

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

October 17, 2023

Vinny Perea, P.E.  
Tierra West, LLC  
5571 Midway Park Pl. NE  
Albuquerque, NM 87109

**Re: San Roque & La Sorena  
441 & 457 Coors Blvd. NW  
Conceptual Traffic Circulation Layout for DFT Approval  
Engineer's Stamp 10-04-23 (J10-D049)**

Dear Mr. Perea,

The conceptual TCL submittal received 10-04-2023 is approved for DHO and/or DFT submittal. When submitting this project through the building permit process, a full Traffic Circulation Layout will need to be submitted and approved prior to building permit.

PO Box 1293

Albuquerque

When the site construction is completed and an inspection for Certificate of Occupancy (C.O.) is requested, use the original City stamped approved TCL for certification. Redline any minor changes and adjustments that were made in the field. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification, the TCL, and a completed Drainage and Transportation Information Sheet to front counter personnel for log in and evaluation by Transportation.

NM 87103

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3690.

www.cabq.gov

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (DTIS)

Project Title: San Roque & La Serena Hydrology File # \_\_\_\_\_

Legal Description: Tracts F-4-A-1 & F-6-A-2-A Atrisco Business Park Unit 3

City Address, UPC, OR Parcel: 441 & 457 Coors Blvd NW

Applicant/Agent: Tierra West, LLC Contact: Vinny Perea

Address: 5571 Midway Park PI NE Phone: 505-858-3100

Email: vperea@tierrawestllc.com

Applicant/Owner: Thomas Development Co. Contact: Angie Ferguson

Address: 420 W. Main Street, Suite 300 Phone: 208-343-8877

Email: aferguison@thomasdevelopment.com

(Please note that a DFT SITE is one that needs Site Plan Approval & ADMIN SITE is one that does not need it.)

TYPE OF DEVELOPMENT: ☐ PLAT (#of lots) \_\_\_\_\_ ☐ RESIDENCE  
☒ DFT SITE ☐ ADMIN SITE

RE-SUBMITTAL: ☒ YES ☐ NO

DEPARTMENT: ☒ TRANSPORTATION ☐ HYDROLOGY/DRAINAGE

Check all that apply under Both the Type of Submittal and the Type of Approval Sought:

### TYPE OF SUBMITTAL:

- ☐ ENGINEER/ARCHITECT CERTIFICATION
- ☐ PAD CERTIFICATION
- ☐ CONCEPTUAL G&D PLAN
- ☐ GRADING & DRAINAGE PLAN
- ☐ DRAINAGE REPORT
- ☐ DRAINAGE MASTER PLAN
- ☐ CLOMR/LOMR
- ☐ TRAFFIC CIRCULATION LAYOUT (TCL) ADMINISTRATIVE
- ☒ TRAFFIC CIRCULATION LAYOUT FOR DFT APPROVAL
- ☐ TRAFFIC IMPACT STUDY (TIS)
- ☐ STREET LIGHT LAYOUT
- ☐ OTHER (SPECIFY) \_\_\_\_\_

### TYPE OF APPROVAL SOUGHT:

- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATE OF OCCUPANCY
- ☐ CONCEPTUAL TCL DFT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ SITE PLAN FOR BLDG PERMIT DFT APPROVAL
- ☐ SIA/RELEASE OF FINANCIAL GUARANTEE
- ☐ FOUNDATION PERMIT APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ SO-19 APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ GRADING PAD CERTIFICATION
- ☐ WORK ORDER APPROVAL
- ☐ CLOMR/LOMR
- ☐ OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: 10/04/2023



October 4, 2023

Ms. Marwa Al-najjar  
City of Albuquerque – Planning Department  
PO Box 1293  
Albuquerque, NM. 87103

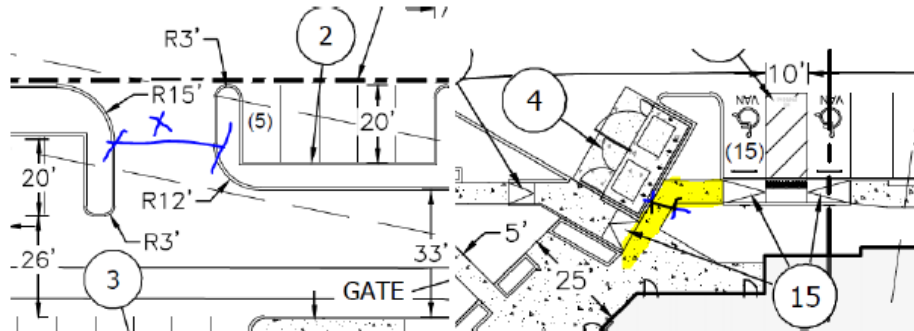
**RE: SAN ROQUE & LA SERENA  
441 & 457 COORS BLVD. NW  
TRAFFIC CIRCULATION LAYOUT - RESPONSE TO COMMENT**

Dear Ms. Al-najjar:

Per the correspondence dated October 3, 2023, please find the following responses addressing the comments listed below:

1. NMDOT Approval for the proposed turn lane and driveway access off Coors Blvd. is required prior to approve this TCL.  
**Response: The driveway permit for the access off Coors have been approved by NMDOT, the Authorization to Construct Letter from the NMDOT is provided in this resubmittal.**
2. List the number of Motorcycle parking spaces required by the IDO.  
**Response: The motorcycle parking and provide numbers are provided under the “SITE PARKING DATA-OVERALL” section of the plan. The parking spaces are also called out with Keyed Note 18.**
3. Identity all existing access easements and rights of way width dimensions.  
**Response: All access easements and Coors right-of-way widths are now shown on the plan.**
4. Please provide an approved plat showing the shared access easement.  
**Response: The recorded plat is provided with this resubmittal showing the shared access easements.**
5. Sidewalk must be improved from property line to property line at the north side of the site.  
**Response: The sidewalk along the north property line is called out to be removed and replaced to be 6’ wide with Keyed Note 17.**
6. Site accesses at the north side of the site must be built per ADA city standard and have Truncated Domes installed.  
**Response: There are no ramps need to be built along the ADA route on the north side, therefore no truncated domes are necessary.**

7. Please show on the site plan this drive aisle width and this ADA route width.



**Response: These dimensions have been added.**

8. Motorcycle parking spaces shall be designated by its own conspicuously posted upright sign, either free-standing or wall mounted per the zoning code.

**Response: Keyed Note 18 calls out the spaces to include signage.**

9. The pavement marking "MC" should be shown in the opposite direction for motorcycles entering the parking space.

**Response: The pavement markings are shown in each motorcycle parking space and Keyed Note 18 calls out the spaces to include pavement markings.**

10. Please provide Bike Rack details. Details sheet C7.0 and C7.1 are missing.

**Response: Bike Rack details are shown on Sheet C7.0, which is now included in this resubmittal.**

11. All bicycle racks shall be designed according to the following guidelines:

- The rack shall be a minimum 30 inches tall and 18 inches wide.
- The bicycle frame shall be supported horizontally at two or more places. Comb/toaster racks are not allowed.
- The rack shall be designed to support the bicycle in an upright position. See the IDO for additional information.
- The rack allows varying bicycle frame sizes and styles to be attached.
- The user is not required to lift the bicycle onto the bicycle rack.
- Each bicycle parking space is accessible without moving another bicycle.

**Response: The bicycle rack detail on sheet C7.0 meets all of these requirements.**

12. Bicycle racks shall be sturdy and anchored to a concrete pad.

**Response: All bike racks and spaces have a dedicated concrete pad area and are anchored.**

13. A 1-foot clear zone around the bicycle parking stall shall be provided.

**Response: All bike parking spaces have a 1 foot clear zone.**

14. Bicycle parking spaces shall be at least 6 feet long and 2 feet wide.

**Response: All bike parking spaces are 6' x 2'.**

15. Per DPM, a 6 ft. wide ADA accessible pedestrian pathway is required from the ADA parking stall access aisles to the building entrances. Please clearly show this pathway and provide details.

**Response: All main ADA pedestrian pathways to the main entrances show a minimum 6' wide sidewalk from the parking stalls.**

16. ADA accessible pedestrian pathway should not be placed behind parking space or adjacent to a vehicular way. Vehicle and pedestrian/wheel chair conflicts should be avoided as much as possible.  
**Response: All ADA pathways are placed in front of the parking stalls and away from the vehicular ways.**
17. All sidewalks along streets should be placed at the property line.  
**Response: The proposed street sidewalks are all placed so that the back of sidewalks are on the property line.**
18. Refuse vehicle maneuvering shall be contained on-site. The refuse vehicle shall not back into the public right of way.; provide a copy of refuse approval.  
**Response: Sheet C1.0 is provided in this resubmittal with a solid waste approval signature for the refuse locations.**
19. Provide a copy of Fire Marshal approval.  
**Response: Sheet C6.0 Fire 1 Plan is provided in the resubmittal with Fire Marshal approval stamp.**
20. It is not apparent what type of pavement surface is being proposed. A hard driving surface will be required as part of this proposed project for parking area and drive aisles.  
**Response: Detail Sheet C7.0 calls out paving sections for Drive Aisles and Parking Spaces to be asphalt concrete.**
21. Please specify the City Standard Drawing Number when applicable.  
**Response: All city standard drawings are called out in detail sheets as applicable.**
22. Traffic Studies: See the Traffic Impact Study (TIS) thresholds. In general, a minimum combination of 100 vehicles entering and exiting in the peak hour warrants a Traffic Impact Study. Visit with Traffic Engineer for determination, and fill out a TIS Form that states whether one is warranted.  
**Response: The signed Traffic Scoping Form is included in this resubmittal indicating that a TIS is not warranted for the development.**
23. Please provide a letter of response for all comments given.  
**Response: This letter is being provided as responses to the comments received.**

If you have any questions, please feel free to contact me at (505) 858-3100 or [vperea@tierrawestllc.com](mailto:vperea@tierrawestllc.com).

Sincerely,



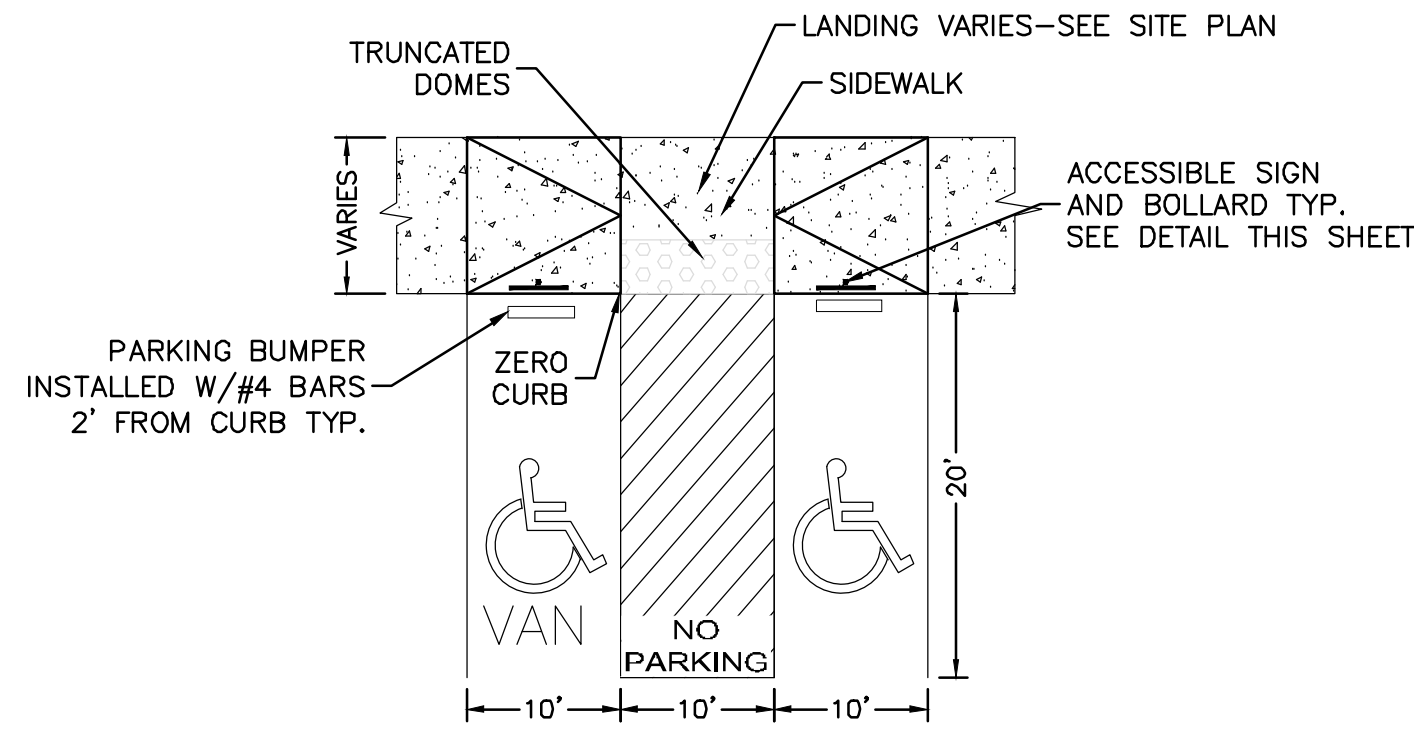
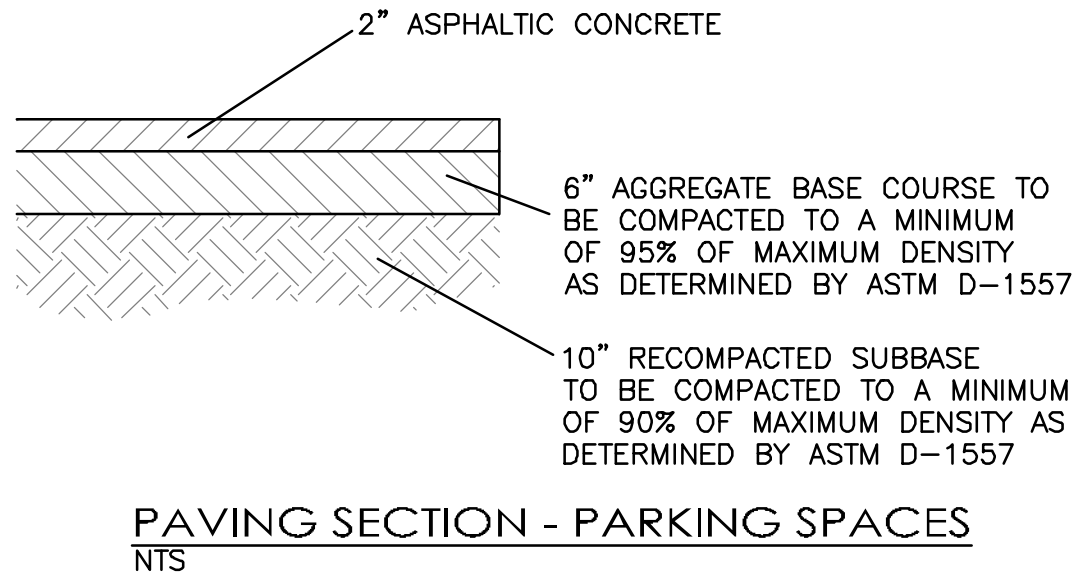
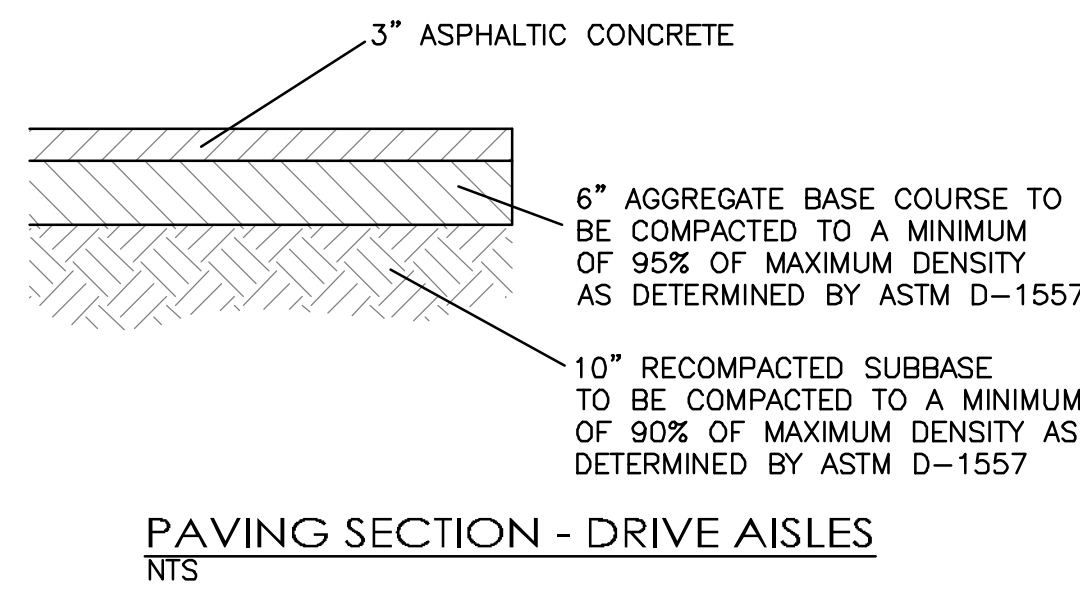
Vinny Perea, P.E.

