

CITY OF ALBUQUERQUE

Planning Department
Brennon Williams, Director



Mayor Timothy M. Keller

July 13, 2020

Verlyn Miller, P.E.
Miller Engineering Consultants, Inc
3500 Comanche NE Bldg. F
Albuquerque, NM 87107

**RE: Hanover Warehouse
6500 Hanover Rd. NW
Grading and Drainage Plan
Engineer's Stamp Date: 07/01/20
Hydrology File: J10D040A**

Dear Mr. Miller:

Based upon the information provided in your submittal received 07/09/2020, the Grading & Drainage Plan is approved for Building Permit.

PO Box 1293

Please attach a copy of this approved plan in the construction sets for Building Permit processing along with a copy of this letter. Prior to approval in support of Permanent Release of Occupancy by Hydrology, Engineer Certification per the DPM checklist will be required.

Albuquerque

As a reminder, if the project total area of disturbance (including the staging area and any work within the adjacent Right-of-Way) is 1 acre or more, then an Erosion and Sediment Control (ESC) Plan and Owner's certified Notice of Intent (NOI) is required to be submitted to the Stormwater Quality Engineer (Doug Hughes, PE, jhughes@cabq.gov, 924-3420) 14 days prior to any earth disturbance.

NM 87103

www.cabq.gov

The Payment in Lieu payment of \$ **8,392.00** must be paid prior to Permanent Release of Occupancy approval. Please use the attached City of Albuquerque Treasury Deposit form. The Owner needs to bring three copies of this form to the cashier on the Building Permits side of the ground floor and pay the fee. Once paid, please provide Hydrology with one of the copies showing the receipt.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

Project Title: Hanover Project Building Permit #: _____ Hydrology File #: _____
DRB#: _____ EPC#: _____ Work Order#: _____
Legal Description: TR 2-A PLAT OF TRACT 2-A MIRA MESA ESTATES (BEING A REPLAT OF TRACTS 2 & 3) CONT 4.9993 AC
City Address: 1720 Louisiana Blvd. NE, Ste. 100, Albuquerque, NM 87110

Applicant: Avatar Recoveries LLC Contact: _____
Address: 1720 Louisiana Blvd. NE, Ste. 100, Albuquerque, NM 87110
Phone#: _____ Fax#: _____ E-mail: _____

Other Contact: Miller Engineering Consultants, Inc. Contact: Verlyn Miller
Address: 3500 Comanche NE, Bldg. F, Albuquerque, NM 87107
Phone#: 505-888-7500 Fax#: 505-888-3800 E-mail: vmiller@mecnm.com

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE ☒ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes ☒ No

DEPARTMENT _____ TRANSPORTATION ☒ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G & D PLAN
- ☒ GRADING PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ☐ ELEVATION CERTIFICATE
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL)
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) _____
- ☐ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ SITE PLAN FOR SUB'D APPROVAL
- ☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING/ PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ FLOODPLAIN DEVELOPMENT PERMIT
- ☐ OTHER (SPECIFY) _____

DATE SUBMITTED: 7/9/2020 By: Verlyn A. Miller, P.E.

