

CITY OF ALBUQUERQUE



November 7, 2017

Steven Alano, AIA
Greer Stafford/SJCF Architecture, INC.
1717 Louisiana Blvd
Albuquerque, NM 87110

Re: Pat Hurley Community Center, 3828 Rincon Rd. NW
Request for Certificate of Occupancy
Transportation Development Final Inspection
Architect's Stamp dated 04-01-16 (J11-D012)
Certification dated 10-18-17

Dear Mr. Alano,

Based upon the information provided in your submittal received 11-07-17, Transportation Development has no objection to the issuance of a Permanent Certificate of Occupancy. This letter serves as a "green tag" from Transportation Development for a Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at (505)924-3630.

Sincerely,

Logan Patz
Senior Engineer, Planning Department
Development Review Services

LWP via: email
C: CO Clerk, File



City of Albuquerque

Planning Department
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 1/2016)

Project Title: PAT HURLEY COMMUNITY CENTER **Building Permit #:** T201690936 **Hydrology File #:** J11D012
DRB#: N/A **EPC#:** N/A **Work Order#:** _____
Legal Description: PAT HURLEY PARK, GLENDALE GARDENS NO. 2 **UPC:** 101105832408340143
City Address: 3828 RINCON ROAD, NW ALBUQUERQUE, NM 87102

Applicant: GREER STAFFORD/SJCF ARCHITECTURE, INC. **Contact:** STEVEN J. ALANO, AIA
Address: 1717 LOUISIANA BLVD. NE, SUITE 205 ALBQ., NM 87110 **PROJECT ARCHITECT**
Phone#: (505) 821-0235 **Fax#:** (505) 821-0348 **E-mail:** salano@greer-stafford.com

Other Contact: GREER STAFFORD/SJCF ARCHITECTURE, INC. **Contact:** CHRISTOPHER K. RASMUSSEN, AIA
Address: 1717 LOUISIANA BLVD. NE, SUITE 205 ALBQ., NM 87110 **PRINCIPAL-IN-CHARGE**
Phone#: (505) 821-0235 **Fax#:** (505) 821-0348 **E-mail:** crasmussen@greer-stafford.com

Check all that Apply:

DEPARTMENT:

☐ HYDROLOGY/ DRAINAGE
☒ TRAFFIC/ TRANSPORTATION
☐ MS4/ EROSION & SEDIMENT CONTROL

TYPE OF SUBMITTAL:

☒ AS-BUILT CERTIFICATION

☐ CONCEPTUAL G & D PLAN
☐ GRADING PLAN
☐ DRAINAGE MASTER PLAN
☐ DRAINAGE REPORT
☐ CLOMR/LOMR

☐ TRAFFIC CIRCULATION LAYOUT (TCL)
☐ TRAFFIC IMPACT STUDY (TIS)
☐ NEIGHBORHOOD IMPACT ASSESMENT (NIA)

☐ EROSION & SEDIMENT CONTROL PLAN (ESC)
☐ OTHER (SPECIFY) _____

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

☐ BUILDING PERMIT APPROVAL
☒ CERTIFICATE OF OCCUPANCY
☐ GRADING/ESC PERMIT APPROVAL

☐ PRELIMINARY PLAT APPROVAL
☐ SITE PLAN FOR SUB'D APPROVAL
☐ SITE PLAN FOR BLDG. PERMIT APPROVAL
☐ FINAL PLAT APPROVAL

☐ SIA/ RELEASE OF FINANCIAL GUARANTEE
☐ FOUNDATION PERMIT APPROVAL
☐ SO-19 APPROVAL
☐ PAVING PERMIT APPROVAL
☐ GRADING/ PAD CERTIFICATION
☐ WORK ORDER APPROVAL
☐ CLOMR/LOMR

☐ PRE-DESIGN MEETING?

