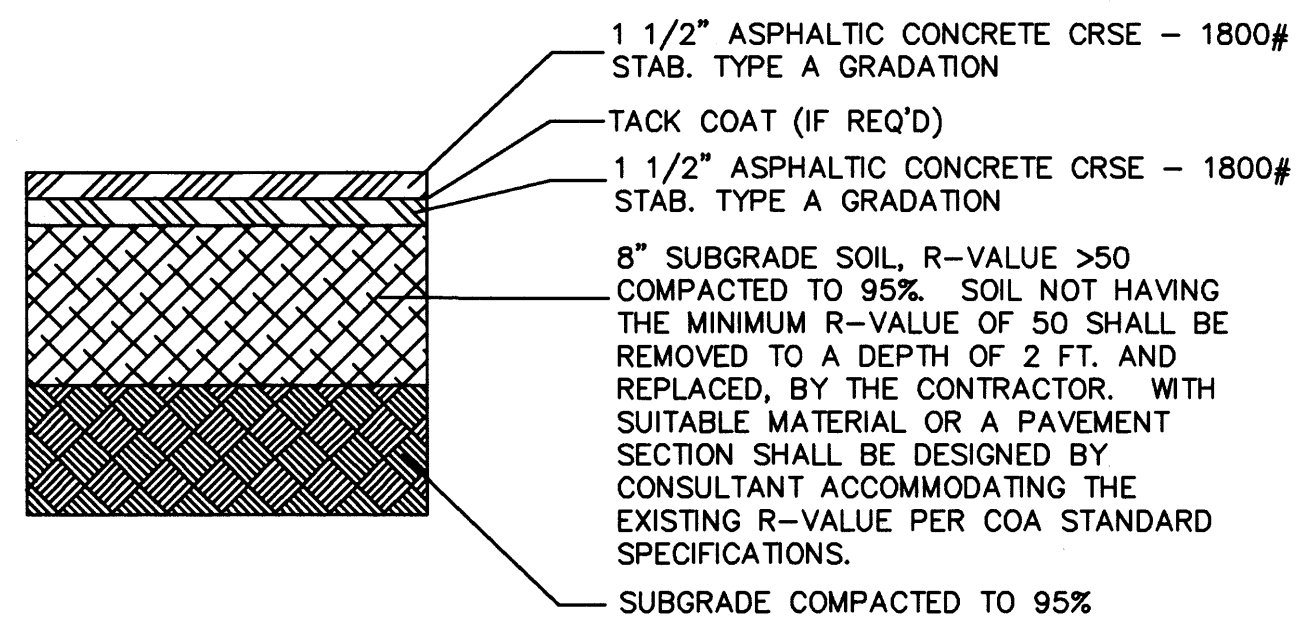
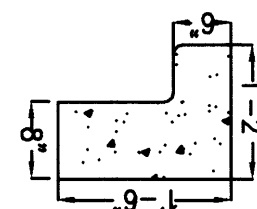
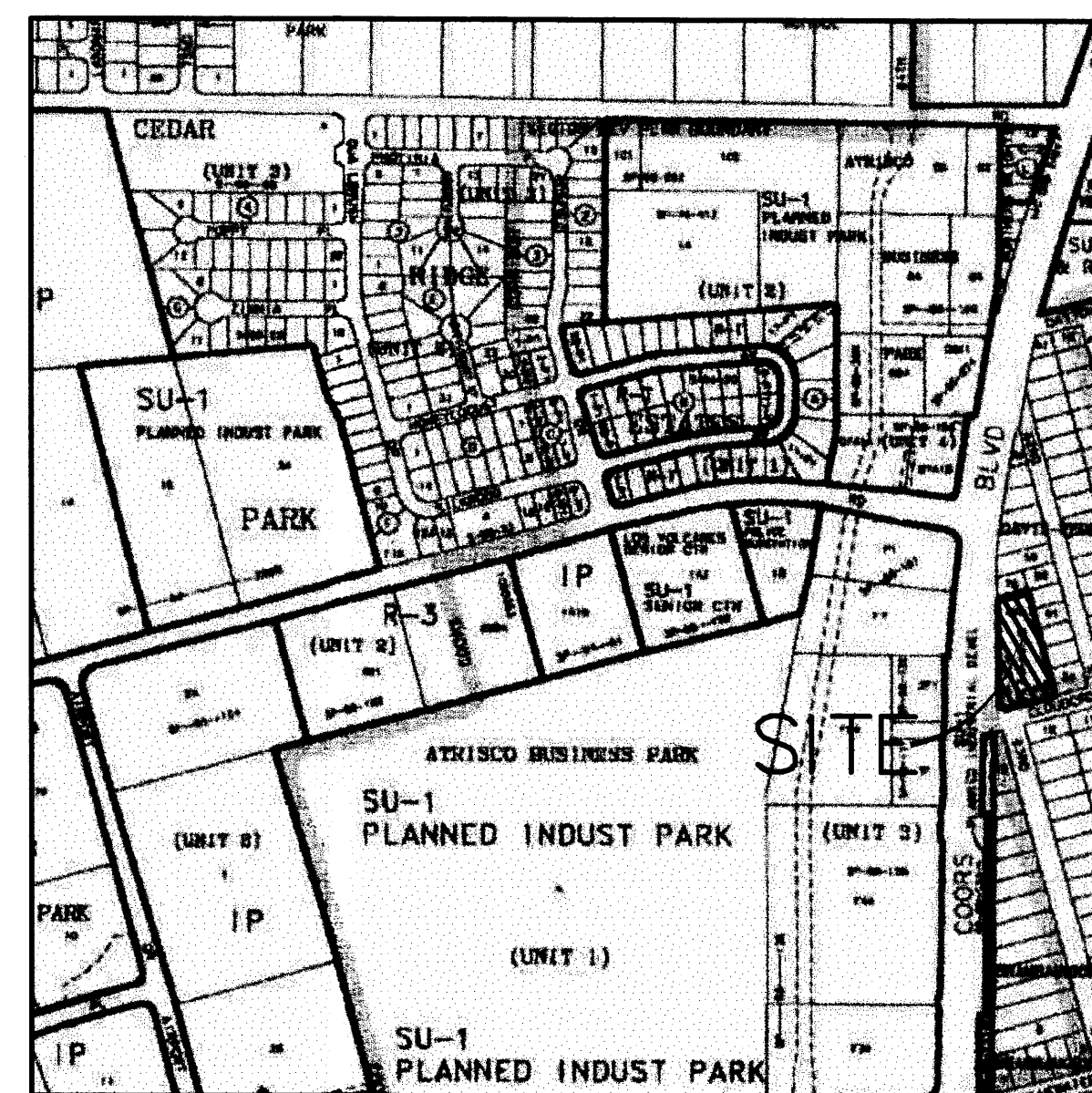




6X18 CURB AND GUTTER



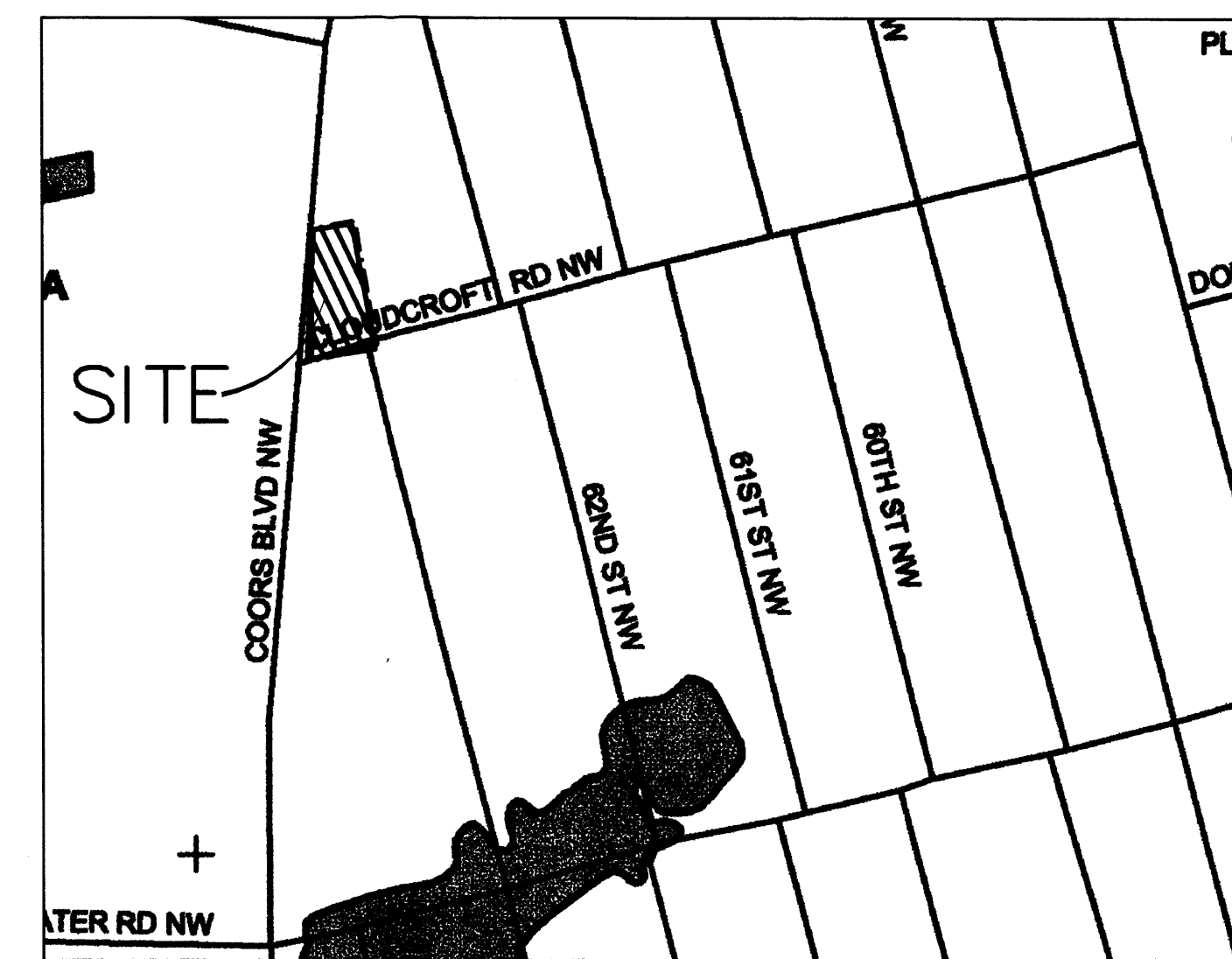
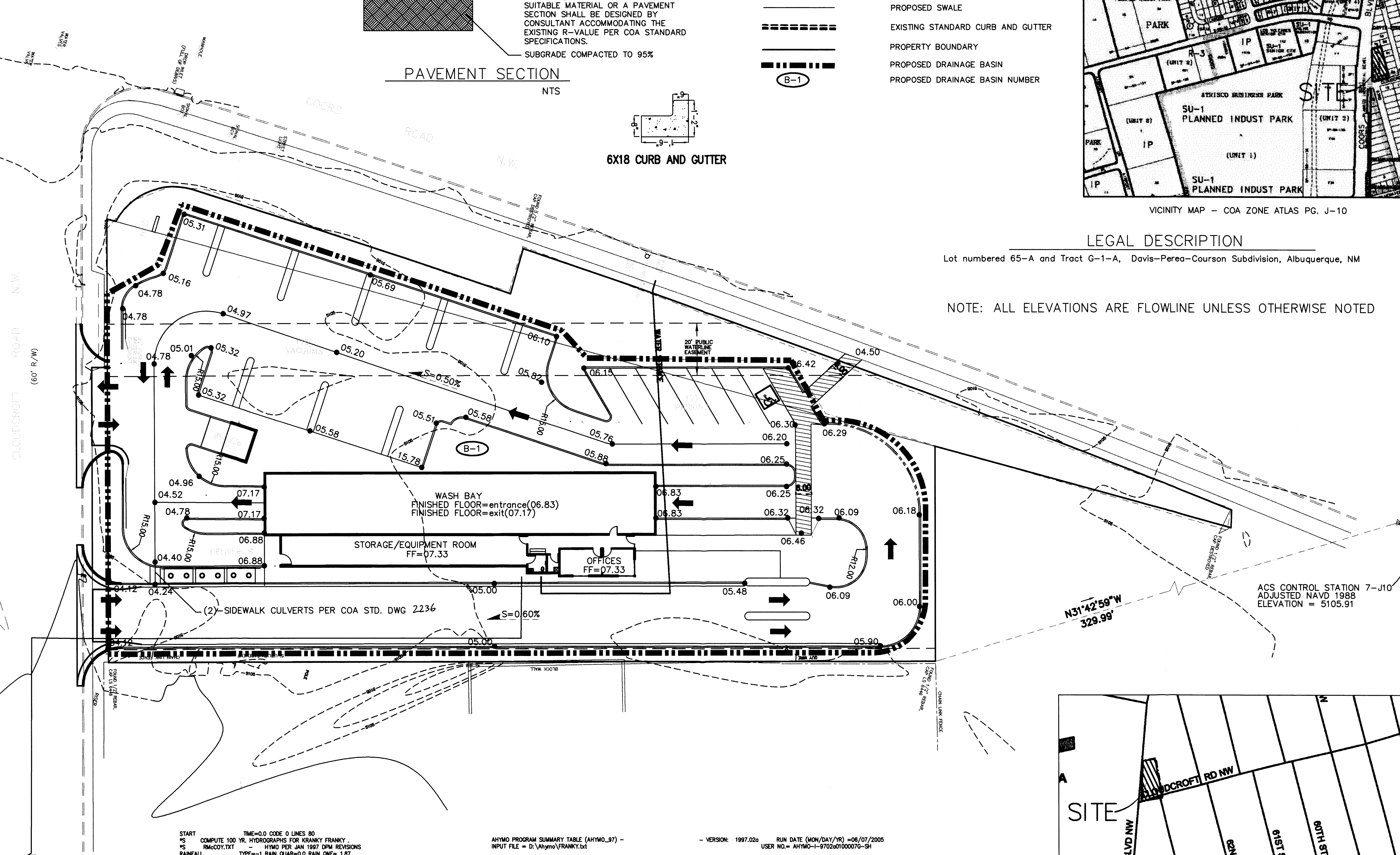
	EXISTING MINOR CONTOUR
	EXISTING MAJOR CONTOUR
	PROPOSED SPOT ELEVATION
	PROPOSED SWALE
	EXISTING STANDARD CURB AND GUTTER
	PROPERTY BOUNDARY
	PROPOSED DRAINAGE BASIN
	PROPOSED DRAINAGE BASIN NUMBER



VICINITY MAP - COA ZONE ATLAS PG. J-10

Lot numbered 65-A and Tract G-1-A, Davis-Perea-Courson Subdivision, Albuquerque, NM

NOTE: ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED



```

START                                TIME=0.0 CODE 0 LINES 80
%S COMPUTE 100 YR HYDROGRAPHS FOR KRAANKY FRANKY .