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



SCALE: NOT TO SCALE





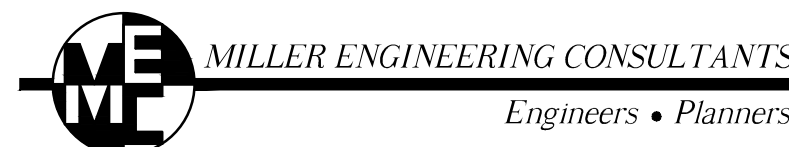
FLOOD ZONE MAP: 35001C0327J

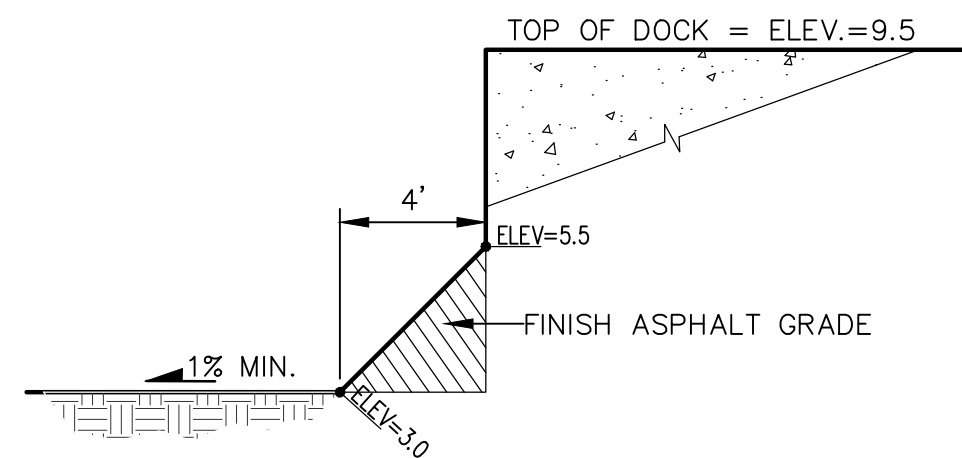
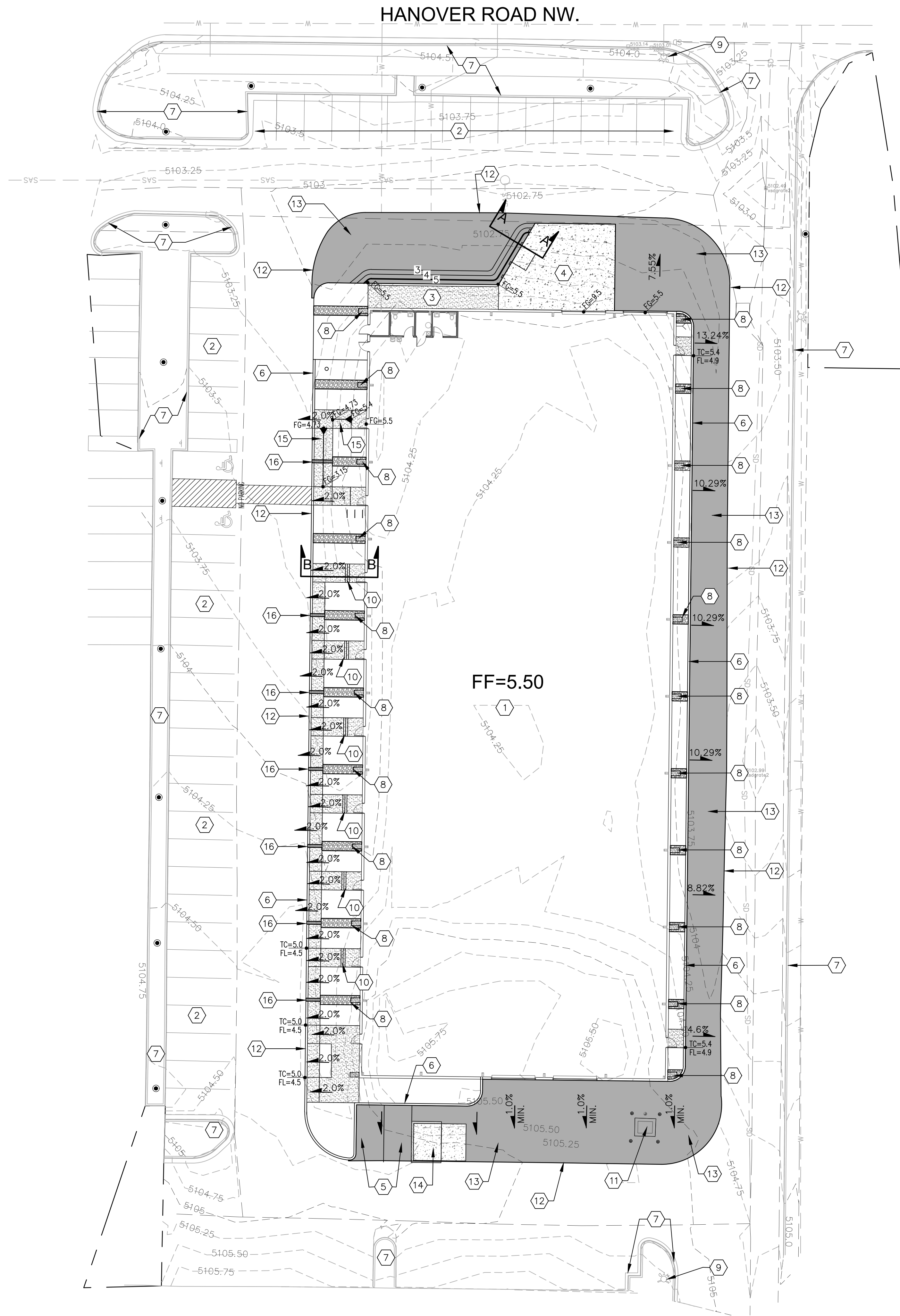
- EXISTING TOPOGRAPHIC DATA SHOWN ON THESE PLANS WAS PROVIDED BY SANDIA LAND SURVEYING LLC. MILLER ENGINEERING CONSULTANTS HAS UNDERTAKEN NO FIELD VERIFICATION OF THIS INFORMATION.
2. ACS STA 6--G15
THE STATION IS LOCATED 2.2 MILES NORTH OF DOWNTOWN ALBUQUERQUE AT THE INTERSECTION OF CANDELARIA ROAD AND THE BNSF RAILROAD TRACKS, TO REACH THE STATION FROM THE INTERSECTION OF CANDELARIA ROAD AND I-25 NE, TRAVEL WEST ON CANDELARIA ROAD 0.8 MILES TO THE EAST SIDE OF THE BNSF RAILROAD TRACKS AND THE STATION ON THE RIGHT. THE STATION MARK IS A CITY OF ALBUQUERQUE SURVEY CONTROL 3" BRASS DISC STAMPED "6--G15 1979" SET IN A TRAFFIC SIGNAL BOX 0.6 FEET BELOW THE SURFACE OF THE GROUND ELEV. 4975.35 (NAVD 1988)
3. THE CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES DURING THE CONSTRUCTION PHASE.
4. CONTRACTOR SHALL OBTAIN A GRADING PERMIT FROM THE CITY OF ALBUQUERQUE, PRIOR TO ANY GRADING OR CONSTRUCTION.
5. TWO WORKING DAYS PRIOR TO ANY EXCAVATION CONTRACTOR MUST CONTACT LINE LOCATING SERVICE 260-1990 FOR LOCATION OF EXISTING UTILITIES.
6. ALL EMBANKMENTS SHALL BE PLACED AND COMPACTED IN LIFTS OF MAXIMUM OF 8". THE EMBANKMENTS SHALL BE WETTED AND COMPACTED TO 95% OPTIMUM DENSITY PER ASTM D1557 AND 95% UNDER ALL STRUCTURES INCLUDING DRIVEWAYS AND PARKING LOTS.
7. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER(S) OF THE PROPERTY SERVED.
8. THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND SIZE OF ALL UTILITIES PRIOR TO CONSTRUCTION.
9. THE SUBJECT PROPERTY IS LOCATED WITHIN ZONE X (500 YEAR) DESIGNATING AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOOD PLANE ACCORDING TO THE FLOOD INSURANCE RATE MAP, ALBUQUERQUE, NEW MEXICO AND UNINCORPORATED AREAS PER MAP NO 35001C 0332G.
10. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE STORM DRAINAGE REGULATIONS. ALL WORK PERFORMED SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF ALBUQUERQUE "GRADING AND DRAINAGE DESIGN REQUIREMENTS AND POLICIES FOR LAND DEVELOPMENT."