cc: Thomas Mannschreck, Thomas Development Co.  
Angie Ferguson, Thomas Development Co.  
Andy Erstad, Erstad Architects

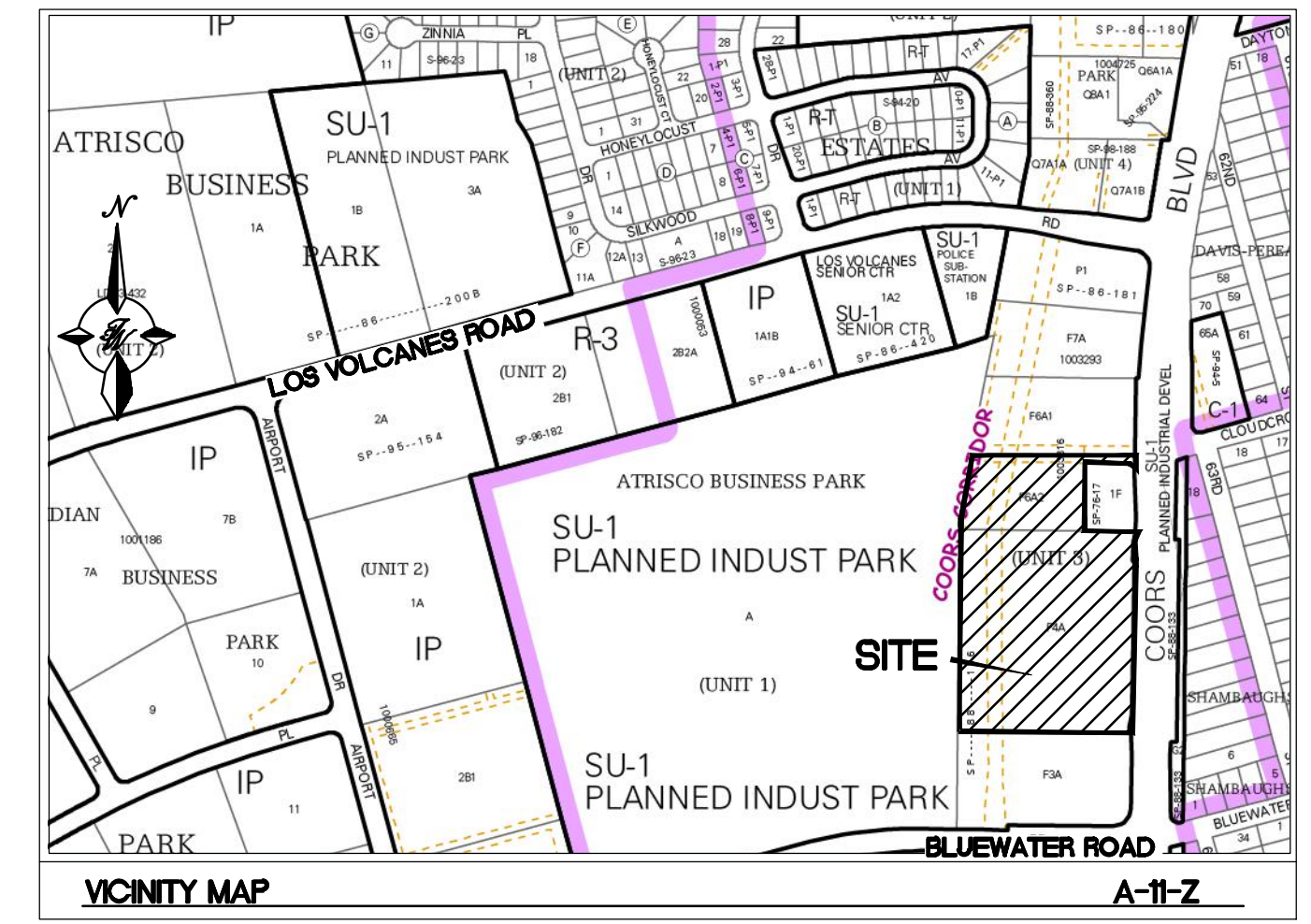
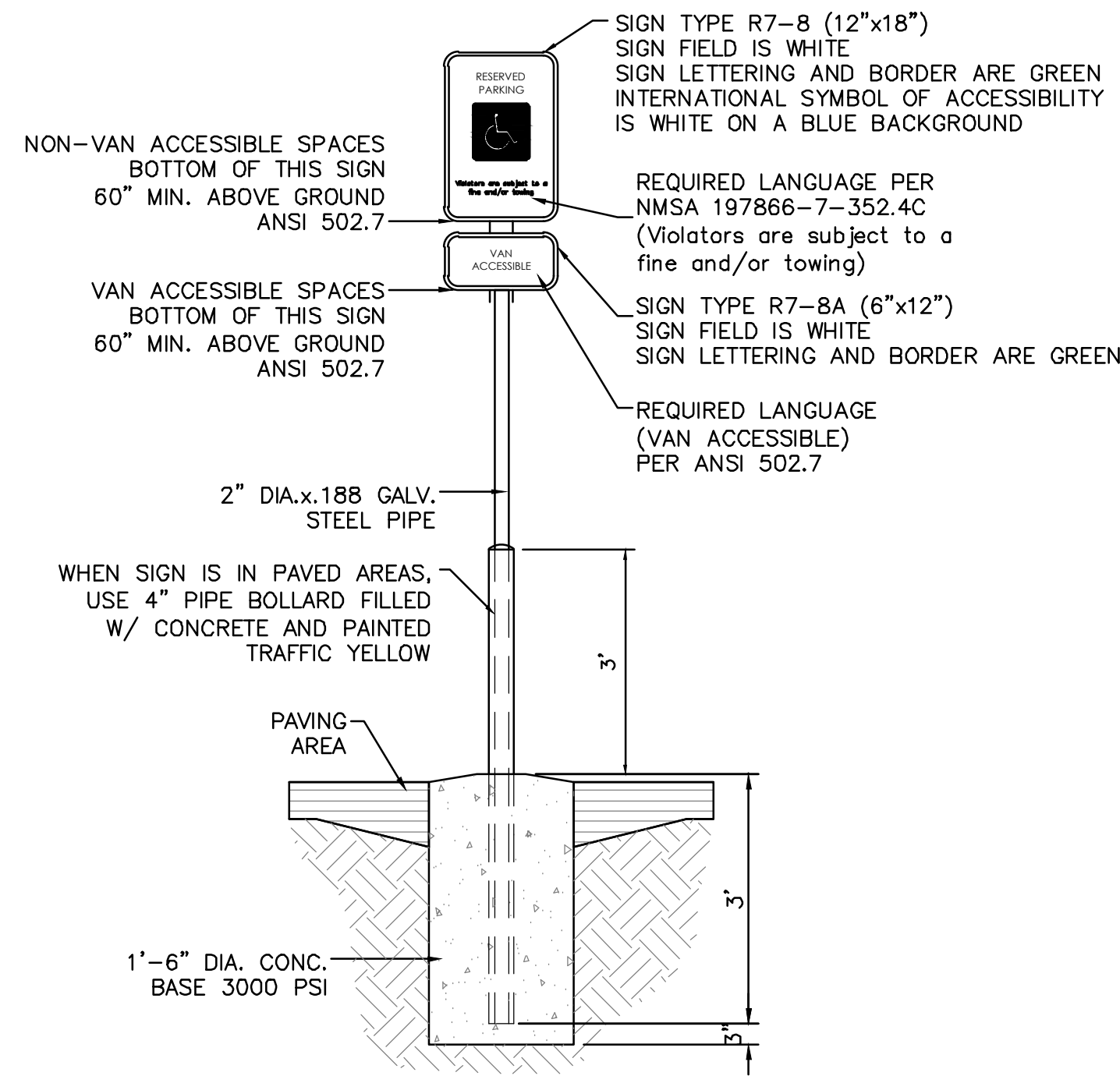
JN: 2020010  
RRB/vp/

# KEYED NOTES

- 1 ACCESSIBLE PARKING PER ADA STANDARDS W/ SIGN & PARALLEL CURB RAMPS (SEE DETAILS SHT. C7.0)
- 2 ON-SITE STANDARD CURB & GUTTER (SEE DETAIL SHT. C7.1)
- 3 CONCRETE SIDEWALK (SEE DETAIL SHT. C7.1)
- 4 DUMPSTER (SEE ARCHITECTURAL PLANS)
- 5 BICYCLE RACKS & BICYCLE SPACES (SEE DETAIL SHT. C7.0)
- 6 TRANSFORMER
- 7 EXISTING SIDEWALK
- 8 DRIVABLE SURFACE FOR FIRE ACCESS (SEE ARCHITECTURAL PLANS)
- 9 GARAGE LOFT BUILDING-SAN ROQUE-6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 10 GARAGE LOFT BUILDING-SAN ROQUE-6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 11 GARAGE BUILDING-LA SERENA-6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
- 12 GARAGE BUILDING-LA SERENA-6 BAY ADA (SEE ARCHITECTURAL PLANS)
- 13 MOUNTABLE CURB FOR FIRE ACCESS
- 14 ELECTRIC VEHICLE PARKING SPACES
- 15 PARALLEL CURB RAMP (SEE DETAIL SHT. C7.0)
- 16 FLAIED CURB RAMP (SEE DETAIL SHT. C7.0)
- 17 REMOVE & REPLACE EX. SIDEWALK W/ 6" WIDE SIDEWALK
- 18 MOTORCYCLE PARKING SPACE (4'x8' TYP.) PLUS SIGNAGE & PAVEMENT MARKINGS



- NOTES:
- 1) International Symbol of Accessibility shall be painted on the pavement at rear of space, white symbol on blue background.
  - 2) Parking space lines and diagonal striping to be painted blue.
  - 3) Access aisle shall have the words "NO PARKING" in capital letters, each of which shall be at least one foot high and at least two inches wide, placed at the rear of the parking space so as to be close to where an adjacent vehicle's rear tires would be placed.
  - 4) ADA parking areas - not to exceed a slope greater than 2% in any direction



**LEGAL DESCRIPTION:**  
PROPERTY ADDRESS: (vacant land) on 441 & 457 Coors Boulevard N.W., Albuquerque, New Mexico  
U.P.C. No. 1-010-058-469-059-406-06  
U.P.C. No. 1-010-058-472-018-406-05

**LEGAL DESCRIPTION:**  
TRACTS F-6-A-2-A & F-4-A-1, UNIT 3, ATRISCO BUSINESS PARK WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 15, T10N, R2E, NMPW CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

GROSS AREA OF SURVEY: 8.9567 Ac., more or less.

## SITE DATA - SAN ROQUE

PROPOSED USAGE: MULTIFAMILY AFFORDABLE HOUSING  
PROPOSED LOT AREA: 6.22 ACRES (270,843 SF)  
MAIN BUILDING AREA: 161,282 SF  
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,775 SF  
TOTAL BUILDING AREA: 179,226 SF  
MAIN BUILDING UNITS: 117 UNITS  
GARAGE LOFT UNITS: 20 UNITS  
TOTAL UNITS: 137 UNITS (24 1BR, 90 2BR, 23 3BR)  
PARKING REQUIRED: 215 SPACES (1.2 SPACES/1BR DU) + (1.6 SPACES/2BR DU) + (1.8 SPACES/3BR DU)

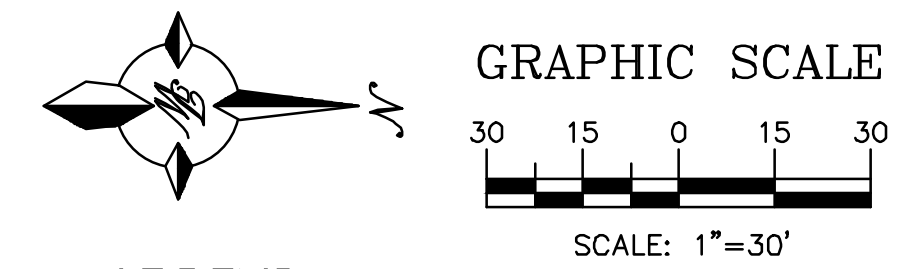
## SITE DATA - LA SERENA

PROPOSED USAGE: SENIOR LIVING AFFORDABLE HOUSING  
PROPOSED LOT AREA: 2.73 ACRES (119,313 SF)  
MAIN BUILDING AREA: 100,881 SF  
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF  
TOTAL BUILDING AREA: 103,973 SF  
MAIN BUILDING UNITS: 100 UNITS  
TOTAL UNITS: 100 UNITS (60 1BR, 40, 2BR)  
PARKING REQUIRED: 136 SPACES (1.2 SPACES/1BR DU) + (1.6 SPACES/2BR DU) + (1.8 SPACES/3BR DU)

## SITE PARKING DATA - OVERALL

TOTAL PARKING REQUIRED: 151 + 96 = 247 SPACES  
TOTAL PARKING PROVIDED\*: 277 SPACES  
ADA PARKING SPACES REQUIRED: 8 SPACES  
ADA PARKING SPACES PROVIDED: 20 SPACES  
VAN ACCESSIBLE REQUIRED: 2 SPACES  
VAN ACCESSIBLE PROVIDED: 20 SPACES  
ELECTRIC VEHICLE SPACES REQUIRED: 6 SPACES  
ELECTRIC VEHICLE SPACES PROVIDED: 8 SPACES  
BICYCLE PARKING REQUIRED: 28 SPACES  
BICYCLE PARKING PROVIDED: 96 SPACES  
MOTORCYCLE PARKING REQUIRED: 6 SPACES  
MOTORCYCLE PARKING PROVIDED: 6 SPACES

\*SHARED PARKING AND ACCESS AGREEMENT BETWEEN SAN ROQUE AND LA SERENA LOTS GRANTED DURING REPLAT OF PROPERTIES

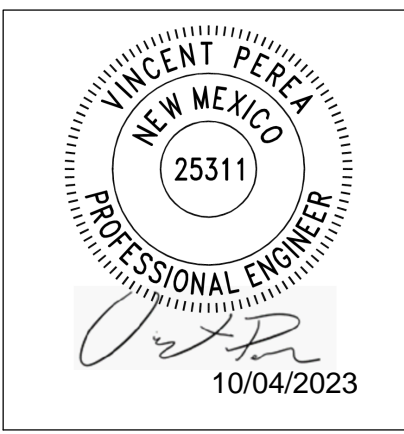
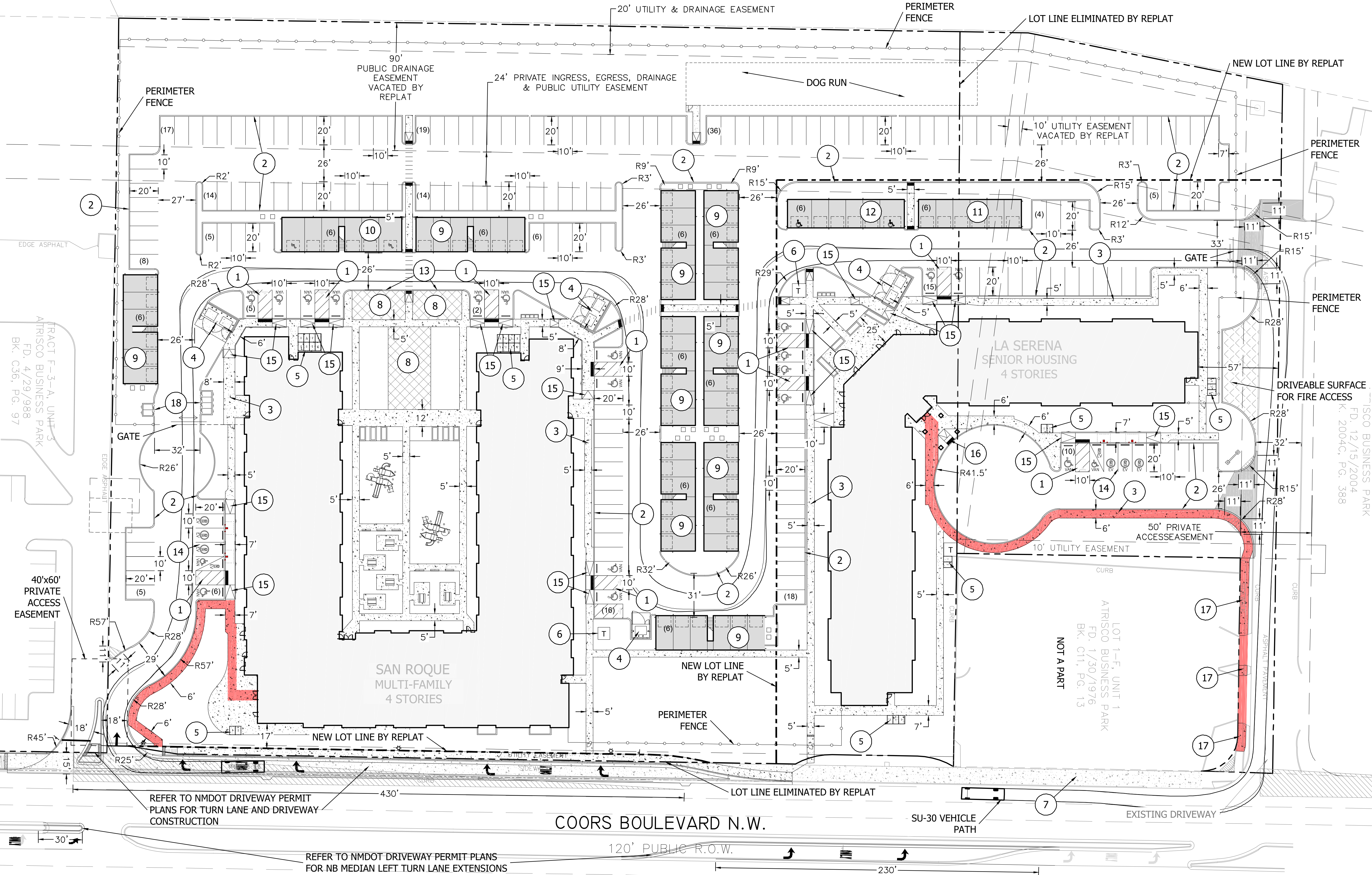


## LEGEND

- PROPOSED CURB & GUTTER
- BOUNDARY LINE
- BUILDING
- SIDEWALK
- PERIMETER FENCE
- EXISTING CURB & GUTTER
- NEW BOUNDARY LINE
- (#) PARKING COUNT
- EV CHARGING STATION
- CLEAR SIGHT TRIANGLE
- ADA ROUTE FROM ROW
- CLEAR SIGHT TRIANGLE SEE NOTE THIS SHEET

**SIDEWALK NOTE:**  
ALL BROKEN OR CRACKED SIDEWALK MUST BE REPLACED WITH SIDEWALK, CURB, AND GUTTER PER COA STD DWG #2430 AND #2415A.