%S RMC00.TXT                        - HYMO PER JAN 1997 DPM REVISIONS
RAINFALL TYPE=-1 RAIN QJAR=C0.0 RAIN QNE=1.87
RAIN SIK= 2.4 RAIN DAY=2.8 D=0.0333

%S BASIN 1: EXISTING
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PER A=100 PER B=0 PER C=0 PER D=0 TP=-.13
RAIN=-1
CODE=10

PRINT HYD ID=1 CODE=10

%S BASIN 1: PROPOSED
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PRINT HYD ID=3 CODE=10

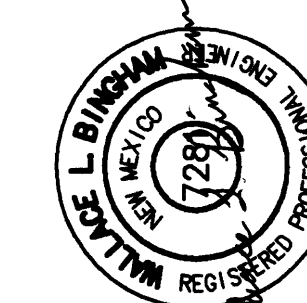
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PRINT HYD ID=4 CODE=10

FINISH

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COMMAND	HYDROGRAPH IDENTIFICATION	FROM ID NO.	TO ID NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE = 1	NOTATION	
START	COMPUTE 100 YR. HYDROGRAPHS FOR FRANKY FRANKY										TIME= .00	
*S	FRANKY.TXT											
RAINFALL	TYPE= 1										RAING= 2.400	
*S	BSASIN 1: EXISTING											
COMPUTE	NM HYD	101.10	-	1	.00140	1.37	.038	.51183	1.499	1.525	PER IMP= .00	
*S	BSASIN 1: PROPOSED											
COMPUTE	NM HYD	103.10	-	3	.00140	3.91	.157	2.09759	1.499	4.385	PER IMP= 97.00	
*S	BSASIN 2: EXISTING AND PROPOSED											
COMPUTE	NM HYD	104.10	-	4	.00010	1.00	.003	.51183	1.499	1.630	PER IMP= .00	

[illegible]

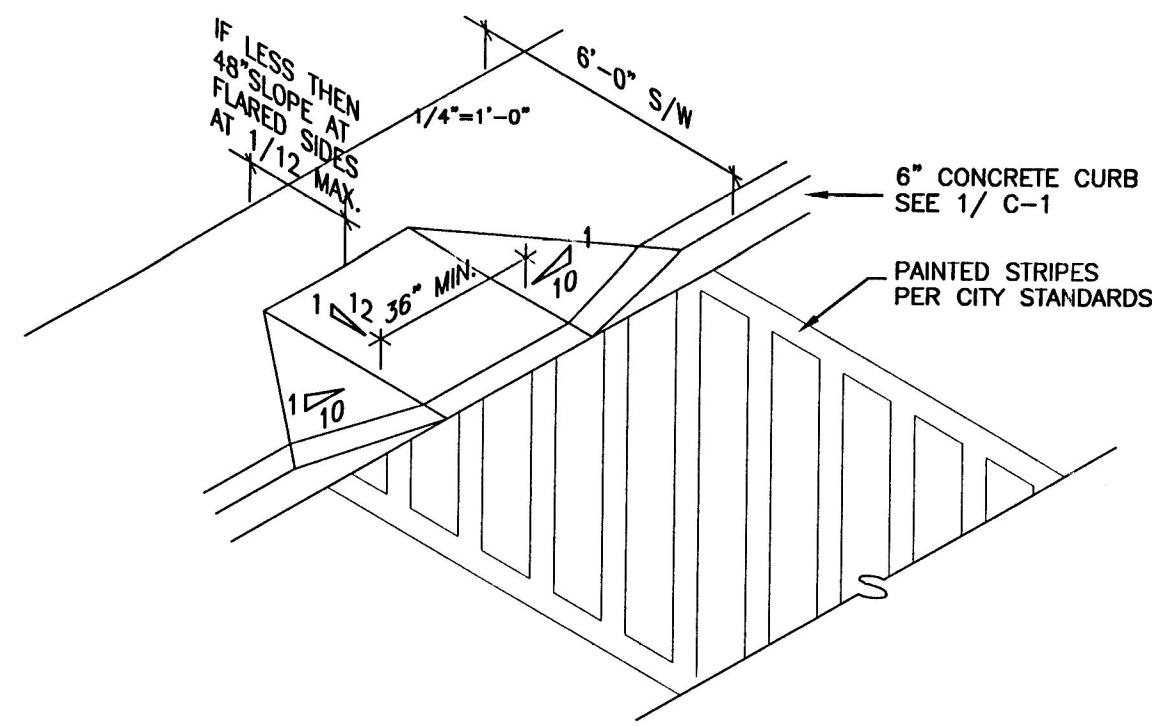
CRAZY FRANKY
CARWASH

GRADING & DRAINAGE PLAN

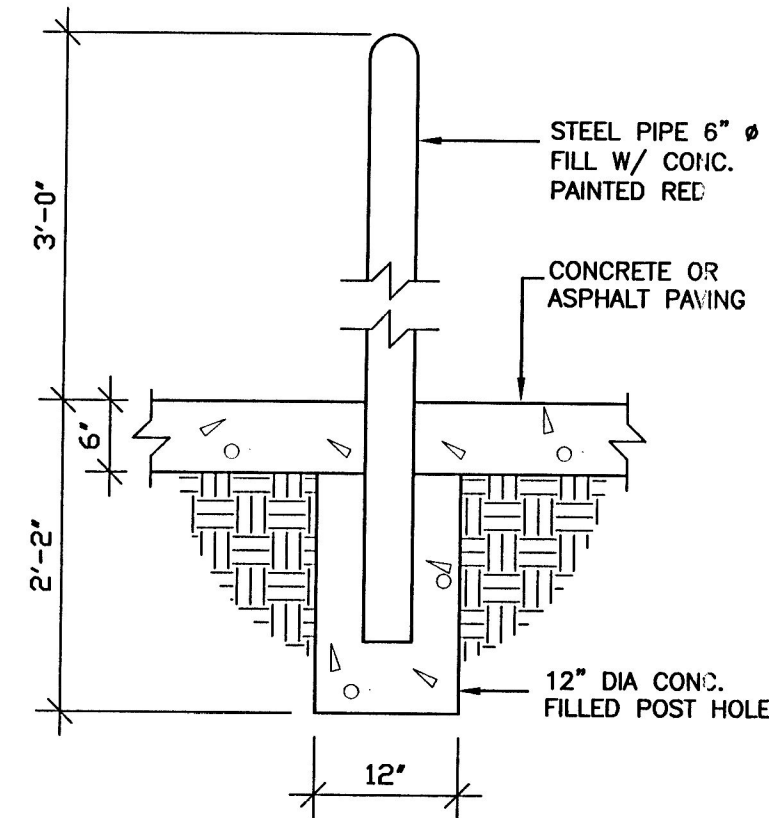
CITY/COUNTY REVIEW		
DEPARTMENT	SIGN-OFF	DATE
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

SHEET No

1



- NOTES:
1. SIGN SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL, AT FRONT CENTER OF ACCESS AISLE, NO MORE THAN 5'-0" HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE, AND SET A MINIMUM OF 5'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