11. THE OWNER, CONTRACTOR AND/OR BUILDER SHALL COMPLY WITH ALL APPROPRIATE LOCAL, STATE AND FEDERAL REGULATIONS AND REQUIREMENTS.
12. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE AND REASONABLE MEASURES TO PREVENT SEDIMENT OR POLLUTANT LADEN STORM WATER FROM EXITING THE SITE DURING CONSTRUCTION. STORMWATER MAY BE DISCHARGED IN A MANNER, WHICH COMPLIES WITH THE APPROVED GRADING AND DRAINAGE PLAN.
13. THE CONTRACTOR SHALL TAKE ALL APPROPRIATE MEASURES TO PREVENT THE MOVEMENT OF CONSTRUCTION RELATED SEDIMENT, DUST, MUD, POLLUTANTS, DEBRIS, ETC FROM THE SITE BY WIND, STORM FLOW OR ANY OTHER METHOD EXCLUDING THE INTENTIONAL, LEGAL TRANSPORTATION OF SAME IN A MANNER ACCEPTABLE BY THE CITY.
14. THE CONTRACTOR SHALL NOT DISTURB AREAS OUTSIDE THE AREAS SHOWN AS "SLOPE LIMITS" ON THE GRADING AND DRAINAGE PLAN.
15. SEE ARCHITECTURAL DRAWINGS FOR SIDEWALK AND HANDICAPPED RAMPS, DETAILS AROUND THE BUILDING.
16. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE ANY SPOT ELEVATIONS ON THE GRADING AND DRAINAGE PLAN WHICH APPEAR TO BE AMBIGUOUS OR DO NOT MEET THE INTENT OF THE GRADING AND DRAINAGE PLAN.
17. THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DOES NOT MEET ADA ACCESSIBILITY REQUIREMENTS. ALL SIDEWALKS SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.0%, ALL SIDEWALKS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 5.0%, AND ALL RAMPS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE OF 15:1.
18. ALL SIDEWALKS AND CONCRETE FLATWORK SHALL HAVE A MINIMUM OF 0.5% SLOPE. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THERE ARE SIDEWALKS OR CONCRETE FLATWORK WHICH DO NOT MEET THIS REQUIREMENT.
19. THE CONTRACTOR SHALL SUBMIT MATERIAL SUBMITTALS, CUT SHEETS AND SHOP DRAWINGS FOR ALL CIVIL RELATED ITEMS FOR REVIEW PRIOR TO CONSTRUCTION.
20. THIS PROJECT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE STANDARD SPECIFICATIONS (UPDATE 8, AMENDMENT 1)
21. ALL EXISTING MANHOLES, VALVES AND METERS SHALL BE ADJUSTED TO NEW FINISH GRADE.

