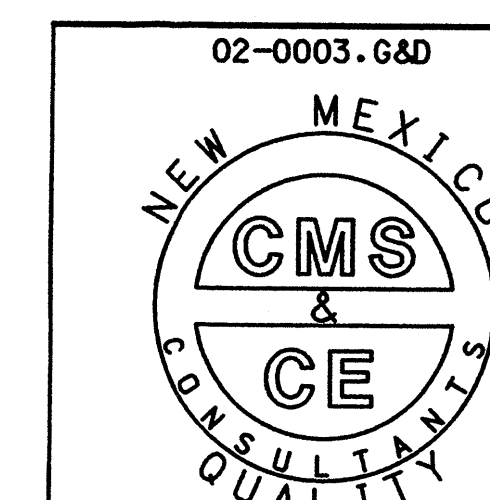


UTILITY PLAN

SCALE: 1" = 20'

Richard Lovato 3/6/02
RICHARD LOVATO NMPE NO 6823

Frank Barela



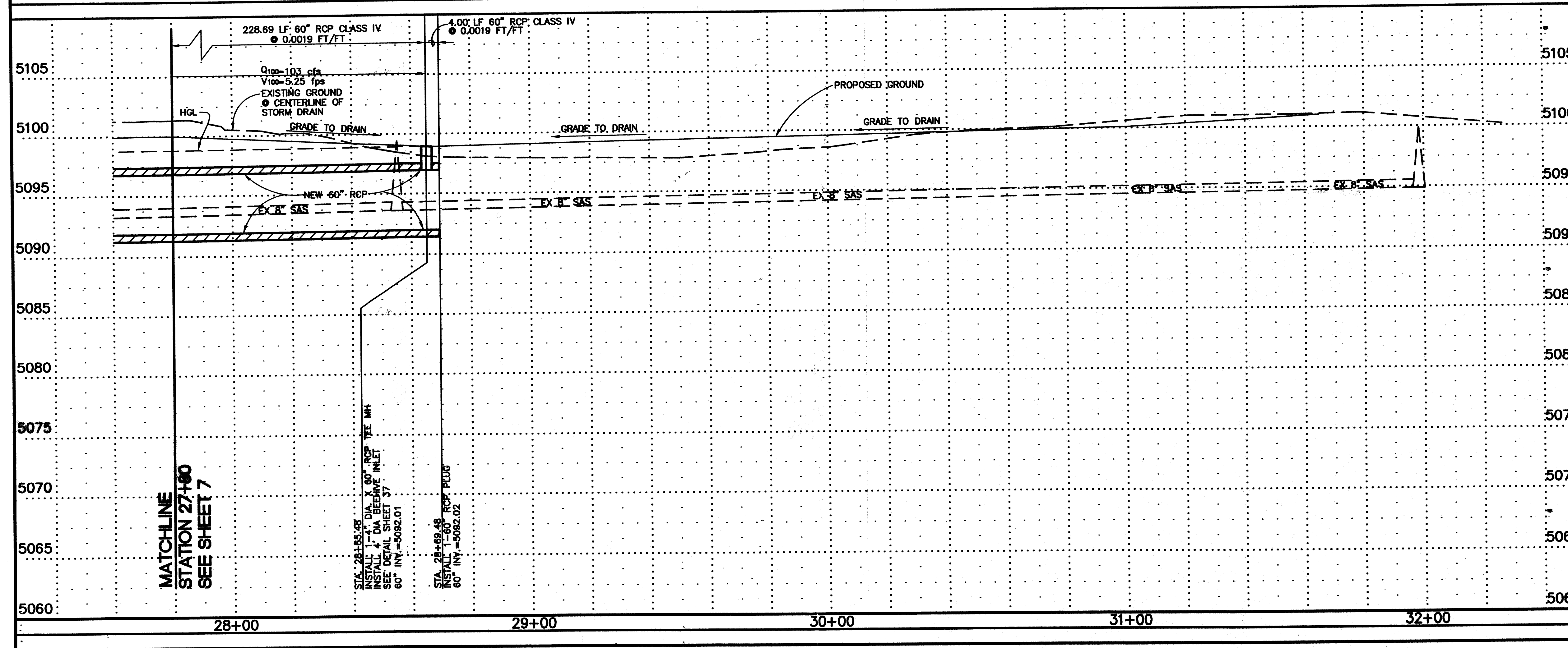
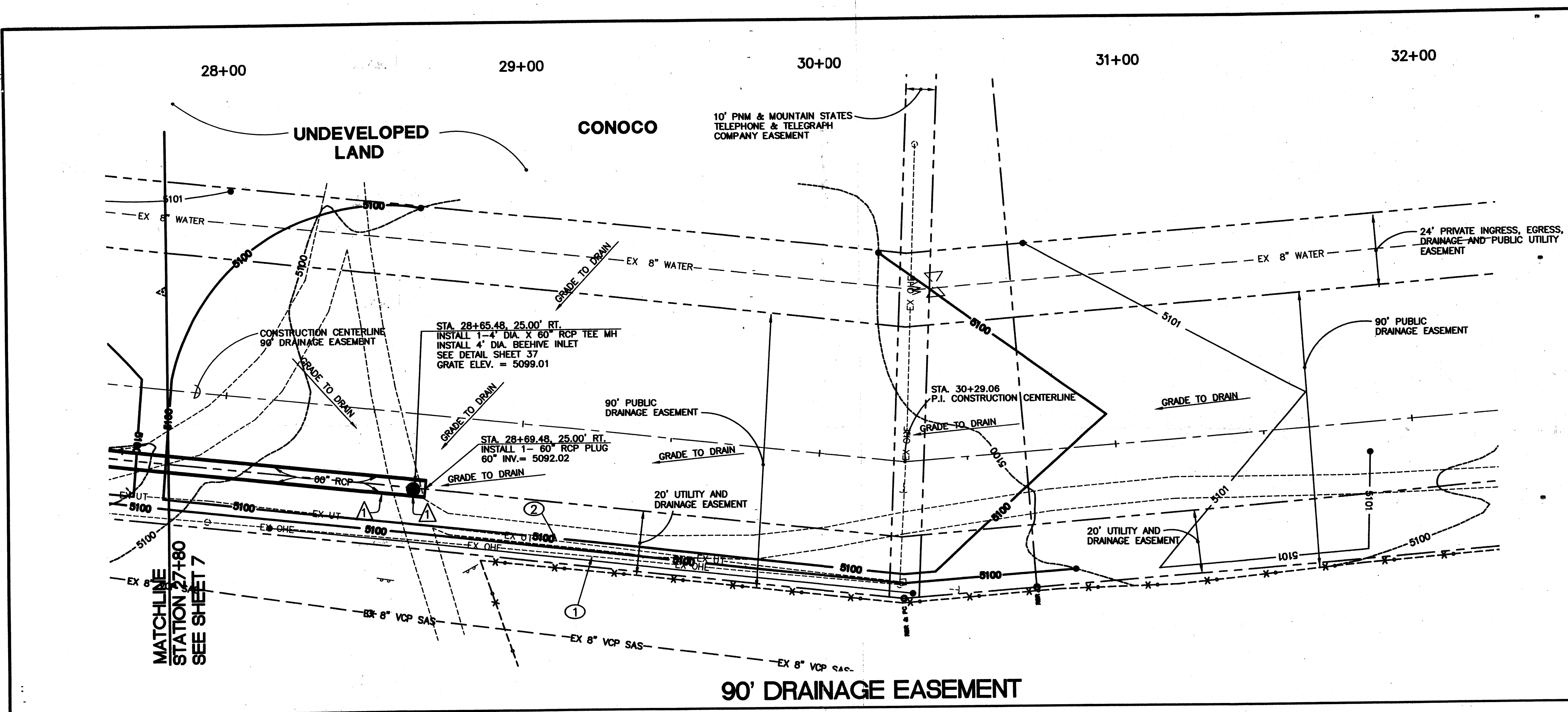
MARCH 6, 2002

LOT 2-F-1
ATRISCO BUSINESS PARK
UNIT 1
465 COORS BLVD. N.W.
UTILITY PLAN

NM QUALITY CMS & CE
CONSULTANTS

1020 SAN PEDRO NE
ALBUQUERQUE, NM 87110
PHONE: 505-710-3099 FAX: 505-254-4952

SHEET
2 OF 2



KEYED NOTES:

① PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH PNM-ELECTRIC (RICK MONTOYA (505) 241-3403).
NOTE PNM-ELECTRIC REQUIRES 4 WEEKS TO SCHEDULE CREWS TO PERFORM ANY WORK.

② PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR SHALL COORDINATE WITH QWEST (MARY ANN JOJOLA (505) 245-6587).
NOTE QWEST REQUIRES 4 WEEKS TO SCHEDULE CREWS TO PERFORM ANY WORK.