 2. REFER TO SITE PLAN FOR LOCATION OF RESERVED PARKING SPACES.
 3. COLORS -
LEGEND AND BORDER - GREEN
WHITE SYMBOL ON BLUE BACKGROUND
BACKGROUND - WHITE



BOLLARD DETAIL

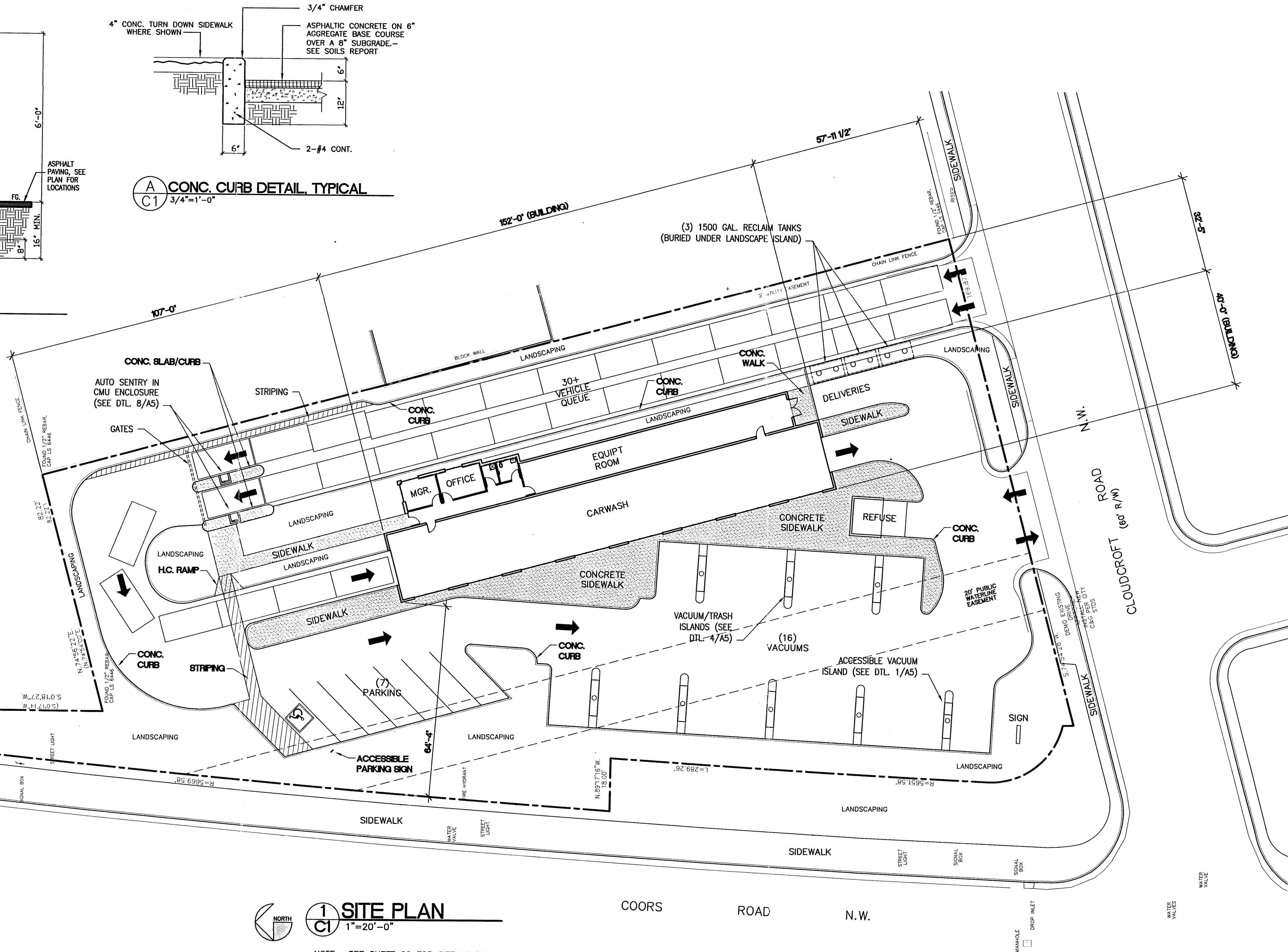
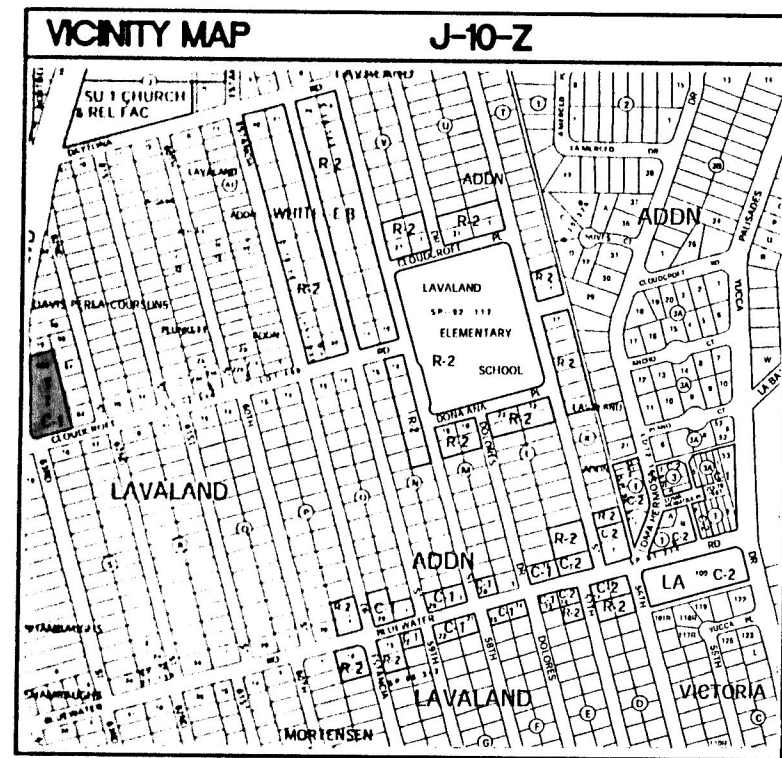
**ACCESSIBLE
PARKING SIGN**
N.T.S.

F **HANDICAPPED RAMP**
C1 **N.T.S.**

TYPICAL SLAB AT DUMPSTER



TYPICAL
CMU WALL DETAIL
1/2"=1'-0"



 NORTH  **SITE PLAN**
1"=20'-0"

NOTE: SEE SHEET C2 FOR SITE LAYOUT DIMENSIONS.

DRAWING INDEX	
C-1	SITE PLAN AND DETAILS, CODE AND ZONING DATA
C-2	SITE DIMENSION PLAN
D-1	GRADING AND DRAINAGE PLAN
L-1	LANDSCAPE PLAN
A-1	FLOOR PLAN, EXTERIOR ELEVATIONS, ROOM FINISH SCHEDULE
A-2	ROOF PLAN, BUILDING SECTIONS, DOOR AND WINDOW SCHEDULE
A-3	WALL SECTIONS
A-4	WALL SECTIONS, TOILET ROOM DETAILS
A-5	AUTO SENTRY AND VACUUM ISLAND DETAILS
S-1	FOUNDATION PLAN AND ROOF FRAMING PLAN
S-2	FOUNDATION AND STRUCTURAL DETAILS
EQ-1	EQUIPMENT PLAN
M-1	MECHANICAL PLAN
P-1	WASTE PLAN
P-2	PNEUMATIC PLUMBING PLAN
P-3	WATER DISTRIBUTION PLAN
E-1	SITE ELECTRICAL PLAN AND DETAILS
E-2	POWER AND LIGHTING PLAN
E-3	RISER DIAGRAM, PANEL SCHEDULE, ELECTRICAL DETAILS
BELANGER WAVE CARWASH SYSTEM DRAWINGS	

OCCUPANT LOAD
OFFICE: $648 \text{ S.F.} / 100 = 7 \text{ OCCUPANTS}$
EQUIPMENT ROOM: $1,127 \text{ S.F.} / 300 = 4 \text{ OCCUPANTS}$
CARWASH: $3,648 \text{ S.F.} / 500 = 7 \text{ OCCUPANTS}$

LANDSCAPING REQUIREMENTS	
LOT AREA	48,275 S.F.
BUILDING AREA	— 5,423 S.F.
NET LOT AREA = 42,852 S.F.	
REQUIRED:	
42,852 x .15% = 6,428 S.F. OF LANDSCAPING	
PROVIDED:	
17,303 S.F. OF LANDSCAPING	

PARKING CALCULATIONS	
REQUIRED	
OFFICE:	648 SF / 200 = 4 SPACES
EQUIP. RM.:	1,127 SF / 2,000 = 1 SPACE
CARWASH:	3,648 S.F. / 3,000 = 2 SPACES
PROVIDED	
REGULAR:	7 (INCLUDES 1 H.C.)
SMALL CAR:	0
TOTAL	7

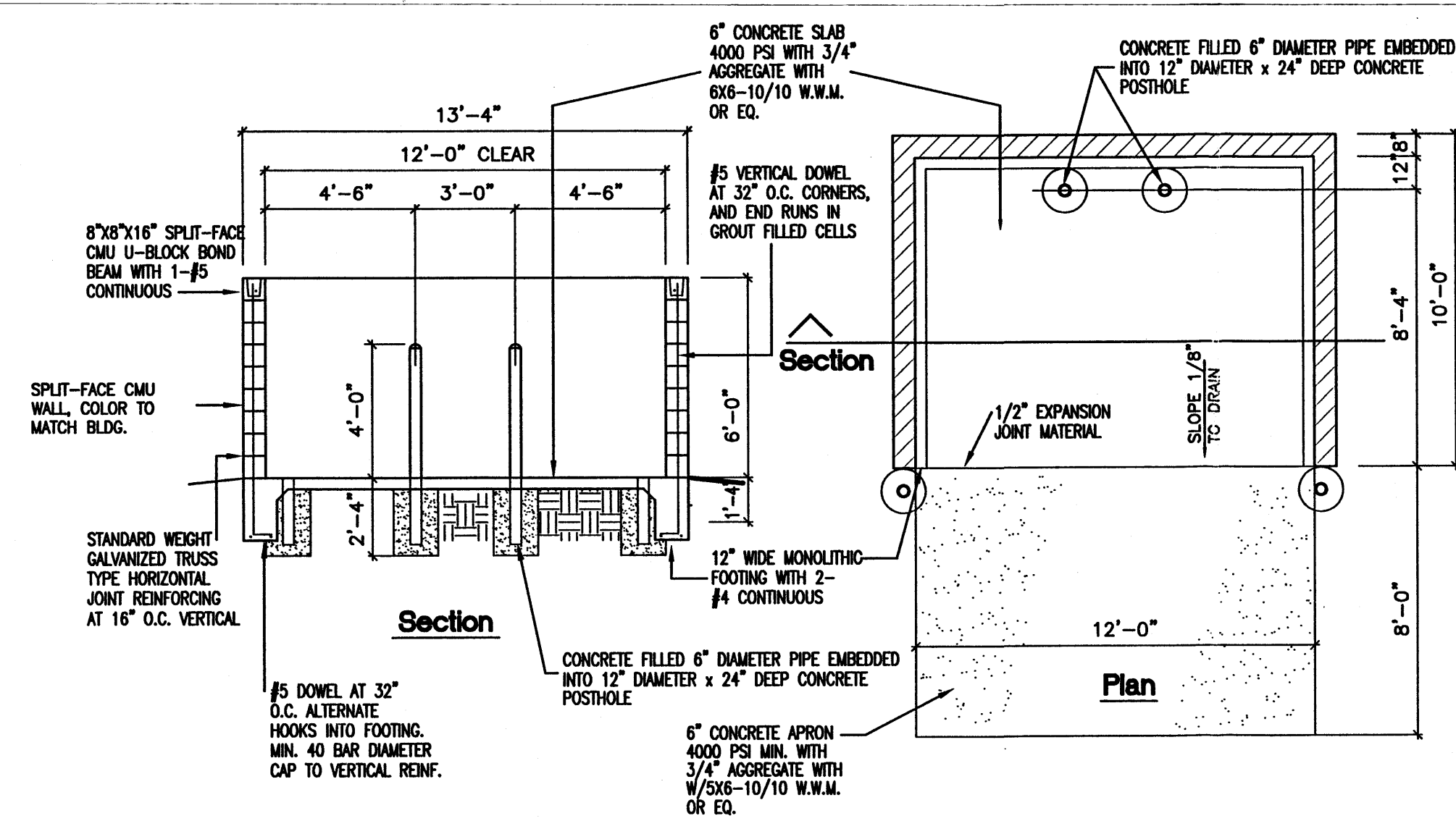
PROJECT DATA:	
CONSTRUCTION TYPE:	VB
OWNER:	FRANK BARELA 1708 CHACOMA PLACE SW ALBUQUERQUE, NM 87104
ARCHITECT	RICK BENNETT ARCHITECTS 1104 PARK AVENUE SW ALBUQUERQUE, NM 87102
SITE ADDRESS:	500 COORS BLVD. NW ALBUQUERQUE, NM 87104
OCCUPANCY GROUP:	OFFICE - B EQUIPMENT ROOM AND CARWASH - B
SQUARE FOOTAGE	OFFICE = 648 S.F. EQUIPMENT ROOM = 1,127 S.F. CARWASH = 3,648 S.F.
	TOTAL = 5,423 S.F.
ROOF LIVE LOAD	20 PSF (NON-REDUCABLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B

LEGAL DESCRIPTION:
LOT 65-A AND TRACT G-1-A,
DAVIS-PEREA-COURSON SUBDIVISION, CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
(ZONE MAP J-10).