$$\text{FIRST FLUSH} = (0.34" * 34,0265 \text{ SF}) / 12 = 1049 \text{ CF}$$

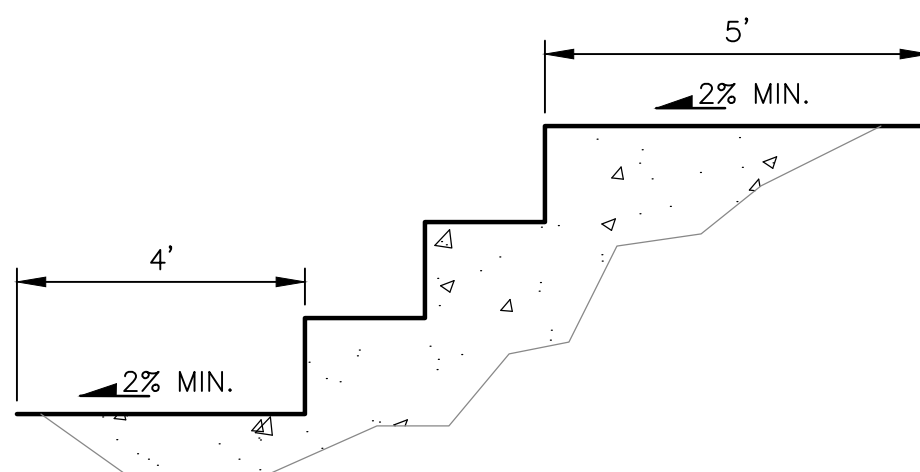
| SHEET No. | SHEET TITLE |
|-----------|----------------------------------|
| C-100 | HYDROLOGY PLAN AND DRAWING INDEX |
| C-101 | GRADING AND DRAINAGE PLAN |
| C-501 | MISCELLANEOUS DETAILS |

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|---|--|---|--|
| No. | Revision | Item | Date |
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|  | | | SCOTT C. ANDERSON & associates architects 4419 em si rue ste B albuquerque, nm 87107 scott@scottcanderson.com 505.401.7575 |
| WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121 | | | |
| DRAWING TITLE | | | |
| <h2 style="text-align: center;">HDROLOGY PLAN</h2> | | | |
| SEAL  | DESIGNED MEC DRAWN MEC CHECKED VAM REVIEWED DATE 7/09/20 | PROJECT NO SCALE NOTED DRAWING NO <div style="font-size: 48pt; font-weight: bold; text-align: center;">C-100</div> <div style="text-align: center;">_____ OF _____</div> | |





SECTION A-A
N.T.S.





SECTION B-B
N.T.S.

LEGEND:

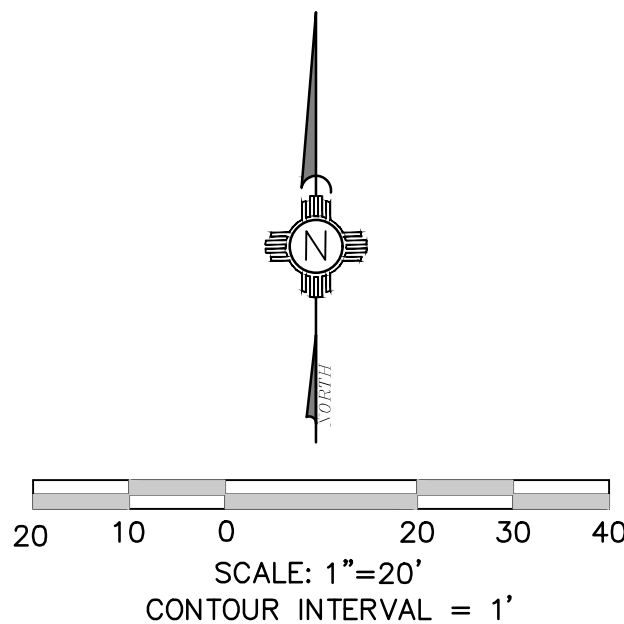
| | |
|------------------|---|
| 38.00 FG | PROPOSED SPOT ELEVATIONS (FINISHED GRADE) |
| MATCH (95.19) | MATCH EXISTING ELEVATIONS |
| TCON | TOP OF CONCRETE |
| FL | FLOW LINE, CURB |
| INV | INVERT |
| FG | FINISH GRADE |
| TBC | TOP OF BASE COURSE |
| TC | TOP OF CURB |
| TG | TOP OF GRADE |
| TA | TOP OF ASPHALT |
| → | FLOW ARROW |
| == | GRADE BREAK-HIGH POINT |
| --- | SWALE |
| SD | STORM DRAIN LINE |
| 5895 | PROPOSED MAJOR CONTOUR |
| 5895 | PROPOSED MINOR CONTOUR |
| 5895 | EXISTING MAJOR CONTOUR |
| 5895 | EXISTING MINOR CONTOUR |

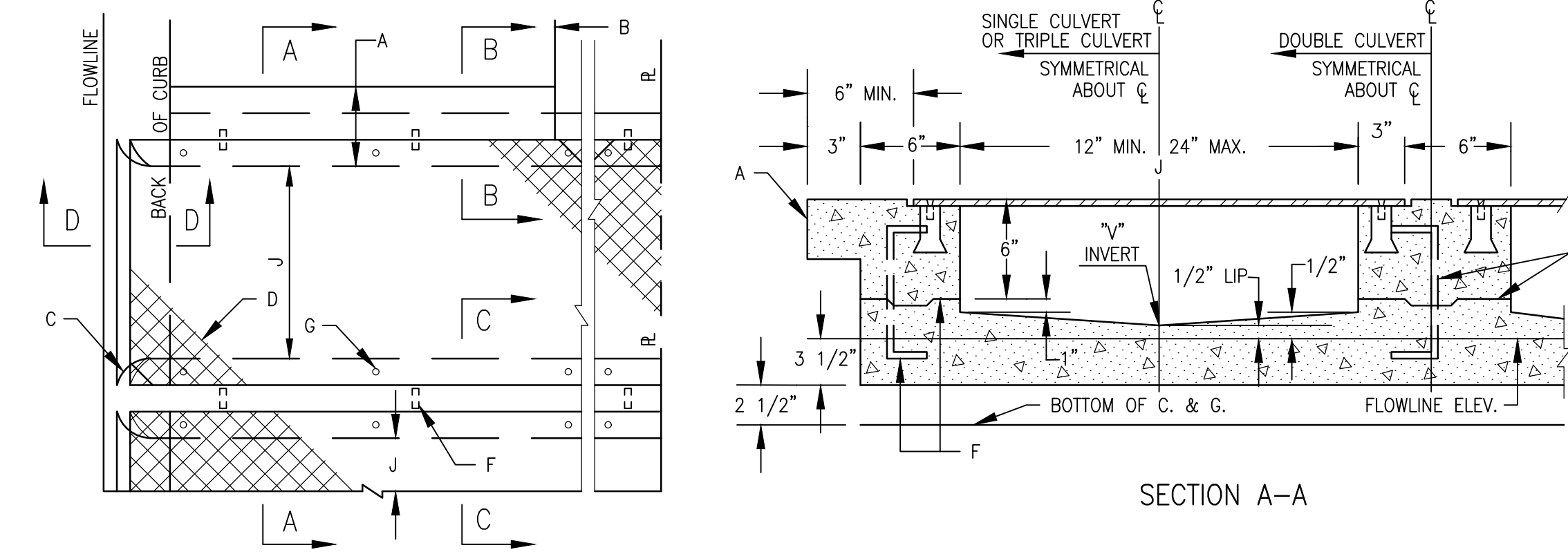
KEYED NOTES:

1. NEW BUILDING SEE ARCHITECTURAL DRAWINGS.
2. EXISTING PARKING SPACES AND ASPHALT TO REMAIN.
3. NEW DOCK RAMP SEE ARCHITECTURAL DRAWINGS.
4. NEW LOADING DOCK SEE ARCHITECTURAL DRAWINGS.
5. NEW 4" REFLECTIVE STRIPING IN ACCORDANCE WITH THE LATEST MUTCD SEE ARCHITECTURAL DRAWINGS.
6. NEW CURB AND GUTTER SEE DETAIL SHEET C-501.
7. EXISTING CURB AND GUTTER TO REMAIN.
8. NEW SPLASH BLOCKS WITH COBLE SWALE FOR DOWNSPOUTS SEE DETAIL SHEET C-501.
9. EXISTING FIRE HYDRANTS TO REMAIN.
10. NEW 3-6" RISERS AND 2-8" THREAD ON CONCRETE WALKWAY SEE ARCHITECTURAL DRAWINGS FOR DETAILS.
11. EXISTING TRANSFORMER AND BOLLARDS TO REMAIN.
12. SAWCUT EXISTING ASPHALT AND MATCH EXISTING GRADE.
13. NEW HEAVY DUTY ASPHALT HMA PAVING SEE DETAIL SHEET C-501.
14. NEW REFUSE ENCLOSURE LOCATION, SEE ARCHITECTURAL DRAWINGS.
15. ADA ACCESSIBLE RAMP SEE ARCHITECTURAL DRAWINGS.
16. 12" WIDE SIDEWALK CULVERT SEE DETAIL SHEET C-501.

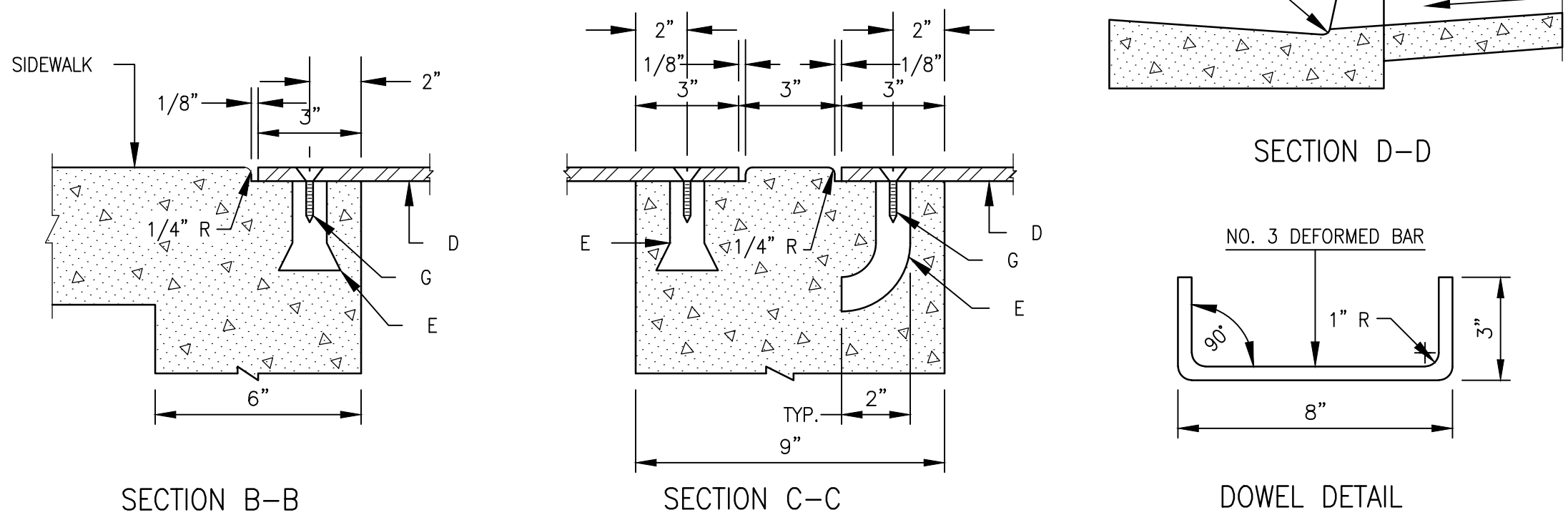
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|  SCOTT C. ANDERSON & associates architects 4419 4th St NW, Ste B Albuquerque, NM 87107 505.401.7975 | | | |
| WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121 | | | |
| DRAWING TITLE GRADING AND DRAINAGE PLAN | | | |
|  | DESIGNED | MEC | PROJECT NO. |
| | DRAWN | MEC | SCALE NOTED |
| | CHECKED | VAM | DRAWING NO. |
| | REVIEWED | | |
| DATE 7/09/20 | | C-101 OF | |

A1 GRADING AND DRAINAGE PLAN
SCALE: 1"=20'





PLAN
SINGLE AND OR MULTIPLE CULVERT



GENERAL NOTES:

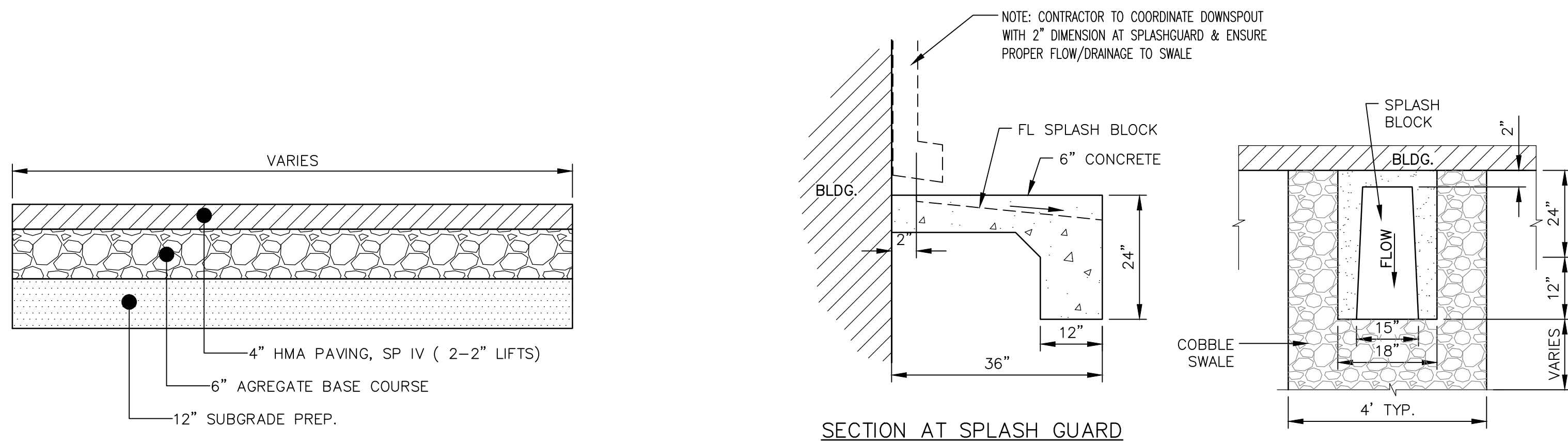
1. PLACING OF DRAIN THRU EXIST. SIDEWALK AND CURB & GUTTER REQUIRES THAT ENTIRE SIDEWALK AND C & G STONES BE REMOVED AND REPLACED AS DETAILED HEREIN.
2. BOTTOM SLAB OF CULVERT SHALL BE POURED MONOLITHICALLY WITH NEW GUTTER.
3. THE INVERT SHALL BE TROWELED TO PRODUCE A HARD POLISHED SURFACE OF MAX. DENSITY AND SMOOTHNESS. INVERT SHALL BE V-SHAPED TO WITHIN 3" OF OUTLET, THEN WARPED TO PARALLEL FLOWLINE AT OUTLET, UNLESS OTHERWISE SHOWN.
4. ALL EXPOSED CONC. SURFACE SHALL MATCH GRADE, COLOR, FINISH AND SCORING OF ADJACENT CURB AND SIDEWALK.
5. SIDEWALK REPLACED DURING CONSTRUCTION SHALL BE POURED MONOLITHICALLY WITH CULVERT WALLS.
6. IF ROD ANCHORS ARE USED, DRILL & TAP FOR F.H. MACHINE SCREW. ATTACH ANCHORS TO PLATE AND SECURE PLATE IN PLACE PRIOR TO POURING OF WALLS.
7. LENGTH OF EACH PLATE SHALL BE SUCH THAT THE WEIGHT WILL NOT EXCEED 300 LBS. AND SHALL BE STRESS RELIEVED AFTER FABRICATION. CLEAN SURFACE OF PLATE AND FRAMING MEMBERS AND PAINT W/ ONE SHOP COAT RED OXIDE AND TWO FINISH COATS ALUMINUM PAINT (AASHTO M 69).
8. THE CITY WILL NOT ASSUME RESPONSIBILITY FOR MAINTENANCE OF ANY SIDEWALK CULVERT INSTALLED BY OR FOR PRIVATE PROPERTY OWNERS.