GENERAL NOTES

1. ALL CONSTRUCTION MUST TAKE PLACE WITHIN CITY OF ALBUQUERQUE RIGHT OF WAY. THE CONTRACTOR SHALL USE SHORING, TRENCH BOXES, ETC. DURING THE TRENCHING AND BACKFILLING PROCESS SO AS NOT TO DAMAGE ANY FACILITIES, UTILITIES, FENCES, WALLS, PAVEMENT, ETC. THAT EXIST ON PRIVATE PROPERTY. ANY DAMAGE TO ITEMS LOCATED ON PRIVATE PROPERTY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE AT NO ADDITIONAL COST TO THE OWNER.

2. ALL GRADING SHOWN ON THIS SHEET WILL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO ADDITIONAL PAYMENT WILL BE MADE FOR THE GRADING SHOWN ON THIS SHEET.

BASE BID

Vertical Scale: 1" = 5'
Horizontal Scale: 1" = 20'

196105D
Smith Engineering Company
A Full Service Engineering Company
6000 Olympic Boulevard, N.E. Suite 4000 Albuquerque, New Mexico 87109

**CITY OF ALBUQUERQUE
PUBLIC WORKS DEPARTMENT
ENGINEERING DEVELOPMENT GROUP**

**TITLE: WEST MESA DIVERSION PROJECT PHASE 2D
STORM DRAIN P & P: 90' DRAINAGE EASEMENT: STA 27+80 TO 29+54.57**

Design Review Committee	City Engineer Approval	No. / Day / Yr.	No. / Day / Yr.

City Project No. **538105** Zone Map No. **J-10** Sheet **8** of **50**

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK	DATE
STATIONED BY	DATE
INSPECTED BY	DATE
REVISIONS BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

AS BUILT INFORMATION

CONTRACTOR	DATE
WORK	DATE
STATIONED BY	DATE
INSPECTED BY	DATE
REVISIONS BY	DATE
CHECKED BY	DATE
RECORDED BY	DATE
NO.	

ENGINEER'S SEAL

Daniel J. [Signature]
11-1504

11/5/04

NO.	DATE	REVISIONS	DESIGN

DESIGNED BY DLA DATE 06/04
DRAWN BY DLA DATE 06/04
CHECKED BY DLA DATE 06/04

SURVEY INFORMATION

FIELD NOTES	DATE
BY	
NO.	

BENCH MARKS

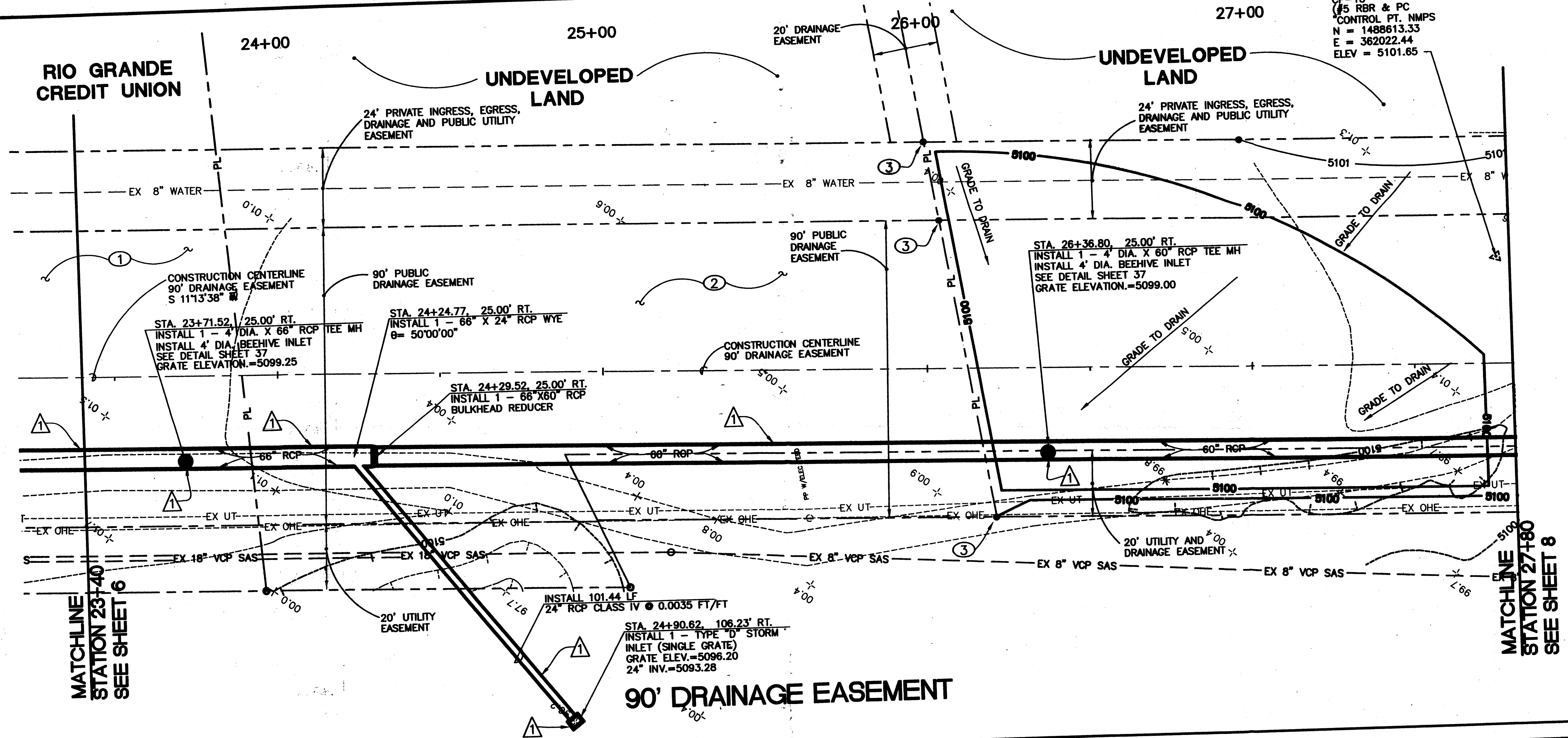
1-40-18	NHSC/ACS	ELEV. 5103.98 FEET (SLD 1923)
STATION IS LOCATED 3.5 MILES NW OF DOWNTOWN ALBUQUERQUE, AT THE HIGHWAY I-40 AND STATE ROAD 448 (COORS RD., NW) INTERCHANGE. STATION MARK IS A STANDARD NHSC BRASS TABLET, STAMPED "STA I-40-18", SET IN TOP OF A CONCRETE POST FLUSH WITH THE GROUND. (N 1494889.08, E 364150.93)		

For Information Only

RIO GRANDE CREDIT UNION

UNDEVELOPED LAND

UNDEVELOPED LAND



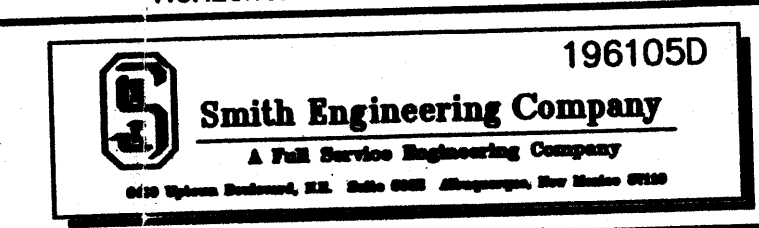
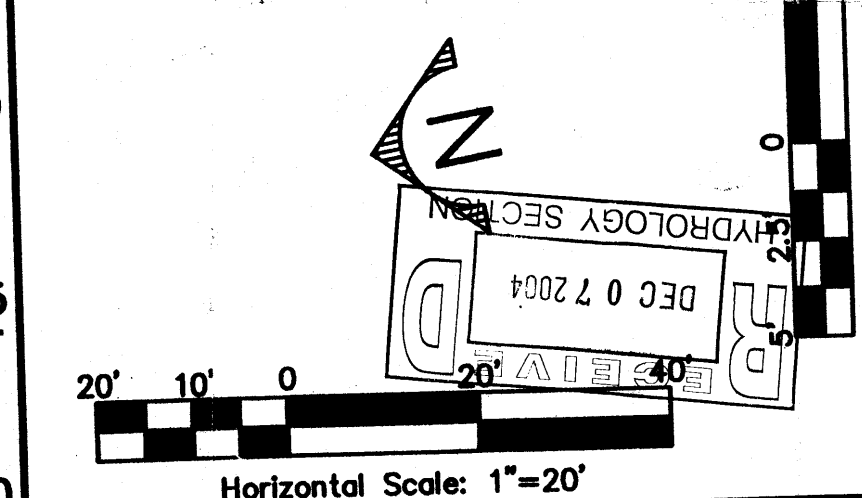
KEYED NOTES:

- CONTRACTOR TO MATCH EXISTING RIO GRANDE CREDIT UNION POND GEOMETRY WHEN CONSTRUCTION IN THE AREA IS COMPLETE WITH THE EXCEPTION OF GRADING THE POND BOTTOM TO DRAIN TO THE BEEHIVE INLET AT STA. 23+71.52
- SEPARATE CONSTRUCTION (PERFORMED BY OTHERS) ON THIS TRACT OF LAND WILL COINCIDE WITH THE CONSTRUCTION OF THIS PROJECT. THE CONTRACTOR SHALL COORDINATE HIS BACKFILL OPERATION WITH THE SEPARATE CONSTRUCTION.
- PROPOSED GRADE OF SEPARATE CONSTRUCTION ELEV = 5100.00
- EXISTING GROUND PROFILE AT CENTERLINE OF PROPOSED STORM DRAIN PRIOR TO CONSTRUCTION.