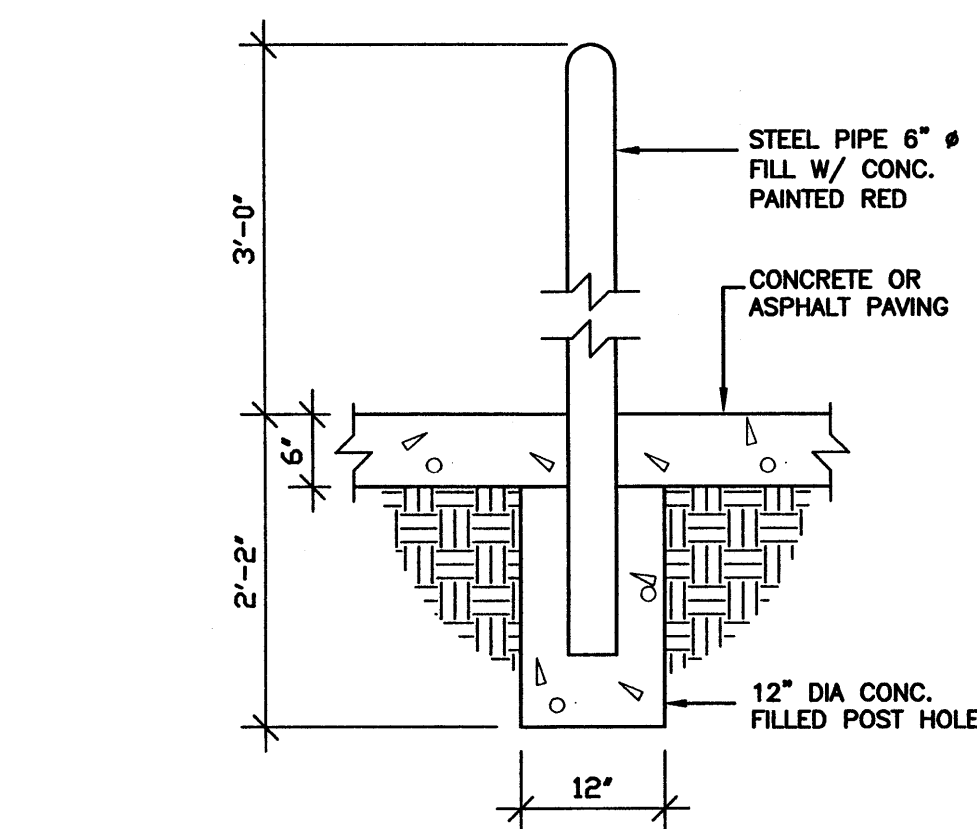
CRANKY FRANKY CARWASH
SITE PLAN AND SITE DETAILS, CODE AND ZONING DATA
ALBUQUERQUE, NEW MEXICO
PROJECT #0521

REVISION DATE	
	1104 Park Avenue SW • Albuquerque, New Mexico 87102 (505) 242-1859 • Fax (505) 242-6600 • info@riskna.com www.riskna.com
DATE	
06-29-05	
SHEET NUMBER	
C-1	

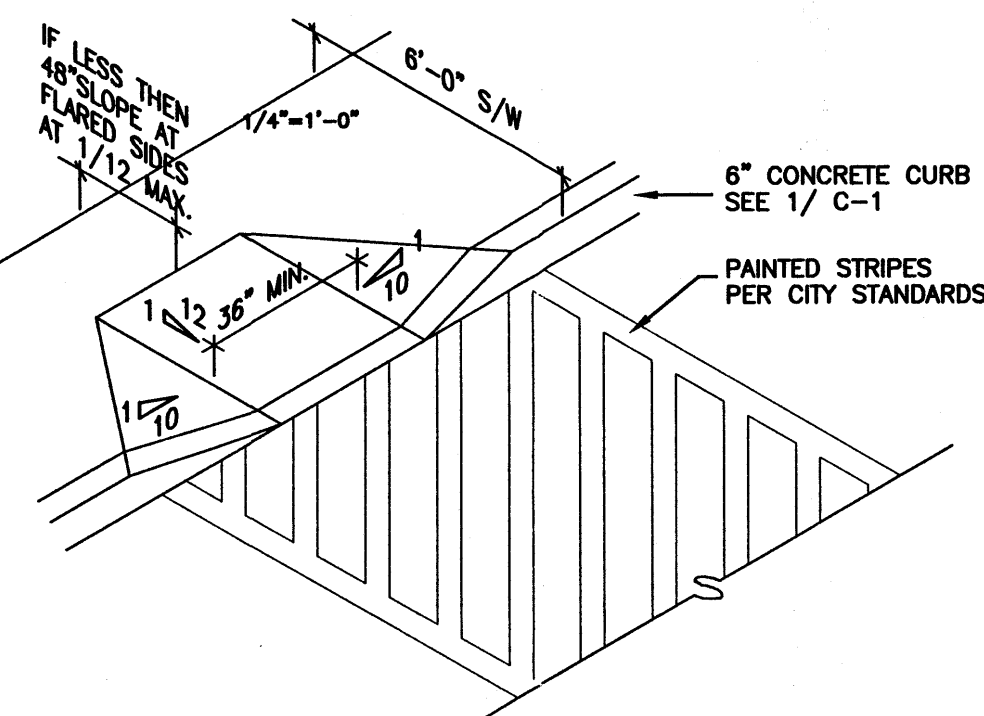
C-1



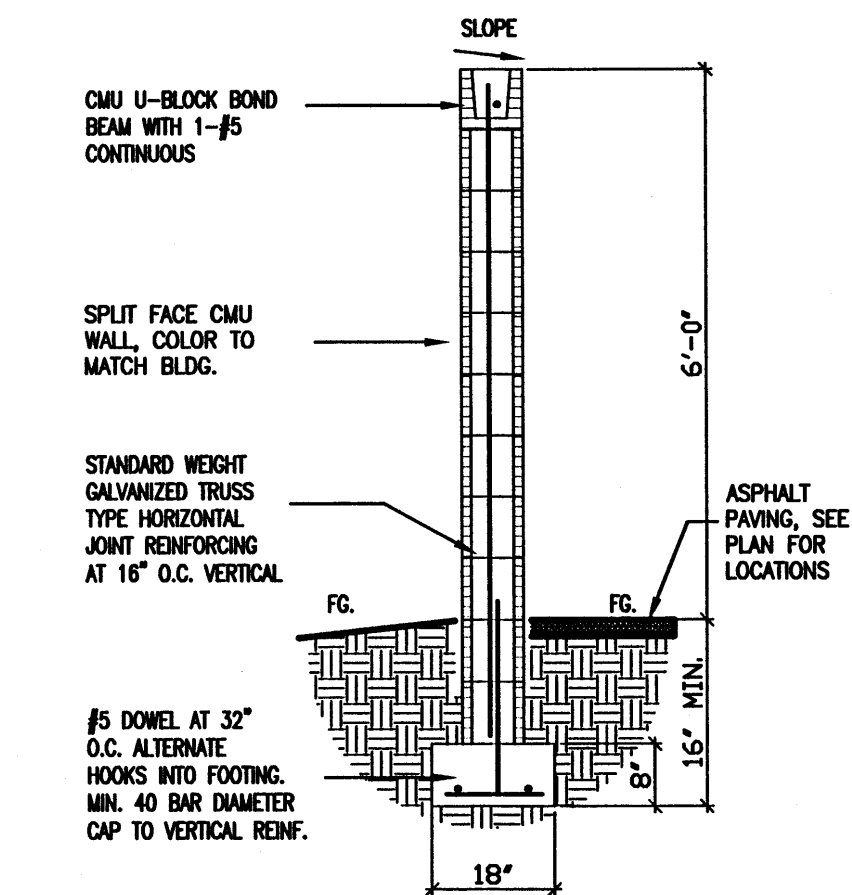
D
C1 TYPICAL SLAB AT DUMPSTER
NTS



E
C1 BOLLARD DETAIL
3/4"=1'-0"

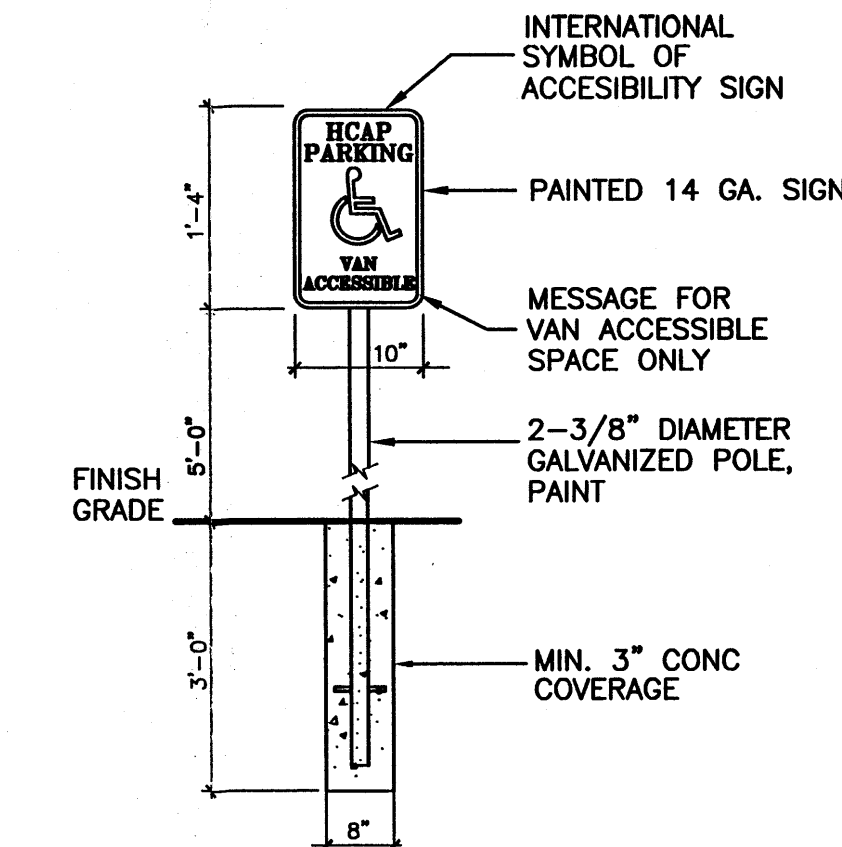


F
C1 HANDICAPPED RAMP
N.T.S.



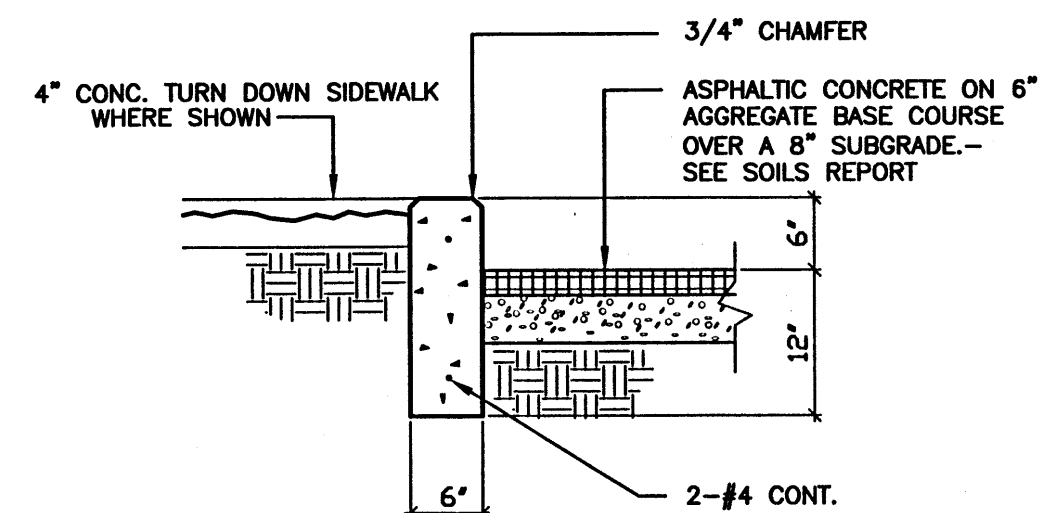
C
C1 TYPICAL CMU WALL DETAIL
1/2"=1'-0"

- KEYED NOTES**
- 2'-0" RADIUS, TYPICAL.
 - 2'-0" RADIUS, TYPICAL.
 - 3'-0" RADIUS, TYPICAL.
 - 4'-8" WIDE CONCRETE SIDEWALK.
 - CONCRETE SIDEWALK, REF. PLAN FOR DIM.
 - 6" RASSED CONCRETE ISLAND, TYPICAL.
 - 6" RASSED CONCRETE CURB, SEE DETAIL A/C-1.
 - H.C. PARKING SIGN, SEE DETAIL B/C-1.
 - H.C. SYMBOL, PER CITY OF ALB. STANDARDS.
 - H.C. ACCESSIBLE ASLE AND ROUTE, PAINTED STRIPES.
 - H.C. ACCESSIBLE CURB RAMP.
