

LEGEND

- Storm Drain Manhole
- Sanitary Sewer Manhole
- SAS Sanitary Sewer Line
- SD Storm Drain Line
- SDM Storm Drain Inlet
- Power Pole
- Guy Wire
- Overhead Wire
- Electric Line
- Communication Line
- Gas Line
- Water Line
- Sanitary Sewer Clean-out
- Water Meter
- Water Valve
- Hydrant
- Telephone Pedestal
- Wrought Iron Security Fence
- Light Pole
- Flood Light
- Bollard
- Concrete Symbol
- Telephone Manhole
- Water Manhole
- RTDM Raised Truncated Dome Mat

PROJECT NUMBER	DATE
1006761	05-15-13
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AFD PLANS CHECKING OFFICE
824-3811
APPROVED/DISAPPROVED
INDEPENDENT ONLY
SIGNATURE & DATE

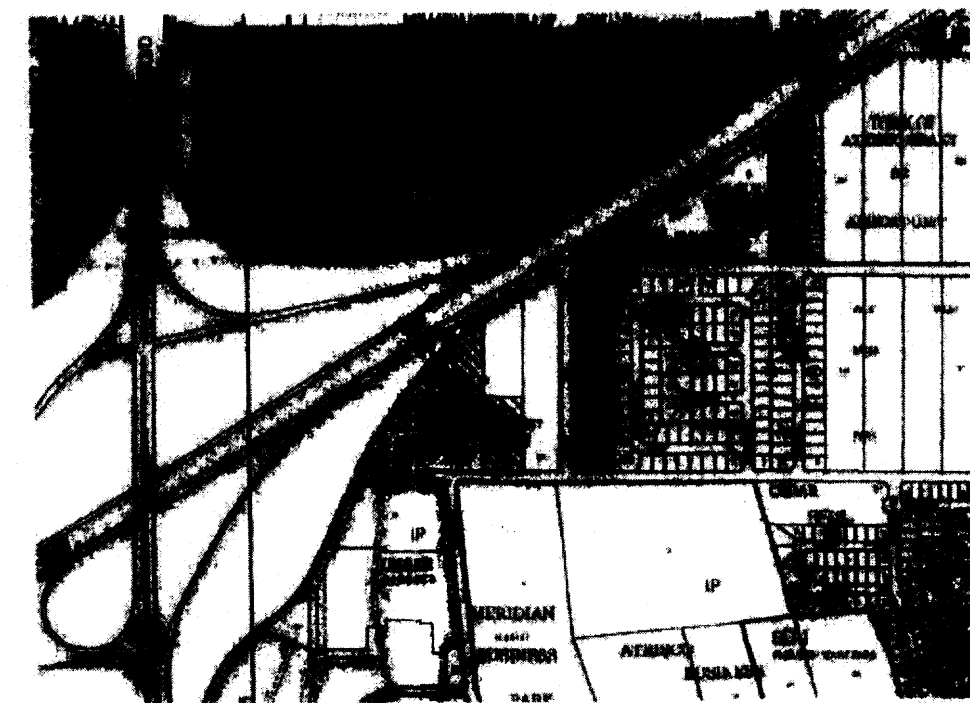
CITY OF ALBUQUERQUE
"SOLID WASTE"
MANAGEMENT DEPARTMENT
APPROVED

I, Asa Nilsson-Weber, NMPE 17631, of the firm Isaacson & Arfman, P.A., hereby certify that this project is in substantial compliance with and in accordance with the design intent of the DRB, site development plan approved on May 15, 2013 and amended on August 17, 2013. I further certify that I have personally visited the project site on July 16, 2014 and have determined by visual inspection that the site layout is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

Areas of modification between original plan and actual as-built plan are as follows:
A. Two parking spaces striped out adjacent to the gate west of the entrance off Fortuna Rd. The total number of parking spaces is 84, which equals the required number of parking spaces.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Asa Nilsson-Weber 7-16-14
Asa Nilsson-Weber, NMPE #17631 Date



VICINITY MAP J-9-10

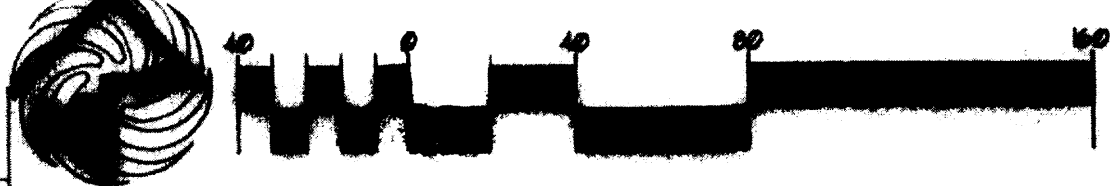
LINE DESCRIPTION	REMARKS
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- KEYED NOTE
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 - 100. 6" MIN. CONC. ADJACENT BLDG. DET. 2411

NOTE: EXISTING WHITE LOT LINES SHALL BE VACATED UNDER PERMITS PLATING ACTION WITH COA
NOTE: ALL ROAD MOUNTED EQUIPMENT SHALL BE SCREENED FROM VIEW AS REQUIRED UNDER COA CODE SECTION 14-15-3-10
LIMITS Labeled
EXISTING PROPERTY LINE
EXISTING CURB LINE
PROPOSED CURB LINE



SITE PLAN FOR BUILDING PERMIT
SCALE: P=1"=40'



ADMINISTRATIVE AMENDMENT
FILE #131024 PROJECT #1006761
Vehicle entrance +
lane adjustments
Mamone 9/12/13
APPROVED BY DATE

TRACT 188A-1
TOWN OF ATRISCO BRANT
AIRPORT UNIT
Filed: July 25, 1988 in Volume C-10, Page 24

BUILDING
FOOTPRINT
40,914 S.F.
TYPE IIB
CONSTRUCTION

TRACT G
MERIDIAN BUSINESS PARK II
Filed April 25, 2008, in Plat Book 2008C, Page 100

LOT 18
UNBRA TOWNE CROSSING
Filed XXX, in Plat Book 2008C, Page XX

REVISIONS

NO.	DESCRIPTION	DATE

LCI, LLC
8023-B EDITH BOULEVARD NE
ALBUQUERQUE, NM 87113

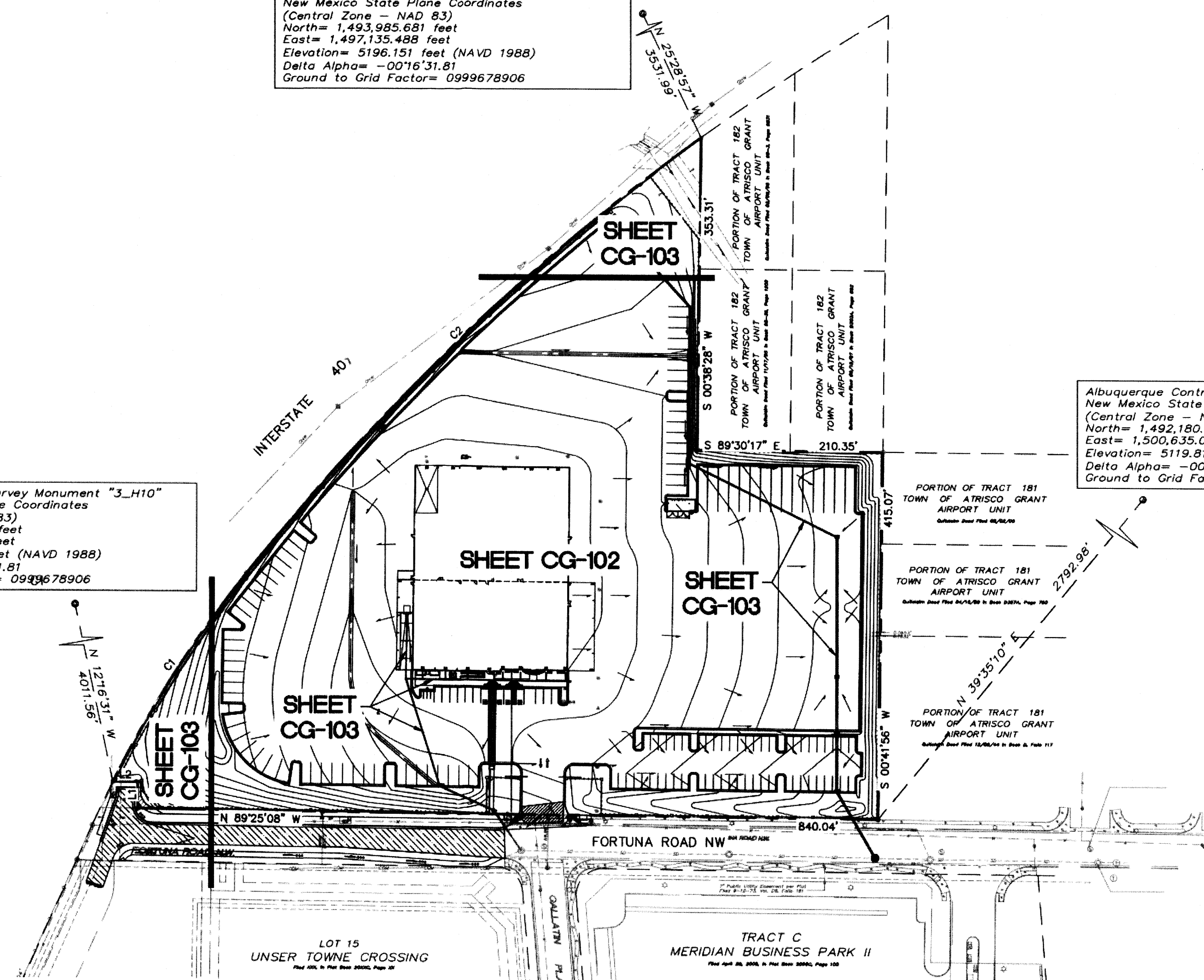
DESIGN PLANS FOR:
INLAND KENWORTH
FORTUNA ROAD NW,
ALBUQUERQUE, NM

SITE PLAN FOR BUILDING PERMIT

Date: 4/29/2013
Drawn by: 6
Job: KENWORTH
Job No.: L-202 ABC-
Sheet: BP-1
of Sheets