GENERAL NOTES

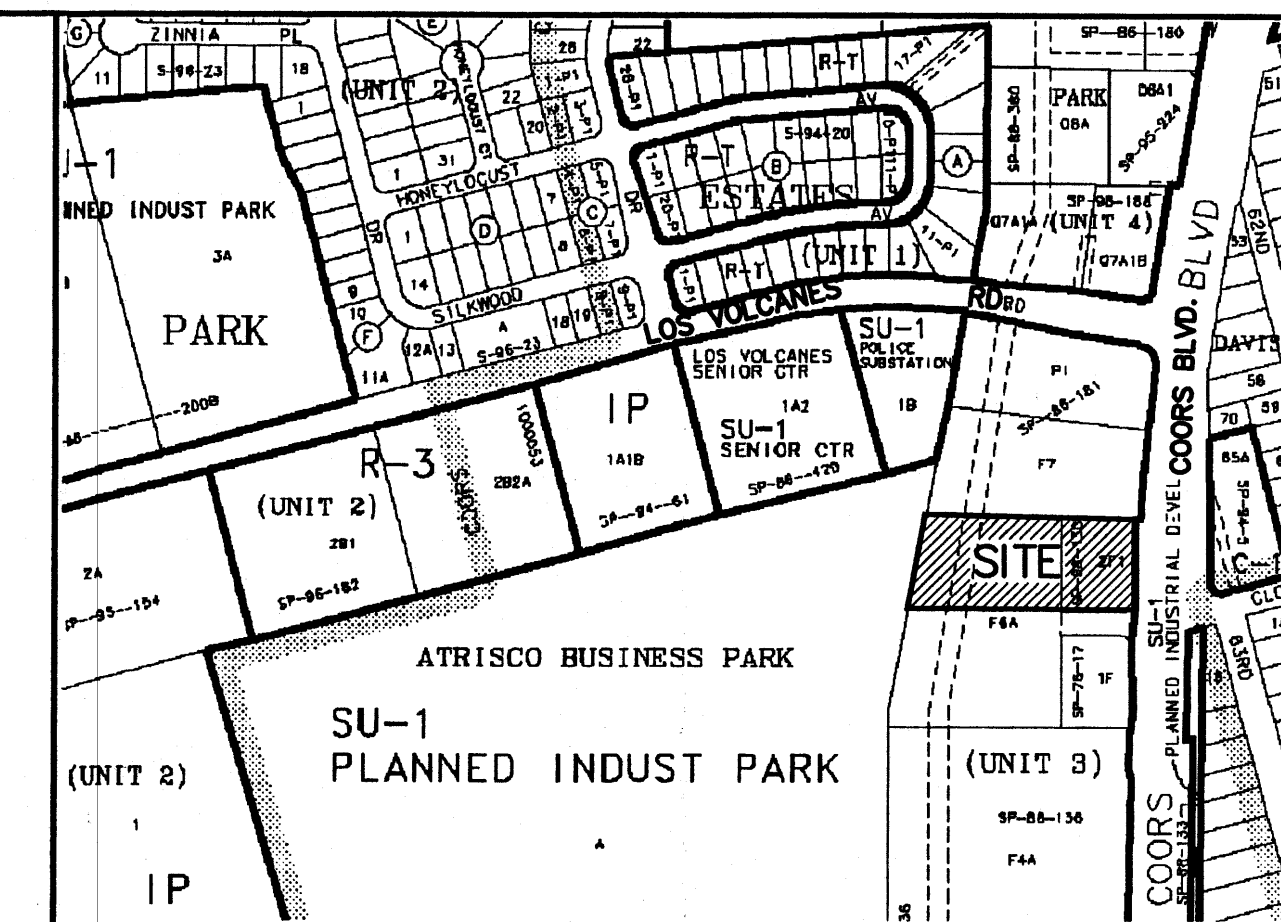
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- ALL GRADING SHOWN ON THIS SHEET WILL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO ADDITIONAL PAYMENT WILL BE MADE FOR THE GRADING SHOWN ON THIS SHEET.

BASE BID



CITY OF ALBUQUERQUE PUBLIC WORKS DEPARTMENT ENGINEERING DEVELOPMENT GROUP	
TITLE: WEST MESA DIVERSION PROJECT PHASE 2D STORM DRAIN P & P: 90' DRAINAGE EASEMENT: STA 23+40 TO 27+80	
Design Review Committee	City Engineer Approval
No. / Day / Yr.	No. / Day / Yr.
Designed By: DLA	Date: 08/04
Drawn By: DLA	Date: 08/04
Checked By: DLA	Date: 08/04
City Project No. 538105	Zone Map No. J-10
Sheet 7	of 50

For Information Only



VICINITY MAP:

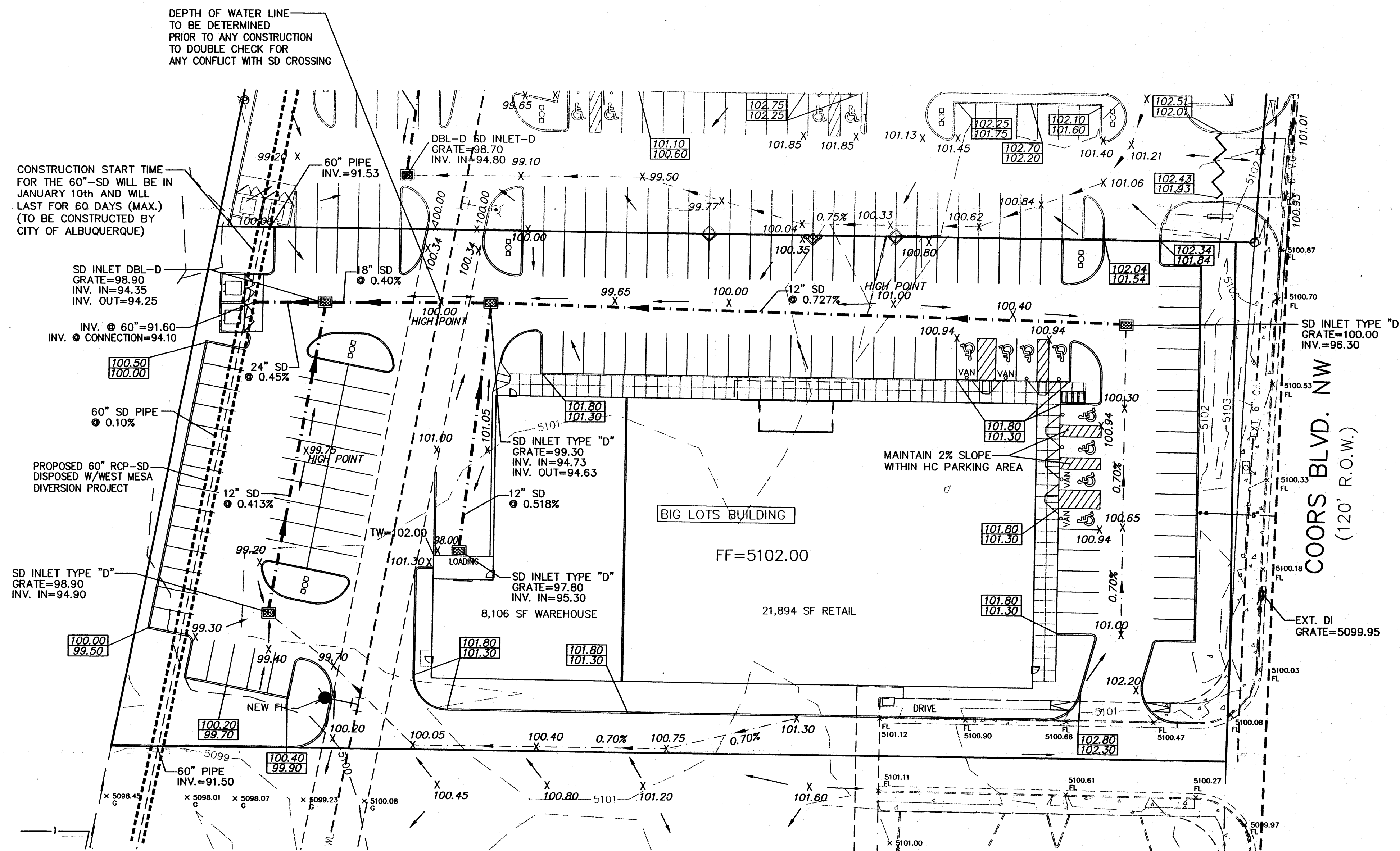
J-10-Z

LEGAL DESCRIPTION:

TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3
CONTAINING 2.4079 ACRE (104,889.18 SQUARE FEET)
MORE OR LESS.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS — EXISTING SANITARY SEWER LINE
- EX. 16" WL — EXISTING WATER LINE
- EXISTING CURB & GUTTER
- PROPOSED CURB & GUTTER
- 5100 — EXISTING CONTOUR (MAJOR)
- 5102 — EXISTING CONTOUR (MINOR)
- BOUNDARY LINE
- LIMITS OF TOP OF EXISTING SLOPE
- TC 70.90
FL 70.40 — PROPOSED GRADE
- X 70.28 — PROPOSED SPOT ELEVATION
- EXISTING POWER LINES
- EXISTING FENCE
- EXISTING GARDEN WALL
- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- X 5265.16 — EXISTING GRADE
- FLOW PATH
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE
- SINGLE "A" INLET
- DOUBLE "A" INLET



GENERAL NOTES:

1. ADD 5000 TO SPOT ELEVATIONS TO SHOW TRUE ELEVATION.
2. CONTOUR INTERVAL IS ONE (1) FOOT.
3. ELEVATIONS ARE BASED ON CITY OF ALBUQUERQUE CONTROL STATION MON-7-J10 HAVING AN ELEVATION OF 5103.225 FEET ABOVE SEA LEVEL.
4. UTILITIES SHOWN HEREON ARE IN THEIR APPROXIMATE LOCATION BASED ONLY ON ABOVE GROUND EVIDENCE FOUND IN THE FIELD AND AS-BUILT INFORMATION PROVIDED BY THE CLIENT. UTILITIES SHOWN HEREON, WHETHER INDICATED AS ABANDONED OR NOT, SHALL BE VERIFIED BY OTHERS FOR EXACT LOCATION AND/OR DEPTH PRIOR TO EXCAVATION OR DESIGN CONSIDERATIONS.
5. THIS IS NOT A BOUNDARY SURVEY, BEARINGS ARE ASSUMED, DISTANCES AND FOUND PROPERTY CORNERS ARE FOR INFORMATIONAL PURPOSES ONLY.
6. SLOPES ARE AT 3:1 MAXIMUM.

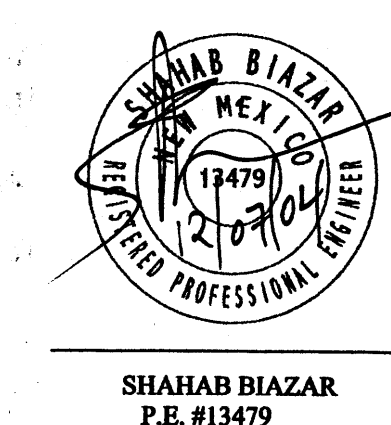
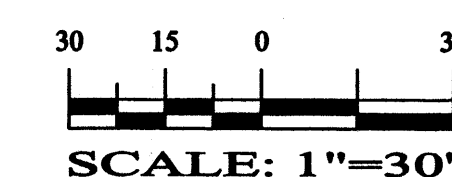
EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING A TOPSOIL DISTURBANCE PERMIT PRIOR TO BEGINNING WORK.
2. CONTRACTOR IS RESPONSIBLE FOR CLEANING ALL SEDIMENT OUT OF EXISTING RIGHT-OF-WAY.
3. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL STORM RUNOFF ON SITE.
4. REPAIR OF DAMAGED FACILITIES AND CLEAN-UP OF SEDIMENT ACCUMULATION ON ADJACENT PROPERTIES AND IN PUBLIC FACILITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL EXPOSED EARTH SURFACES MUST BE PROTECTED FROM WIND AND WATER EROSION PRIOR TO FINAL ACCEPTANCE OF ANY PROJECT.
6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

ROUGH GRADING APPROVAL

DATE

GRAPHIC SCALE



4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5370

**TRACT F-6-A-1, ATRISCO BUSINESS PARK
GRADING AND DRAINAGE PLAN**

DRAWING:	DRAWN BY:	DATE:	SHEET #
200450-GR.DWG	SHH	11-30-2004	3 OF 4

LAST REVISION: 12-07-2004

- GENERAL NOTES:
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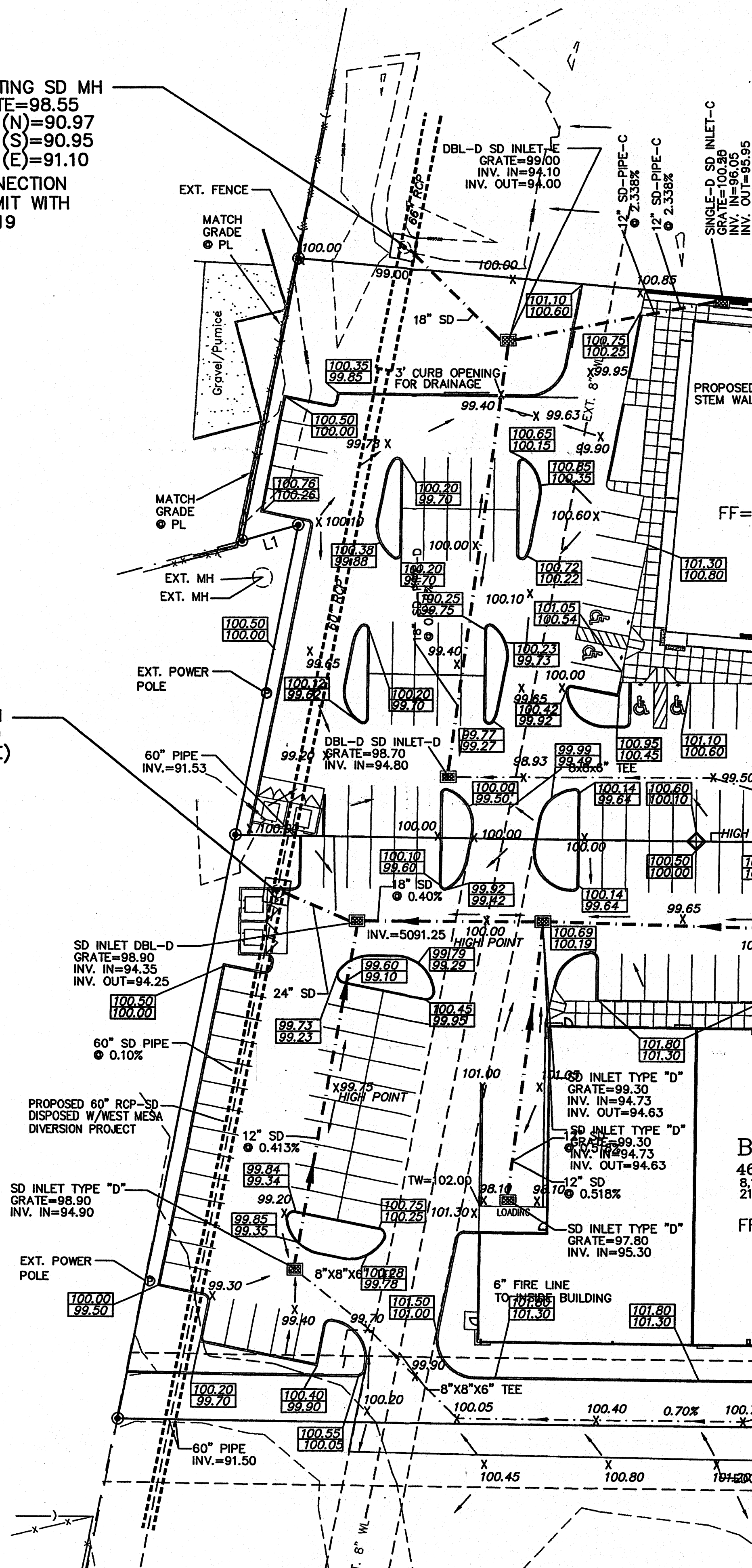
NOTICE TO CONTRACTORS