☐ OTHER (SPECIFY) _____

IS THIS A RESUBMITTAL?: ☐ Yes ☒ No

DATE SUBMITTED: MAY 03, 2016 **By:** STEVEN J. ALANO, AIA

COA STAFF: _____ **ELECTRONIC SUBMITTAL RECEIVED:** _____

FEE RECEIVED: _____



GREER STAFFORD/SJCF ARCHITECTURE, INC.
1717 Louisiana Blvd NE, Suite 205
Albuquerque, NM 87110
OFFICE: (505) 821-0235 | FAX: (505) 821-0348
www.greer-stafford.com

TRAFFIC CERTIFICATION

I, **Christopher K. Rasmussen**, NMRA #1104, of the firm **Greer Stafford/SJCF Architecture, Inc.** hereby certify that this project is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout drawings approved plan dated **May 10, 2016**. The record information edited onto the original document has been obtained by my firm. I further certify that I have personally visited the project site on **07/28/2017** and have determined by visual inspection that the data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

This certification is submitted in support for a ***Certificate of Occupancy***.

The record information presented hereon is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Christopher K. Rasmussen, AIA
Senior Vice President

Date

D3CB45

APPLICABLE CODES:

USE AND OCCUPANCY CLASSIFICATION - CHAPTER 3
OCCUPANCY GROUP: A-3

GENERAL BUILDING HEIGHTS AND AREAS - CHAPTER 5

CONSTRUCTION TYPE: II-B, 1 STORY
BASIC ALLOWABLE BUILDING AREA FOR A-3 OCCUPANCY GROUP: 9,500 SF (IBC TABLE 503)

ALLOWABLE AREA INCREASE FOR FRONTAGE AND AUTOMATIC SPRINKLER SYSTEM: REFER TO THIS CODE REVIEW WORKSHEET AND ALLOWABLE AREA CALCULATIONS

TYPE OF CONSTRUCTION - CHAPTER 6
FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS FOR CONSTRUCTION TYPE II-B (IBC TABLE 601):

PRIMARY STRUCTURAL FRAME: NOT REQUIRED
EXTERIOR BEARING WALLS: NOT REQUIRED
INTERIOR BEARING WALLS: NOT REQUIRED
NON-BEARING EXTERIOR WALLS: NOT REQUIRED
NON-BEARING INTERIOR WALLS: NOT REQUIRED

FIRE RESISTANCE REQUIREMENTS FOR EXTERIOR WALLS BASED ON DISTANCE FOR OCCUPANCY GROUP A-3 (IBC TABLE 602).

LESS THAN 5': 1-HR
5' TO 10': 1-HR
10' TO 30': NOT REQUIRED
GREATER THAN 30': NOT REQUIRED

INTERIOR FINISHES - CHAPTER 8
**INTERIOR WALL AND CEILING FINISH REQUIREMENTS FOR OCCUPANCY GROUP A-3,
 SPRINKLED (IBC TABLE 803.9).**

EXIT ENCLOSURES AND PASSAGEWAYS: B (26 - 75 FLAME SPREAD INDEX)
CORRIDORS: B (26 - 75 FLAME SPREAD INDEX)
ROOMS AND ENCLOSED SPACES: C (76 - 200 FLAME SPREAD INDEX)

SMOKE DEVELOPED INDEX: ALL AT 0 - 450

FIRE PROTECTION SYSTEMS - CHAPTER 9
AN AUTOMATIC SPRINKLER SYSTEM WILL BE PROVIDED THROUGHOUT.

MEANS OF EGRESS - CHAPTER 10
DESIGN OCCUPANCY LOAD: REFER TO THIS SHEET FOR CODE REVIEW WORKSHEET AND
OCCUPANT LOAD CALCULATIONS.

MINIMUM REQUIRED EGRESS (IBC 1005):
EGRESS WIDTH OF 0.2" PER OCCUPANT AT EXITS AND MINIMUM 32" CLEAR WIDTH AT
EGRESS DOOR REQUIRED.

135 OCCUPANTS X 0.2" = 27.0" OF EGRESS WIDTH REQUIRED
222" OF COMBINED EGRESS WIDTH PROVIDED AT 4 EXITS

MAXIMUM TRAVEL DISTANCE TO EXIT FOR OCCUPANCY GROUP A-3, SPRINKLED (IBC TABLE 1016.1): 250 FT.