**CLEAR SIGHT TRIANGLE NOTE:**  
LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.



**erstad ARCHITECTS, P.A.**  
310 N. 5th Street, Suite 200, Albuquerque, NM 87102  
Phone: (505) 858-3100  
www.erstadarchitects.com

**TIERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrawestllc.com

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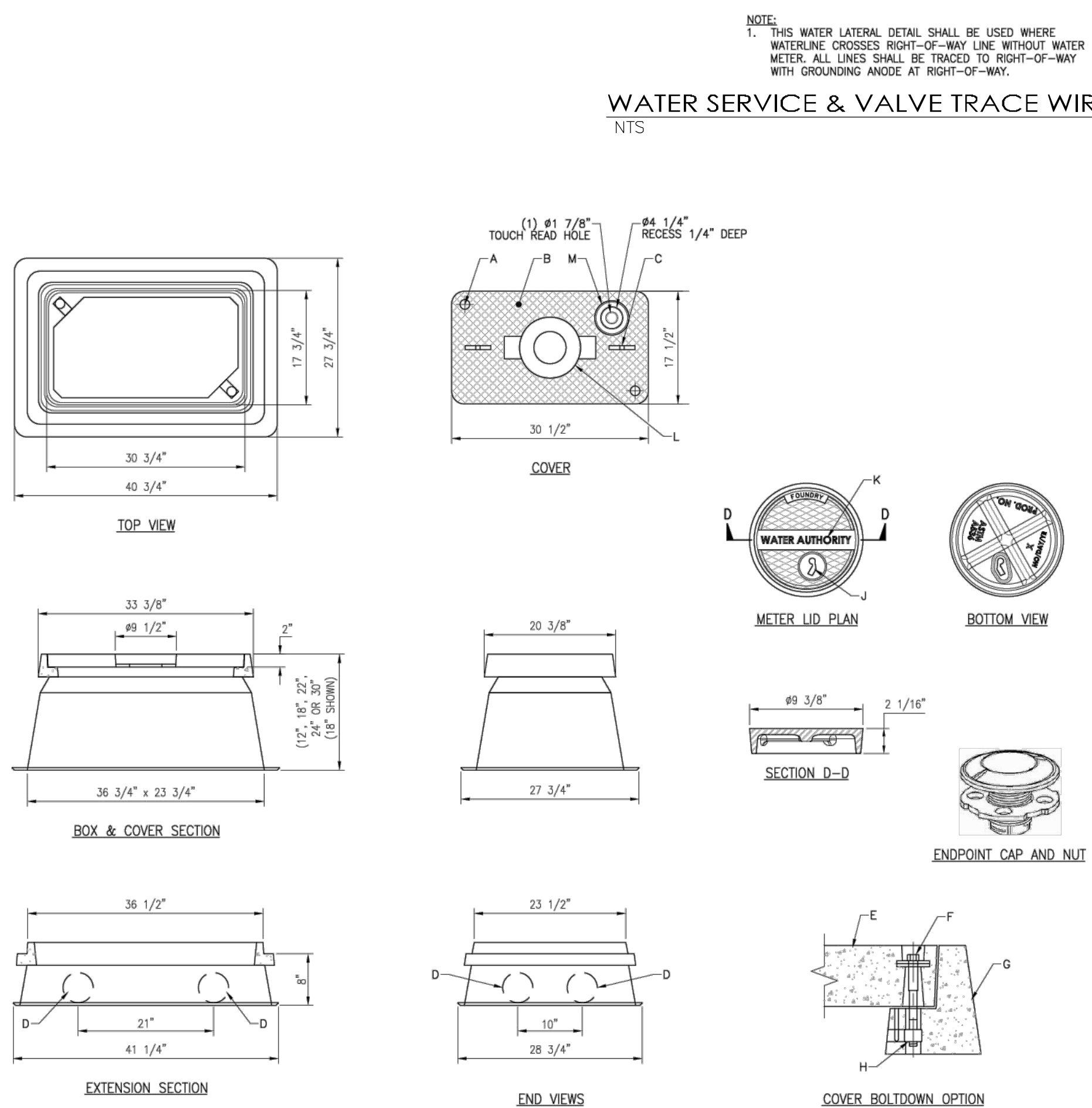
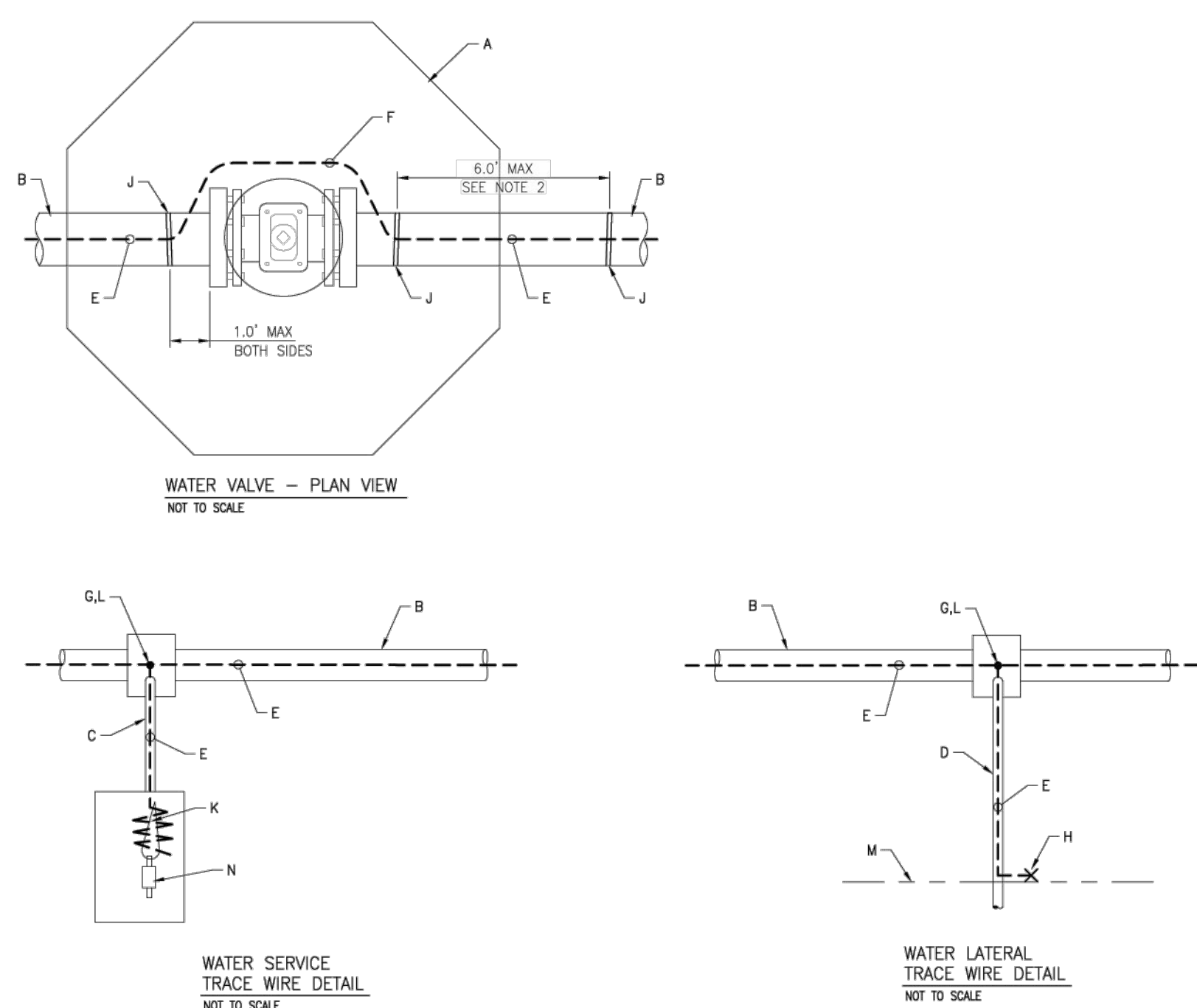
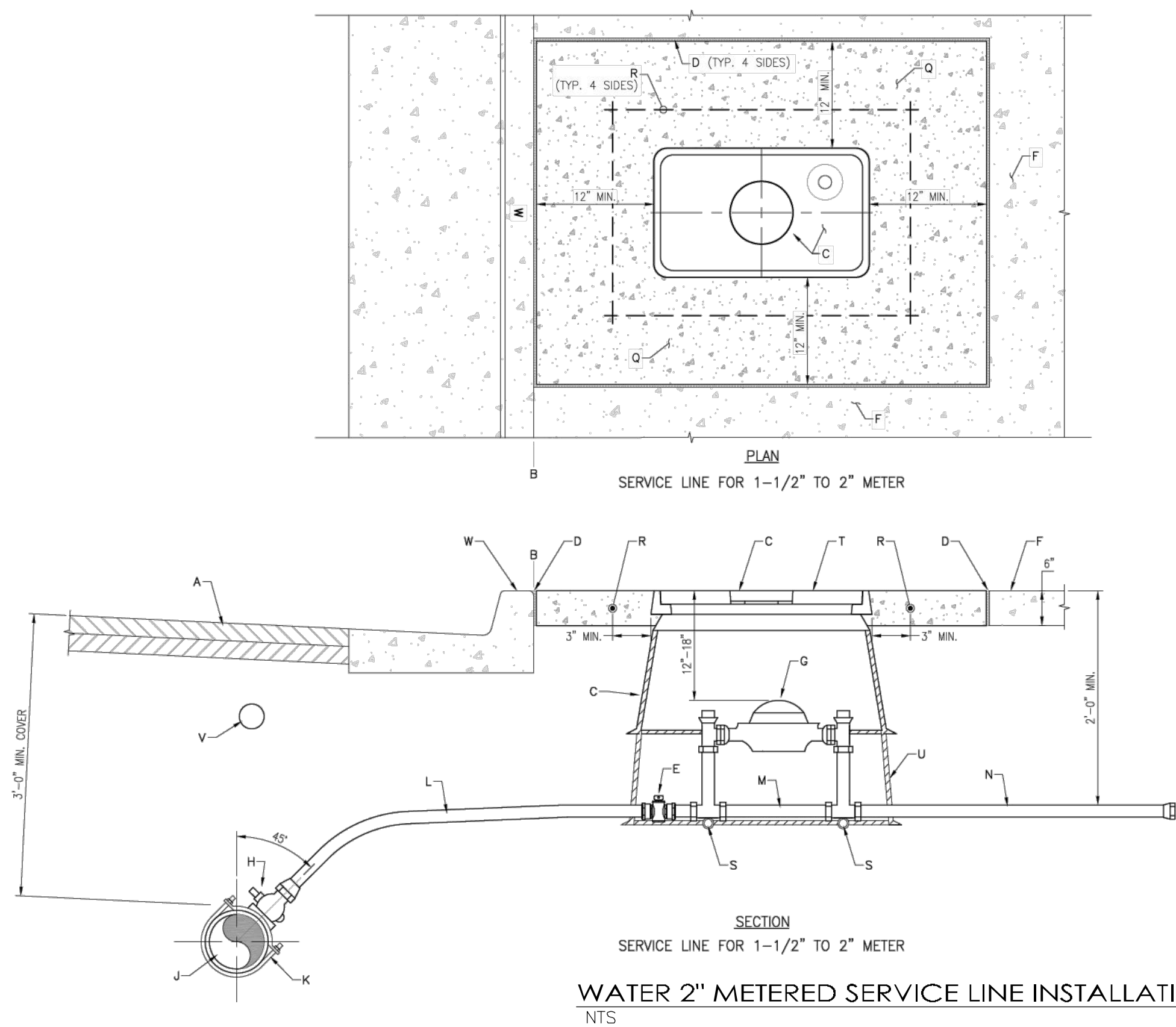
**san roque & la serena**  
441 & 457 coors blvd. nw  
albuquerque, new mexico 87121

revision:  
no. desc. date

project: 2020010  
date: 10.04.2023  
drawn: vp  
checked:

**revised permit set**

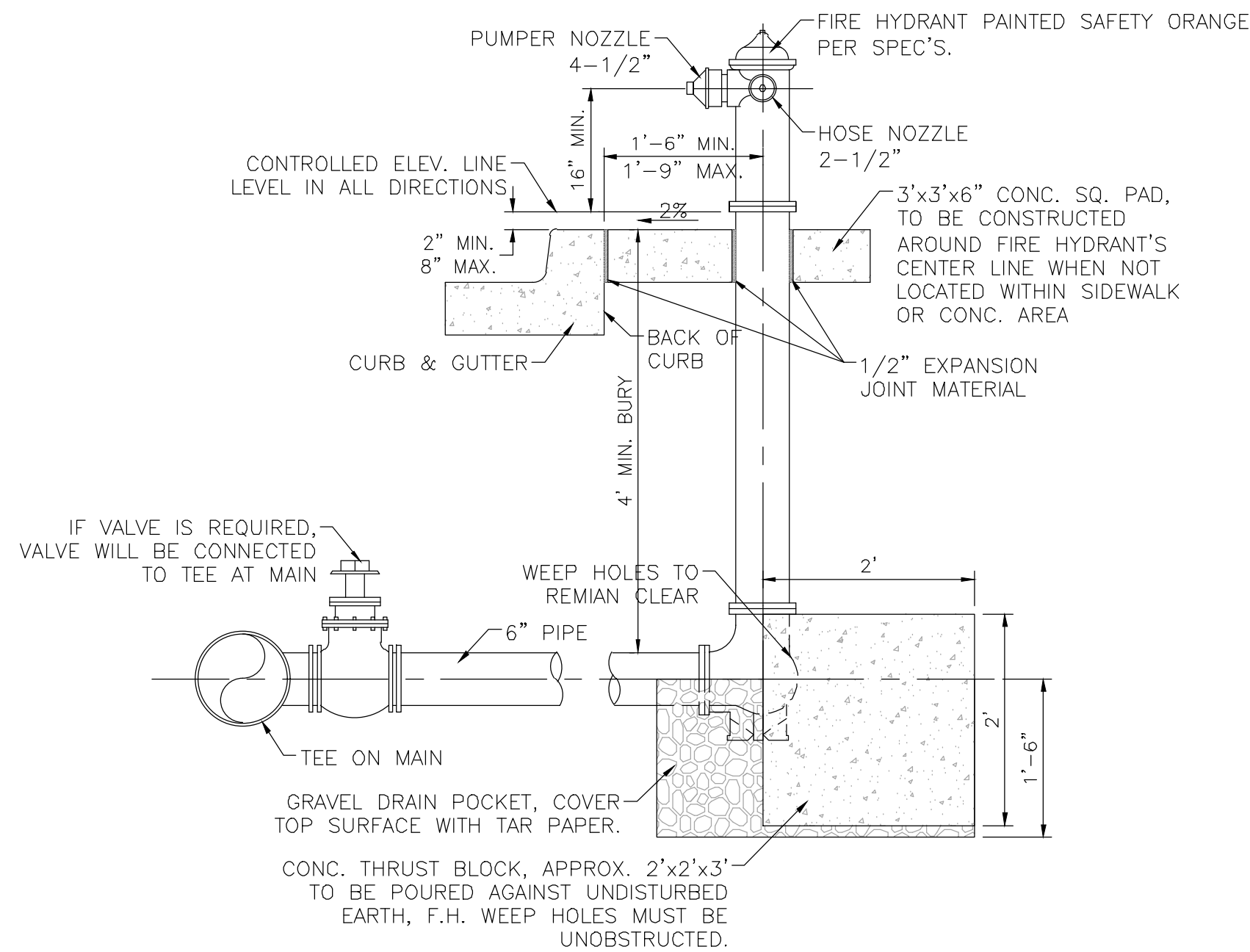
**Traffic Circulation Layout**  
**c5.0**