 - ASPHALT PAVING, SEE SOILS REPORT FOR SPEC'S.
 - DUMPSTER ENCLOSURE, SEE DETAIL D/C-1.
 - EXISTING CONCRETE SIDE WALK.
 - EXISTING CONCRETE CURB AND GUTTER.
 - H.C. ACCESSIBLE CURB RAMP, PER CITY OF ALB. STANDARDS.
 - PAINTED DIRECTION ARROW, TYPICAL.
 - VACUUM/TRASH ISLAND (SEE DETAIL 4/AS).
 - ACCESSIBLE VACUUM ISLAND.
 - PAINTED STRIPING.
 - AUTO SENTRY IN CMU ENCLOSURE (SEE DTL. 8/AS).
 - GATES.
 - 15'-0" RADIUS.

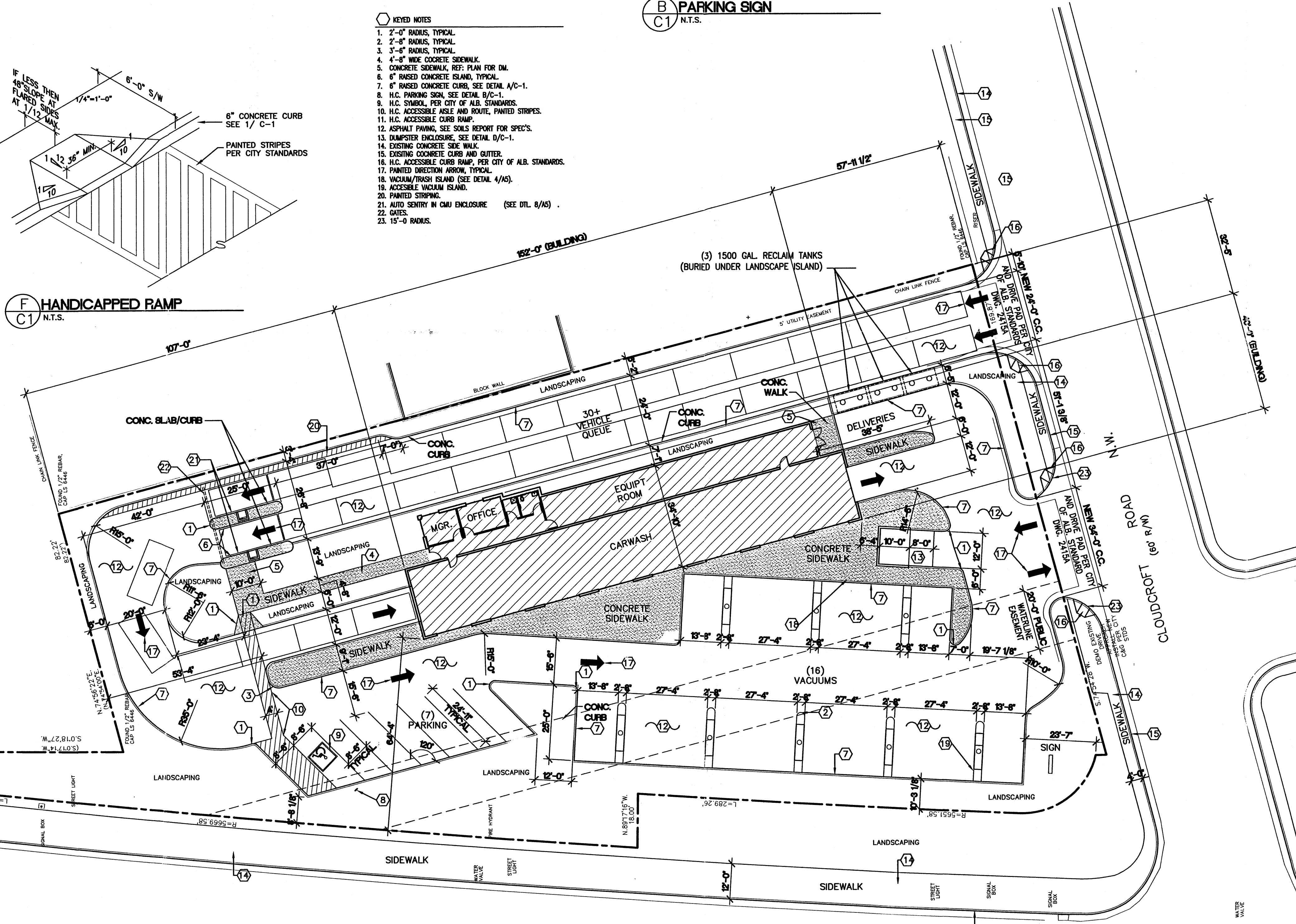
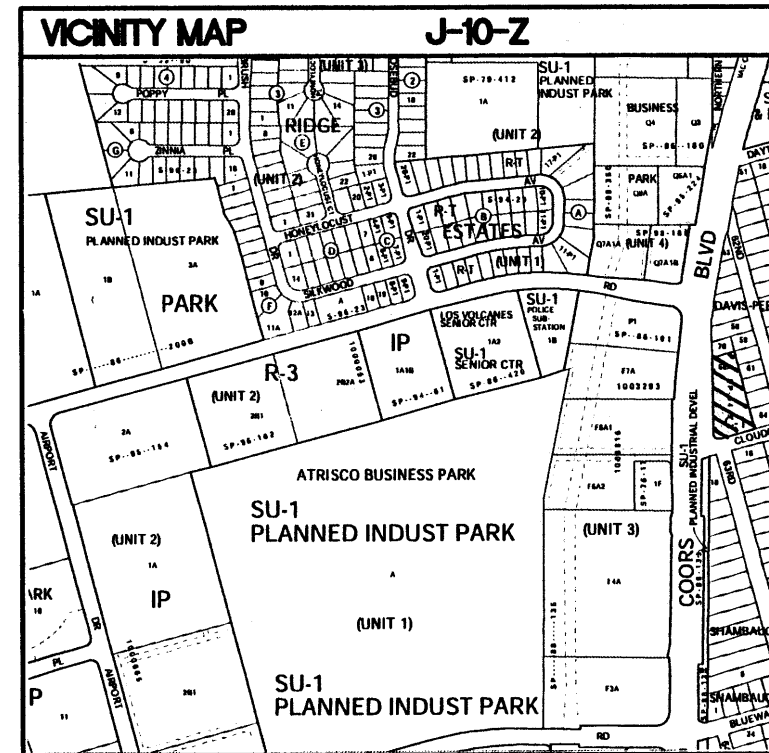


- NOTES:**
- SIGN SHALL BE VERTICALLY MOUNTED ON A POST OR A WALL AT FRONT CENTER OF ACCESS ASLE, NO MORE THAN 5'-0" HORIZONTALLY FROM THE FRONT OF THE PARKING SPACE AND SET A MINIMUM OF 5'-0" ABOVE FINISH GRADE TO THE BOTTOM OF THE SIGN.
 - REFER TO SITE PLAN FOR LOCATION OF RESERVED PARKING SPACES.
 - COLORS - LEGEND AND BORDER - GREEN
WHITE SYMBOL, ON BLUE BACKGROUND
BACKGROUND - WHITE

B
C1 ACCESSIBLE PARKING SIGN
N.T.S.



A
C1 CONC. CURB DETAIL, TYPICAL
3/4"=1'-0"



1
C1 SITE PLAN
1"=20'-0"

NOTE: SEE SHEET C2 FOR SITE LAYOUT DIMENSIONS.

DRAWING INDEX	
C-1	SITE PLAN AND DETAILS, CODE AND ZONING DATA
C-2	SITE DIMENSION PLAN
D-1	GRADING AND DRAINAGE PLAN
L-1	LANDSCAPE PLAN
A-1	FLOOR PLAN, EXTERIOR ELEVATIONS, ROOM FINISH SCHEDULE
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E-3	RISER DIAGRAM, PANEL SCHEDULE, ELECTRICAL DETAILS
BELANGER WAVE CARWASH SYSTEM DRAWINGS	

OCCUPANT LOAD	
OFFICE:	648 S.F. / 100 = 7 OCCUPANTS
EQUIPMENT ROOM:	1,127 S.F. / 300 = 4 OCCUPANTS
CARWASH:	3,648 S.F. / 500 = 7 OCCUPANTS

LANDSCAPING REQUIREMENTS	
LOT AREA	48,275 S.F.
BUILDING AREA	- 5,423 S.F.
NET LOT AREA	= 42,852 S.F.
REQUIRED:	42,852 x .15% = 6,428 S.F. OF LANDSCAPING
PROVIDED:	17,303 S.F. OF LANDSCAPING

PARKING CALCULATIONS	
REQUIRED	
OFFICE:	648 SF / 200 = 4 SPACES
EQUIP. RM.:	1,127 SF / 2,000 = 1 SPACE
CARWASH:	3,648 S.F. / 3,000 = 2 SPACES
PROVIDED	
REGULAR:	7 (INCLUDES 1 H.C.)
SMALL CAR:	0
TOTAL	7

PROJECT DATA:	
CONSTRUCTION TYPE:	VB
OWNER:	FRANK BARELA 1708 CHACOMA PLACE SW ALBUQUERQUE, NM 87104
ARCHITECT:	RICK BENNETT ARCHITECTS 1104 PARK AVENUE SW ALBUQUERQUE, NM 87102
SITE ADDRESS:	500 COORS BLVD. NW ALBUQUERQUE, NM 87104
OCCUPANCY GROUP:	OFFICE - B EQUIPMENT ROOM AND CARWASH - B
SQUARE FOOTAGE	OFFICE = 648 S.F. EQUIPMENT ROOM = 1,127 S.F. CARWASH = 3,648 S.F. TOTAL = 5,423 S.F.
ROOF LIVE LOAD	20 PSF (NON-REDUCABLE)
WIND LOAD	75 MPH
EXPOSURE	C
SEISMIC ZONE	2B

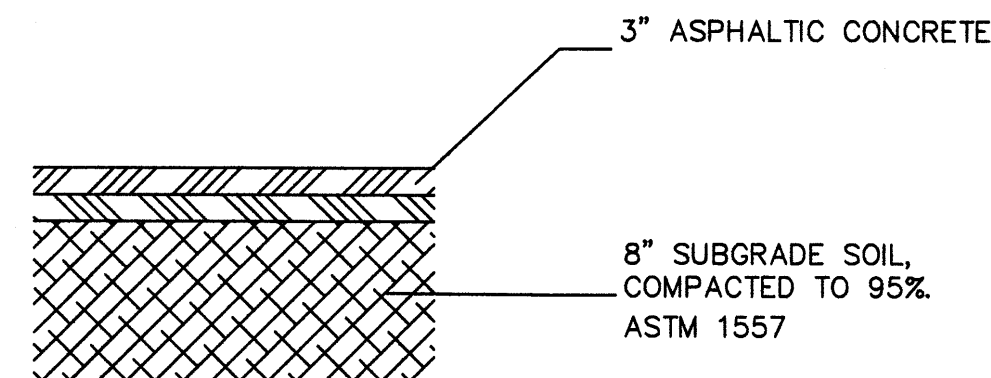
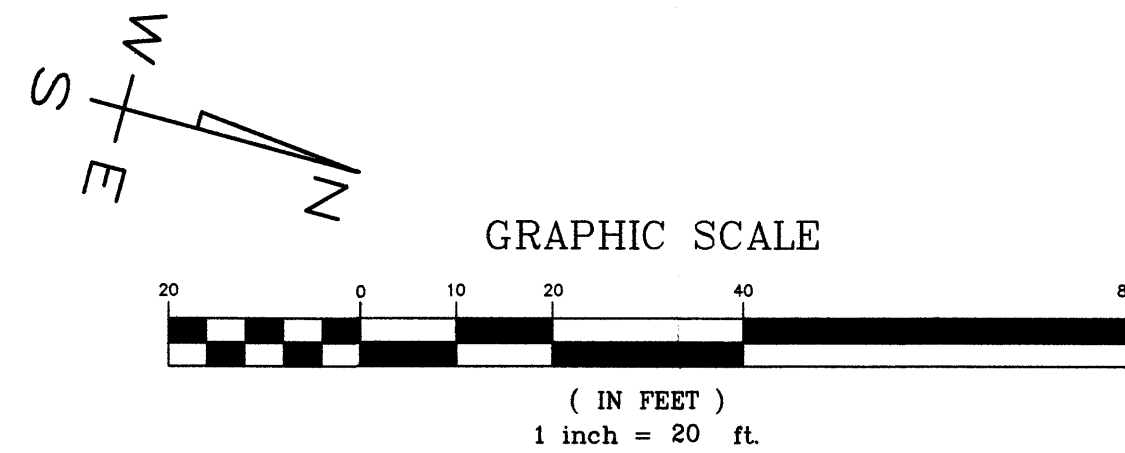
LEGAL DESCRIPTION:
LOT 65-A AND TRACT G-1-A,
DAVIS-PEREA-COURSON SUBDIVISION, CITY OF
ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
(ZONE MAP J-10).