ALL AREAS OF THE BUILDING COMPLY WITH MAXIMUM TRAVEL DISTANCE REQUIREMENTS ABOVE.

REQUIRED CORRIDOR FIRE RESISTANCE RATING FOR OCCUPANCY GROUP A-3, SPRINKLED
(IBC TABLE 1018.1): NOT REQUIRED

ROOF ASSEMBLIES AND ROOFTOP STRUCTURES - CHAPTER 15
MINIMUM ROOF COVERING CLASSIFICATION, TYPE II-B (IBC TABLE 1505.1); C

PLUMBING SYSTEMS - CHAPTER 29
REFER TO THIS SHEET FOR CODE REVIEW WORKSHEET AND PLUMBING FIXTURE
CALCULATIONS.

PARKING REQUIREMENTS PER CITY OF ALBUQUERQUE ZONING CODE
PARKING FOR COMMUNITY CENTER IS 1-SPACE PER 200 NET SQUARE FEET (SF) OF ACTIVITY AREA:

NET ACTIVITY AREA: 2,805 S.F. / 200 SF = 14-SPACES REQUIRED
ADA ACCESSIBLE PARKING (1-VAN ACCESSIBLE): 1-SPACE REQUIRED
TOTAL PARKING: 15-SPACES REQUIRED

PARKING SPACES: 20-SPACES PROVIDED
ADA ACCESSIBLE PARKING (2-VAN ACCESSIBLE): 2-SPACES PROVIDED
TOTAL PARKING: 22-SPACES PROVIDED

MOTORCYCLE PARKING (1-25): 1-SPACE REQUIRED
TOTAL MOTORCYCLE PARKING: **2-SPACES PROVIDED**

<u>BIKE RACK (2-MIN. OR 1:20 PARKING SPACES):</u>	<u>2-SPACES REQUIRED</u>
TOTAL BICYCLE PARKING:	10-SPACES PROVIDED

FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER IN CABINET
X	EXIT SIGNAGE
E	EMERGENCY LIGHT FIXTURE

ROOM ← ROOM NAME
000 ← ROOM NUMBER
100 SF ← ROOM AREA
2 ← NUMBER OF OCCUPANTS

D



THIS DRAWING IS INCOMPLETE AND NOT
BE USED FOR CONSTRUCTION UNLESS IT
STAMPED, SIGNED, AND DATED BELOW



PAT HURLEY COMMUNITY CENTER
CITY OF ALBUQUERQUE
8828 RINCON ROAD, NW ALBUQUERQUE, NM 87102

[illegible]

PROJECT NO: 5239.01
DRAWN BY: Author
CHECKED BY: Checker
BREWER STAFFORD/SJCF ARCHITECTS
SHEET TITLE
CODE REVIEW

DRAWING SHEET

G002



GENERAL SHEET NOTES

- LINK: <http://ftp.greer-stafford.com/Contractors/5239.01-FTP-Pat-Hurley-CC>
USER NAME: gs1717
PASSWORD: 0307