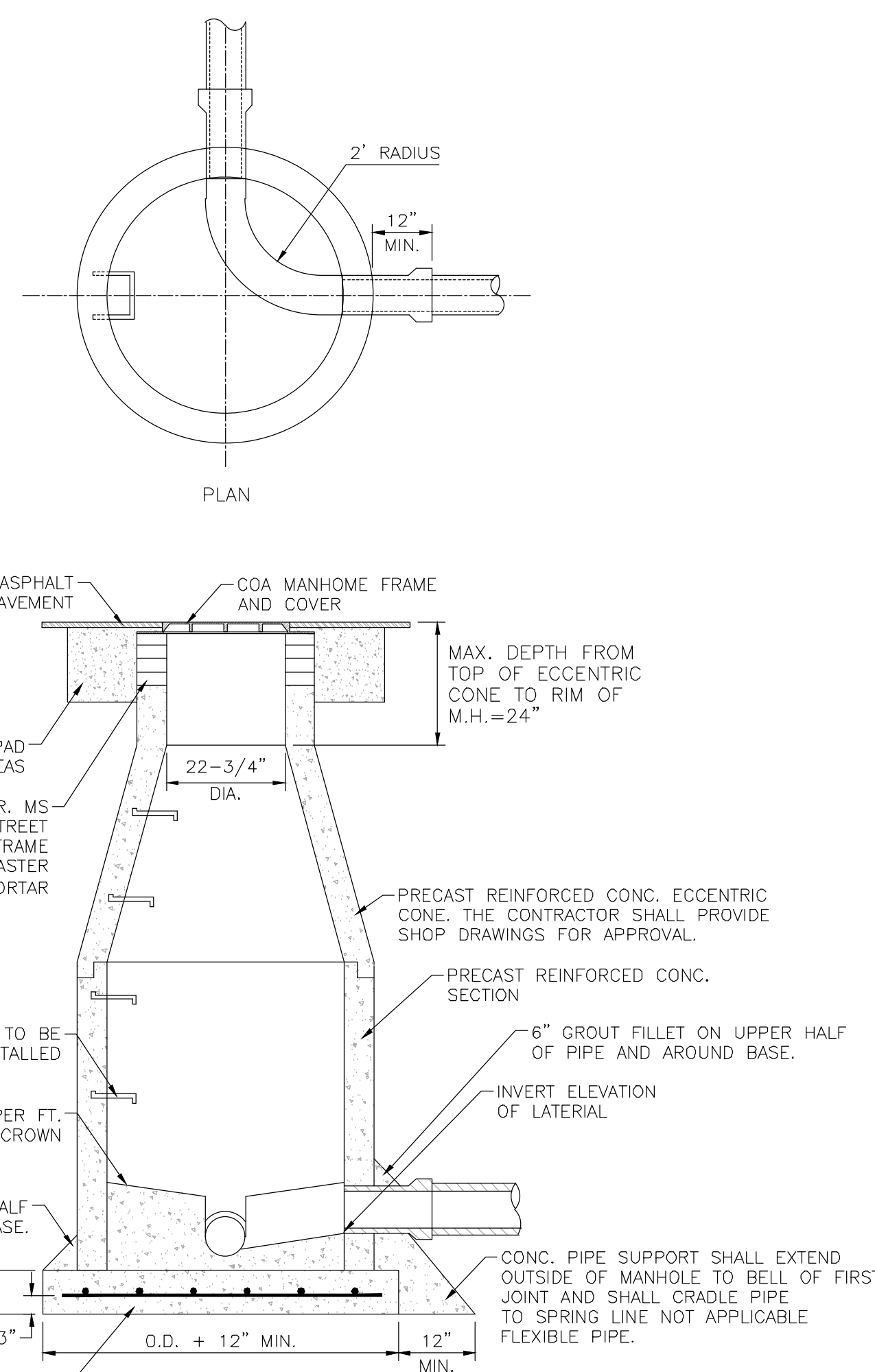
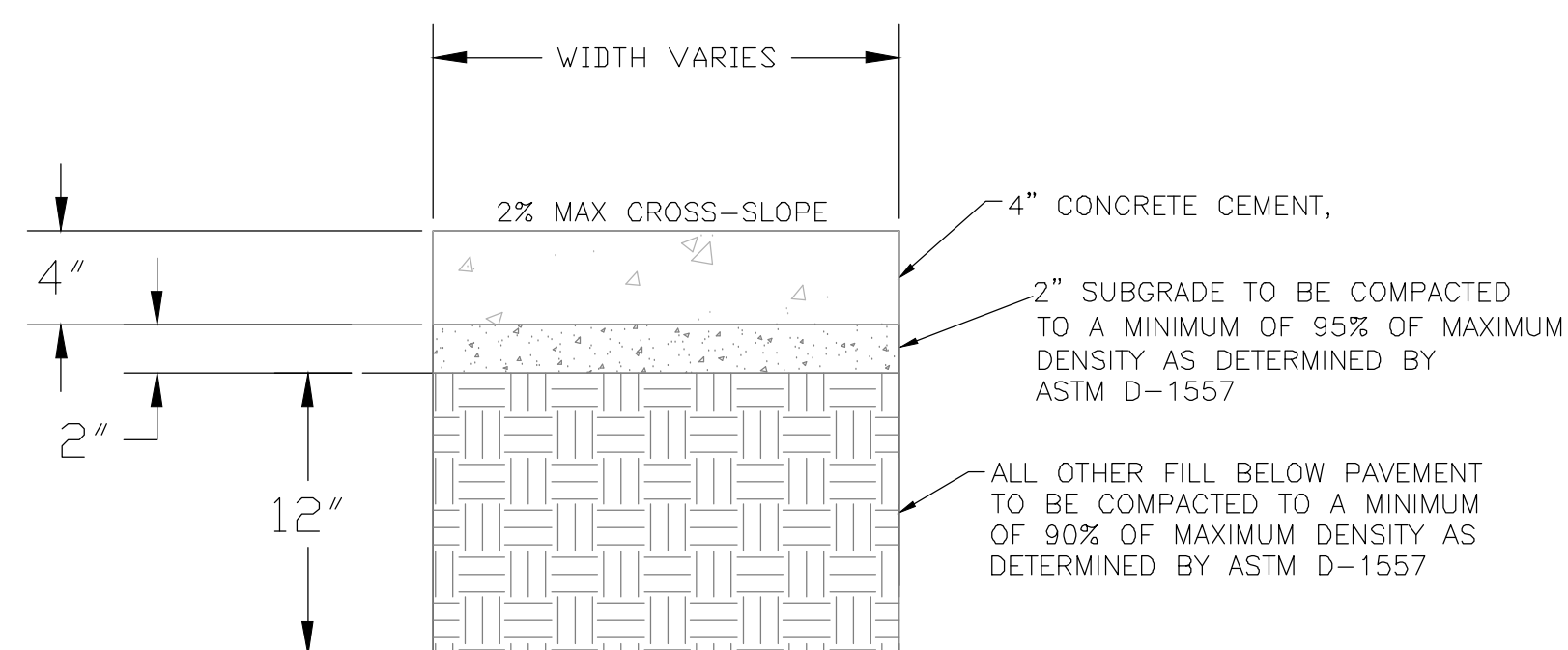
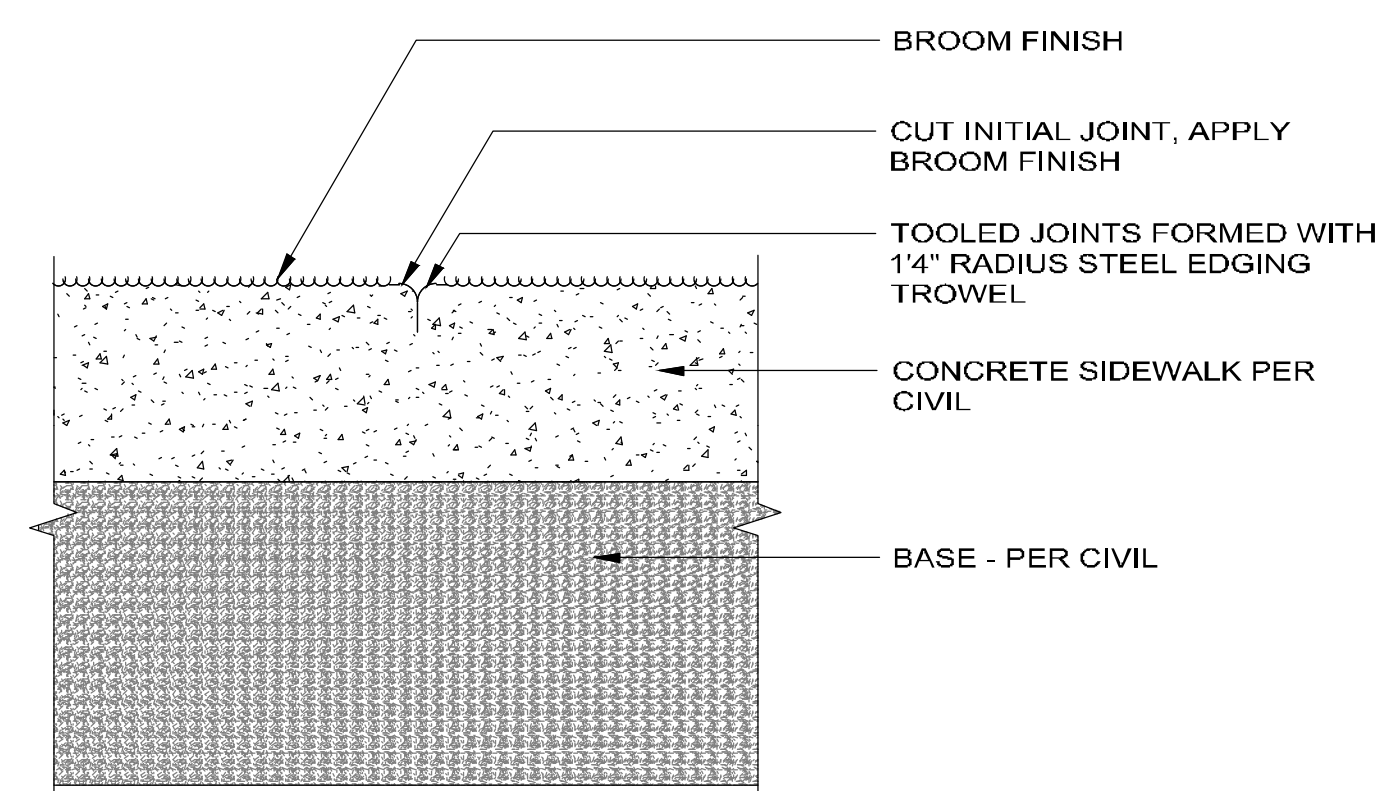
- GENERAL NOTES**
1. METER BOX LOCATION TO CONFORM TO STANDARD DRAWING 2361.
  2. THE (PRIVATE) TAILPIECE IS TO BE INSTALLED BY THE CONTRACTOR AND IS TO BE OWNED AND MAINTAINED BY THE CUSTOMER PER WATER AUTHORITY ORDINANCE.

### CONSTRUCTION NOTES

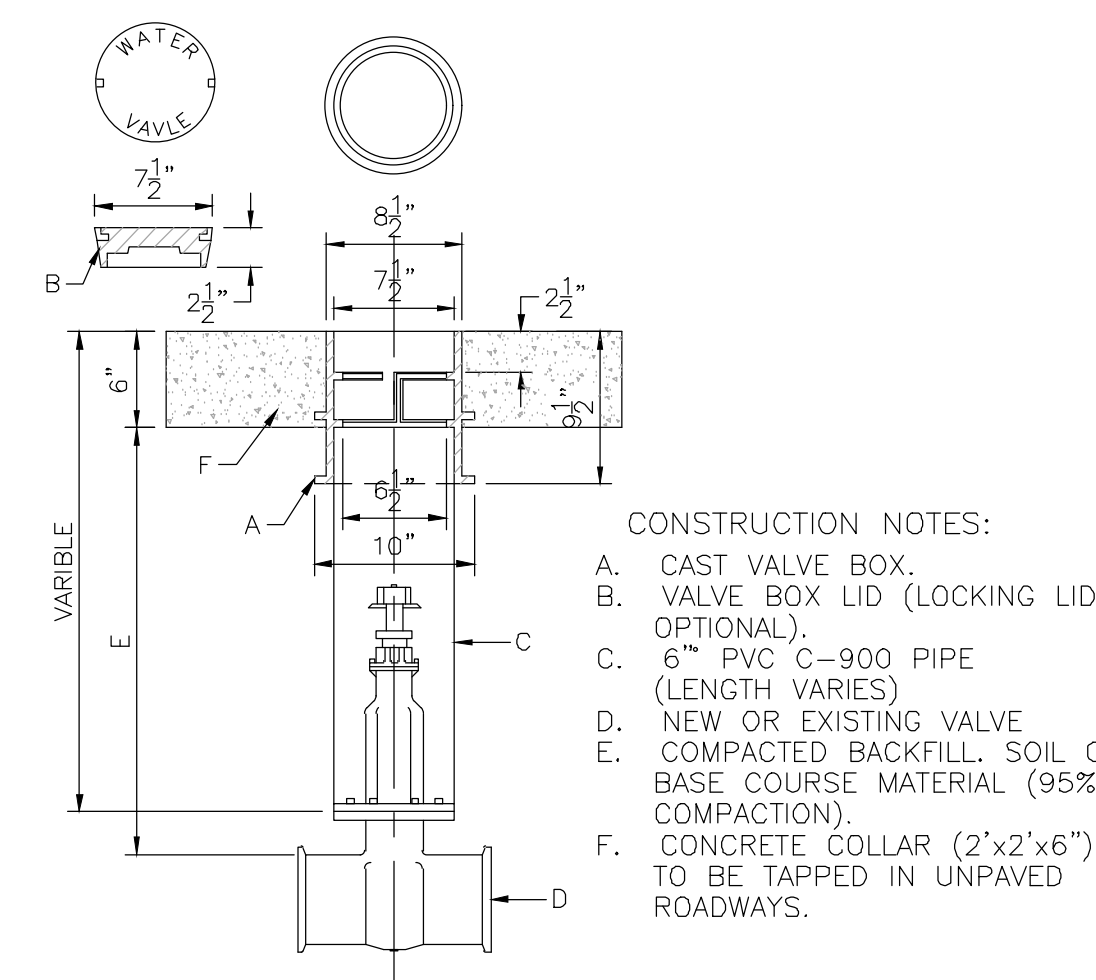
- A. STREET SURFACE
- B. SURF OF CURB
- C. METER BOX, COVER AND LID SEE DRAWING 2582. COVER FLUSH WITH SURF AND LID CONTROLLED CURB METER RIDGE
- D. 12" EXPANSION JOINT
- E. CURB STOP, LOCATE INSIDE METER BOX
- F. SIDEWALK OR DRIVEWAY
- G. METER BOX OF METER TO BE 12" TO 18" BELOW COVER
- H. C&P STOP
- I. MAIN WATER LINE
- J. TAPPING SADDLE
- K. C&P SERVICE LINE
- L. METER BOX, COVER WITH DUAL CHECK VALVE IN PRESSURE ZONE 2' TO 1' TE, AND 10' TO 12' FROM CURB. SEE SPECIFICATION FOR DETAILS
- M. TOLERANCE ± 1/4" FOR APPROVED COVER FINISH WITH A CLEAN CUT SURFACE. COVER SHALL BE 12" TO 18" BELOW FINISHED GRADE. SHALL BE INSTALLED IN PRESSURE ZONE 2' TO 1' TE, AND 10' TO 12' FROM CURB. SEE SPECIFICATION FOR DETAILS
- N. CONCRETE PAD REQUIRED IN ALL AREAS PER SECTION 101, EXISTOR CONCRETE, F. = 3'000 psi at 28 days.
- O. 12" TYP. SHALL BE 12" TO 18" FROM FINISH GRADE
- P. STABILIZER SAND, 1/2" (100) DRAIN GRANULATED SIFT PIPE.
- Q. METER BOX LID SHALL BE FLUSH WITH SURROUNDING SIDEWALK.
- R. METER BOX EXTENSION AS REQUIRED.
- V. ELECTRONIC METER DEVICE (EMD) SEE STANDARD SPECIFICATION SECTION 101, 101.01.01
- W. 3" TYP. SHALL TAP ON EXISTING SERVICE LINE CROSSING.