TRAFFIC CIRCULATION LAYOUT
APPROVED
9/9/05
Date
Signed

CRANKY FRANKY CARWASH
SITE PLAN AND SITE DETAILS, CODE AND ZONING DATA
ALBUQUERQUE, NEW MEXICO
PROJECT #0521

REVISION DATE	08-04-05
REGISTERED ARCHITECT	RICHARD A. BENNETT No. 1240 AUG 04 2005
DATE	06-29-05
SHEET NUMBER	C-1 AUG 04 2005
HYDROLOGY SECTION	

REVISION DATE 08-04-05	 STATE OF NEW MEXICO REGISTERED ARCHITECT RICHARD R. PENNETT No. 1240 AUG 04 2005
 richard r. pennett ARCHITECTS	1104 First Avenue SW • Albuquerque, New Mexico (505) 342-1829 • Fax (505) 342-6430 • rrp@rraall.com
DATE 06-29-05	
SHEET NUMBER C-1	
	
HYDROLOGY SECTION	

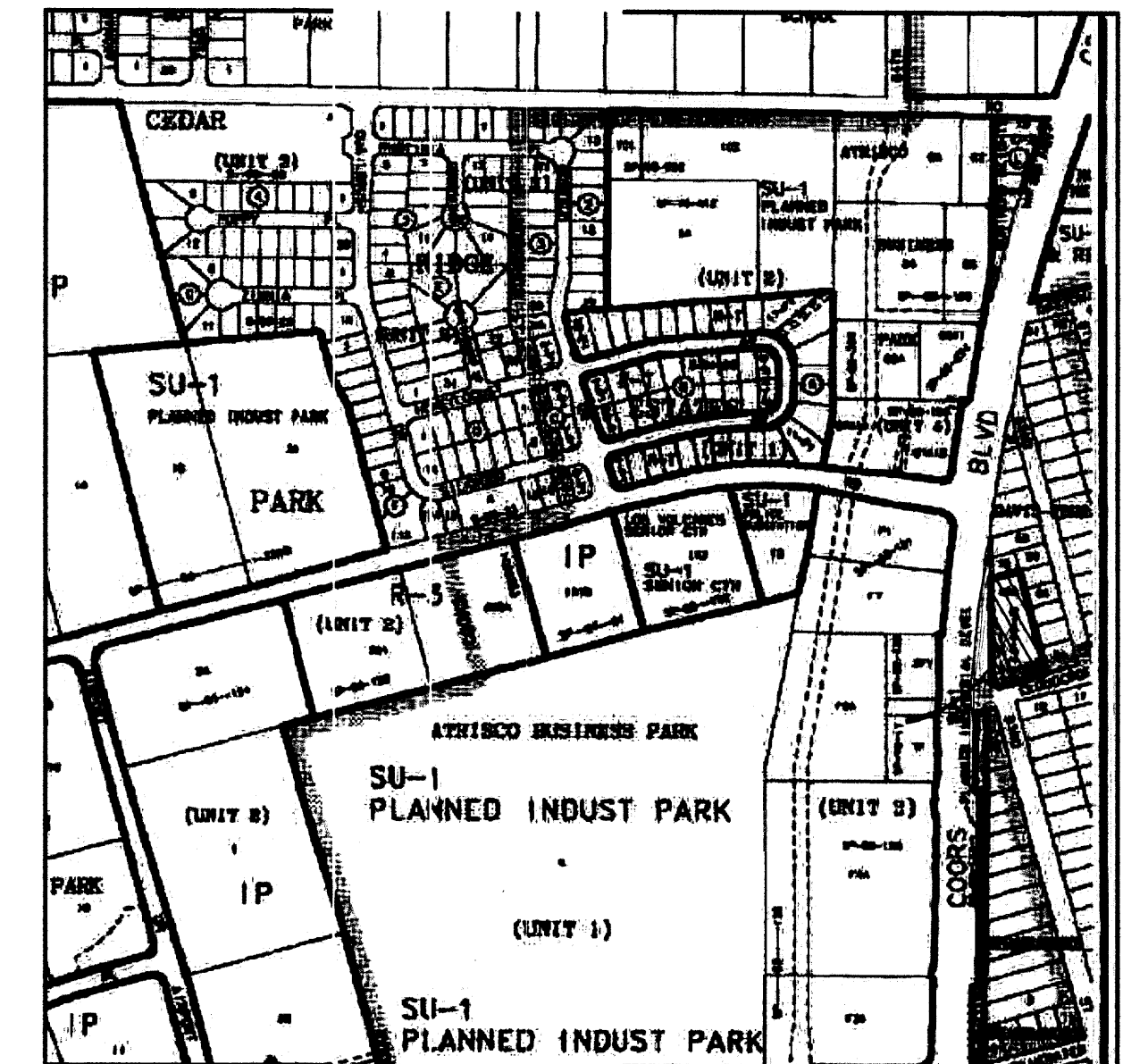


PAVEMENT SECTION

LEGEND

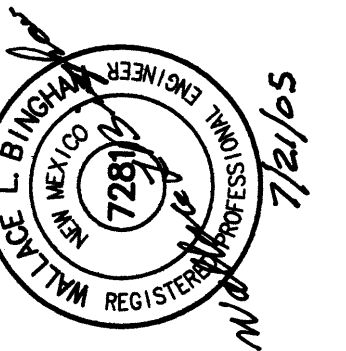
- EXISTING MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED STANDARD CURB AND GUTTER
COA STD. DWG 2415A
- PROPOSED SWALE
- EXISTING STANDARD CURB AND GUTTER
SEE DETAIL THIS SHEET
- PROPERTY BOUNDARY
- PROPOSED DRAINAGE BASIN NUMBER
- PROPOSED DRAINAGE BASIN BOUNDARY
- PROPOSED DRAINAGE DIRECTION

EXISTING CONDITIONS:
THE LOT LOT IS UNDEVELOPED. EXISTING DRAINAGE IS GENERALLY SOUTH
THE EXISTING DRIVE WILL BE DEMO'D AND REBUILT ELSEWHERE.



VICINITY MAP - COA ZONE ATLAS PG. J-10

PROPOSED PROJECT:
THE PROJECT INCLUDES AN AUTOMATIC CARWASH THE ENTRY WILL BE ON CLOUDCROFT ST.
AT THE EAST PROP. LINE. THE CAR WASH WILL INCLUDE WATER RECYCLING ALL OF THE PAVED
AREA IS GRADED TO DRAIN TO CLOUDCROFT AND THEN EAST TO THE RIVER. BASIN 2 WILL BE
LANDSCAPED AND SURFACE CONFIGURED TO RETAIN STORMWATER FOR IRRIGATION SUPPLEMENT.
A DETAILING AREA WITH VACUUM AND TRASH BARRELS, IS INCLUDED NEXT TO COORS.
THE ROADWAYS WILL BE PAVED AND THE WASH BLDG AND APRONS WILL BE CONCRETE.



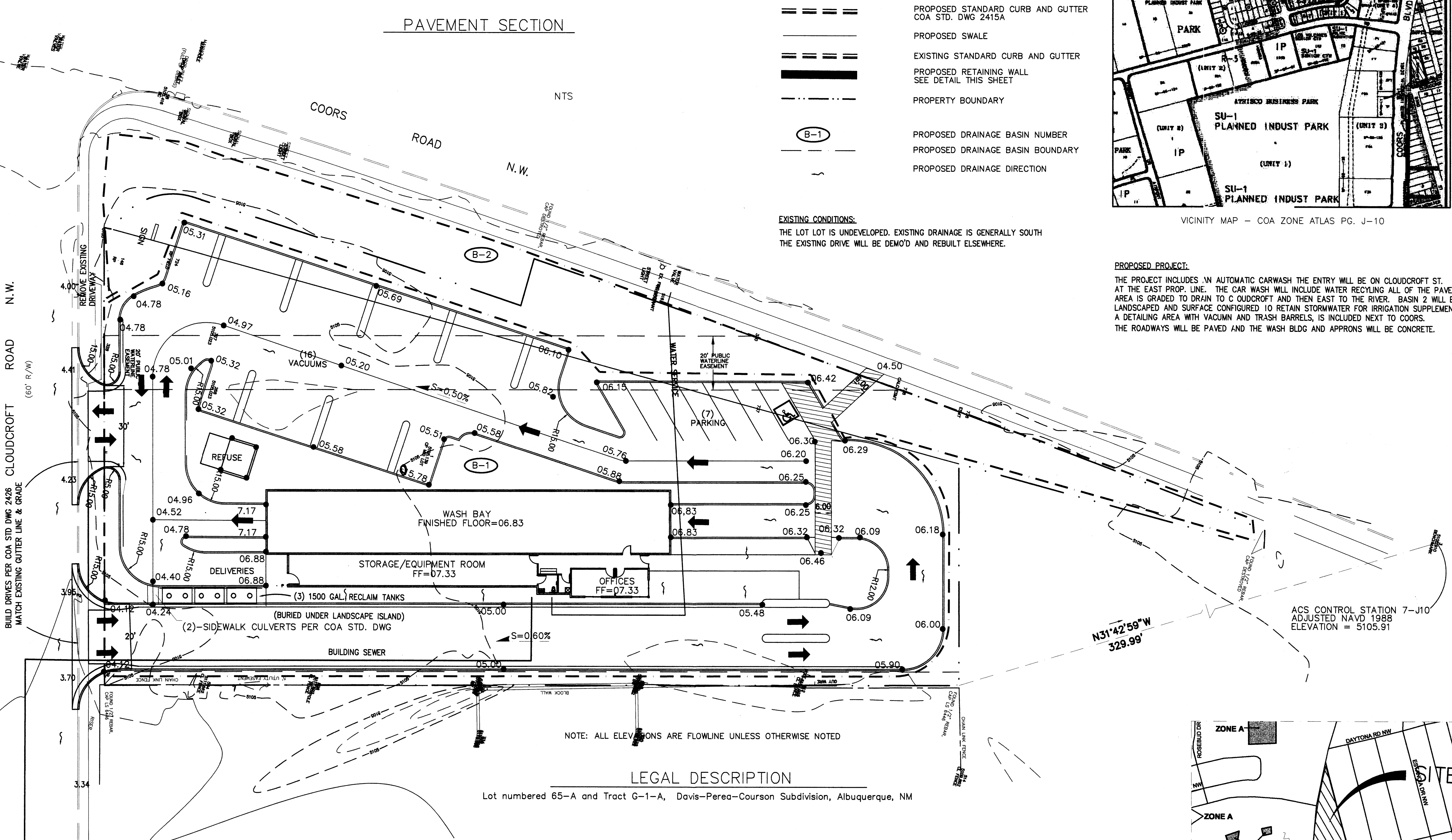
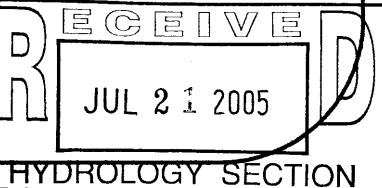
CRANKY FRANKY
CARWASH

GRADING & DRAINAGE PLAN

CITY/COUNTY REVIEW		DATE
DEPARTMENT	SIGN-OFF	
WASTEWATER MGMT. DIV.		
WATER SERVICES		
SUBDIVISION ENG.		
STREETS		
TRAFFIC		

SHEET No.