02 00 00.04	EXISTING CONCRETE SIDEWALK TO REMAIN
02 00 00.06	EXISTING PLAYGROUND, PLAY EQUIPMENT, FALL SURFACE, AND PLAY SAND TO REMAIN IN THIS AREA
02 00 00.07	EXISTING BICYCLE RACK TO REMAIN, REFINISH - REFER TO LANDSCAPE
02 00 00.08	EXISTING RETAINING WALLS AND/OR STAIRS & HANDRAILS TO REMAIN
02 00 00.09	EXISTING BASKETBALL COURT, GOALS, STAIRS, HANDRAILS, & TRENCH DRAINS TO REMAIN
02 00 00.10	EXISTING ASPHALT PARKING, RESURFACE - REFER TO CIVIL
02 00 00.11	PORTABLE BUILDING SANITARY SEWER CLEANOUTS CAPPED BEYOND BY OTHERS, VIF - REFER TO CIVIL & PLUMBING
02 00 00.12	EXISTING SHADE CANOPY WITH PUBLIC ART TO REMAIN
02 00 00.13	EXISTING PIPE GATE TO REMAIN
02 00 00.15	EXISTING CONCRETE HEADER CURB TO REMAIN
02 00 00.17	EXISTING FIRE HYDRANT TO REMAIN
02 00 00.18	EXISTING DUMPSTER PAD, ENCLOSURE & BOLLARDS TO REMAIN
02 00 00.19	EXISTING CMU WALL TO REMAIN
02 00 00.20	EXISTING CONCRETE CURB AND GUTTER TO REMAIN
02 00 00.21	EXISTING CONCRETE WALL TO REMAIN
02 00 00.22	EXISTING LIGHT POLE /CONCRETE BASE TO REMAIN - REFER TO ELECTRICAL FOR LIGHTING UPGRADES
02 00 00.23	EXISTING TRASH RECEPTACLE - REFER TO LANDSCAPE
02 00 00.24	EXISTING CANOPY FOOTINGS - REFER TO RECORD DRAWINGS PER GENERAL NOTES
02 00 00.26	EXISTING STORM DRAIN & LINE TO REMAIN - REFER TO CIVIL
02 00 00.27	EXISTING GRASS TURF FIELD TO REMAIN
02 00 00.28	EXISTING LANDSCAPE AREA - REFER TO LANDSCAPE
02 00 00.29	EXISTING SPRINKLER VALVE BOX - REFER TO LANDSCAPE
02 00 00.30	EXISTING TREE TO REMAIN
02 00 00.31	TEMPORARILY SHORE FOOTING AT CONCRETE WALL TO RUN NEW ELECTRICAL FEEDER BELOW, RE-COMPACT GRADE AS REQUIRED TO SUPPORT WALL/FOOTING
02 00 00.32	EXISTING SIDEWALK CULVERT TO REMAIN
02 00 00.33	EXISTING GUARD RAIL TO REMAIN
02 00 00.34	EXISTING STORM DRAIN MAIN HOLE TO REMAIN
02 00 00.35	EXISTING TRENCH DRAIN TO REMAIN
02 00 00.36	EXISTING CONCRETE PAVING TO REMAIN
02 41 00.01	SAWCUT AND REMOVE EXISTING CONCRETE SIDEWALK TO EXTENT SHOWN
02 41 00.02	SAWCUT AND REMOVE EXISTING ASPHALT AND/OR CONCRETE SITE PAVING TO EXTENTS SHOWN; REPLACE WITH NEW CONSTRUCTION; REFER TO CIVIL
02 41 00.04	REMOVE FENCE AND/OR GATE IN THEIR ENTIRETY
02 41 11.21	REMOVE EXISTING TREE PLANTER IN ITS ENTIRETY. SALVAGE EXISTING NARROW TREE GRATES, TYPICAL OF 9 - REFER TO NEW CONSTRUCTION
02 41 11.22	REMOVE CONCRETE HEADER CURB IN ITS ENTIRETY TO EXTENT SHOWN
02 41 11.23	REMOVE EXISTING AMPHITHEATER BRICK, SALVAGE FOR REUSE, TYPICAL - REFER TO NEW CONSTRUCTION
02 41 11.24	REMOVE EXISTING AMPHITHEATER IN ITS ENTIRETY. REMOVE ALL RETAINING WALLS, FOOTINGS, SEAT WALLS, ETC. THROUGHOUT
02 41 11.25	REMOVE EXISTING CONCRETE RAMP AND CURBS IN THEIR ENTIRETY
02 41 11.26	REMOVE EXISTING PARKING SIGNAGE IN ITS ENTIRETY
02 41 11.27	REMOVE EXISTING DRINKING FOUNTAIN IN ITS ENTIRETY, SALVAGE TO OWNER - REFER TO LANDSCAPE FOR WATER LINE/WASTE WATER CONNECTIONS AND/OR CAPPING REQUIRED