Albuquerque Control Survey Monument "3_H10"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North= 1,493,985.681 feet
East= 1,497,135.488 feet
Elevation= 5196.151 feet (NAVD 1988)
Delta Alpha = -00°16'31.81"
Ground to Grid Factor= 0.999678906

Albuquerque Control Survey Monument "6_J10"
New Mexico State Plane Coordinates
(Central Zone - NAD 83)
North = 1,492,180.199 feet
East = 1,500,635.082 feet
Elevation = 5119.814 feet (NAVD 1988)
Delta Alpha = -00°16'07.41"
Ground to Grid Factor = 0.999681414

 $1'' = 100'$

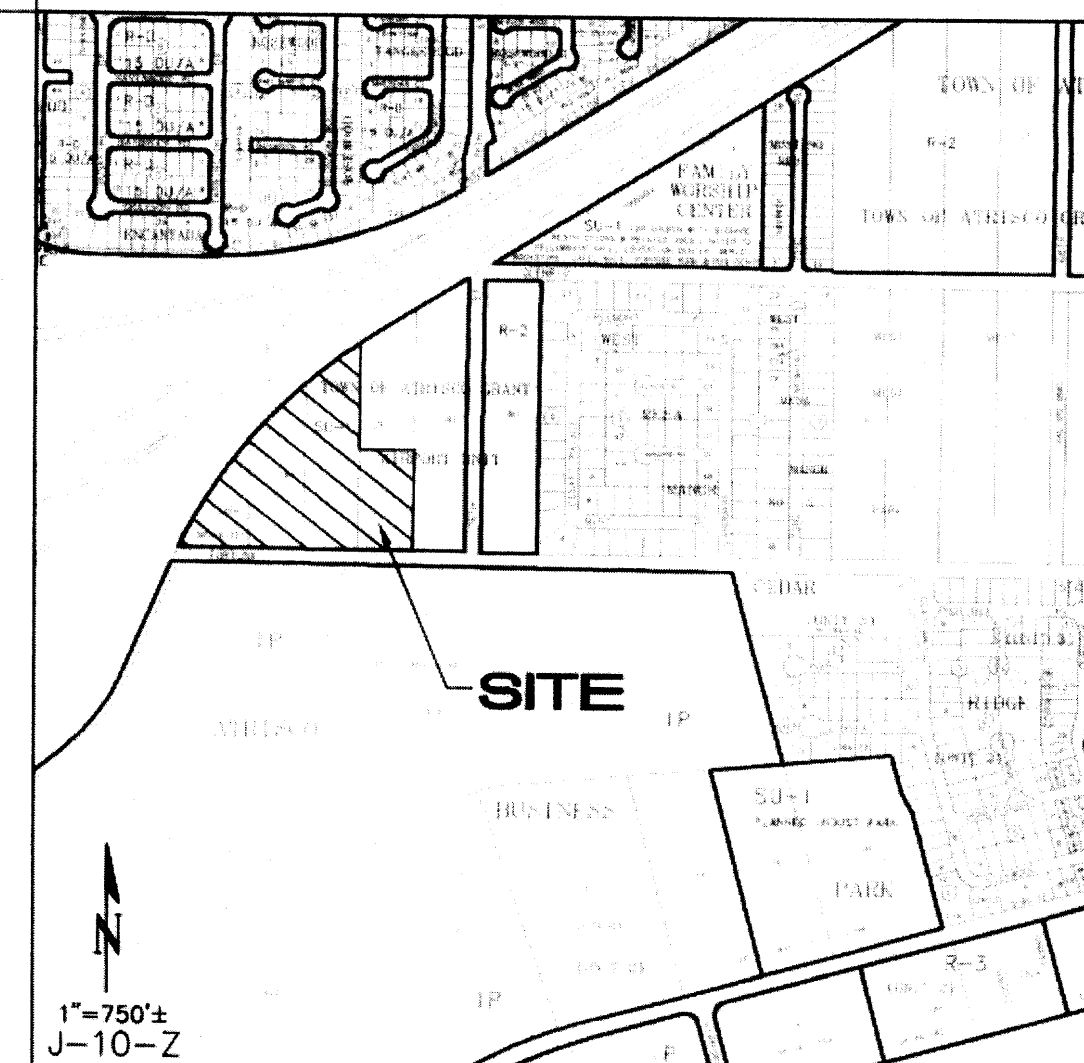
LINE TABLE		
LINE	LENGTH	BEARING
L1	29.88'	N00°32'40"E
L2	28.30'	N89°25'08"W

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	280.90'	1332.40'	140.97'	280.38'	S32°25'39"W	12°04'46"
C2	717.35'	2642.50'	360.89'	715.15'	S46°13'14"W	15°33'14"

GENERAL NOTES

- A. COORDINATE WORK WITH SITE PLAN, UTILITY PLAN AND LANDSCAPE PLAN.
- B. ALL TRASH, DEBRIS, & SURFACE VEGETATION SHALL BE CLEARED AND LEGALLY DISPOSED OF.
- C. ALL SUBGRADE, OVEREXCAVATION, AND FILL SHALL BE PLACED AND / OR COMPACTED PER THE GEOTECHNICAL REPORT AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- D. FINAL GRADES SHOWN REPRESENT TOP OF FINISH MATERIAL (I.E. TOP OF CONCRETE, TOP OF CONCRETE BUILDING PAD, TOP OF PAVEMENT MATERIAL, TOP OF LANDSCAPING MATERIAL, ETC.). CONTRACTOR SHALL GRADE, COMPACT SURFACE AND FINISH EXISTING WORK. ESTIMATES BASED ON ELEVATIONS SHOWN MINUS FINISH MATERIAL THICKNESSES.
- E. EXISTING UTILITY LINES ARE SHOWN IN AN APPROXIMATE MANNER AND ONLY ONE MAY BE INCOMPLETE OR OBSOLETE. SUCH LINES MAY OR MAY NOT BE SHOWN. CONTRACTOR SHALL CONTACT NM-811 FOR UTILITY LINE SPOTS TWO WORKING DAYS PRIOR TO CONDUCTING SITE FIELD WORK. CONTRACTOR SHALL FIELD VERIFY AND LOCATE ALL UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRESERVE ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES.
- F. THE ENVIRONMENTAL PROTECTION AGENCY (EPA) AND THE CITY OF ALBUQUERQUE REQUIRE A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), AN NPDES PERMIT, AND AN EROSION AND SEDIMENT CONTROL (ESC) PERMIT FOR PROJECTS WHERE CONSTRUCTION ACTIVITIES MEET THE EPA THRESHOLD. (SWPPP, NPDES PERMIT, AND ESC PLAN BY OTHERS.) A CITY-APPROVED ESC PERMIT MUST BE INCLUDED WITH THE CONTRACTOR'S SUBMITTAL FOR A ROUGH GRADING, GRADING, PAVING, BUILDING, OR WORK ORDER PERMIT.
- G. ADJUST RIMS OF EXISTING UTILITY FEATURES AS NECESSARY TO MATCH NEW GRADES, TYPICAL.
- H. ALL FRACTURED FACE ROCK (I.E. ROCK) TO BE 6" AVG. DIA. ANGULAR FACED ROCK PLACED OVER GEOTEX 501 NON-WOVEN GEOTEXTILE (O.E.).
- I. ENGINEER RECOMMENDS THAT OWNER MAINTAIN EROSION PREVENTION ELEMENTS. ENGINEER RECOMMENDS THAT OWNER INSPECT SITE YEARLY AND AFTER EACH RAINFALL TO IDENTIFY NEW AREAS OF EROSION AND INSTALL ADDITIONAL EROSION PROTECTION AS NEEDED BASED ON ACTUAL OCCURRENCES.

VICINITY MAP



PROJECT DATA

LEGAL DESCRIPTION:
PORTION OF TRACT 182, TRACT 183, 184 AND
185-A-1, TOWN OF ATRISCO GRANT AIRPORT
UNIT, CITY OF ALBUQUERQUE, BERNALILLO
COUNTY, NEW MEXICO

SITE AREA: 8.86 ACRES

FLOOD ZONE: PER FEMA MAP 35001C0326H, THE SITE FALLS
WITHIN FLOODZONE X DESIGNATED AS AREAS
OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE
FLOODPLAIN

ENGINEER: ASA NILSSON-WEBER, P.E.
ISAACSON & ARFMAN, P.A.
128 MONROE ST NE, ABQ. NM 87108
PHONE: (505) 268-8828

SURVEYOR: SURV-TEK CONSULTING SURVEYORS
9384 VALLEY VIEW DRIVE, N.W.
ALBUQUERQUE, NEW MEXICO 87114
PHONE (505) 897-3366

BENCHMARK: VERTICAL DATUM IS BASED UPON THE
ALBUQUERQUE CONTROL SURVEY BENCHMARK
"4-J9" HAVING A PUBLISHED ELEVATION =
5170.718 (NAVD 88)

REVISIONS

LORD CONSTRUCTORS, INC.
1920 West Eleventh Street
Upland, California 91786

RIGHTS, INCLUDING THE COPYRIGHT FOR THE DOCUMENT INCLUDING REPRESENTED DESIGNS AND SPECIFICATIONS.