1 of 1



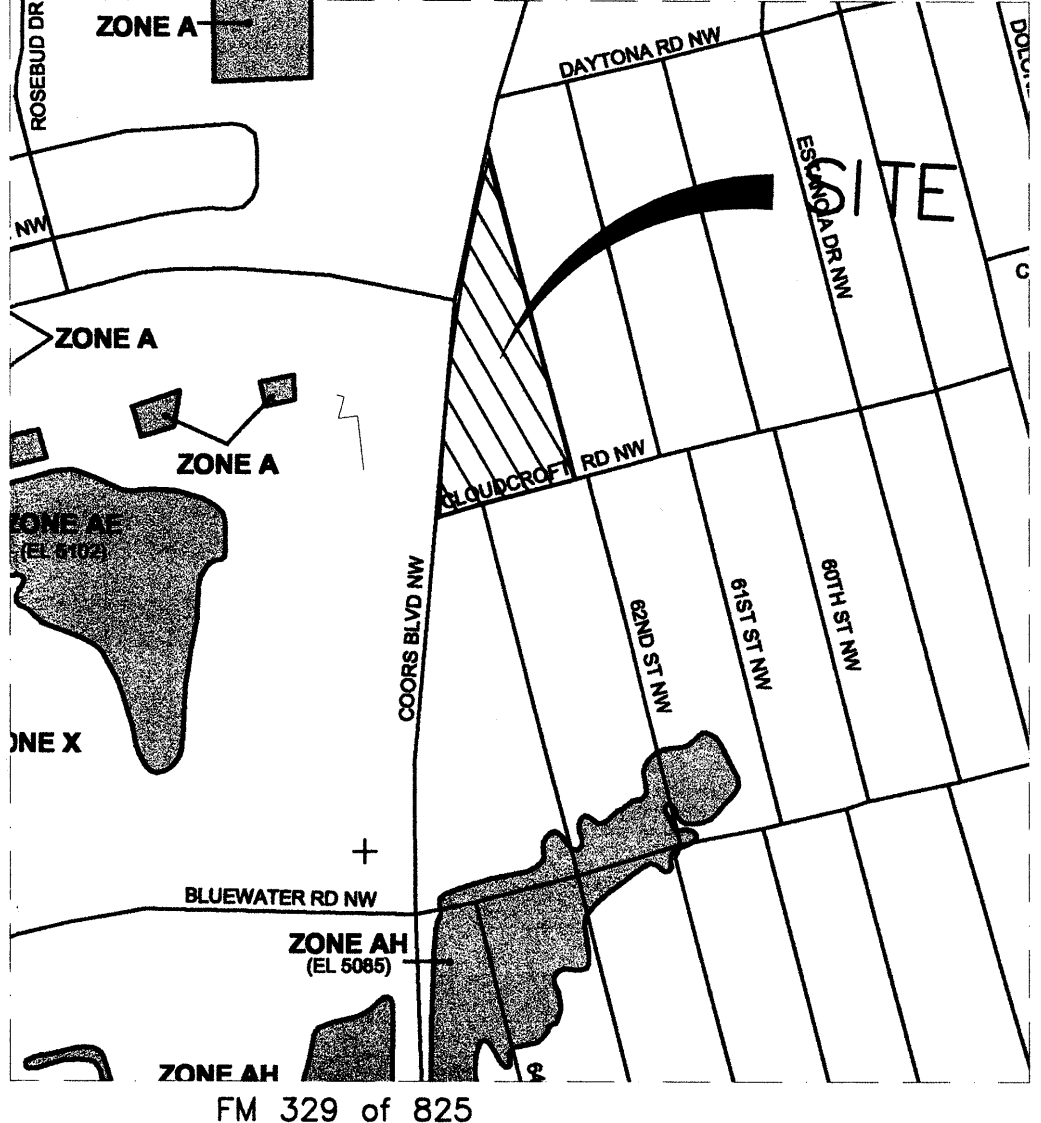
NOTE: ALL ELEVATIONS ARE FLOWLINE UNLESS OTHERWISE NOTED

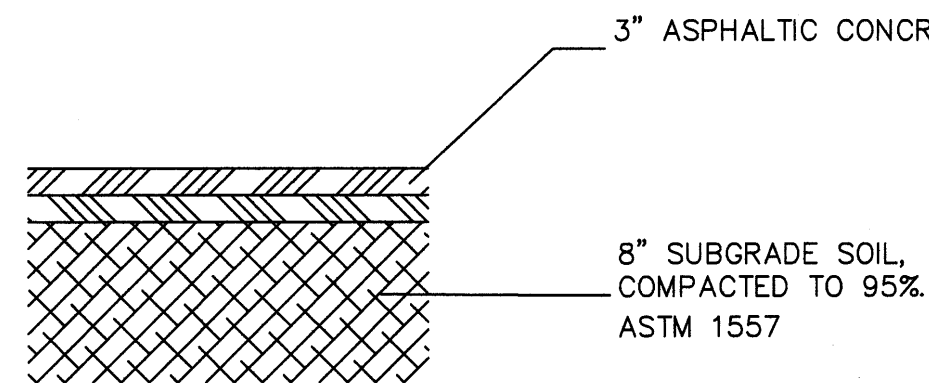
LEGAL DESCRIPTION

Lot numbered 65-A and Tract G-1-A, Davis-Perea-Courson Subdivision, Albuquerque, NM

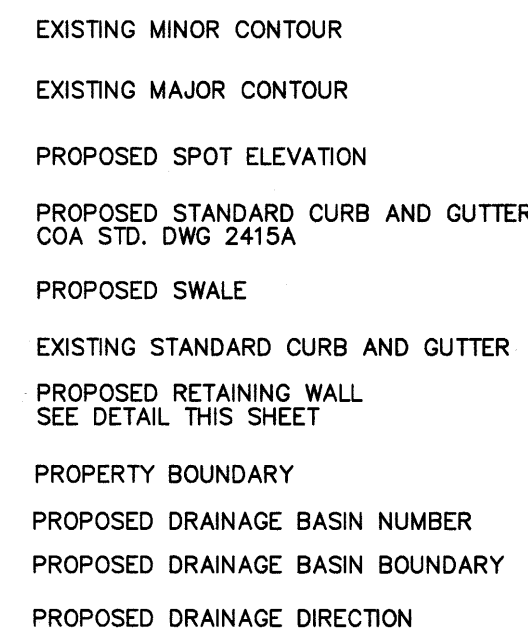
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*S RMCDOT.TXT - HYMO PER JAN 1997 DPM REVISIONS
RAINFALL TYPE=1 RAIN CLAMP=0.0 RAIN ONE= 1.87
RAIN SIX= 2.4 RAIN DAY=2.8 DT=0.0333
*S BASIN 1: EXISTING
COMPUTE NM HYD ID=1 HYD NO= 101.1 DA=0.0014 SQ MI
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RAIN=-1 ID=1 CODE=10
PRINT HYD
*S BASIN 1: PROPOSED
COMPUTE NM HYD ID=3 HYD=103.1 DA=0.0014
PER A=03 PER B=0 PER C=00 PER D=97 TP=-.13
RAIN=-1 ID=3 CODE=10
PRINT HYD
*S BASIN 2: EXISTING AND PROPOSED
COMPUTE NM HYD ID=4 HYD NO= 104.1 DA=0.0014 SQ MI
PER A=100 PER B=0 PER C=0 PER D=0 TP=-.13
RAIN=-1 ID=4 CODE=10
PRINT HYD
FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -									
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- VERSION: 1997.02a RUN DATE (MON/DAY/YR) =06/07/2005									
USER NO.= AHYMO-1-9702a01000076-SH									
COMMAND	IDENTIFICATION	FROM ID	TO ID	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE
START COMPUTE 100 YR. HYDROGRAPHS FOR CRANKY FRANKY									
*S FRANKY.TXT - HYMO PER JAN 1997 DPM REVISIONS									
RAINFALL TYPE=1									
*S BASIN 1: EXISTING									
COMPUTE NM HYD 101.10 - 1 .00140 1.37 .038 .51183 1.499 1.525 PER IMP= .00									
*S BASIN 1: PROPOSED									
COMPUTE NM HYD 103.10 - 3 .00140 3.91 .157 2.09759 1.499 4.385 PER IMP= 97.00									
*S BASIN 2: EXISTING AND PROPOSED									
COMPUTE NM HYD 104.10 - 4 .00010 .10 .003 .51183 1.499 1.630 PER IMP= .00									
FINISH									

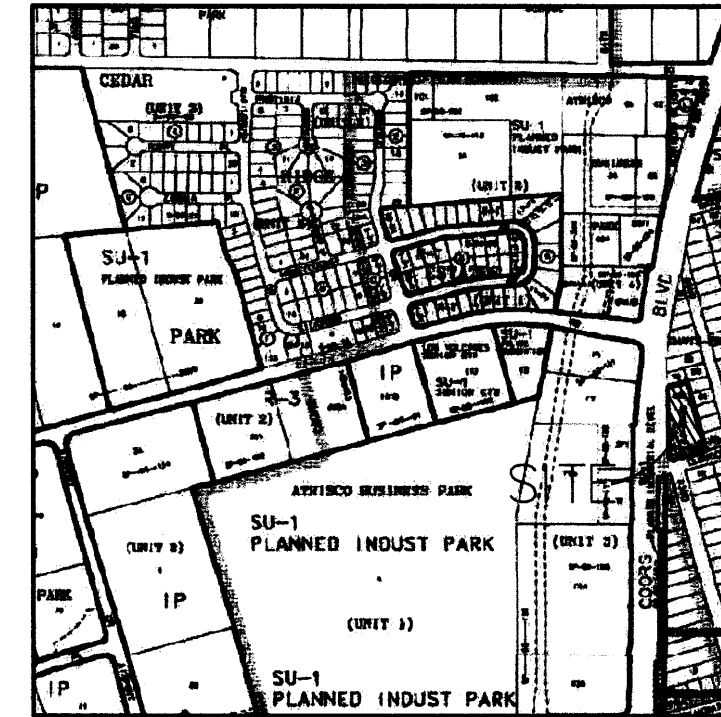




NTS



EXISTING CONDITIONS:
THE LOT IS UNDEVELOPED. EXISTING DRAINAGE IS GENERALLY SOUTH.
THE EXISTING DRIVE WILL BE DEMO'D AND REBUILT ELSEWHERE.



VICINITY MAP - COA ZONE ATLAS PG. J-1

THE PROJECT INCLUDES AN AUTOMATIC CARWASH THE ENTRY WILL BE ON CLOUDCROFT ST. AT THE EAST PROP. LINE. THE CAR WASH WILL INCLUDE WATER RECYCLING ALL OF THE PAVED AREA IS GRADED TO DRAIN TO CLOUDCROFT AND THEN EAST TO THE RIVER. BASIN 2 WILL BE LANDSCAPED AND SURFACE CONFIGURED TO RETAIN STORMWATER FOR IRRIGATION SUPPLEMENT A DETAILING AREA WITH VACUUMS AND TRASH BARRELS, IS INCLUDED NEXT TO COORS. THE ROADWAYS WILL BE PAVED AND THE WASH BLDG AND APRONS WILL BE CONCRETE.

THE OWNER WAIVES CHANGES TO THE DESIGN OF THE DETAILING AREA DURING CONSTRUCTION. THERE ARE PROBLEMS WITH THE GRADING OF THE CONCRETE PAD. IT WILL NOT DRAIN TO THE DRAINAGE AS WAS INTENDED. THE OWNER PUT IN REBARING TO DRAIN THE POND ON THE WEST SIDE OF THE DETAILING AREA. HE WILL HAVE TO CONSTRUCT SIDE WALL CHANGERS TO MOVE THE RUNOFF TO THE EAST. THERE IS A WALL ON THE SW-1/4 TO BE CONSTRUCTED AT THE NORTHWEST CORNER. THE PURPOSE OF THIS INTERMEDIATE WALL IS TO PROVIDE A PLAN TO FACILITATE THE SW-1/4 PERMIT AND DOCUMENT THE WORK TO BE COMPLETED. THIS PLAN WILL BE USED FOR THE FINAL CERTIFICATION.



Lot numbered 65-A and Tract G-1-A, Davis-Perea-Courson Subdivision, Albuquerque, NM

005

Diagram illustrating a side walk culvert structure. The culvert is shown in cross-section, with a slope of approximately 3' minimum. A dashed line indicates the "RUN DOWN" section. The culvert is labeled "SIDE WALK CULVERT" and "SW." (Side Walk).