SIDEWALK CULVERT CONSTRUCTION NOTES:

- A. MATCH NEAREST CONTROL JOINT, INSTALL 1/2" EXPANSION JOINT.
- B. EDGE OF SIDEWALK OR SETBACK (VARIABLE).
- C. 3" RADIUS (TYPICAL).
- D. 3/8" CHECKERED STEELE PLATE (PRINT PER NOTE 7, ABOVE. FOR SECURING PLATE USE 1" x 5" S.S. ROD ANCHOR, "RED HEAD MULTI-SEE II SRW-38 ANCHOR" OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S INSTRUCTIONS AT MAX. 24" O.C., A MINIMUM OF 2 PER SIDE AND ONE WITH 6" OF EACH END.
- F. CONSTRUCTION JOINT IS OPTIONAL. IF USED, SPACE DOWELS AT 18" O.C. MAX., 1/2" MINIMUM FROM FACE OF CONCRETE
- G. 3/8" - 16 X 1 1/4" COUNTERSUNK, F.H., STAINLESS STEEL MACHINE SCREW.
- H. SLOPE 1/4" PER FT. MIN DRAIN WIDTH PER PLAN (12", MIN., 24" MAX.).

C1 SIDEWALK CULVERT DETAIL

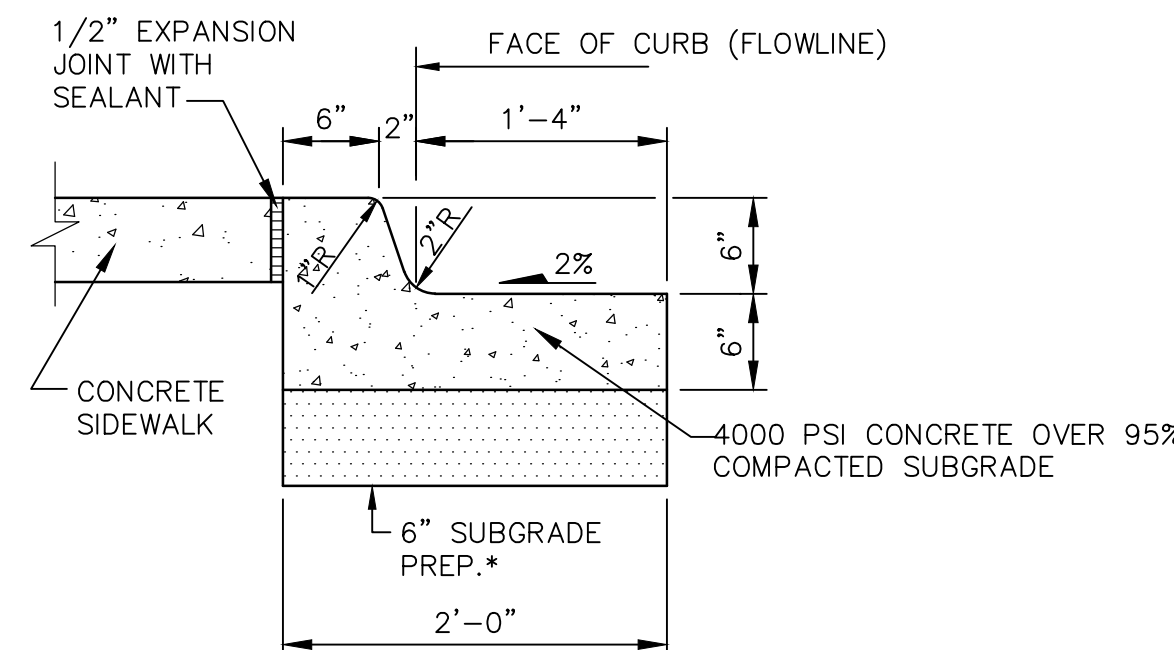
SCALE: NOT TO SCALE



SECTION AT SPLASH GUARD

B2 CONCRETE SPLASHGUARD DETAILS

SCALE: NOT TO SCALE



- NOTES:
1. SEE PLAN FOR SIDEWALK JOINT PATTERN.
 2. CONSTRUCT 1/2" EXPANSION JOINTS WITH SEALANT @40'-0" O.C. MAX.
 3. CONSTRUCT 1 1/2" DEEP TOOLED CONTROL JOINTS @5'-0" O.C. MAX.
 4. MATCH TOP OF EXISTING SIDEWALK AND MAINTAIN EXISTING FLOW LINE.

B3 TYPICAL CURB AND GUTTER SECTION

SCALE: NOT TO SCALE

| No | Revision | Item | Date |
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| <div><div></div><div>SCOTT C. ANDERSON & associates architects 4419 4th St. NW, Ste. B Albuquerque, NM 87107 scott@scottanderson.com 505.401.7975</div></div> | | | |
| WAREHOUSE BUILDING 6500 HANOVER RD NW ALBUQUERQUE, NM 87121 | | | |
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| SEAL | DESIGNED | MEC | PROJECT NO. |
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| | REVIEWED | | |
| DATE 7/09/20 | | C-501 OF | |