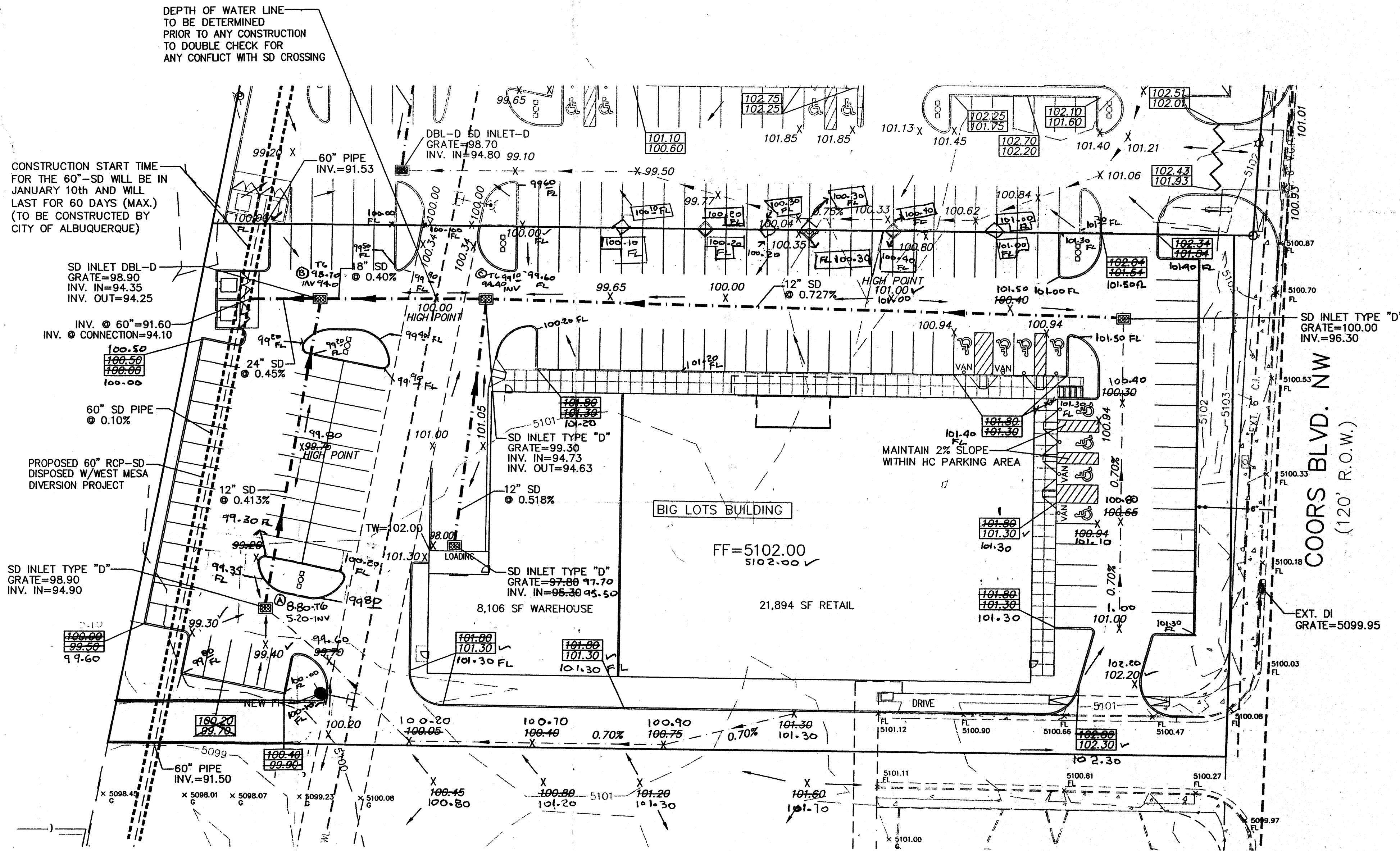
1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 765-1234, FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACKFILL COMPACTION SHALL BE ACCORDING TO TRAFFIC/STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

APPROVALS	NAME	DATE
INSPECTOR		

EXISTING SD MH
GRATE=98.55
INV. (N)=90.97
INV. (S)=90.95
INV. (E)=91.10
CONNECTION
PERMIT WITH
SO-19

EXISTING SD MH
(ADJUST MH TO
FINISHED GRADE)
GRATE=98.65
INV. (N)=91.62
INV. (S)=91.55
INV. (E)=91.75
CONNECTION
PERMIT WITH
SO-19





CONSTRUCTION START TIME FOR THE 60" SD WILL BE IN JANUARY 10th AND WILL LAST FOR 60 DAYS (MAX.) (TO BE CONSTRUCTED BY CITY OF ALBUQUERQUE)

SD INLET DBL-D GRATE=98.90 INV. IN=94.35 INV. OUT=94.25

INV. @ 60"=91.60 INV. @ CONNECTION=94.10

60" SD PIPE @ 0.10%

PROPOSED 60" RCP-SD DISPOSED W/WEST MESA DIVERSION PROJECT

SD INLET TYPE "D" GRATE=98.90 INV. IN=94.90

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EROSION CONTROL PLAN AND POLLUTION PREVENTION NOTES

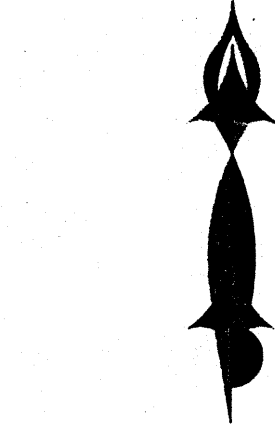
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6. ALL THE DISTURBED AREAS MUST BE REVEGETATED.

ISHAHAB BIAZAR, NMPE, OF THE ADVANCED ENGINEERING, LLC HEREBY CERTIFY THAT PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 2-01-04. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATION OF OCCUPANCY.

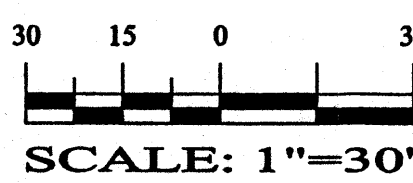
(DESCRIBE ANY EXCEPTIONS AND/OR QUALIFICATIONS HERE IN A SEPARATE PARAGRAPH)
(DESCRIBE ANY DEFICIENCIES AND/OR REQUIRED CORRECTIONS HERE IN A SEPARATE PARAGRAPH)

THE RECORD INFORMATION PRESENTED HEREON IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THIS RECORD DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

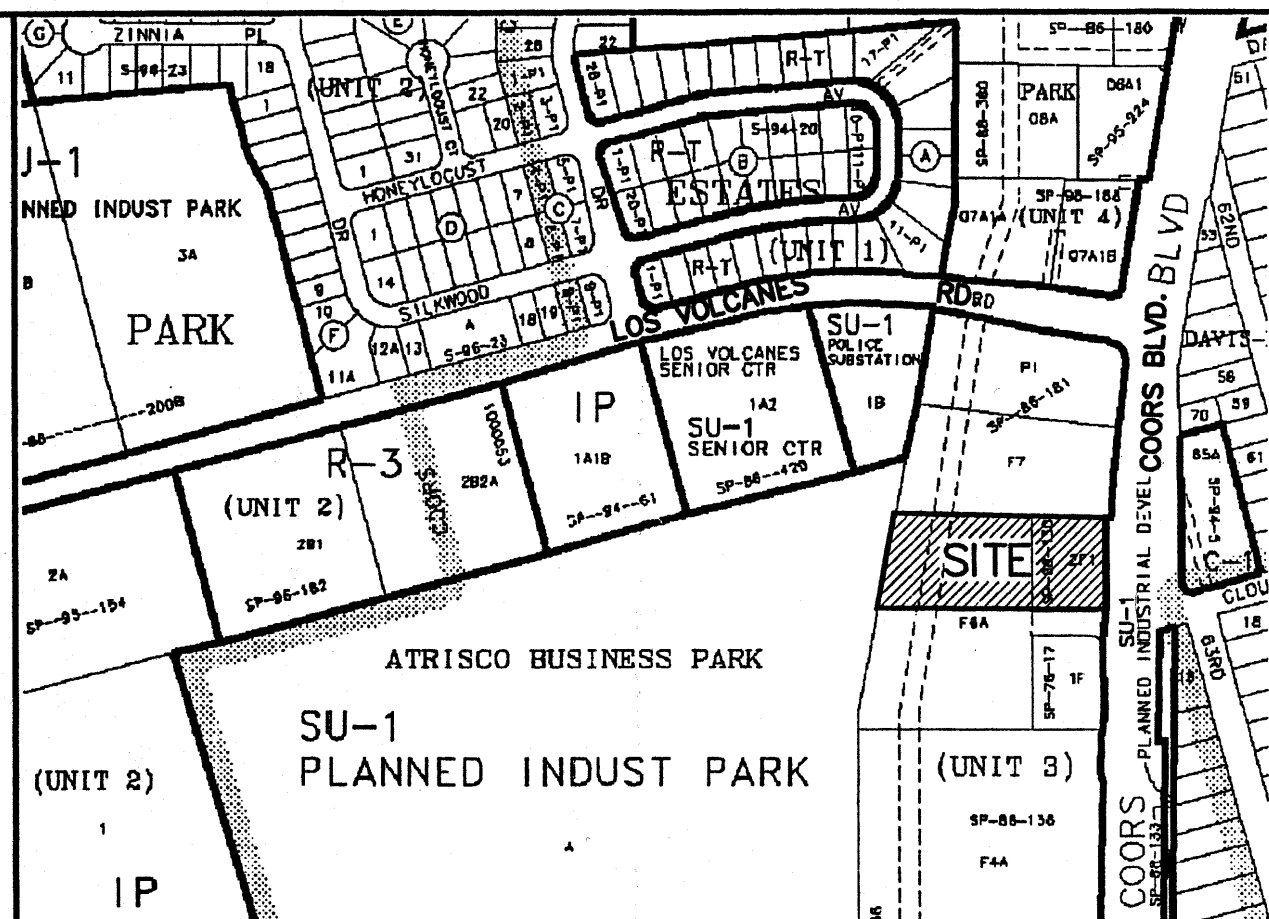
5-17-05
DATE



GRAPHIC SCALE



ROUGH GRADING APPROVAL DATE



VICINITY MAP:

J-10-Z

LEGAL DESCRIPTION:

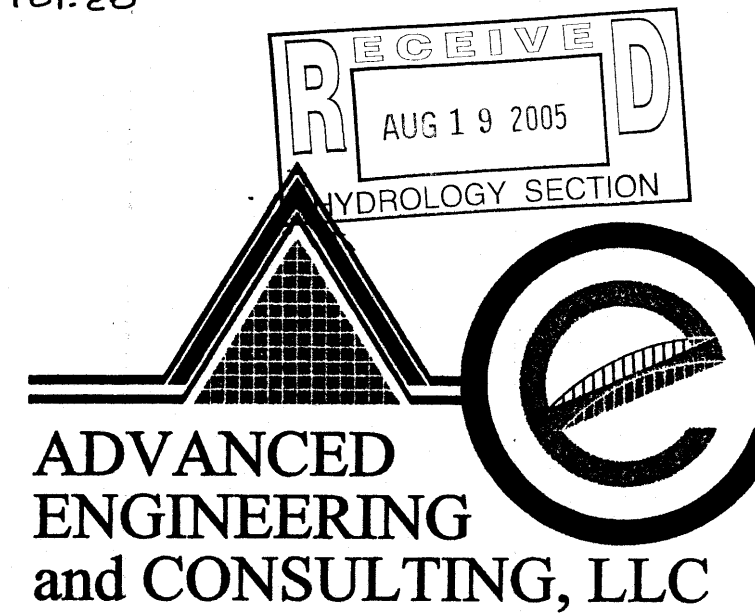
TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3 CONTAINING 2.4079 ACRE (104,889.18 SQUARE FEET) MORE OR LESS.

LEGEND

- EXISTING SAS MANHOLE
- EXISTING METER
- EXISTING VALVE W/BOX
- EXISTING FIRE HYDRANT
- EXISTING AIR RELEASE VALVE
- EXISTING REDUCER
- EX. 8" SAS
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- PROPOSED RETAINING WALL
- PROPOSED EXTENDED STEM WALL
- X 5265.16
- EXISTING GRADE
- FLOW PATH
- EXISTING DROP INLET
- EXISTING STREET LIGHT
- EXISTING ANCHOR
- EXISTING POWER POLE
- SINGE "A" INLET
- DOUBLE "A" INLET
- 101.30
- 101.30
- 101.20