02 41 11.28	EXISTING SHADE CANOPY WITH PUBLIC ART TO BE REMOVED BY OTHERS AND RELOCATED UNDER NEW CONSTRUCTION BY THIS CONTRACTOR. CONTRACTOR SHALL REMOVE ANY AND ALL EXISTING FOUNDATIONS IN THEIR ENTIRETY. EXISTING RECORD DRAWINGS ARE AVAILABLE FROM THE ARCHITECT AND OWNER. REFER TO GENERAL SHEET NOTES.
02 41 11.29	REMOVE EXISTING LIGHT POLES & CONCRETE BASES/FOOTINGS IN THEIR ENTIRETY. SALVAGED LIGHT POLES/FIXTURES TO OWNER, TYPICAL OF 7 - REFER TO ELECTRICAL
02 41 11.31	REMOVE EXISTING TREES IN THEIR ENTIRETY. CONTRACTOR TO SALVAGE ALL TREES, STUMP PROTECT, & RETURN TO OWNER. CONTRACTOR SHALL COORDINATE WITH CITY OF ALBUQUERQUE FORESTER FOR EXACT REQUIREMENTS.
02 41 11.32	REMOVE EXISTING CONCRETE RAMP, STEP, HEADER CURB AND HANDRAILS IN THEIR ENTIRETY
02 41 11.33	REMOVE EXISTING ASPHALT AND/OR CONCRETE TO ACCOMMODATE NEW UTILITY INSTALLATION. REPLACE WITH NEW CONSTRUCTION TO MATCH EXISTING; REFER TO CIVIL & LANDSCAPE
02 41 11.34	PORTABLE BUILDING #1 FOUNDATIONS, PIERS, PERIMETER CMU APRON WALL, ETC., TO BE REMOVED BY OTHERS. AREA SHALL BE OVER EXCAVATED BY 3'-0". APPROXIMATELY 2,000 SF (VIF). CONTRACTOR SHALL BACKFILL, COMPACT, GRADE ETC., REFER TO STRUCTURAL SPECIFICATIONS
02 41 11.35	PORTABLE BUILDING #2 FOUNDATIONS, PIERS, PERIMETER CMU APRON WALL, ETC., REMOVED BY OTHERS. AREA SHALL BE OVER EXCAVATED BY 3'-0". APPROXIMATELY 1,900 SF (VIF). CONTRACTOR SHALL BACKFILL, COMPACT, GRADE ETC., REFER TO CIVIL SPECIFICATIONS
02 41 11.36	REMOVE EXISTING CONCRETE RETAINING WALL/FOOTINGS IN THEIR ENTIRETY
02 41 11.37	REMOVE EXISTING BENCH IN ITS ENTIRETY, SALVAGE TO OWNER
02 41 11.38	REMOVE GUARDRAIL IN ITS ENTIRETY
02 41 11.39	REMOVE EXISTING RETAINING WALLS, STAIRS, ETC., IN THEIR ENTIRETY
02 41 11.40	AMPHITHEATER AREA: REMOVE EXISTING CONCRETE WALKS, TREE GRATE FRAMES, TRENCH DRAINS IN THEIR ENTIRETY, TYPICAL - REFER TO 02 41 11.21 FOR SALVAGED GRATES
02 41 11.41	REMOVE EXISTING STEEL CONCRETE CULVERT, FRAME & METAL COVER IN THEIR ENTIRETY
02 41 11.42	REMOVE EXISTING BUSHES, SHRUBS, & TREES IN THEIR ENTIRETY - REFER TO NEW CONSTRUCTION FOR EXTENT
02 41 11.45	REMOVE EXISTING PARKING BUMPERS IN THEIR ENTIRETY. SALVAGE FOR REUSE - REFER TO NEW CONSTRUCTION
02 41 11.46	TEMPORARILY RELOCATE PLAY SAND IN THIS AREA TO ACCOMMODATE NEW ELECTRICAL FEEDER INSTALL, REINSTATE WITH NEW CONSTRUCTION - REFER TO ELECTRICAL
02 41 11.47	REMOVE EXISTING TRASH RECEPTACLE, SALVAGE FOR REUSE - REFER TO NEW CONSTRUCTION
02 41 11.48	REMOVE EXISTING TRENCH DRAIN IN ITS ENTIRETY
02 41 11.49	REMOVE EXISTING CONCRETE CURB AND 6" SLAB AS REQUIRED TO INSTALL NEW GATES, REPLACE TO MATCH EXISTING - REFER TO NEW CONSTRUCTION
02 41 11.51	STRIP STUCCO AND PAINT DOWN TO CONCRETE FACE OF CANOPY'S 4-EXISTING COLUMNS; PROVIDE LIGHT SAND BLAST FINISH TO MATCH NEW COLUMNS OF RELOCATED PUBLIC ART CANOPY; REFER TO ARCHITECTURAL SITE PLAN