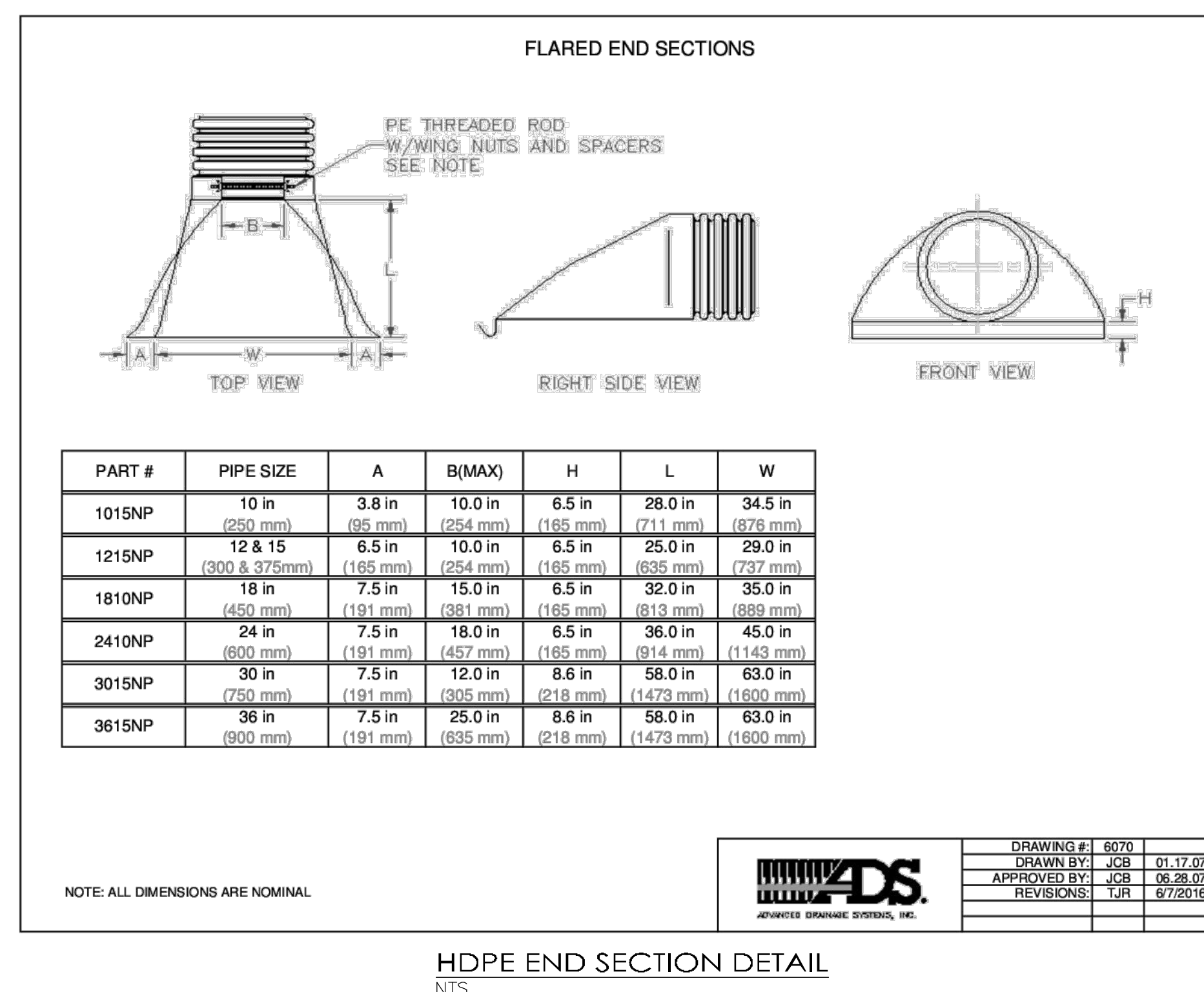
FIRE HYDRANT SETTING WITH BLOCKING DETAIL  
PER COA STD DWG #2340



SEWER MANHOLE TYPE "E" DETAIL  
NTS



GATE VALVE DETAIL



- CURB GENERAL NOTES:**
- 1. ALL CURBS TO BE CONSTRUCTED OF PORTLAND CEMENT CONCRETE, PER WALL-MATERIAL SPECIFICATIONS.
  - 2. PROVIDE CONTRACTION JOYS. 12" MAX., SPACING, 1/2" EXP. JOYS. AT CURB RETURNS AND AT A MAX. SPACING OF 120" BETWEEN CURB RETURNS AND EACH SIDE OF SEPARATELY CONSTRUCTED DRIVEWAYS. CONTRACTION JOYS SHALL BE EITHER SAWED OR TOOLED A MINIMUM OF 1" DEEP AT FINISHED FACES.
  - 3. ALL EDGES SHALL BE EDGED WITH A 3/8" RADIUS EDGING TOOL.
  - 4. 1/4" ISOLATION JOINT SHALL BE PLACED BETWEEN SIDEWALK AND CURB WHEN CAST ADJACENT TO EACH OTHER.

6" STANDARD CURB & GUTTER  
NTS



**TERRA WEST, LLC**  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
[www.tierrowestllc.com](http://www.tierrowestllc.com)

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**san roque & la serena**  
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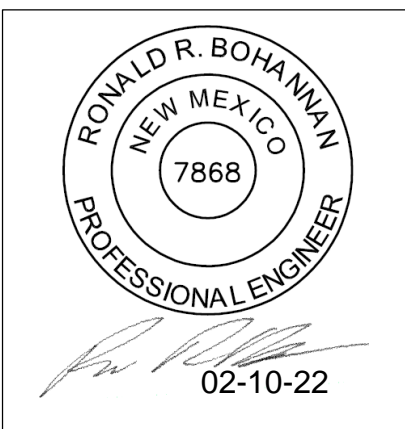
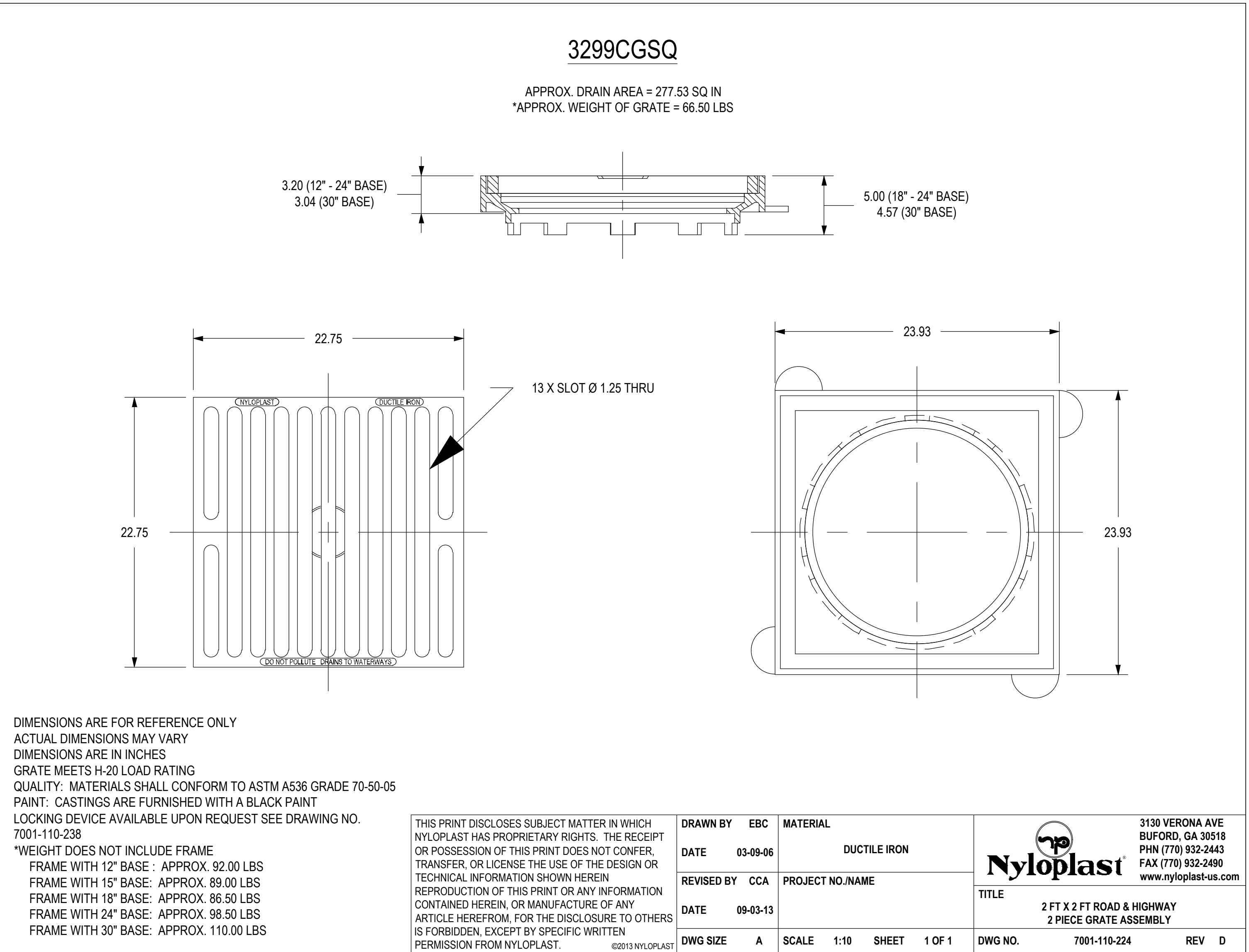
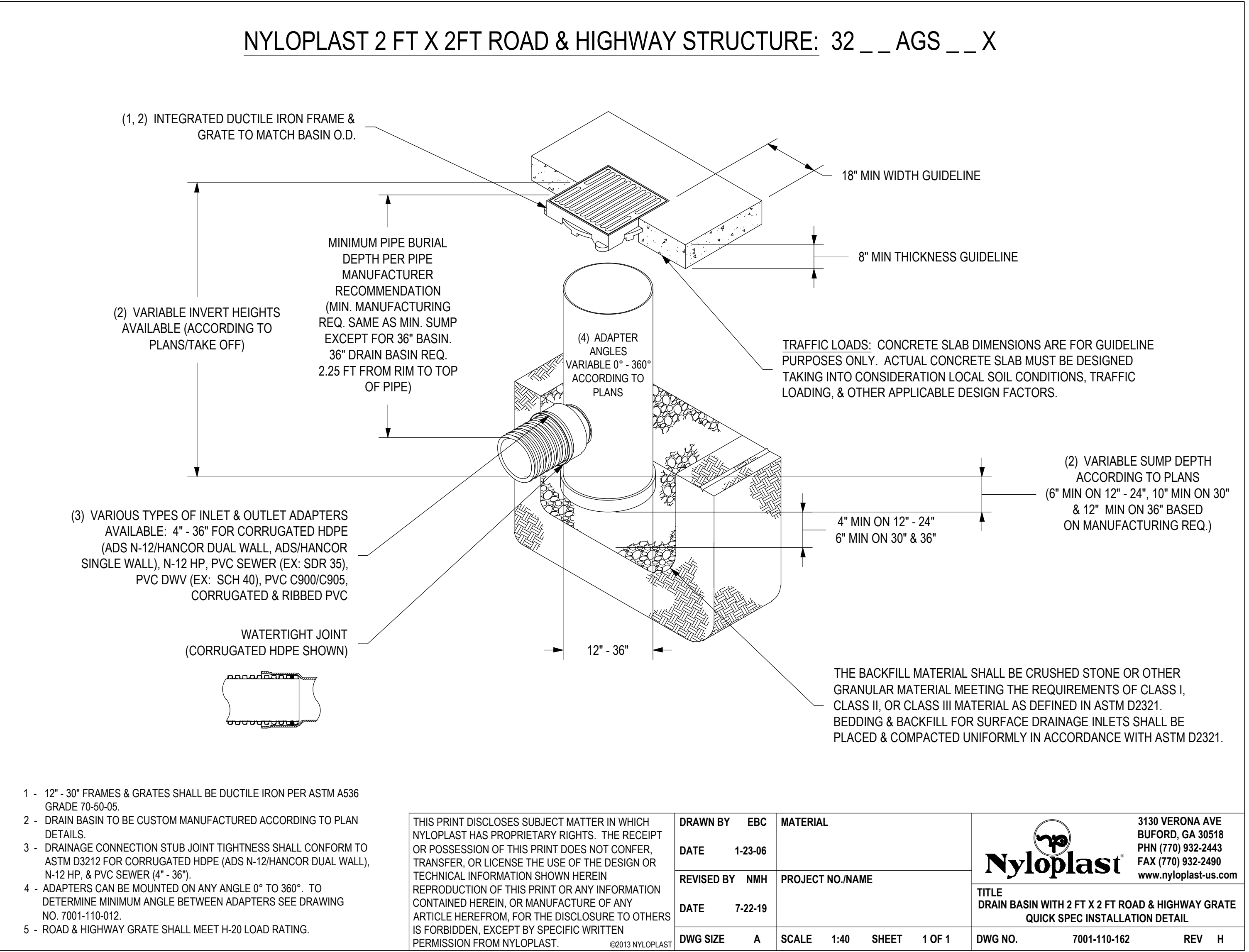
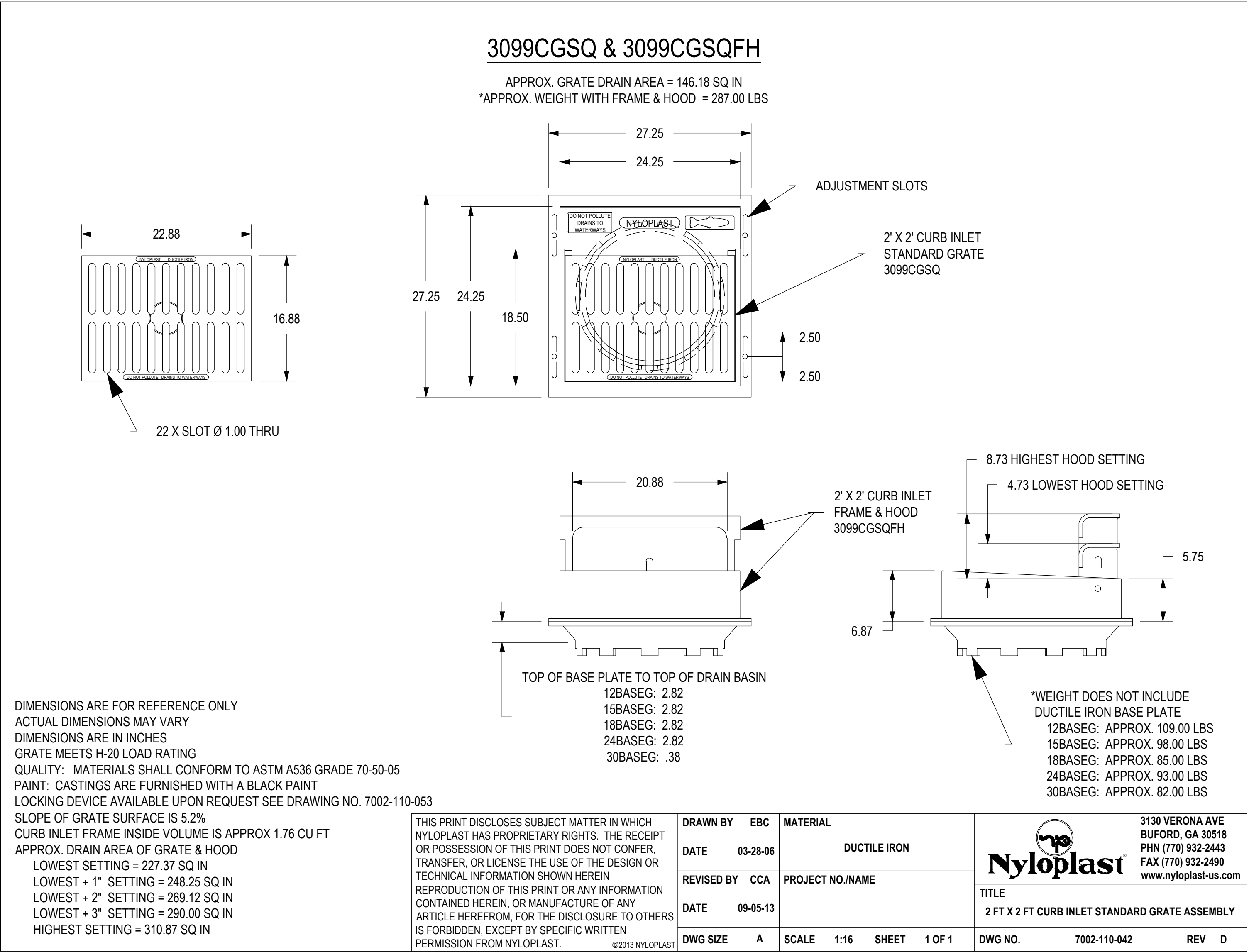
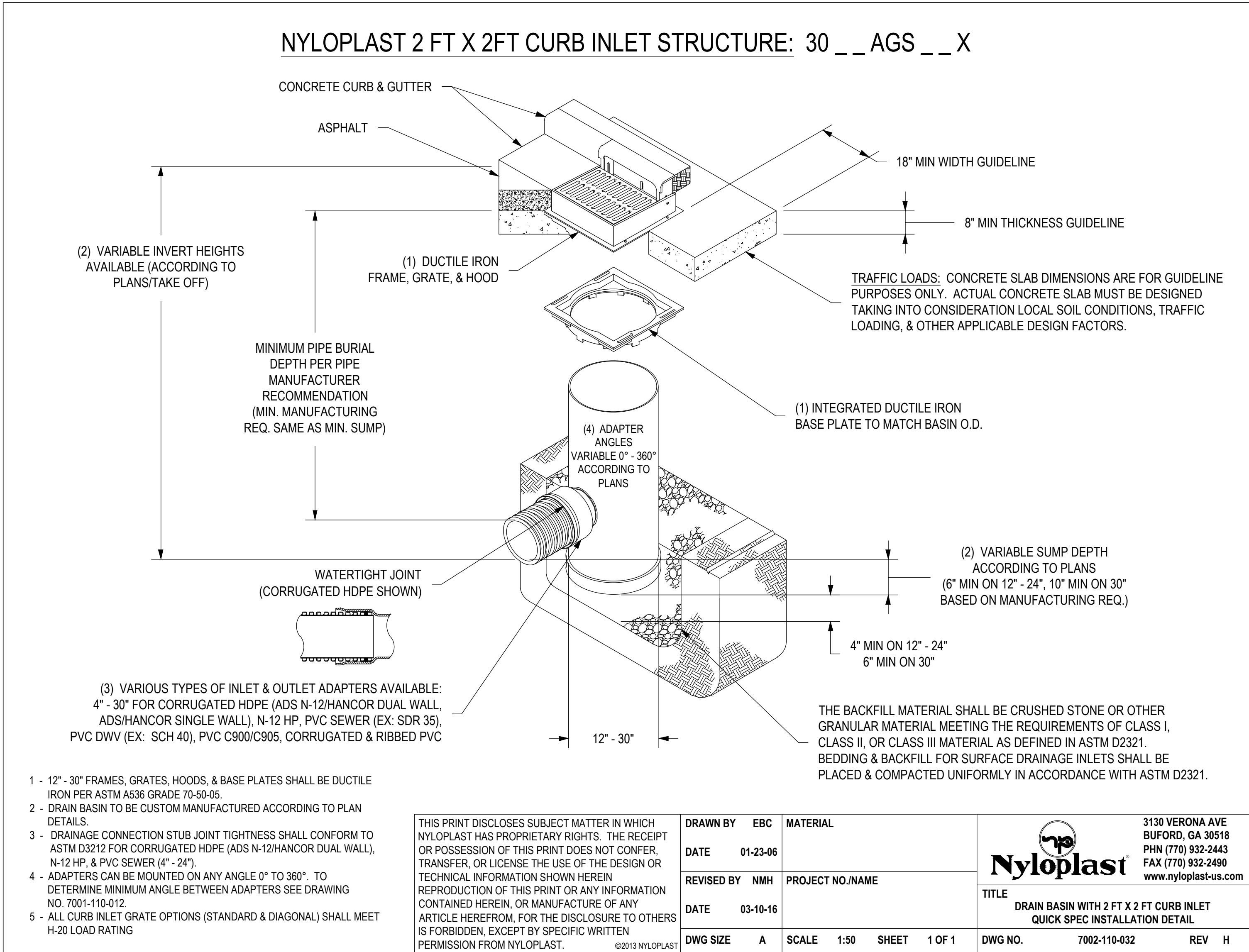
revision:		
no.	desc.	date
F	VE/ES/CC	12.13.21