SHAHAB BIAZAR
P.E. #13479

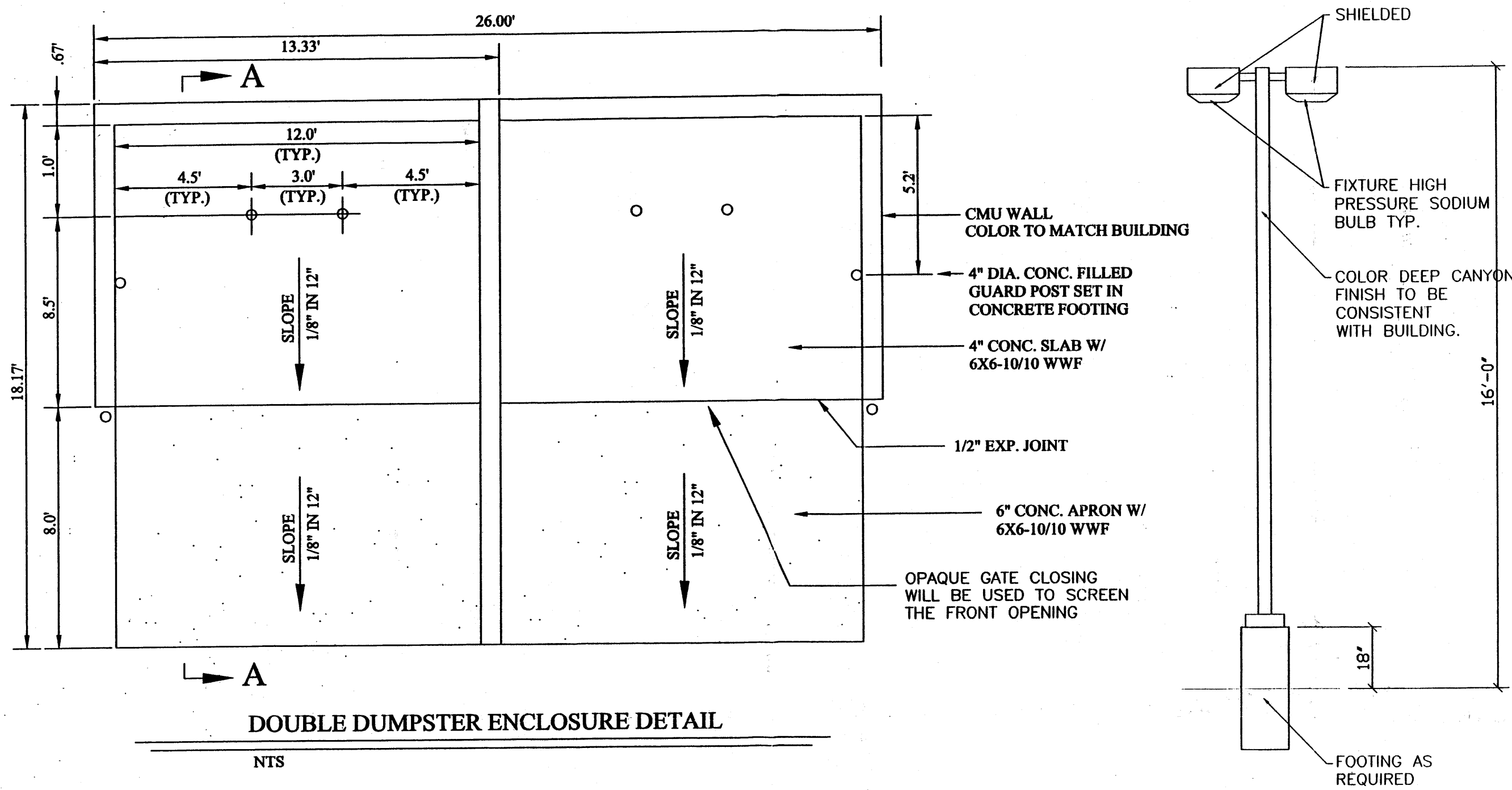


4416 ANAHEIM AVE., NE
ALBUQUERQUE, NEW MEXICO 87113
(505)899-5570

TRACT F-6-A-1, ATRISCO BUSINESS PARK GRADING AND DRAINAGE PLAN

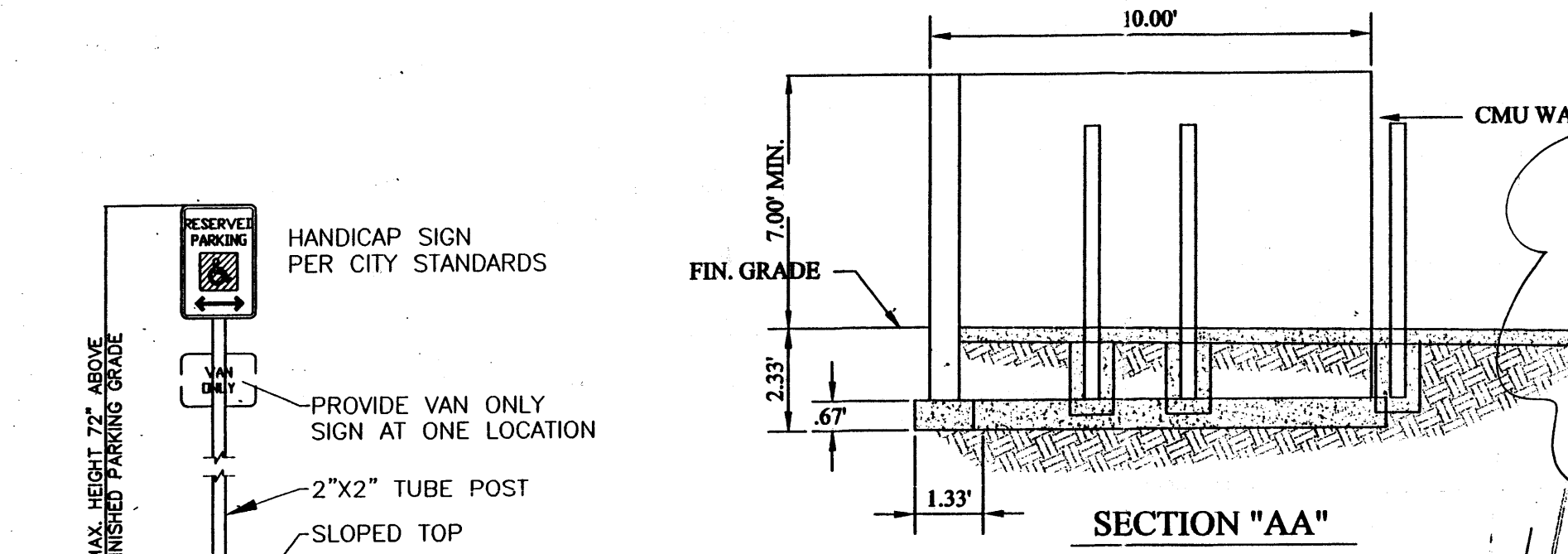
DRAWING:	DRAWN BY:	DATE:	SHEET #
200450-GR.DWG	SHH	11-30-2004	3 OF 4

LAST REVISION: 12-07-2004



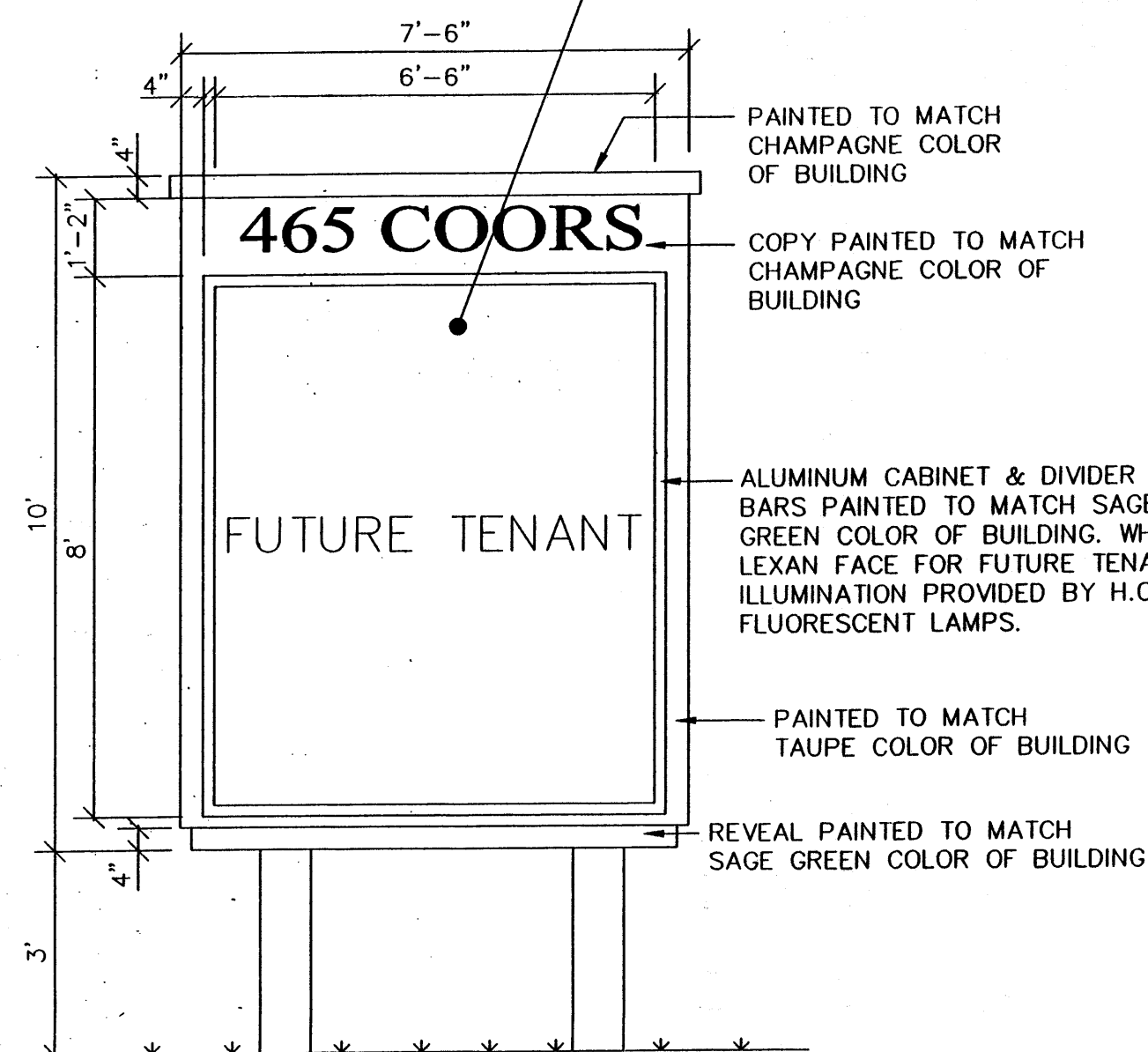
DOUBLE DUMPSTER ENCLOSURE DETAIL

NTS



HANDICAP SIGN DETAIL

NTS



MONUMENT SIGN DETAIL

NTS
(ALL COORS CORRIDOR PLAN SIGNAGE REQUIREMENTS MUST BE FOLLOWED)

LEGEND

	BOUNDARY LINE
	EASEMENT
	PROPOSED SIDEWALK
	EXISTING SIDEWALK
	BUILDING
	PROPOSED MOUNTABLE CURB
	PROPOSED TURNAROUND SIDEWALK
	EXISTING CURB & GUTTER
	EXISTING STREET LIGHT
	EXISTING POWER POLE
	PROPOSED BIKE RACK
	PROPOSED MONUMENT SIGN
	EXISTING SINGLE SERVICE METER
	EXISTING SAS MANHOLE
	CLEAN OUT
	NEW SAS SERVICE
	EXISTING FIRE HYDRANT
	LIGHT

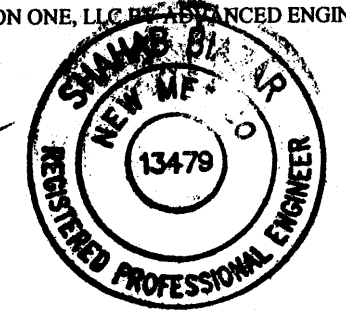
NOTES:

- EXISTING CURB AND GUTTER.
- NEW UNIDIRECTIONAL WHEELCHAIR RAMP PER COA STD. DWG. #2426.
- NEW ENTRANCE PER COA STANDARD DRAWING #2426.
- NEW ASPHALT PAVING AREA.
- NEW TURNAROUND SIDEWALK.
- NEW MOUNTABLE CURB PER COA STANDARD DRAWING 2415.
- NEW SIDEWALKS PER COA STANDARD DRAWING #2430.
- INSTALL HANDICAP SIGN, SEE DETAIL THIS SHEET.
- EXISTING SIDEWALK.
- INSTALL DOUBLE TRASH ENCLOSURE.
- 30" HIGH LANDSCAPING BERM, SEE LANDSCAPING PLAN FOR DETAIL.
- MONUMENT SIGN, SEE DETAIL THIS SHEET.
- EXISTING WATER LINE SERVICE.
- INSTALL 6" SAS SERVICE.
- EXISTING FIRE HYDRANT.
- NEW 400W METAL HALIDE SITE LIGHTING, SEE DETAIL THIS SHEET.

POLE LIGHT DETAIL- TYP.

SHAHAB BIAZAR, A REGISTERED ENGINEER, CERTIFY THAT THIS PROJECT WAS BUILT IN SUBSTANTIAL COMPLIANCE TO THE APPROVED SITE PLAN DATED DECEMBER 15, 2004. THE SITE WAS INSPECTED ON BEHALF OF JEFFERSON ONE, LLC BY ADVANCED ENGINEERING AND CONSULTING, LLC ON AUGUST 15, 2005.