DESIGN PLANS FOR:
INLAND KENWORTH
7711 FORTUNA ROAD N.W.
ALBUQUERQUE, NM

GRADING & DRAINAGE PLAN

DRAINAGE CERTIFICATION

I, Åsa Nilsson-Weber, NMPE 17631, of the firm Isaacson & Arfman, P.A., hereby certify that this project has been graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 06/18/2013. The record information edited onto the original design document (Sheets CG-102 & CG-103) has been obtained by Russ Hugg, NMPS 9750, of the firm SunTek, Inc. I further certify that I have personally visited the project site on 07/14/2014 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for permanent certificate of occupancy.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the grading and drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

AREAS OF MODIFICATION BETWEEN APPROVED GRADING & DRAINAGE PLAN AND ACTUAL AS-BUILT

1. Entrance radii increased.
2. Concrete slabs constructed.
3. 6" curb openings not constructed
4. Median and valley gutter shifted.

Åsa Nilsson-Weber
Åsa Nilsson-Weber, NMPE No. 17631



7-14-14
DATE

AS-BUILT

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
1941 CG-101.dwg Jun 19.2013

ate: 6/18/13

Drawn By:
DH

pb:
KENWORTH

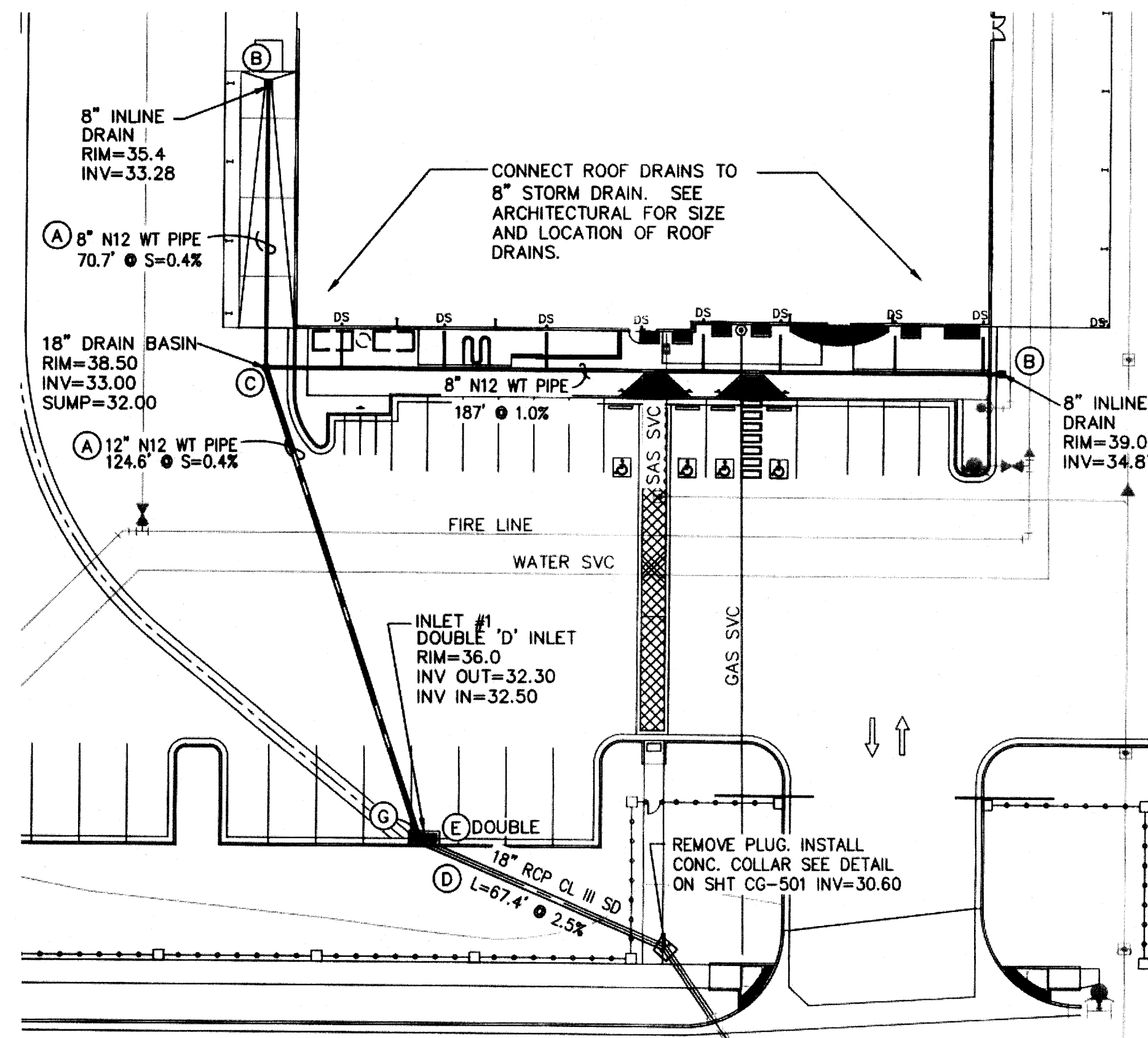
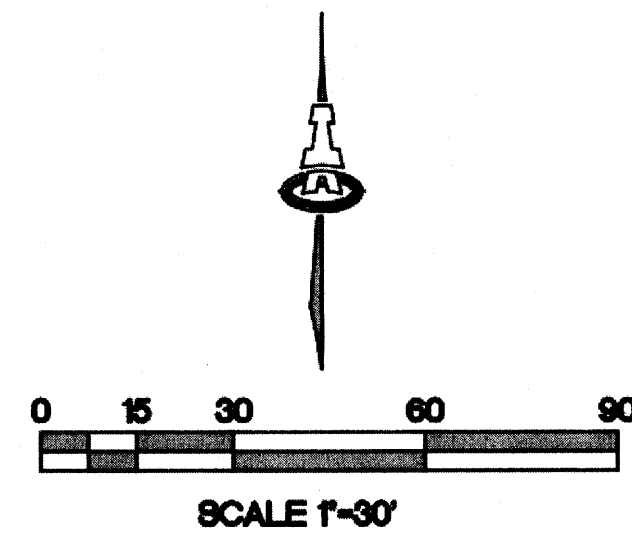
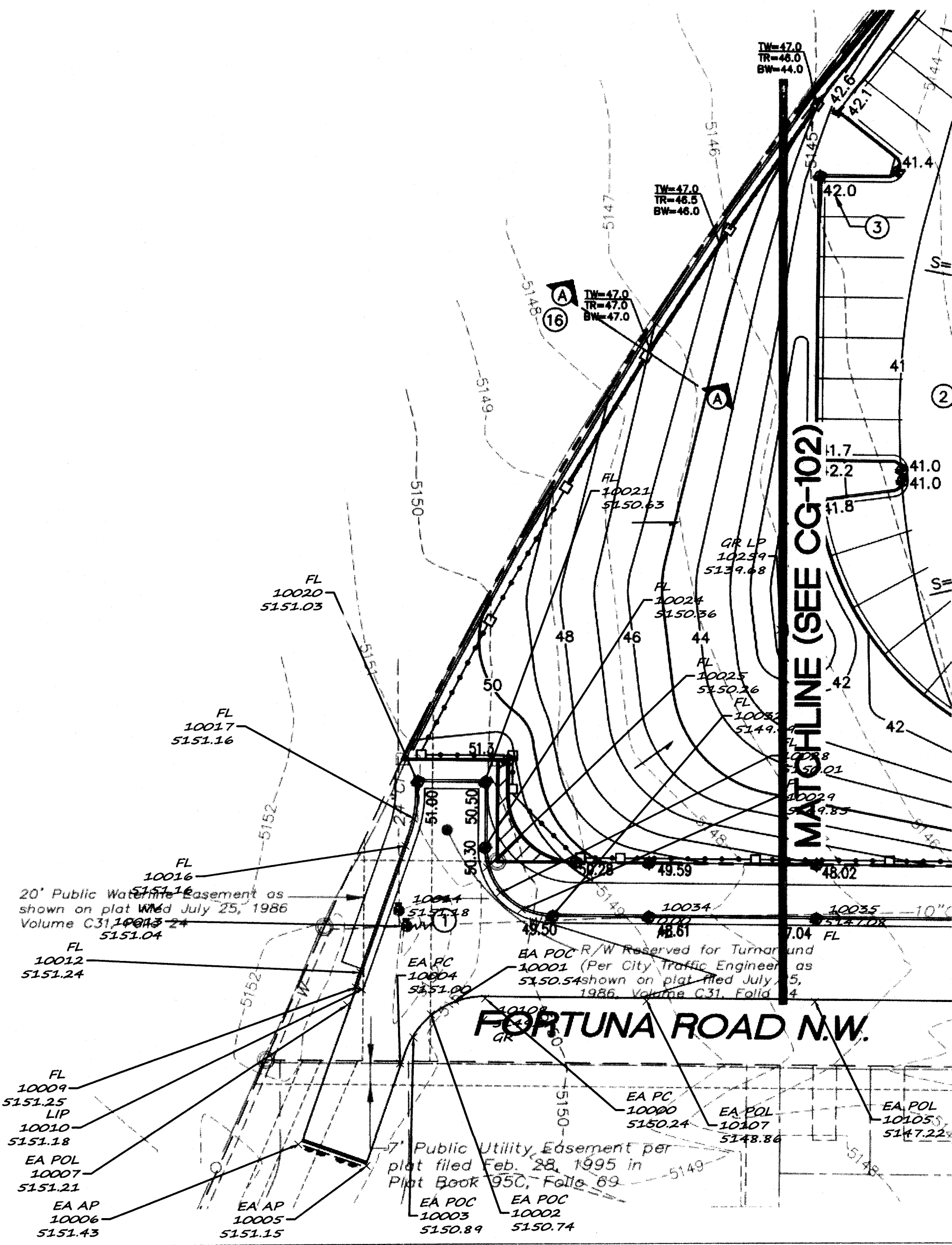
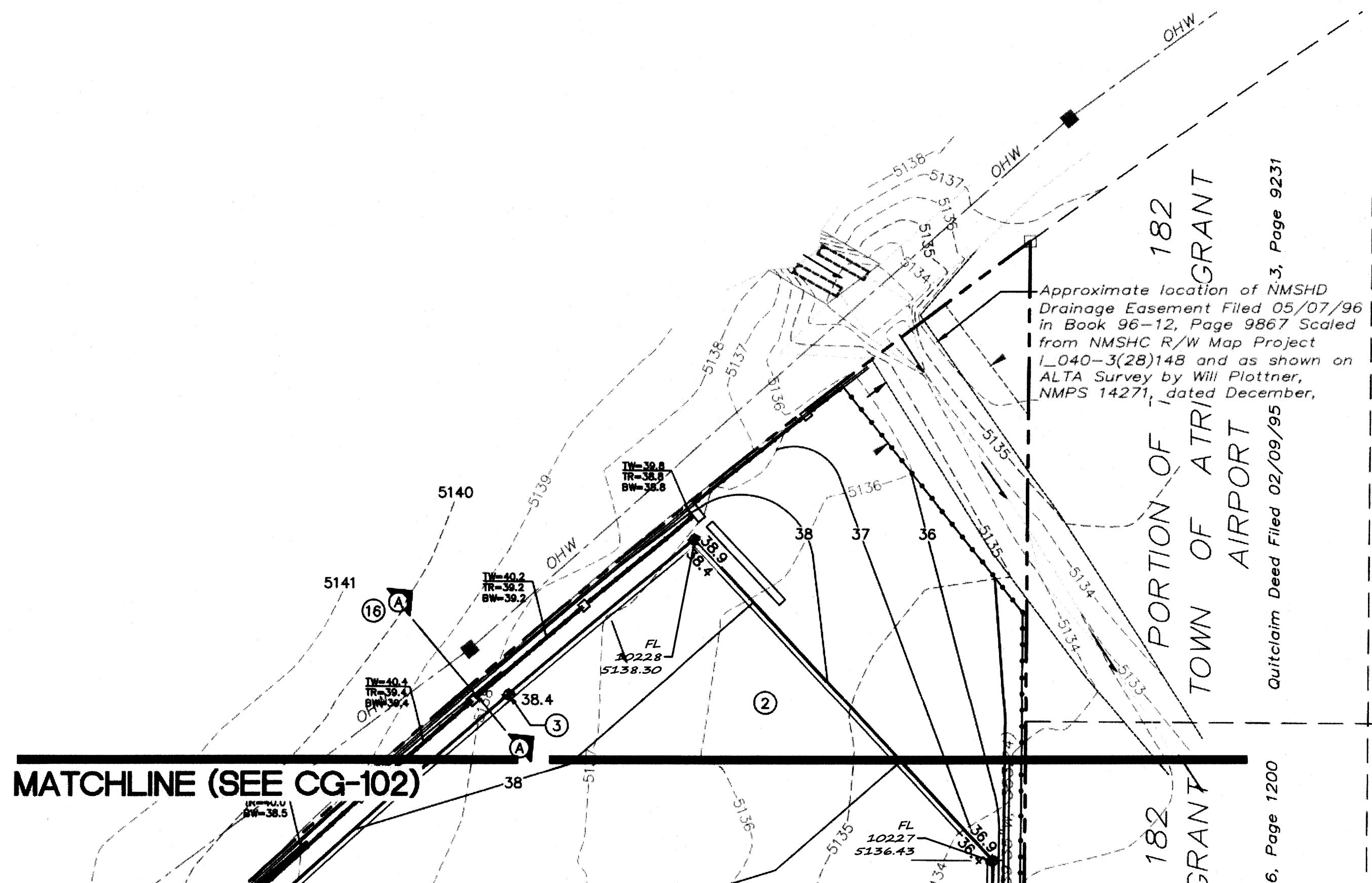
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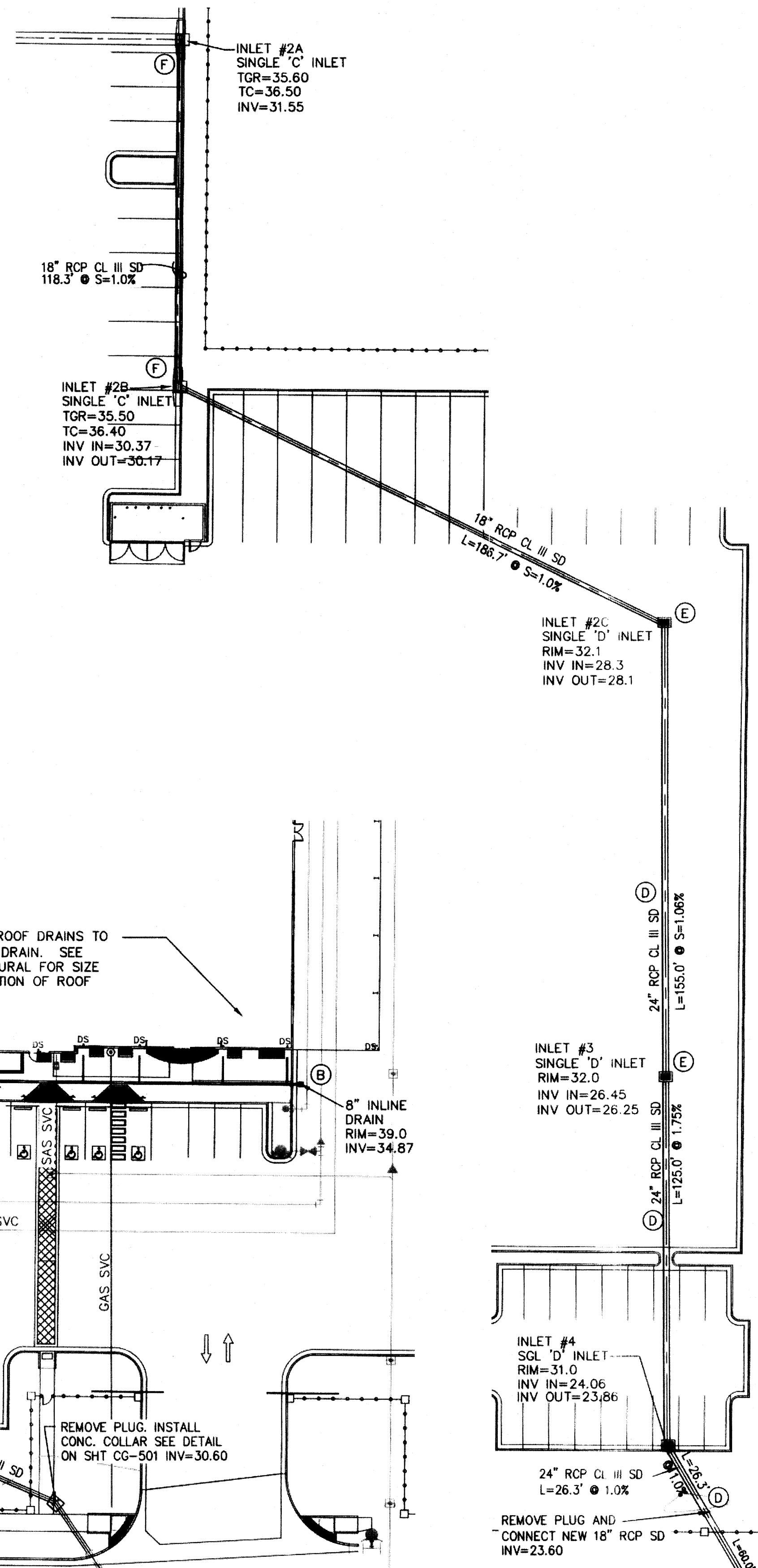
CG-101