1. An excavation/construction permit will be required before beginning any work within the City right-of-way. An approved copy of these plans must be submitted at the time of application for this permit.
2. All work detailed on these plans to be performed, except as otherwise stated or provided hereon, shall be constructed in accordance with City of Albuquerque Standard Specifications for Public Works Construction
3. Two working days prior to any excavation, the Contractor must contact Line Locating Service, 765 1234, for location of existing utilities.
4. Prior to construction, the Contractor shall excavate and verify the horizontal and vertical location of all constructions. Should a conflict exist, the Contractor shall notify the Engineer so that conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to commercial street use.
6. Maintenance of those facilities shall be the responsibility of the the Owner of the property served.

APPROVAL	NAME	DATE
INSPECTOR		

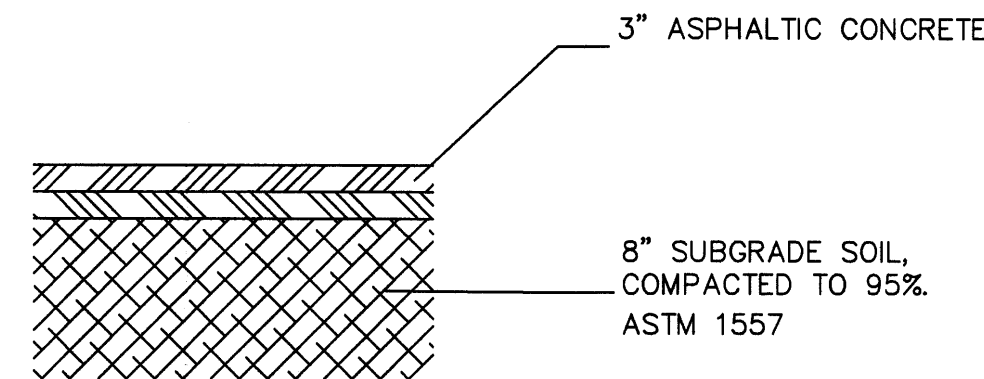
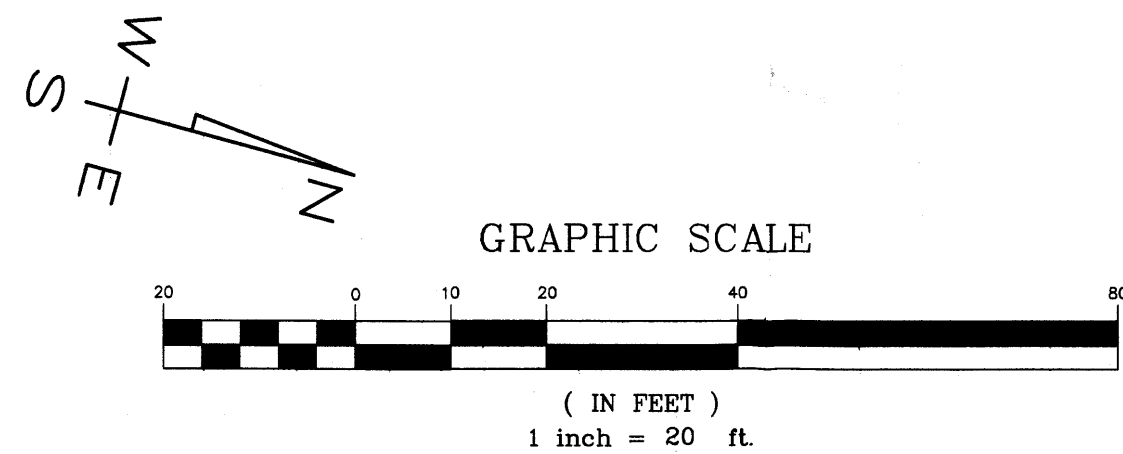
RECEIVED
OCT 16 2006
HYDROLOGY SECTION

BINGHAM ENGINEERING
6344 Belcher NE
Albuquerque, New Mexico 87109
505 797 4699

CRAZY FRANKY
CARWASH

INTERMEDIATE GRADING & DRAINAGE PLAN

1 of 1



PAVEMENT SECTION
NTS

LEGEND

---	EXISTING MINOR CONTOUR
---	EXISTING MAJOR CONTOUR
---	PROPOSED SPOT ELEVATION
---	PROPOSED STANDARD CURB AND GUTTER COA STD. DWG 2415A
---	PROPOSED SWALE
---	EXISTING STANDARD CURB AND GUTTER
---	PROPOSED RETAINING WALL SEE DETAIL THIS SHEET
---	PROPERTY BOUNDARY
---	PROPOSED DRAINAGE BASIN NUMBER
---	PROPOSED DRAINAGE BASIN BOUNDARY
---	PROPOSED DRAINAGE DIRECTION

EXISTING CONDITIONS:
THE LOT IS UNDEVELOPED. EXISTING DRAINAGE IS GENERALLY SOUTH
THE EXISTING DRIVE WILL BE DEMO'D AND REBUILT ELSEWHERE.

PROPOSED PROJECT:

THE PROJECT INCLUDES AN AUTOMATIC CARWASH THE ENTRY WILL BE ON CLOUDCROFT ST. AT THE EAST PROP. LINE. THE CAR WASH WILL INCLUDE WATER RECYCLING ALL OF THE PAVED AREA IS GRADED TO DRAIN TO CLOUDCROFT AND THEN EAST TO THE RIVER. BASIN 2 WILL BE LANDSCAPED AND SURFACE CONFIGURED TO RETAIN STORMWATER FOR IRRIGATION SUPPLEMENT. A DETAILING AREA WITH VACUUMS AND TRASH BARRELS, IS INCLUDED NEXT TO COORS. THE ROADWAYS WILL BE PAVED AND THE WASH BLDG AND APRONS WILL BE CONCRETE.

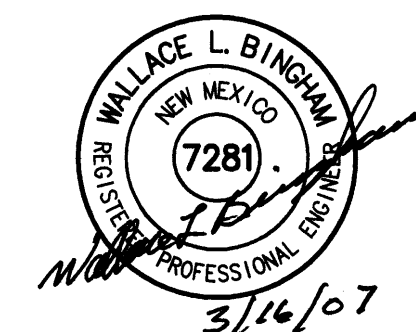
NO CONVEYABLE CONDITIONS

THE OWNER UNDERSTANDS THAT THE DESIGN OF THE DETAILING AREA, DURING CONSTRUCTION, THERE ARE PROBLEMS WITH THE GRADING OF THE CONCRETE SLAB. IT WILL NOT DRAIN TO THE PROPERTY AS WAS INTENDED. THE OWNER MAY BE REQUIRED TO DRAIN THE ROADS OF THE WEST SIDE OF THE DETAILING AREA. HE WILL HAVE TO COMPLETE THE DRAINAGE TO THE RIVER TO THE SOUTH. THERE IS A WARNING SIGN TO BE CONVEYABLE IN THE DETAILING AREA. THE PURPOSE OF THE INTERMEDIATE PLAN IS TO PROVIDE A PLAN TO PREPARE THE SO-19 PERMIT AND OCCUPANCY THE WORK TO BE COMPLETED. THIS PLAN WILL BE USED FOR THE PERMITS.

DRAINAGE CERTIFICATION

I, WALLACE L. BINGHAM NMPE 7281, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN DATED 10/10/2006. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR RELEASE OF CERTIFICATE OF OCCUPANCY.

AS-BUILT DESIGNATION
92.10
OR
92.50



CRANKY FRANKY
CARWASH

INTERMEDIATE
GRADING & DRAINAGE PLAN

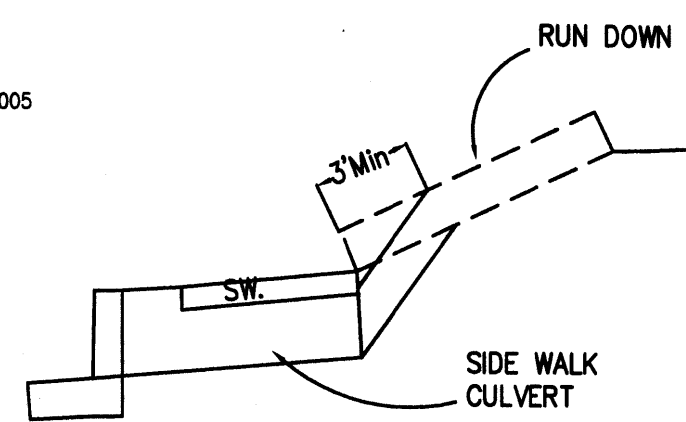
LEGAL DESCRIPTION

Lot numbered 65-A and Tract G-1-A, Davis-Perea-Courson Subdivision, Albuquerque, NM

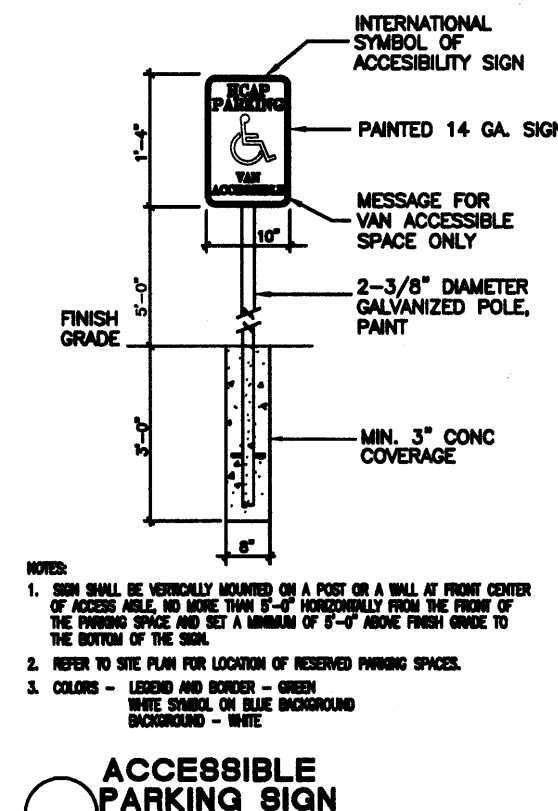
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*S RAINFALL TYPE=-1 RAIN QUAR=0.0 RAIN ONE=1.87
*S RAIN SIX=2.4 RAIN DAY=2.8 DT=0.0333
*S BASIN 1: EXISTING
*S COMPUTE NM HYD
*S PRINT HYD
*S BASIN 1: PROPOSED
*S COMPUTE NM HYD
*S PRINT HYD
*S BASIN 2: EXISTING AND PROPOSED
*S COMPUTE NM HYD
*S PRINT HYD
FINISH

AHYMO PROGRAM SUMMARY TABLE (AHYMO_97) -
INPUT FILE = D:\Vhymo\CRANKY.TXT

COMMAND	HYDROGRAPH IDENTIFICATION	FROM NO.	TO NO.	AREA (SQ MI)	PEAK DISCHARGE (CFS)	RUNOFF VOLUME (AC-FT)	RUNOFF (INCHES)	TIME TO PEAK (HOURS)	CFS PER ACRE	PAGE
START	*S COMPUTE 100 YR. HYDROGRAPHS FOR CRANKY FRANKY									1
*S	FRANKY.TXT									
*S	RAINFALL TYPE=-1									
*S	BASIN 1: EXISTING	101.10	-	1	.00140	1.37	.038	.51183	1.499	1.525 PER IMP=
*S	COMPUTE NM HYD	103.10	-	3	.00140	3.91	.157	2.09759	1.499	4.365 PER IMP=
*S	BASIN 2: EXISTING AND PROPOSED	104.10	-	4	.00010	.10	.003	.51183	1.499	1.630 PER IMP=
*S	COMPUTE NM HYD									
*S	PRINT HYD									
FINISH										



NOTE:
REMOVE THE END OF THE EXISTING RUNDOWN
PLACE NEW END TO DRAIN TO SIDE WALK
CULVERT



NOTICE TO CONTRACTORS

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APPROVAL	NAME	DATE
INSPECTOR		