SHAHAB BIAZAR, N.E. #13479
DATE 8-17-05



SITE DATA

PROPOSED USAGE: RETAIL
EXISTING LOT AREA: 104,889.18 SQ. FT. (2.4079 AC.)
GROSS BUILDING AREA: 30,000 SQ. FT.
ZONING: SU-1 FOR PLANNED INDUSTRIAL PARK FOR O-1 AND C-2 USES
CONSTRUCTION TYPE: II N, SPRINKLED

LANDSCAPE CALCULATIONS:

NET LOT AREA 74,889.13 SQ. FT. ±
LANDSCAPING REQUIRED: 14,978.00 SQ. FT. ±
20% OF 74,889.00 SQ. FT.
LANDSCAPE PROVIDED 19,466.00 SQ. FT. ±

PARKING CALCULATIONS:

PARKING REQUIRED:
WAREHOUSE AREA: 8,106 GSF / 2000 GSF 4 SPACES
RETAIL AREA: 21,894 GSF / 200 GSF 110 SPACES
TOTAL PARKING: 114 SPACES

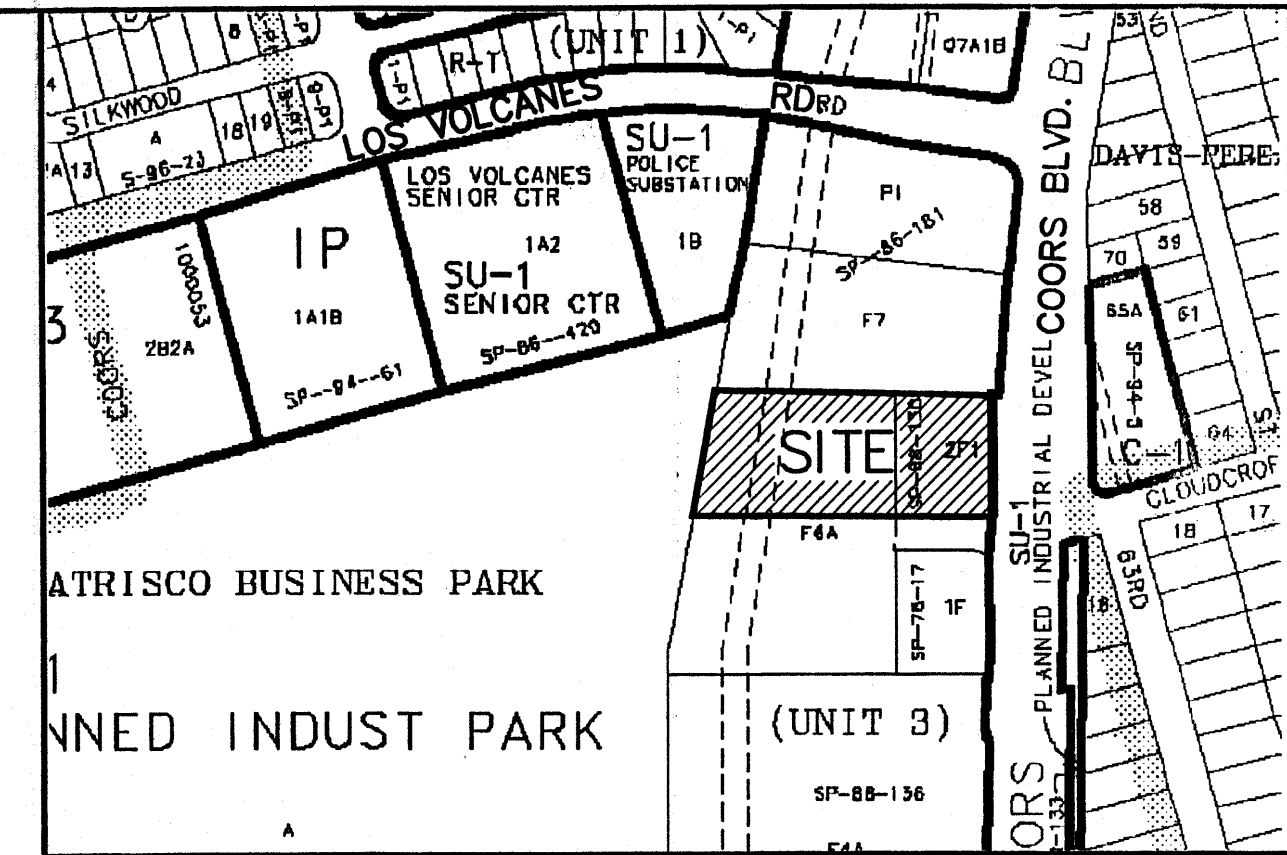
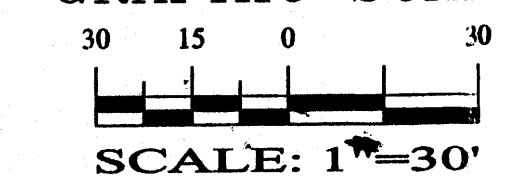
PARKING CREDIT:
10% WITHIN 300' OF TRANSIT SYSTEM 12 SPACES

TOTAL PARKING REQUIRED: 104 SPACES
TOTAL PARKING PROVIDED: 122 SPACES

HC PARKING REQUIRED: 8 SPACES
HC PARKING PROVIDED: 8 SPACES

BICYCLE SPACES REQUIRED: 4 SPACES
BICYCLE SPACES PROVIDED: 4 SPACES

GRAPHIC SCALE



LEGAL DESCRIPTION:

TRACT F-6-A-1, ATRISCO BUSINESS PARK, UNIT 3
CONTAINING 2.4079 ACRE (104,889.18 SQUARE FEET)
MORE OR LESS.

SHEET INDEX

- SITE DEVELOPMENT PLAN FOR BUILDING PERMIT
- LANDSCAPING PLAN
- GRADING AND DRAINAGE PLAN
- ELEVATION PLAN

NOTE:

ALL ROOFTOP EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW BY MATERIALS OF THE SAME NATURE AS THE BUILDING'S BASIC MATERIALS.

PROJECT NUMBER: 1003816

APPLICATION NUMBER: 04-01879

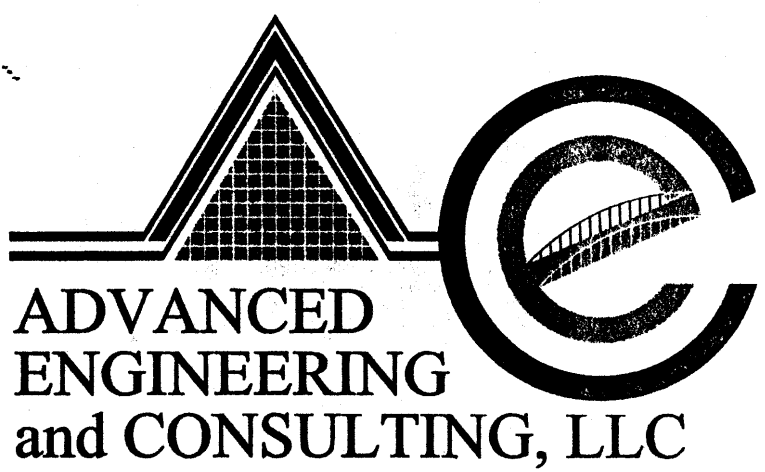
THIS PLAN IS CONSISTENT WITH THE SPECIFIC SITE DEVELOPMENT PLAN APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION (EPC), DATED 12-15-04, AND THE FINDINGS AND CONDITIONS IN THE OFFICIAL NOTIFICATION OF DECISION ARE SATISFIED. IS AN INFRASTRUCTURE LIST REQUIRED? () YES (X) NO IF YES, THEN A SET OF APPROVED DRC PLANS WITH A WORK ORDER IS REQUIRED FOR ANY CONSTRUCTION WITHIN PUBLIC RIGHT-OF-WAY OR FOR CONSTRUCTION OF PUBLIC IMPROVEMENTS.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL:

<i>Shahab Biazar</i>	12-15-04
TRAFFIC ENGINEERING, TRANSPORTATION DIVISION	DATE
<i>Roger A. Khan</i>	12-15-04
UTILITIES DEVELOPMENT	DATE
<i>Christina Sandoval</i>	12/15/04
PARKS AND RECREATION DEPARTMENT	DATE
<i>Bradley D. Bingham</i>	12/15/04
CITY ENGINEER	DATE
<i>Michael Holton</i>	12-15-04
SOLID WASTE MANAGEMENT	DATE
<i>Sharan Nataran</i>	12/15/04
DRB CHAIRPERSON, PLANNING DEPARTMENT	DATE



SHAHAB BIAZAR
P.E. #13479



4416 ANAHEIM AVENUE
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AUG 19 2005

TRACT F-6-A-1, ATRISCO BUSINESS PARK
SITE DEVELOPMENT PLAN FOR BUILDING PERMIT

DRAWING: 200450-ST.DWG	DRAWN BY: SHH	DATE: 12-01-2004	SHEET # 1 OF 4
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