Sheets

\\projects\1500_1998\1941\1941 CAD FILES\dwg\1941 CG-103 AS-BUILT.dwg, 7/14/2014 2:54:09 PM, thor



WEST STORM DRAIN



EAST STORM DRAIN

KEYED NOTES

FOR USE WITH SHEETS CG-102 & CG-103

- PAVING, STORM DRAIN AND UTILITY IMPROVEMENTS WITHIN FORTUNA ROAD RIGHT-OF-WAY SHALL BE CONSTRUCTED WITH PUBLIC WORK ORDER (DRC #578086).
- CONSTRUCT NEW ASPHALT PAVEMENT AT ELEVATIONS SHOWN.
- SPOT ELEVATIONS WITHIN GUTTER AREA REPRESENT FLOWLINE. ADD 0.5' TYPICAL FOR TOP OF ADJACENT CURB OR WALK ELEVATIONS.
- SLOPES WITHIN HANDICAP PARKING AREA SHALL MEET ADA REQUIREMENTS. (MAX. SLOPE = 2% IN ANY DIRECTION).
- CONSTRUCT HANDICAP ACCESS RAMP TO ADA STANDARDS. SEE ARCHITECTURAL FOR DETAIL.
- CONSTRUCT CONCRETE PEDESTRIAN WALKS AND PATIOS AT ELEVATIONS SHOWN.
- CONSTRUCT PEDESTRIAN CROSS WALK AT 2.00% MAX. CROSS SLOPE.
- CONSTRUCT 4' PCC RUNDOWN PER DETAIL ON SHEET CG-501.
- DEPRESS LANDSCAPING FROM FLUSH WITH TOP OF CURB TO 6" MIN. DEPRESSION IN CENTER TO CONTAIN STORMWATER. EXCEPTION: NO STORMWATER STORAGE SHALL OCCUR WITHIN 10' OF BUILDING.
- CONNECT SOUTH SIDE ROOF DRAINS TO STORM DRAIN SYSTEM--SEE ARCHITECTURAL PLANS FOR ROOF DRAIN LOCATIONS AND CONNECTION DETAILS.
- CONSTRUCT PRIVATE STORM DRAIN AND INLETS WITH MATERIAL, SIZE, RIM AND INVERT ELEVATIONS AS NOTED ON SHEET CG-103.
- NORTH SIDE ROOF DRAINS TO DISCHARGE TO PAVEMENT. SEE ARCHITECTURAL FOR ROOF DRAIN LOCATIONS & DETAILS.
- CONSTRUCT 4' VALLEY GUTTER AT SLOPE SHOWN WITH 1 1/2" INVERT PER COA STD DWG #2421 SECTION A-A.
- DUMPSTER PAD & ENCLOSURE--SEE ARCHITECTURAL.
- CONSTRUCT 2' (BOTTOM WIDTH) PCC U-SHAPED CHANNEL PER DETAIL ON SHEET CG-501.
- CONSTRUCT ROCK-LINED DIVERSION SWALE ALONG WEST PROPERTY LINE PER SECTION A ON SHEET CG-501.
- CONSTRUCT CURB OPENING WITH SIZE PER PLAN PER DETAIL ON SHEET CG-501.
- CONSTRUCT CONCRETE MOW CURB ADJACENT TO BUILDING AT ALL LANDSCAPE LOCATIONS. SEE DETAIL ON SHEET CG-501.

KEYED STORM DRAIN NOTES

- INSTALL ADS N-12WT WATERTIGHT O.A.E. STORM DRAIN PER MANUFACTURER'S SPECIFICATIONS WITH SIZE PER PLAN.
- INSTALL INLINE DRAIN WITH 15"x15" TRAFFIC-RATED COVER PER DETAIL ON SHEET CG-501 AND PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL NYLOPLAST DRAIN BASIN WITH 18"x18" TRAFFIC-RATED COVER PER DETAIL ON SHEET CG-501 AND PER MANUFACTURER'S RECOMMENDATIONS.
- INSTALL RCP CLASS III STORM DRAIN PER COA STD SPECIFICATIONS WITH SIZE PER PLAN.
- INSTALL TYPE 'D' INLET PER COA STD DWG #2206 WITH FRAME AND GRATE PER COA STD DWG #2216 & #2220. SINGLE OR DOUBLE GRATE AS NOTED ON PLAN.
- INSTALL TYPE 'C' SINGLE INLET PER COA STD DWG #2205 WITH FRAME AND GRATE PER COA STD DWG #2216 & #2220.
- CONNECT N12 WT PIPE TO CONCRETE INLET WITH WATER STOP STRUCTURE CONNECTOR.

STORM DRAIN MAINTENANCE NOTE

STORM DRAIN SYSTEM WILL REQUIRE REGULAR MAINTENANCE TO ENSURE PROPER FUNCTIONING DURING STORM EVENTS. ENGINEER RECOMMENDS THAT PROPERTY OWNER PUT IN PLACE INSPECTION AND MAINTENANCE CRITERIA SCHEDULED TO OCCUR MONTHLY AND AFTER EACH STORM EVENT.

AS-BUILT

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isacvill.com
1941 CG-101.dwg Jun 19, 2013

REVISIONS

NO.	DESCRIPTION

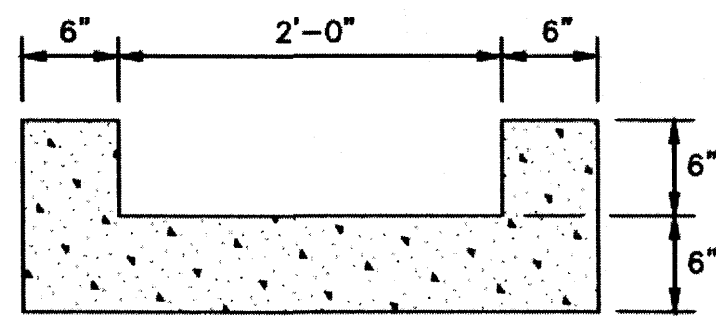
LORD CONSTRUCTORS, INC.
1920 West Eleventh Street
Upland, California 91786
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DESIGN PLANS FOR:
INLAND KENWORTH
7711 FORTUNA ROAD N.W.
ALBUQUERQUE, NM

DRAWING TITLE:
GRADING & DRAINAGE PLAN

NEW MEXICO
17831
6-18-13

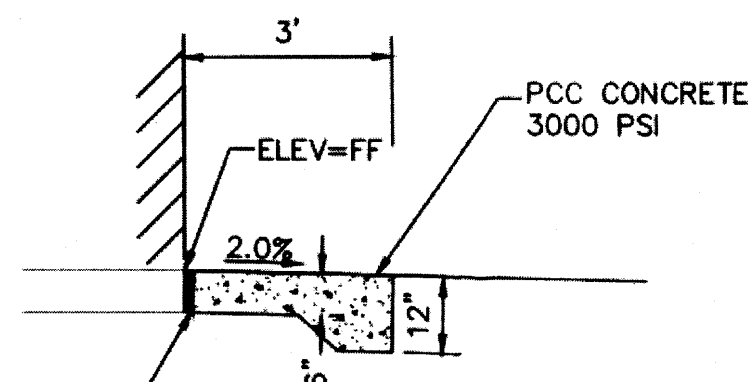
Date: 6/18/13
Drawn By: DH
Job: KENWORTH
Job No.: L-800 ABC-
Sheet: CG-103
of Sheets



- GENERAL NOTES**
1. EDGES SHOULD BE REMOVED WITH 3/8" EDGING TOOL.
 2. 3000 PSI CONCRETE OVER SUBGRADE COMPACTED TO 95%.
 3. CONSTRUCTION CONTROL JOINTS @ 6' O.C.

'U' SHAPED PCC CHANNEL

1"=10'

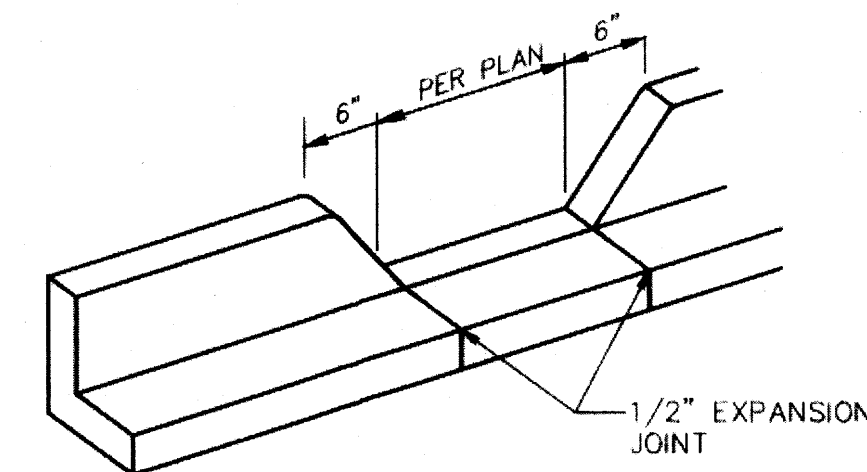


1/2" EXPANSION JOINT
W/ SEALANT

- GENERAL NOTES**
1. CONSTRUCTION CONTROL JOINTS @ 6' O.C.
 2. 3000 PSI CONCRETE OVER SUBGRADE COMPACTED TO 95%.

MOW CURB ADJACENT TO BUILDING

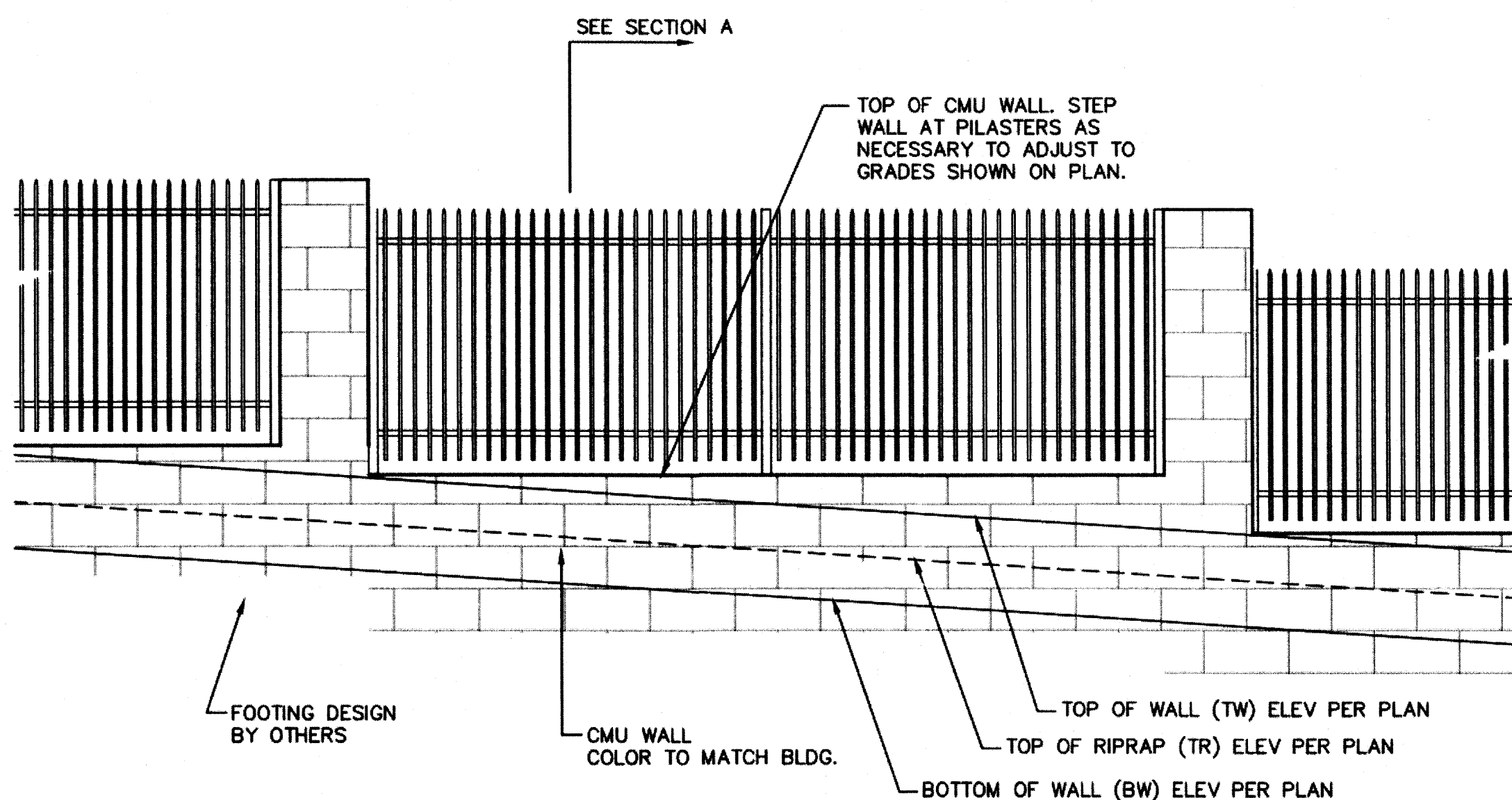
N.T.S.