GREER STAFFORD/S/C/F ARCHITECTURE, INC.
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ALBUQUERQUE, NM 87110-7027
(505) 821-0235 • FAX: (505) 821-0348
8005 NORTHRIDGE DR, SUITE F
FARMINGTON, NM 87401-2085
(505) 325-7475 • FAX: (505) 325-6464



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**PAT HURLEY COMMUNITY CENTER
CITY OF ALBUQUERQUE**

3828 RINCON ROAD, NW ALBUQUERQUE, NM 87102

[illegible]

PROJECT NO: 5239.01

DRAWN BY: Author

CHECKED BY: Checker

GREER STAFFORD/SJCF ARCHITECTUR

SHEET TITLE
ARCHITECTURAL DEMOLITION
PLAN

DRAWING SHEET

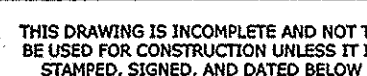
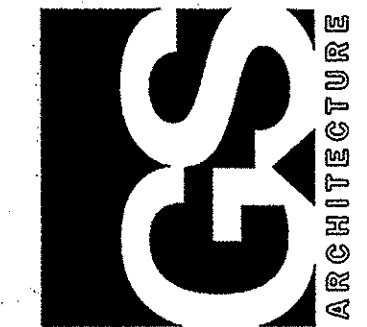
AS101

1. CONTRACTOR SHALL COMPLY WITH STATE STATUTES BY CONTACTING NM ONE CALL AND OWNER'S REPRESENTATIVE TO VERIFY LOCATIONS OF ALL EXISTING UTILITY LINES PRIOR TO ANY WORK ON SITE.
2. REFER TO DIMENSION PLANS FOR POINT OF ORIGIN AND BUILDING CONTROL INFORMATION.
3. REFER TO CIVIL FOR SITE GRADING AND UTILITIES.
4. REFER TO LANDSCAPE FOR MISCELLANEOUS ITEMS.
5. RECORD DRAWINGS OF THE EXISTING PAT HURLEY COMMUNITY CENTER SITE ARE AVAILABLE AS INFORMATION FOR BIDDERS. RECORD DRAWINGS CAN BE OBTAINED AT THE SITE BELOW. THE OWNER AND THE ARCHITECT DO NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THE DOCUMENTS WHICH HAS BEEN PREPARED BY OTHERS. NOR DO THEY ASSUME RESPONSIBILITY FOR THE INTERPRETATION OF THE DOCUMENTS BY THE CONTRACTOR.

LINK: <http://ftp.greer-stafford.com/Contractors/5239.01-FTP-Pat-Hurley-CC/>
USER NAME: ps1717
PASSWORD: 0307