project:	2020010
date:	08.02.2023
drawn:	vp
checked:	rb

revised  
permit set

## Civil Details

## c7.1



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la serena  
457 coors blvd. nw  
albuquerque, new mexico 87121

revision:			
no.	desc.	date	
j	UNIT REV	08.02.23	

project: 2020010  
date: 08.02.2023  
drawn: vp  
checked: rb

revised  
permit set

Civil  
Details

c7.2



Thomas Mannschreck  
420 W. Main St, Suite 300  
Boise, ID 83702

January 20, 2023

**Subject:** Extension for access permit No. 3-A-2022-022  
NM State Highway 45 at Milepost 13.25  
Albuquerque, Bernalillo County, New Mexico,

Dear Mr. Montgomery,

The New Mexico Department of Transportation District Three Traffic Section has reviewed the documentation that was submitted by you for access to NM 45. The land use identified for this access is commercial. This letter is issued as your **“Authority to proceed”** with construction.

This Authority to Proceed is issued under the following conditions:

- **All improvements within the right-of-way will adhere to the NMDOT Standards and Specifications for Highway and Bridge Construction most recent addition, the design standards listed in the State Access Management Manual for driveways, and NMDOT standard drawings.**
- **All improvements will be built within 6 months of this letter or the driveway permit will be void.**
- **All improvements shall be built in accordance with the approved plans sealed by Ronald R. Bohannon dated 04/21/2022.**

By granting a driveway permit, the NMDOT does not relieve the property owner from the responsibility to ensure that historical drainage flows along the roadway are maintained. Should the driveway impact historical flows along the roadway, it is the responsibility of the Property owner to take corrective action to resolve any drainage issues that result.

If you have any questions please call me at (505)382-8786 or you can reach me by email: [Israel.Suazo@state.nm.us](mailto:Israel.Suazo@state.nm.us).

Sincerely,

**Israel Suazo** Digitally signed by Israel Suazo  
Date: 2023.01.20 14:18:16  
-07'00'

Israel Suazo  
District Three Permit Agent

cc: Nancy Perea, P.E. District Three Traffic Engineer NMDOT

**Michelle Lujan Grisham**  
Governor

**Ricky Serna**  
Cabinet Secretary

#### Commissioners

**Jennifer Sandoval**  
Commissioner, Vice-Chairman  
District 1

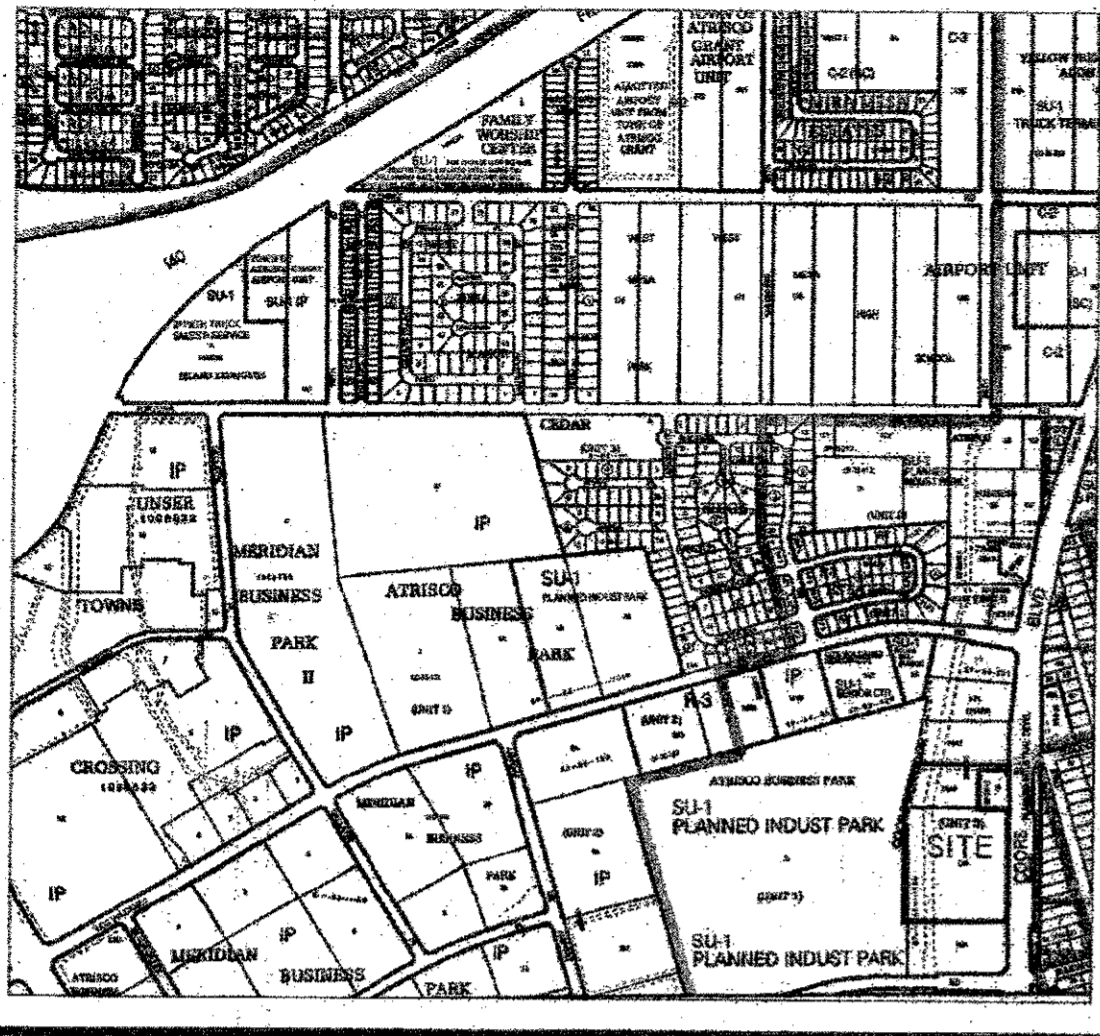
**Bruce Ellis**  
Commissioner  
District 2

**Hilma E. Chynoweth**  
Commissioner  
District 3

**Walter G. Adams**  
Commissioner, Chairman  
District 4

**Thomas C. Taylor**  
Commissioner  
District 5

**Charles Lundstrom**  
Commissioner, Secretary  
District 6



VICINITY MAP ZONE ATLAS PAGE J-10

UTILITY APPROVALS:

PUBLIC UTILITY EASEMENTS shown on this plat are granted for the common and joint use of:

APPROVED: [Signature] DATE 12/12/2022  
A. Public Service Company of New Mexico ("PNM"), a New Mexico corporation, (PNM Electric) for installation, maintenance, and service of overhead and underground electrical lines, transformers, other equipment and related facilities reasonably necessary to provide electrical services.

APPROVED: Pamela C. Stone DATE 12/12/2022  
B. New Mexico Gas Company for installation, maintenance, and service of natural gas lines, valves and other equipment and facilities reasonably necessary to provide natural gas services.

APPROVED: Abdul A. Bhuiyan DATE 12/12/2022  
C. Qwest Corporation d.b.a. Century Link QC for the installation, maintenance and service of such lines, cable and other related equipment and facilities reasonably necessary to provide communication services.

APPROVED: Mike Mortua DATE 12/12/2022  
D. Comcast Cable for the installation, maintenance and service of such lines, cable, and other related equipment and facilities reasonably necessary to provide cable tv services.

INCLUDED, is the right to build, rebuild, construct, reconstruct, locate, relocate within the easement, change, remove, replace, modify, renew, operate, and maintain facilities for the purposes described above, together with free access to, from and over said easements, with the right and privilege of going upon, over and across adjoining lands of grantor for the purposes set forth herein and with the right to utilize the right of way and easement to extend services to customers of grantees, including sufficient working area space for electric transformers, with the right and privilege to trim and remove trees, shrubs or bushes which interfere with the purposes set forth herein. No building, sign, pool (aboveground or subsurface), hot tub, concrete or wood pool decking, or other structure shall be erected or constructed on said easements nor shall any well be drilled or operated thereon. Property owners shall be solely responsible for correcting any violations of National Electrical Safety Code by construction of pools, decking, or any structures adjacent to or near easements shown on this plat. Easements for electric transformers/switchgears, as installed, shall extend ten (10) feet in front of transformer/switchgear doors and five (5) feet on each side.

DISCLAIMER:  
In approving this plat, Public Service Company of New Mexico (PNM) and New Mexico Gas Company (NMGC) did not conduct a title search of the properties shown hereon. Consequently, PNM and NMGC do not waive or release any easement or easement rights which may have been granted by prior plat, replat or other document and which are not shown on this plat.

U.P.C. No. 1-010-058-469-059-406-06 (Tr. F-6-A-2)  
U.P.C. No. 1-010-058-472-018-406-05 (Tr. F-4-A)

LEGAL DESCRIPTION:

Tract F-4-A, of the Plat of Tracts F-3-A, F-4-A & F-6-A, ATRISCO BUSINESS PARK, UNIT 3, Albuquerque, New Mexico, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 1988 in Plat Book C36, Folio 97.

AND  
Tract F-6-A-2 of ATRISCO BUSINESS PARK, UNIT 3, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2004 in Plat Bk. 2004C, Page 388.

FREE CONSENT and DEDICATION:

The undersigned owner(s) do hereby consent to the platting of said property as shown hereon and the same is with their free consent and in accordance with their desires. The undersigned individuals hereby represent themselves as authorized to so act. The undersigned hereby grant the easement(s) as shown and noted hereon. The undersigned hereby dedicates, in fee simple, the additional public right of way as shown hereon to the public use forever. The undersigned warrant that they hold among them complete and indefeasible title in fee simple to the subdivided property.

[Signature]  
Thomas C. Mannschreck, President of Thomas Development Company

ACKNOWLEDGEMENT

State of Idaho)

County of Ada )es

This instrument was acknowledged before me on December 7, 2022

BY: Thomas C. Mannschreck, President of Thomas Development Company

My Commission expires: 01/22/2027

[Signature]  
Notary Public



SURVEYOR'S CERTIFICATE:

I, Gary E. Gritsko, a duly qualified New Mexico Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that it shows all easements as shown on the plat of record or made known to me by the owners of the subdivision shown hereon, utility companies and other parties expressing an interest and that it meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further that it meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

[Signature]  
Gary E. Gritsko, N.M.P.S. No. 8686

November 18, 2022

Date



COUNTY CLERK RECORDING STAMP

DOCH 2023004566

01/26/2023 10:46 AM Page: 1 of 2  
PLAT R 325 00 8 / 2023C P. 0002 Linda Stover, Bernalillo County

PLAT OF  
Tracts F-6-A-2-A & F-4-A-1, Unit 3,  
ATRISCO BUSINESS PARK,  
within the Town of Atrisco Grant,  
projected Section 15, T.10N., R.2E., N.M.P.M.,  
City of Albuquerque, Bernalillo County, New Mexico  
November 2022

PURPOSE OF PLAT:

The purpose of this plat is adjust the lot line between two (2) existing tracts, to vacate certain easements, to grant additional easements and to dedicate additional public right of way.

CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD APPROVALS:

PROJECT NO. PR-2021-005414 APPLICATION NO. SD-2022-00209

[Signature] Dec 23, 2022  
CODE ENFORCEMENT DATE

[Signature] Dec 23, 2022  
DRB CHAIRPERSON, PLANNING DEPARTMENT DATE

[Signature] Dec 30, 2022  
Christina Sandoval (Dec 30, 2022 12:05 MST) DATE  
PARKS & RECREATION DEPARTMENT

[Signature] Dec 23, 2022  
A.B.C.W.U.A. DATE

[Signature] 12/19/2022  
DATE

[Signature] Dec 23, 2022  
CITY ENGINEER DATE

[Signature] Dec 23, 2022  
TRAFFIC ENGINEERING DATE

[Signature] 2/4/2022  
CITY SURVEYOR DATE

[Signature] 2/4/2022  
CITY SURVEYOR DATE

BERNALILLO COUNTY TREASURER'S CERTIFICATE:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON  
101005847201840605

UPC#: 101005840905940606

Thomas Development Co.  
PROPERTY OWNER OF RECORD

[Signature] 1/26/23  
Bernalillo County Treasurer Date

SHEET 1 OF 2

ALPHA PRO SURVEYING LLC  
1436 32ND CIRCLE SE, RIO RANCHO, NEW MEXICO 87124  
PHONE (505) 892-1076 ALPHAPROSURVEYING.COM  
DRAWN BY: GG FILE NO. 20-019



KEYED NOTES

1. ACCESSIBLE PARKING PER ADA STANDARDS W/ SIGN & PARALLEL CURB RAMPS (SEE DETAILS SHT. C7.0)
2. ON-SITE STANDARD CURB & GUTTER (SEE DETAIL SHT. C7.1)
3. CONCRETE SIDEWALK (SEE DETAIL SHT. C7.1)
4. DUMPSTER (SEE ARCHITECTURAL PLANS)
5. BICYCLE RACKS & BICYCLE SPACES (SEE DETAIL SHT. C7.0)
6. TRANSFORMER
7. EXISTING SIDEWALK
8. DRIVABLE SURFACE FOR FIRE ACCESS (SEE ARCHITECTURAL PLANS)
9. GARAGE BUILDING—SAN ROQUE—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
10. GARAGE BUILDING—SAN ROQUE—6 BAY ADA (SEE ARCHITECTURAL PLANS)
11. GARAGE BUILDING—LA SERENA—6 BAY STANDARD (SEE ARCHITECTURAL PLANS)
12. GARAGE BUILDING—LA SERENA—6 BAY ADA (SEE ARCHITECTURAL PLANS)
13. MOUNTABLE CURB FOR FIRE ACCESS
14. ELECTRIC VEHICLE PARKING SPACES
15. PARALLEL CURB RAMP (SEE DETAIL SHT. C7.0)
16. FLAIED CURB RAMP (SEE DETAIL SHT. C7.0)

SAN ROQUE OPEN SPACE REQUIREMENTS

1-BEDROOM:	4 UNITS
2-BEDROOM:	90 UNITS
3-BEDROOM:	23 UNITS
OPEN SPACE REQUIRED:	(225 x 4) + (285 x 90) + (350 x 23) = 34,600 SF
OPEN SPACE PROVIDED:	40,825 SF

LA SERENA OPEN SPACE REQUIREMENTS

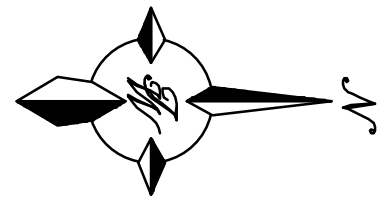
1-BEDROOM:	44 UNITS
2-BEDROOM:	30 UNITS
OPEN SPACE REQUIRED:	(225 x 44) + (285 x 30) = 18,450 SF
OPEN SPACE PROVIDED:	19,445 SF

TRASH COMPACTOR NOTES:

1. SAN ROQUE MAIN BUILDING TO HAVE TWO (2) INTERNAL TRASH CHUTE COMPACTOR ROOMS.
2. LA SERENA MAIN BUILDING TO HAVE ONE (1) INTERNAL TRASH CHUTE COMPACTOR ROOM.
3. EACH EXTERNAL DOUBLE ENCLOSURE SHOWN ON PLAN ARE TO HOUSE ONE (1) TYPICAL EXTERNAL DUMPSTER AND FOR STORAGE OF (1) 2-YARD ROLL-OUT DUMPSTER THAT SERVICES INTERNAL TRASH CHUTE COMPACTORS WITHIN THE SAN ROQUE AND LA SERENA MAIN BUILDINGS.
4. MAINTENANCE STAFF WILL BE REQUIRED TO PLACE 2-YARD DUMPSTERS FROM COMPACTORS IN THE EXTERNAL DOUBLE TRASH ENCLOSURES ON SERVICE DAY.