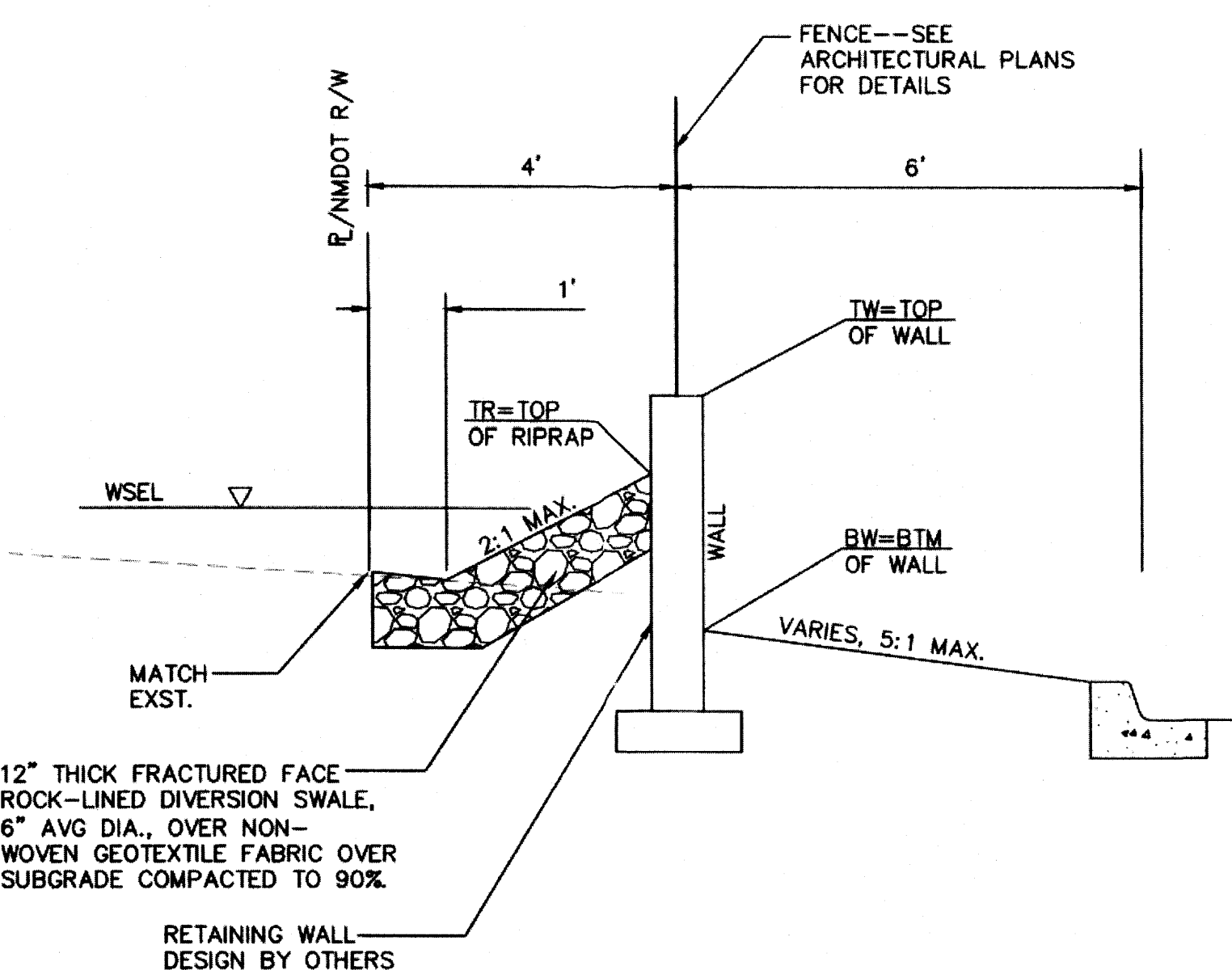
- GENERAL NOTES**
1. EDGES NOT SPECIFICALLY DIMENSIONED SHALL BE SHAPED WITH A 3/8" EDGING TOOL.
 2. PROVIDE SMOOTH SURFACE ON BACK SIDE OF EXPOSED CURB.
 3. 3000 PSI CONCRETE.

CURB OPENING

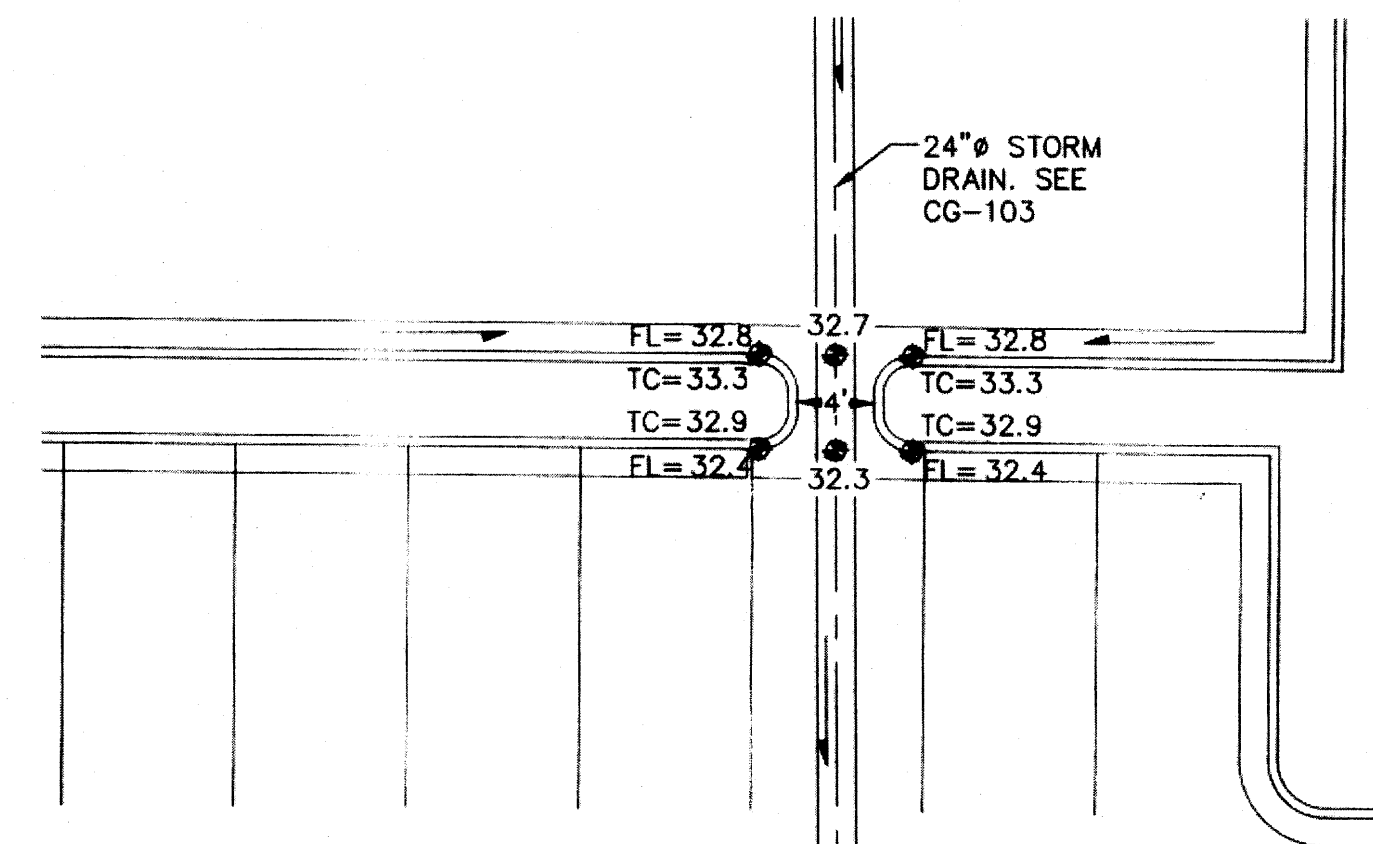
SCALE: N.T.S.