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02 00 00.00.08	EXISTING RETAINING WALLS AND/OR STAIRS & HANDRAILS TO REMAIN
02 00 00.00.09	EXISTING BASKETBALL COURT, GOALS, STAIRS, HANDRAILS, & TRENCH DRAINS TO REMAIN
02 00 00.00.10	EXISTING ASPHALT PARKING, RESURFACE - REFER TO CIVIL
02 00 00.00.12	EXISTING SHADE CANOPY WITH PUBLIC ART TO REMAIN
02 00 00.00.13	EXISTING PIPE GATE TO REMAIN
02 00 00.00.15	EXISTING CONCRETE HEADER CURB TO REMAIN
02 00 00.00.16	RELOCATED PUBLIC ART CANOPY - REFER TO STRUCTURAL FOR NEW FOUNDATIONS AND CONCRETE COLUMNS. PROVIDE 12" DIAMETER CONCRETE COLUMNS. LIGHT SAND BLAST FINISH TO MATCH EXISTING SOUTH CANOPY. EXISTING RECORD DRAWINGS ARE AVAILABLE FROM THE ARCHITECT AND CIVIL, REFER TO GENERAL SHEET NOTES.
02 00 00.00.17	EXISTING FIRE HYDRANT TO REMAIN
02 00 00.00.18	EXISTING DUMPSTER PAD, ENCLOSURE & BOLLARDS TO REMAIN
02 00 00.00.19	EXISTING CMU WALL TO REMAIN
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02 00 00.00.24	EXISTING CANOPY FOOTINGS - REFER TO RECORD DRAWINGS PER GENERAL NOTES
02 00 00.00.26	EXISTING STORM DRAIN & LINE TO REMAIN - REFER TO CIVIL
02 00 00.00.27	EXISTING GRASS TURF FIELD TO REMAIN
02 00 00.00.28	EXISTING LANDSCAPE AREA - REFER TO LANDSCAPE
02 00 00.00.29	EXISTING SPRINKLER VALVE BOX - REFER TO LANDSCAPE
02 00 00.00.30	EXISTING TREE TO REMAIN
02 00 00.00.31	TEMPORARILY ROOF FOOTING AT CONCRETE WALL TO RUN NEW ELECTRICAL FEEDER BELOW. RE-COMPACT GRADE AS REQUIRED TO SUPPORT WALL/FOOTING.
02 00 00.00.32	EXISTING SIDEWALK CURB/VERT TO REMAIN
02 00 00.00.33	EXISTING GUARD RAIL TO REMAIN
02 00 00.00.34	EXISTING STORM DRAIN MAN HOLE TO REMAIN
02 00 00.00.35	EXISTING TRENCH DRAIN TO REMAIN
02 00 00.00.36	EXISTING CONCRETE PAVING TO REMAIN
02 00 00.00.37	EXISTING GUARD RAIL, PREP FOR NEW PAINT FINISH
02 00 00.00.38	EXISTING CONCRETE WALL, LIGHT SAND BLAST FINISH TO REMOVE EXISTING PAINT FINISH
02 41 11.46	TEMPORARILY RELOCATE PLAY SAND IN THIS AREA TO ACCOMMODATED NEW ELECTRICAL FEEDER INSTALL, REINSTALL WITH NEW CONSTRUCTION - REFER TO ELECTRICAL
05 52 13.9R	STEEL GUARDRAIL, PAINT - REFER TO ASSOCIATED DETAIL
10 00 00.XB2	KNOX BOX KEY VAULT, TYPE AS REQUIRED BY FIRE DEPARTMENT - PROVIDE SURFACE MOUNTED INSTALLATION AT EXISTING GATE. COORDINATE EXACT INSTALL LOCATION WITH FIRE MARSHALL'S INSPECTOR.
10 75 00.FP	FLAGPOLE - REFER TO ASSOCIATED DETAIL FOR BASE FOUNDATION
32 00 00.AP	ASPHALT PAVING, TRAFFIC RATED - REFER TO CIVIL
32 00 00.BP	SALVAGED BRICK PAVING - REFER TO LANDSCAPE
32 00 00.BR	BIKE RACK - REFER TO LANDSCAPE
32 00 00.DF	ADA DRINKING FOUNTAIN - REFER TO LANDSCAPE