RECYCLABLES NOTES:

1. RECYCLABLES FOR SAN ROQUE AND LA SERENA MAIN BUILDINGS TO BE COLLECTED IN 90-GALLON BINS, STORED IN THE TRASH CHUTE ROOMS AND TO BE ROLLED OUT TO EXTERNAL ENCLOSURES BY MAINTENANCE STAFF ON SERVICE DAY.
2. 90-GALLON BINS TO BE PLACED IN EACH EXTERNAL ENCLOSURE FOR COLLECTION OF RECYCLABLES FROM THE GARAGE LOFT UNITS.



GRAPHIC SCALE

30 15 0 15 30

SCALE: 1"=30'

Approved for access by the Solid Waste Department  
for 7-1b Herman Gallegos 12-20-21

NOTICE TO CONTRACTORS

1. AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THESE PLANS MUST BE SUBMITTED AT THE TIME OF APPLICATION FOR THIS PERMIT.
2. ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED, EXCEPT AS OTHERWISE STATED OR PROVIDED HEREON, SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 1985.
3. TWO WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, 260-1990 (OR DIAL 811 LOCALLY), FOR LOCATION OF EXISTING UTILITIES.
4. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL CONSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
5. BACK FILL COMPACTION SHALL BE ACCORDING TO RESIDENTIAL STREET USE.
6. MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.
7. WORK ON ARTERIAL STREETS SHALL BE PERFORMED ON A 24-HOUR BASIS.

GENERAL NOTES

1. 4" MINIMUM BURY REQUIRED FOR ALL UTILITIES UNLESS NOTED.
2. REFERENCE ARCHITECTURAL PLANS FOR WATER LINE RISER LOCATION.
3. ALL STUBS AND UTILITY LOCATIONS MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
4. CLEAN OUTS TO BE BUILT PER UNIFORM PLUMBING CODE STANDARDS.
5. SEE ARCHITECTURAL PLANS FOR LIGHTING CONDUITS AND TELEPHONE LINES.
6. ALL EXCAVATION, TRENCHING AND SHORING ACTIVITIES MUST BE CARRIED-OUT IN ACCORDANCE WITH OSHA 29 CFR 1926.650 SUBPART P.
7. SEE ELECTRICAL PLANS FOR ALL LIGHT POLES & LIGHT POLE LOCATIONS. ALL LIGHT POLES BASES SHALL BE STRAIGHT AND PLASTERED SMOOTH. TOP OF LIGHT BASE SHALL BE 2'-6" ABOVE TOP OF CURB/SIDEWALK. BASES PROVIDED BY G.C., TYP.
8. ALL UTILITY DIGGING OR OTHER EXCAVATION SHALL TAKE IN CONSIDERATION EXISTING SIDEWALKS, CURB & GUTTERS AND OTHER STRUCTURES THAT MAY NEED TO BE REMOVED AND/OR REPLACED AS PART OF THE G.C. BID.
9. ALL RETAIL PRODUCT AREAS ARE TO BE UNDER THE BUILDINGS PERMANENT ROOF.
10. MOTORCYCLE PARKING SPACES SHALL BE DESIGNATED BY ITS OWN CONSPICUOUSLY POSTED UPRIGHT SIGN, EITHER FREE-STANDING OR WALL MOUNTED PER THE ZONING CODE.
11. ALL ASPHALT IS LIGHT DUTY UNLESS OTHERWISE NOTED.

PROJECT NUMBER: PR-2021-005414

APPLICATION NUMBER: SI-2021-00301

Is an Infrastructure List required? ( ) Yes ( ) No If Yes, then a set of approved DRG plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN APPROVAL:

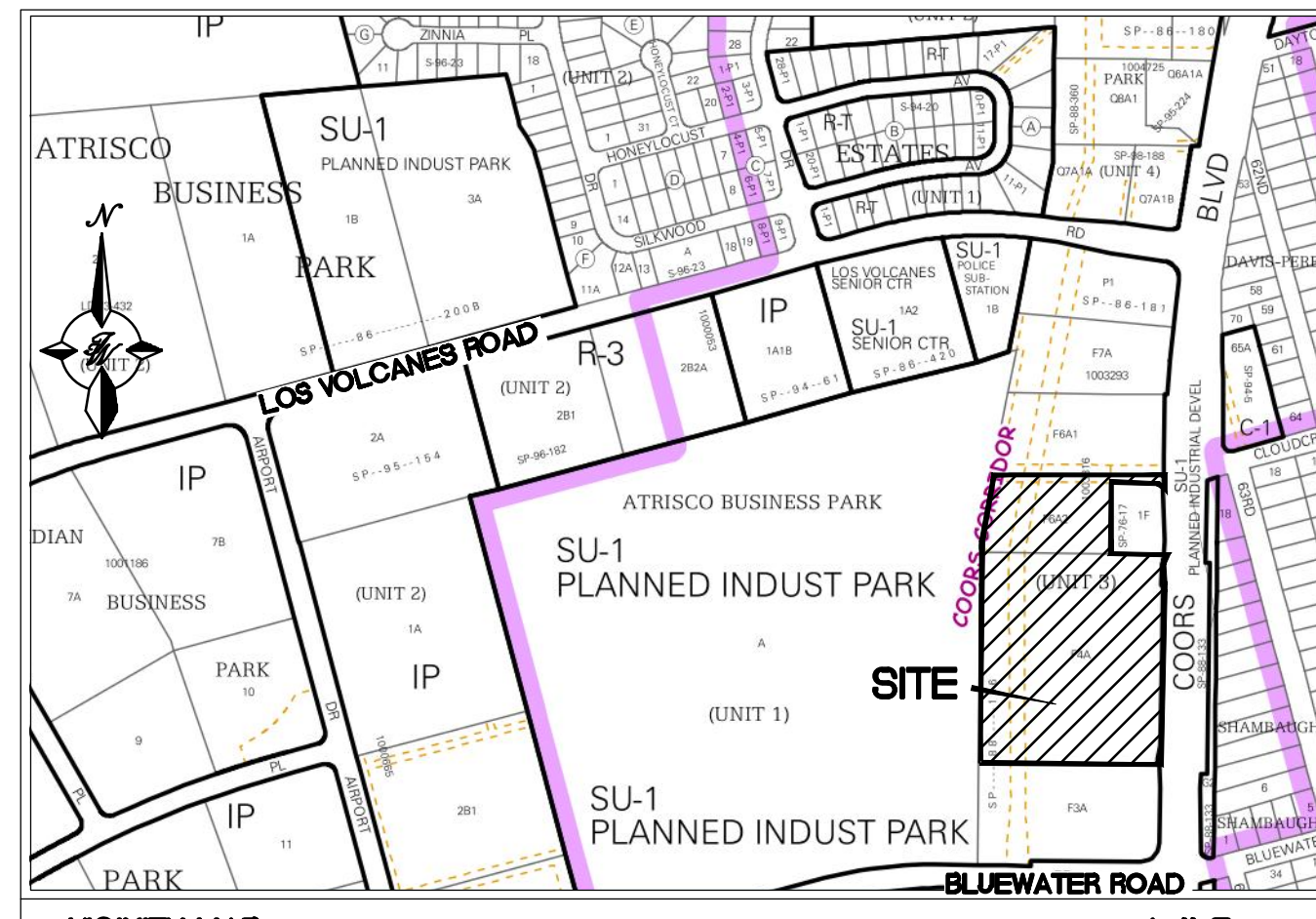
Traffic Engineer, Transportation Division	Date
ABCWUA	Date
Parks & Recreation Department	Date
City Engineer/Hydrology	Date
Code Enforcement	Date
*Environmental Health Department (conditional)	Date
Herman Gallegos	12-20-21
Solid Waste Management	Date
DRB Chairperson, Planning Department	Date
* Environmental Health, if necessary	

CLEAR SIGHT TRIANGLE NOTE:

LANDSCAPING, SIGNAGE, WALLS, FENCES, TREES, AND SHRUBBERY BETWEEN 3 FEET AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) ARE NOT ALLOWED WITHIN THE CLEAR SIGHT TRIANGLE.

SENIOR HOUSING NOTE:

ALL UNITS ASSOCIATED WITH THE LA SERENA DEVELOPMENT ARE INTENDED TO BE SENIOR HOUSING AND WILL BE REQUIRED AS SUCH.



LEGAL DESCRIPTION:

PROPERTY ADDRESS: (vacant land) on Coors Boulevard N.W., Albuquerque, New Mexico  
U.P.C. No. 1-010-058-469-059-406-06  
U.P.C. No. 1-010-058-472-018-406-05

LEGAL DESCRIPTION:

Tract F-4-A, of the Plot of Tracts F-3-A, F-4-A & F-6-A, ATRISCO BUSINESS PARK, UNIT 3, Albuquerque, New Mexico, as the same is shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on April 29, 1988 in Plat Book C36, Folio 97. AND Tract F-6-A-2 of ATRISCO BUSINESS PARK, UNIT 3, as the same is shown and designated on the plot thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico, on December 15, 2004 in Plat Bk. 2004C, Page 388.

GROSS AREA OF SURVEY: 8.9567 Ac., more or less.

SITE DATA - SAN ROQUE

PROPOSED USAGE: MULTI-FAMILY AFFORDABLE HOUSING  
IDO CLASSIFICATION: RESIDENTIAL MULTI-FAMILY  
PROPOSED LOT AREA: 6.22 ACRES (270,843 SF)

MAIN BUILDING AREA: 161,282 SF  
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF  
TOTAL BUILDING AREA: 6-BAY ADA = 1,642 SF  
175,974 SF

MAIN BUILDING UNITS: 117 UNITS  
TOTAL UNITS: 117 UNITS

PARKING REQUIRED: 176 SPACES (1.5 SPACES/DU)

W/ 30% REDUCTION (TRANSIT PROXIMITY + MT CORRIDOR IN AREA OF CHANGE): 176-(176\*0.3) = 124 SPACES

SITE DATA - LA SERENA

PROPOSED USAGE: SENIOR LIVING AFFORDABLE HOUSING  
IDO CLASSIFICATION: RESIDENTIAL MULTI-FAMILY  
PROPOSED LOT AREA: 2.73 ACRES (119,313 SF)

MAIN BUILDING AREA: 78,024 SF  
GARAGE BLDG AREA (EA): 6-BAY STANDARD = 1,450 SF  
TOTAL BUILDING AREA: 6-BAY ADA = 1,642 SF  
81,116 SF

MAIN BUILDING UNITS: 74 UNITS  
TOTAL UNITS: 74 UNITS

PARKING REQUIRED: 111 SPACES (1.5 SPACES/DU)

W/ 30% REDUCTION (TRANSIT PROXIMITY + MT CORRIDOR IN AREA OF CHANGE): 111-(111\*0.3) = 78 SPACES

SITE PARKING DATA - OVERALL

TOTAL PARKING REQUIRED: 124 + 78 = 202 SPACES  
TOTAL PARKING PROVIDED\*: 277 SPACES

ADA PARKING SPACES REQUIRED: 12 SPACES  
ADA PARKING SPACES PROVIDED: 20 SPACES  
VAN ACCESSIBLE REQUIRED: 2 SPACES  
VAN ACCESSIBLE PROVIDED: 20 SPACES

ELECTRIC VEHICLE SPACES REQUIRED: 6 SPACES  
ELECTRIC VEHICLE SPACES PROVIDED: 8 SPACES

BICYCLE PARKING REQUIRED: 21 SPACES  
BICYCLE PARKING PROVIDED: 24 SPACES

\*SHARED PARKING AND ACCESS AGREEMENT BETWEEN SAN ROQUE AND LA SERENA LOTS TO BE GRANTED DURING REPLAT OF PROPERTIES

LEGEND

—	PROPOSED CURB & GUTTER
---	BOUNDARY LINE
▬	BUILDING
▬	SIDEWALK
○	PERIMETER FENCE
---	EXISTING CURB & GUTTER
---	PROPOSED BOUNDARY LINE
▬	CONCRETE VALLEY GUTTER
○	PARKING COUNT
○	EV CHARGING STATION
▬	DRAINAGE INLET
▬	CLEAR SIGHT TRIANGLE
▬	ADA ROUTE FROM ROW

CAUTION:

ALL EXISTING UTILITIES SHOWN WERE OBTAINED FROM RESEARCH, AS-BUILTS, SURVEYS OR INFORMATION PROVIDED BY OTHERS. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONDUCT ALL NECESSARY FIELD INVESTIGATIONS PRIOR TO AND INCLUDING ANY EXCAVATION, TO DETERMINE THE ACTUAL LOCATION OF UTILITIES AND OTHER IMPROVEMENTS, PRIOR TO STARTING THE WORK. ANY CHANGES FROM THIS PLAN SHALL BE COORDINATED WITH AND APPROVED BY THE ENGINEER.



erstadARCHITECTS, PA  
310 N. 5th Street, Suite 100  
Albuquerque, NM 87102  
(505) 858-3100  
www.erstadarchitects.com

TERRA WEST, LLC  
5571 MIDWAY PARK PLACE NE  
ALBUQUERQUE, NM 87109  
(505) 858-3100  
www.tierrowestllc.com

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san roque & la serena  
457 coors blvd. nw  
albuquerque, new mexico 87121

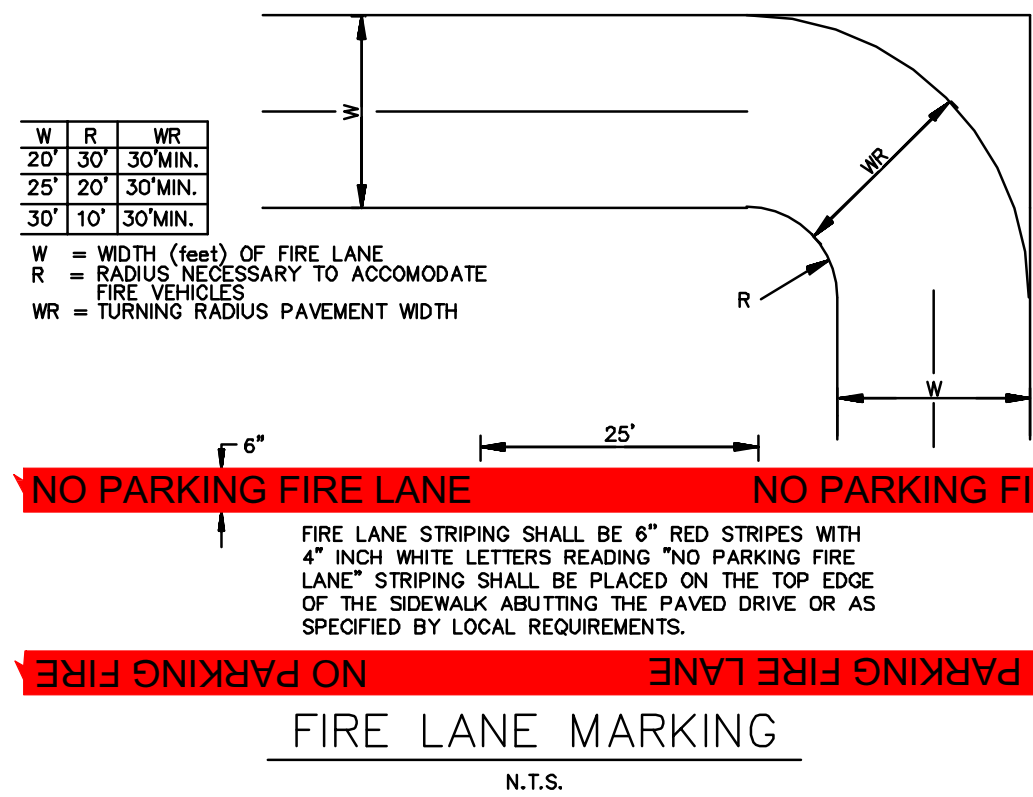
revision:  
no. desc. date  
F VE/ES/CC 12.13.21

project: 2020010  
date: 12.13.2021  
drawn: vp, bf  
checked: vp

Permit Set

Site Plan For  
Building  
Permit

c1.0



#### NOTES

- ON SITE FIRE LANE ROAD SHALL BE MARKED ON BOTH SIDES, AS DIRECTED BY FIRE MARSHALL.
- FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE AND SHALL HAVE AN ALL WEATHER DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75000 LBS.
- KNOX KEY SWITCH SHALL BE MOUNTED BETWEEN 4 AND 6 FEET ABOVE GRADE AND SHALL BE ILLUMINATED. ONE IS TO BE PROVIDED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
- KNOX KEY SWITCH REQUIRED FOR ALL ELECTRIC GATES AND ALL BUILDINGS.
- BUILDINGS WILL REQUIRE VERTICAL AND HORIZONTAL FIRE SEPARATION BETWEEN EACH DWELLING UNIT WITH A FIRE-RESISTANCE RATING NO LESS THAN 2 HOURS PER 707.3.10 OF THE IBC.
- ALL CURB ALONG FIRE ACCESS ROADS TO BE 6" HEADER CURB UNLESS OTHERWISE NOTED ON THE PLAN.