ELEVATION



SECTION 'A'



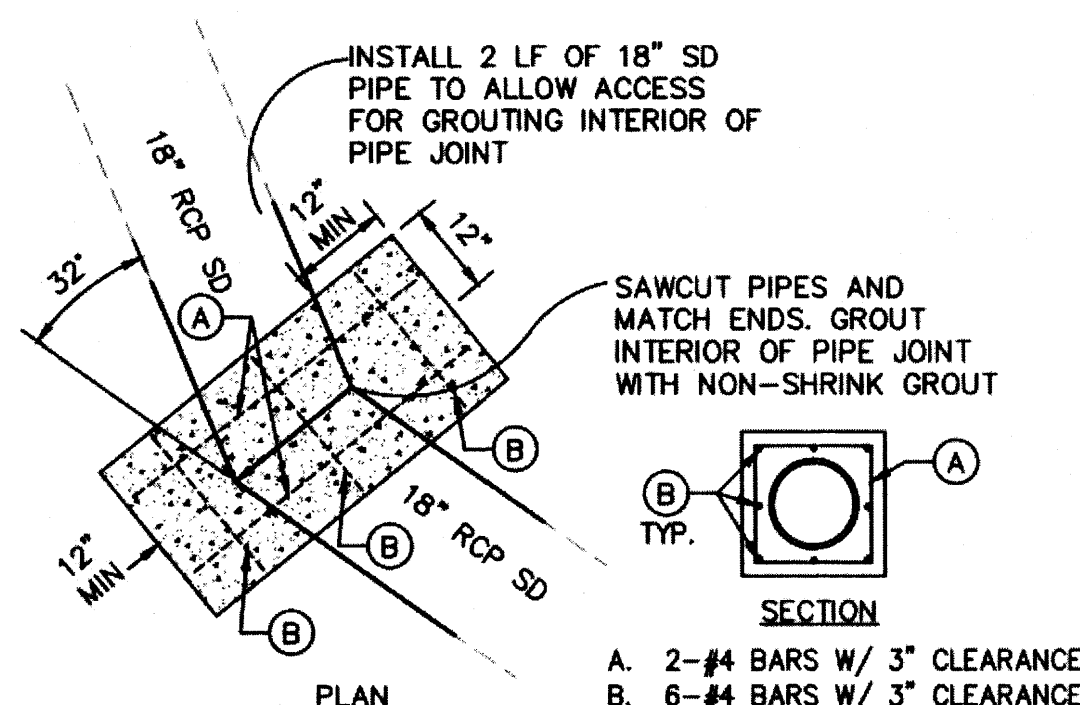
4' PCC RUNDOWN

1"=10'

WROUGHT IRON FENCE W/ CMU RTG WALL ELEVATION AND SECTION

ALONG WEST PROPERTY LINE

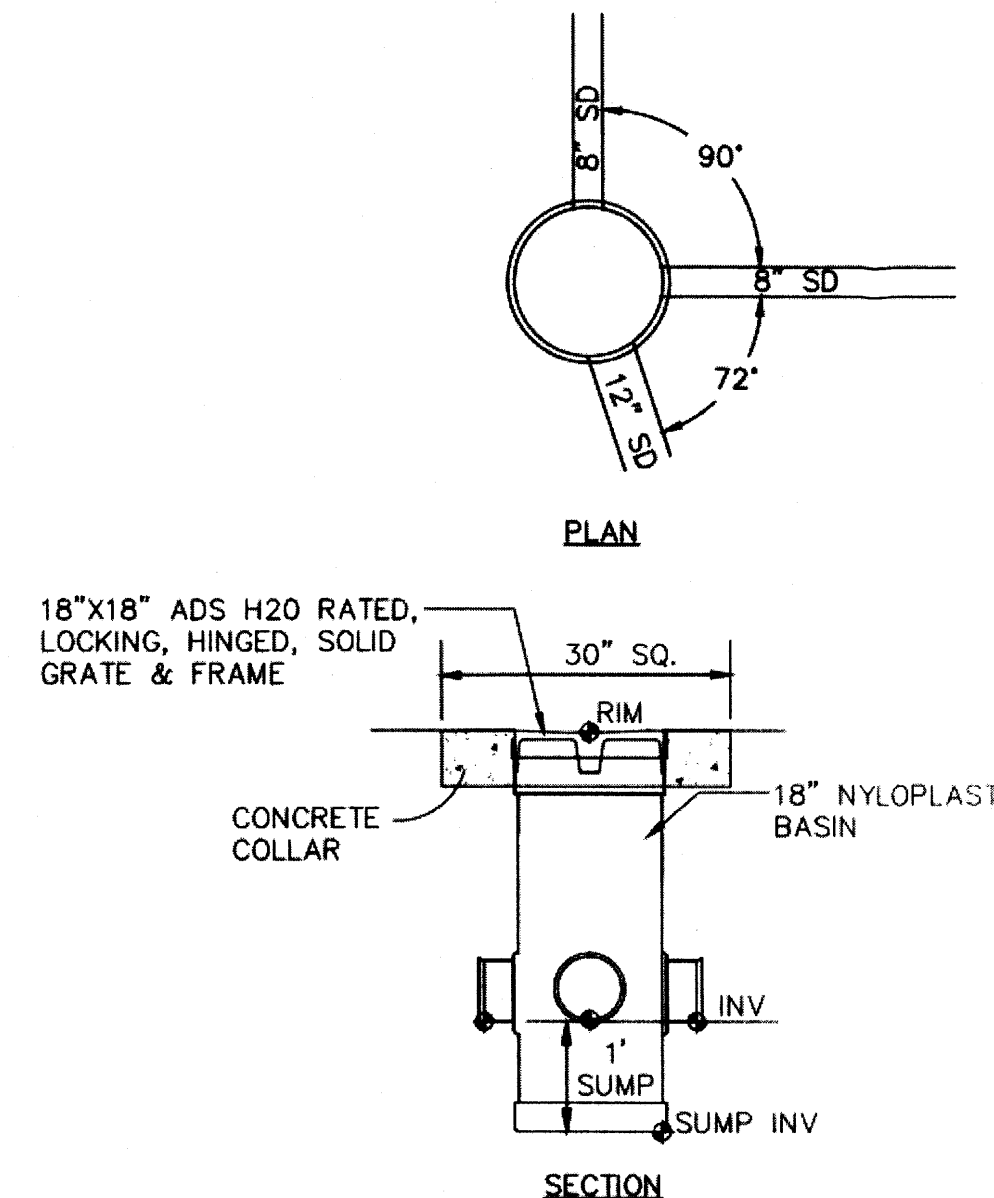
NTS



NOTE:
24 HRS PRIOR TO POURING CONCRETE COLLAR, CONTRACTOR SHALL NOTIFY ENGINEER FOR INSPECTION.