#### CAUTION:

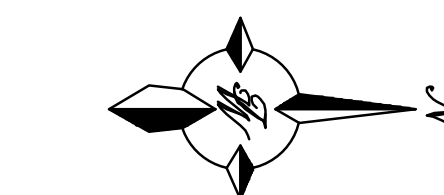
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#### LEGEND

- HEADER CURB
- BOUNDARY LINE
- EXISTING CURB & GUTTER
- EXISTING BOUNDARY LINE
- EXISTING WATER LINE
- PROPOSED FIRE LINE
- PROPOSED FENCE
- PROPOSED BUILDING
- FIRE ACCESS ROAD
- EXISTING HYDRANT
- PROPOSED HYDRANT
- FIRE LANE MARKING (SEE DETAIL THIS SHEET)

#### KEYED NOTES

- ① 6" HEADER CURB



#### GRAPHIC SCALE

SCALE: 1"=30'

#### LEGAL DESCRIPTION

PROPERTY ADDRESS: (vacant land) on Coors Boulevard N.W., Albuquerque, New Mexico  
U.P.C. No. 1-010-058-469-059-406-06  
U.P.C. No. 1-010-056-472-018-406-05

#### LEGAL DESCRIPTION:

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GROSS AREA OF SURVEY: 8.9567 Ac., more or less.

BLDG A:  
Building Footprint = 41,753 SF  
4 Story High Building  
Occupancy Type = R2  
Construction Type = V-B  
Sprinklered System in Bldg  
Fire Separation = 2-Hour Rating  
Fire-Flow = 2,000 gpm

BLDG B:  
Building Footprint = 26,158 SF  
3 Story High Building  
Occupancy Type = R2  
Construction Type = V-B  
Sprinklered System in Bldg  
Fire Separation = 2-Hour Rating  
Fire-Flow = 2,000 gpm

BLDG C:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG D:  
Building Footprint = 1,642 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG E:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG F:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG G:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG H:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG I:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

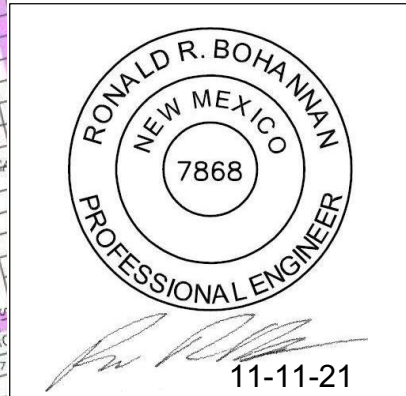
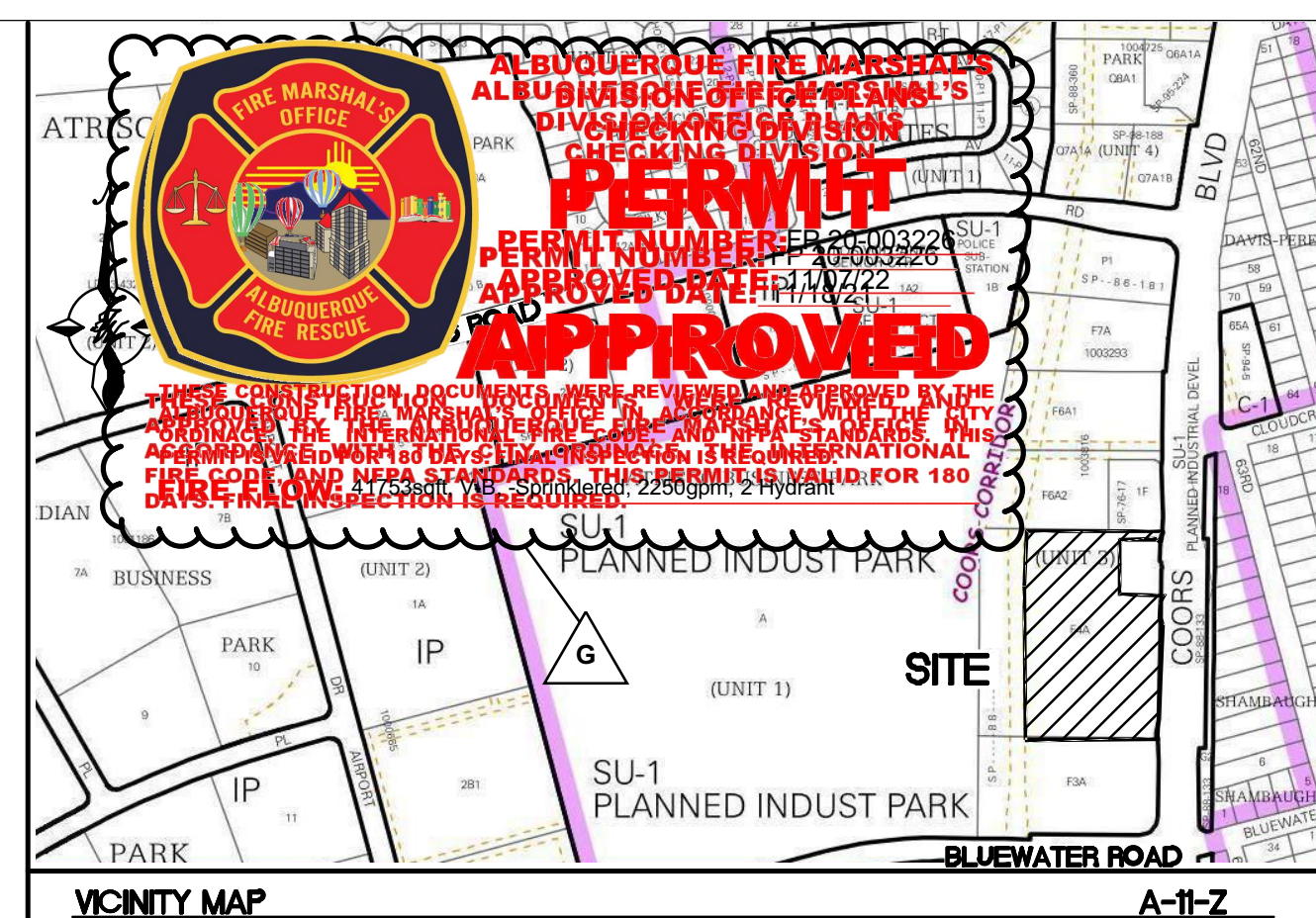
BLDG J:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG K:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG L:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG M:  
Building Footprint = 1,642 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm

BLDG N:  
Building Footprint = 1,450 SF  
1 Story High Building  
Occupancy Type = U  
Construction Type = V-B  
Non-Sprinklered  
Fire Separation = 2-Hour Rating  
Fire-Flow = 1,500 gpm



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san roque & la serena  
457 coors blvd. nw  
albuquerque, new mexico 87121

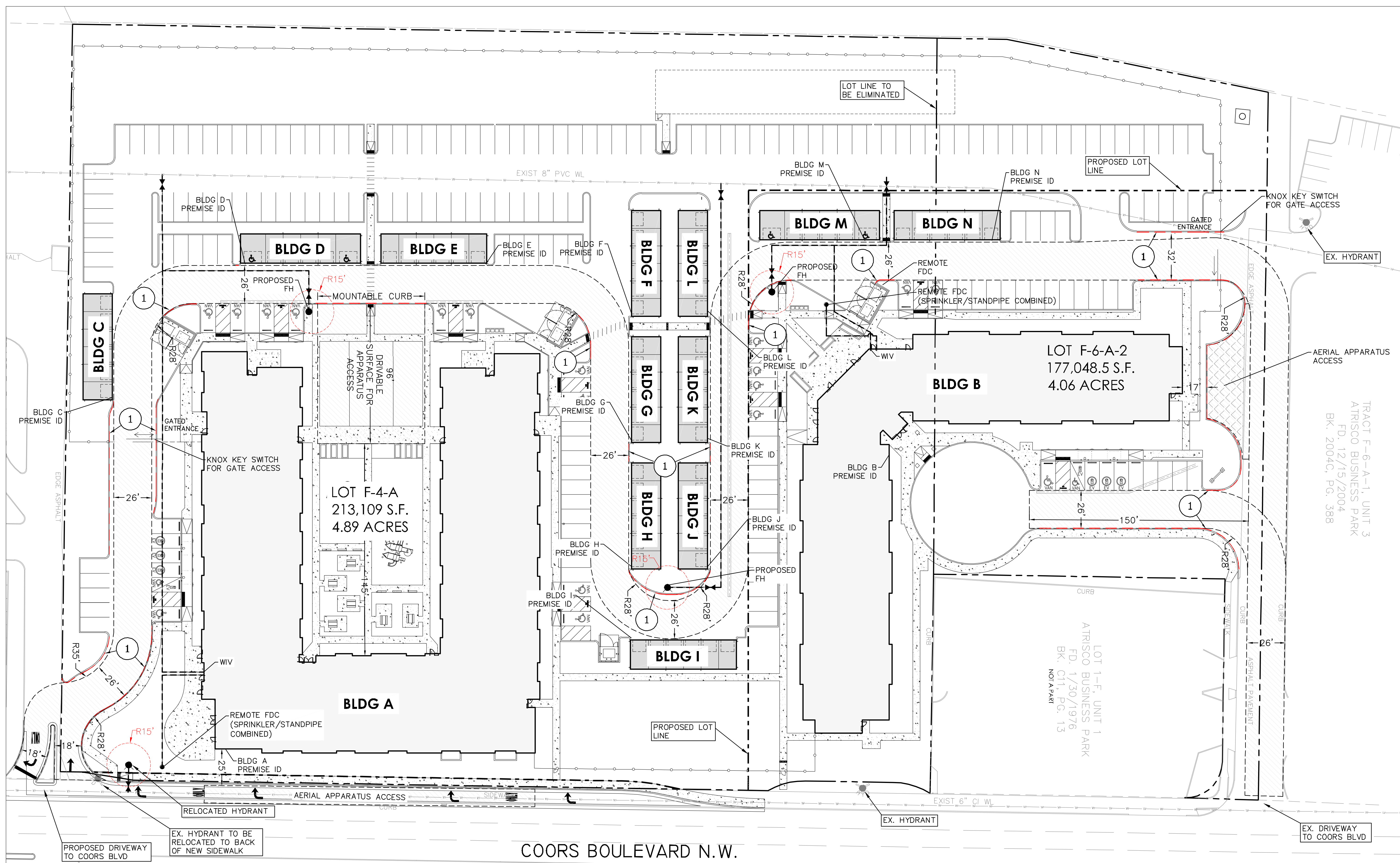
revision:  
no. desc. date  
G CITY COMM 02.11.22

project: 2020010  
date: 11.10.2021  
drawn: vp, bf  
checked: vp

Permit Set

FIRE 1  
PLAN

c6.0





# City of Albuquerque

Planning Department  
Development Review Services Division

## Traffic Scoping Form (REV 07/2020)

**Project Title:** San Roque & La Serena

Building Permit #: \_\_\_\_\_ Hydrology File #: J10D049

Zone Atlas Page: J-10-Z DRB#: \_\_\_\_\_ EPC#: 2020-004193  
RZ-2020-00020 Work Order#: \_\_\_\_\_

Legal Description: Tracts F-6-A-2-A & F-4-A-1, Unit 3, Atrisco Business Park

Development Street Address: 441 & 457 Coors Blvd NW, Albuquerque, NM 87121

**Applicant:** Tierra West, LLC Contact: Vinny Perea

Address: 5571 Midway Park PI NE, Albuquerque, NM 87109

Phone#: 505-858-3100 Fax#: 505-858-1118

E-mail: vperea@tierrawestllc.com

### Development Information

Build out/Implementation Year: 2024 Current/Proposed Zoning: MX-M

Project Type: New: (X) Change of Use: ( ) Same Use/Unchanged: ( ) Same Use/Increased Activity: ( )

Change of Zoning: ( )

Proposed Use (mark all that apply): Residential: (X) Office: ( ) Retail: ( ) Mixed-Use: ( )

Describe development and Uses:

San Roque is a multi-family affordable housing development w/ 4-Story Building and Garage Lofts, total of 138 units.

La Serena is an independent senior-living affordable housing development w/ 4-Story Building, total of 100 units.

Days and Hours of Operation (if known): \_\_\_\_\_

### Facility

Building Size (sq. ft.): San Roque Main Building = 161,282 sf; Garage Lofts = 1,775 - 1,969 sf (Total 12 Buildings)  
La Serena Main Building = 100,880 sf; Garage Buildings = 1,450 - 1,642 sf (Total 3 Buildings)

Number of Residential Units: San Roque = 137 Units  
La Serena = 100 Units

Number of Commercial Units: \_\_\_\_\_

### Traffic Considerations

ITE Trip Generation Land Use Code San Roque = Multifamily Housing (Mid-Rise) (221)  
La Serena = Senior Adult Housing-Attached (252)

Expected Number of Daily Visitors/Patrons (if known):\* \_\_\_\_\_

Expected Number of Employees (if known):\* \_\_\_\_\_

AM peak 71 trips  
PM peak 78 trips

Expected Number of Delivery Trucks/Buses per Day (if known):\* \_\_\_\_\_

Trip Generations during PM/AM Peak Hour (if known):\* San Roque: AM = 12(Enter), 39(Exit) PM = 33(Enter), 20(Exit)  
La Serena: AM = 7(Enter), 13 (Exit) PM = 14(Enter), 11(Exit)

Driveway(s) Located on: Street Name 2 Existing Driveways on Coors Blvd

Adjacent Roadway(s) Posted Speed: Street Name Coors Blvd Posted Speed 45 MPH

Street Name

Posted Speed

*\* If these values are not known, assumptions will be made by City staff. Depending on the assumptions, a full TIS may be required.)*

### **Roadway Information (adjacent to site)**

Comprehensive Plan Corridor Designation/Functional Classification: Major Transit Corridor, Principal Arterial  
(arterial, collector, local, main street)

Comprehensive Plan Center Designation: N/A  
(urban center, employment center, activity center, etc.)

Jurisdiction of roadway (NMDOT, City, County): NMDOT

Adjacent Roadway(s) Traffic Volume: 42,100 Volume-to-Capacity Ratio (v/c): 0.25-0.50  
(if applicable)

Adjacent Transit Service(s): Bus Stops at NE & SE Corners of Site Nearest Transit Stop(s): NE Corner of Site

Is site within 660 feet of Premium Transit?: No

Current/Proposed Bicycle Infrastructure: None  
(bike lanes, trails)

Current/Proposed Sidewalk Infrastructure: NE Corner of Site

### **Relevant Web-sites for Filling out Roadway Information:**

City GIS Information: <http://www.cabq.gov/gis/advanced-map-viewer>

Comprehensive Plan Corridor/Designation: See GIS map.

Road Corridor Classification: <https://www.mrcog-nm.gov/DocumentCenter/View/1920/Long-Range-Roadway-System-LRRS-PDF?bidId=>

Traffic Volume and V/C Ratio: <https://www.mrcog-nm.gov/285/Traffic-Counts> and <https://public.mrcog-nm.gov/taqa/>

Bikeways: [http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL\\_Jun25.pdf](http://documents.cabq.gov/planning/adopted-longrange-plans/BTFP/Final/BTFP%20FINAL_Jun25.pdf) (Map Pages 75 to 81)

### **TIS Determination**

**Note:** Changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

Traffic Impact Study (TIS) Required: Yes [ ] No ☒

Thresholds Met? Yes [ ] No ☒

Mitigating Reasons for Not Requiring TIS: Previously Studied: [ ]

Notes:

*M. P. E.*

7/13/2023

TRAFFIC ENGINEER

DATE

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## **Submittal**

The Scoping Form must be submitted as part of a Traffic Circulation Layout submittal, DRB application for site plan approval, or EPC application. See the Development Process Manual Chapter 7.4 for additional information.

Submit by email to [plndrs@cabq.gov](mailto:plndrs@cabq.gov) and to the City Traffic Engineer [mgrush@cabq.gov](mailto:mgrush@cabq.gov). Call 924-3362 for information.

### **Site Plan/Traffic Scoping Checklist**

Site plan, building size in sq. ft. (show new, existing, remodel), to include the following items as applicable:

1. Access -- location and width of driveways
2. Sidewalks (Check DPM and IDO for sidewalk requirements. Also, Centers have wider sidewalk requirements.)
3. Bike Lanes (check for designated bike routes, long range bikeway system) ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
4. Location of nearby multi-use trails, if applicable ([\*check MRCOG Bikeways and Trails in the 2040 MTP map\*](#))
5. Location of nearby transit stops, transit stop amenities (eg. bench, shelter). Note if site is within 660 feet of premium transit.
6. Adjacent roadway(s) configuration (number of lanes, lane widths, turn bays, medians, etc.)
7. Distance from access point(s) to nearest adjacent driveways/intersections.
8. Note if site is within a Center and more specifically if it is within an Urban Center.
9. Note if site is adjacent to a Main Street.
10. Identify traffic volumes on adjacent roadway per MRCOG information. If site generates more than 100 vehicles per hour, identify volume to capacity (v/c) ratio on this form.