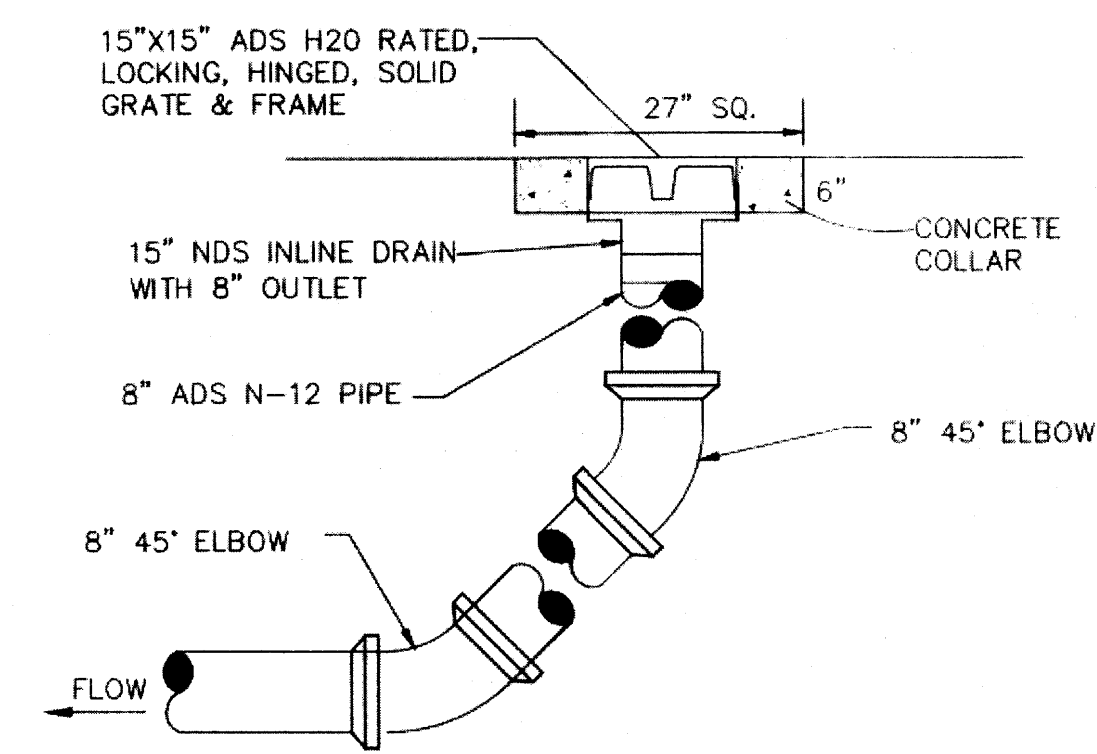
CONCRETE COLLAR

NTS



ADS NYLOPLAST BASIN

NTS



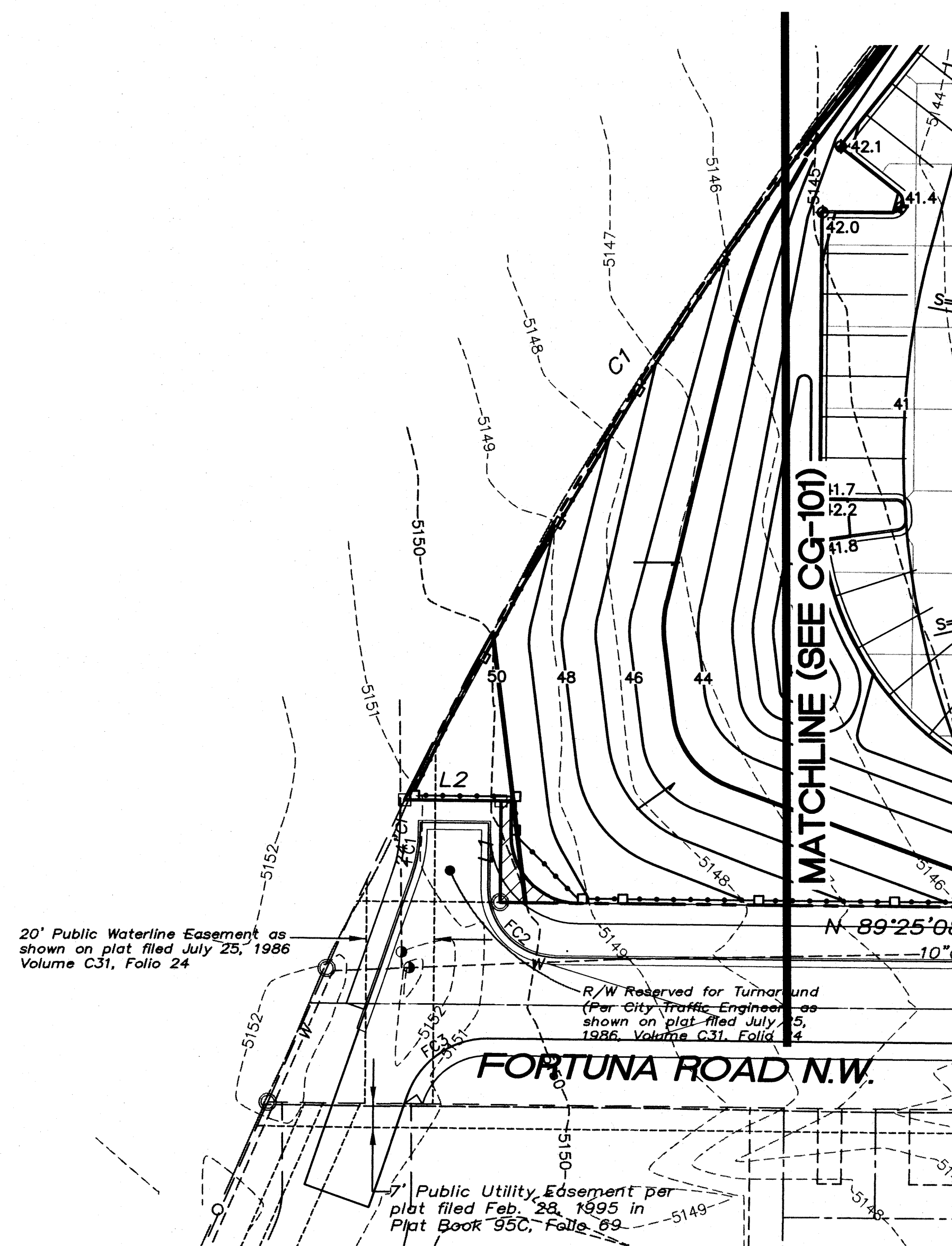
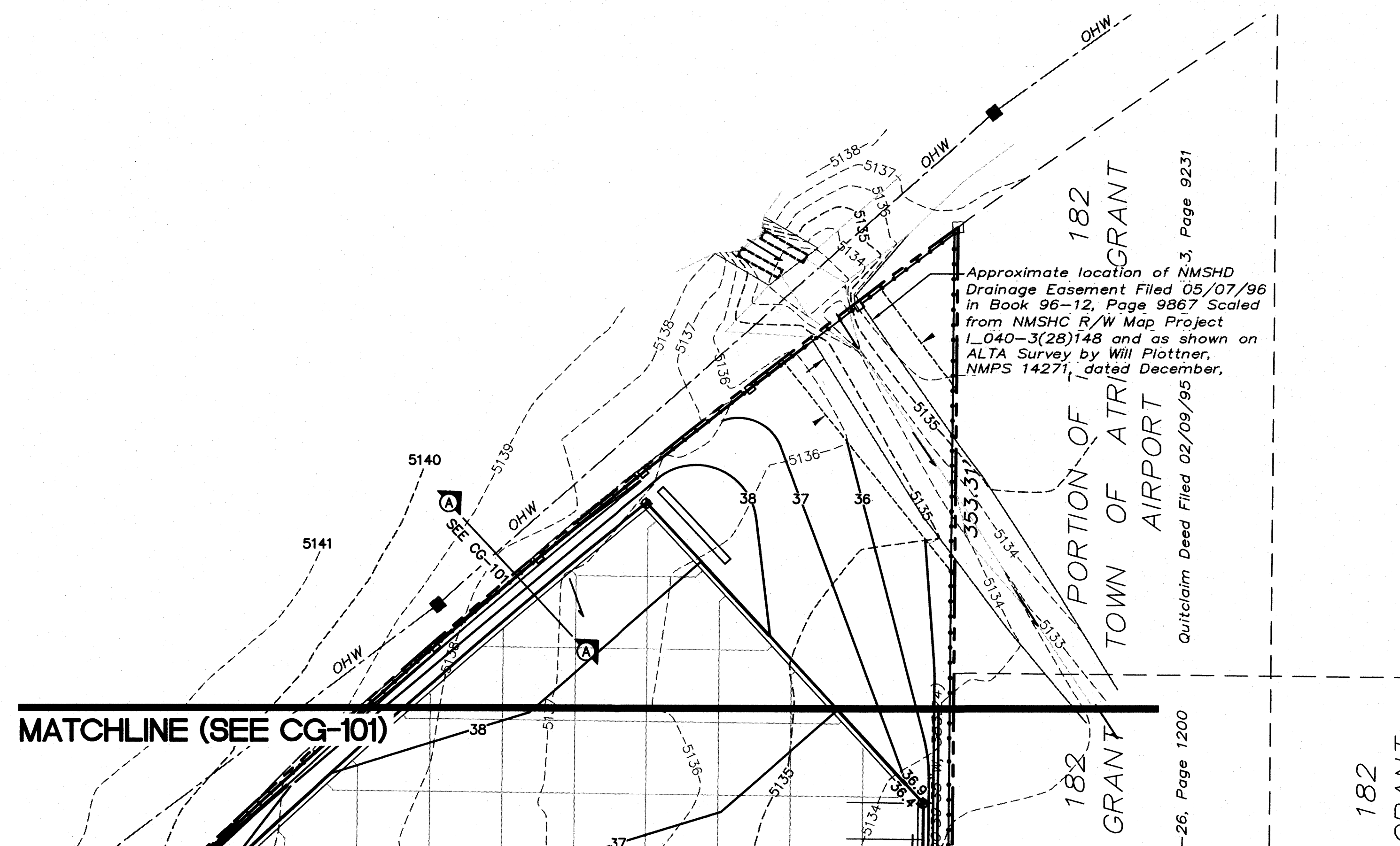
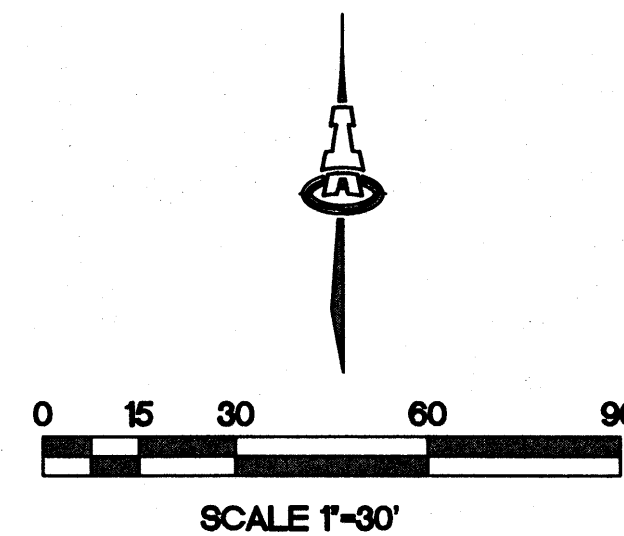
ADS NYLOPLAST INLINE DRAIN

NTS

AS-BUILT

ISAACSON & ARFMAN, P.A.
Consulting Engineering Associates
128 Monroe Street N.E.
Albuquerque, New Mexico 87108
Ph. 505-268-8828 www.isaacson.com
1941 CG-501.dwg Jun 18, 2013

REVISIONS	
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DESIGN PLANS FOR: INLAND KENWORTH 7711 FORTUNA ROAD N.W. ALBUQUERQUE, NM	
DRAWING TITLE: GRADING AND DRAINAGE DETAILS SCALE: 1" = 40'	
DATE: 6/18/13 DRAWN BY: DH JOB: KENWORTH JOB NO.: L-800 ABC- SHEET: CG-501	
of Sheets	



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1941 CG-101.dwg Apr 23, 2013

REVISIONS	
DRAWING TITLE: CONCEPTUAL GRADING & DRAINAGE PLAN 2 OF 2 SCALE: 1" = 40'	
DESIGN PLANS FOR: INLAND KENWORTH FORTUNA ROAD N.W. ALBUQUERQUE, NM	
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Sheet: CG-102	
	of Sheets