32 00 00.0LA	LANDSCAPED AREA - REFER TO LANDSCAPE
32 00 00.MP	MOTORCYCLE PARKING, TYPICAL OF 2
32 00 00.MS	FUTURE MONUMENT SIGN - REFER TO ELECTRICAL FOR POWER STUB OUT
32 00 00.PB	SALVAGED PARKING BUMPERS TO BE REINSTALLED WITH NEW CONSTRUCTION
32 00 00.RA	REPLACE ASPHALT PAVING TO MATCH EXISTING - REFER TO CIVIL
32 00 00.0RT	RETAINING WALL - REFER TO CIVIL & STRUCTURAL
32 00 00.SF	SITE FURNITURE - REFER TO LANDSCAPE
32 00 00.SG	SALVAGED GRATE, REINSTALLED WITH NEW CONSTRUCTION - REFER TO LANDSCAPE
32 00 00.SW	CONCRETE SEAT WALL - REFER TO LANDSCAPE
32 00 00.TS1	TRAFFIC SIGNAGE, TYPE TS-1 - REFER TO ASSOCIATED DETAIL
32 00 00.TS2	TRAFFIC SIGNAGE, TYPE TS-2 - REFER TO ASSOCIATED DETAIL
32 00 00.TS3	TRAFFIC SIGNAGE, TYPE TS-3 - REFER TO ASSOCIATED DETAIL
32 13 13.01	REPLACE CONCRETE CURB AND GUTTER TO MATCH EXISTING
32 13 13.03	REPLACE CONCRETE HEADER CURB TO MATCH EXISTING
32 13 13.04	REPLACE CONCRETE WALK, HEADER CURBS AND CURBS AND GUTTER TO MATCH EXISTING
32 13 13.AP	CONCRETE APRON - REFER TO ASSOCIATED DETAIL AND CIVIL
32 13 13.CP1	CONCRETE PAVING AT MOTORCYCLE PARKING AREA. 6" CONCRETE SLAB, 4,000 PSI, WITH #4 CONTINUOUS AT 18" OC EACH WAY - REFER TO ASSOCIATED DETAIL FOR TRANSITION TO ASPHALT PAVING
32 13 13.HB	CONCRETE HOT BOX PAD, 6" THICK WITH #4 REBAR AT 9" OC EACH WAY. PLACE REBAR AT MID DEPTH OF SLAB. PROVIDE 3/4" CHAMFER ALL AROUND. TOP OF PAD TO BE 2" MINIMUM ABOVE FINISHED GRADE. COORDINATE EXACT SIZE REQUIRED WITH HOT BOX MANUFACTURER.
32 13 13.RA1	CONCRETE RAMP WITH ADA DETECTABLE WARNING DEVICE - REFER TO ASSOCIATED DETAIL
32 13 13.ST	CONCRETE STAIRS - REFER TO ASSOCIATED DETAIL AND CIVIL
32 13 13.SW	CONCRETE SIDEWALK - REFER TO ASSOCIATED DETAIL AND CIVIL
32 13 13.TP	CONCRETE TRANSFORMER PAD, 12" THICK WITH #4 REBAR AT 9" OC EACH WAY. PLACE REBAR 3" ABOVE BOTTOM. PROVIDE 3/4" CHAMFER ALL AROUND. TOP OF PAD TO BE 6" ABOVE FINISH GRADE. COORDINATE EXACT SIZE REQUIRED WITH ELECTRIC UTILITY COMPANY.
32 17 23.AI	PAINTED ADA ACCESS SLAB, 4" WIDE, 45 DEGREE DIAGONAL STRIPS AT 24" OC
32 17 23.AL	PAINTED CURB AT FIRE LANE
32 17 23.L	PAINTED LETTERING, "NO PARKING", 8" TALL AT END OF ACCESS SLAB
32 17 23.PM4	PAINTED PAVEMENT MARKINGS, 4" WIDE
32 17 23.S	PAINTED ADA SYMBOL - REFER TO ASSOCIATED DETAIL
32 17 26.DS1	DETECTABLE WARNING SURFACE TILE INSTALLED ON EXISTING RAMP
33 00 00.ET	ELECTRICAL TRANSFORMER - REFER TO ELECTRICAL
33 00 00.FH	FIRE HYDRANT - REFER TO CIVIL
33 00 00.OP	ELECTRIC OVERHEAD SERVICE UTILITY POLE - REFER TO ELECTRICAL

GREEN STAFFORD/S/CF ARCHITECTURE, INC.
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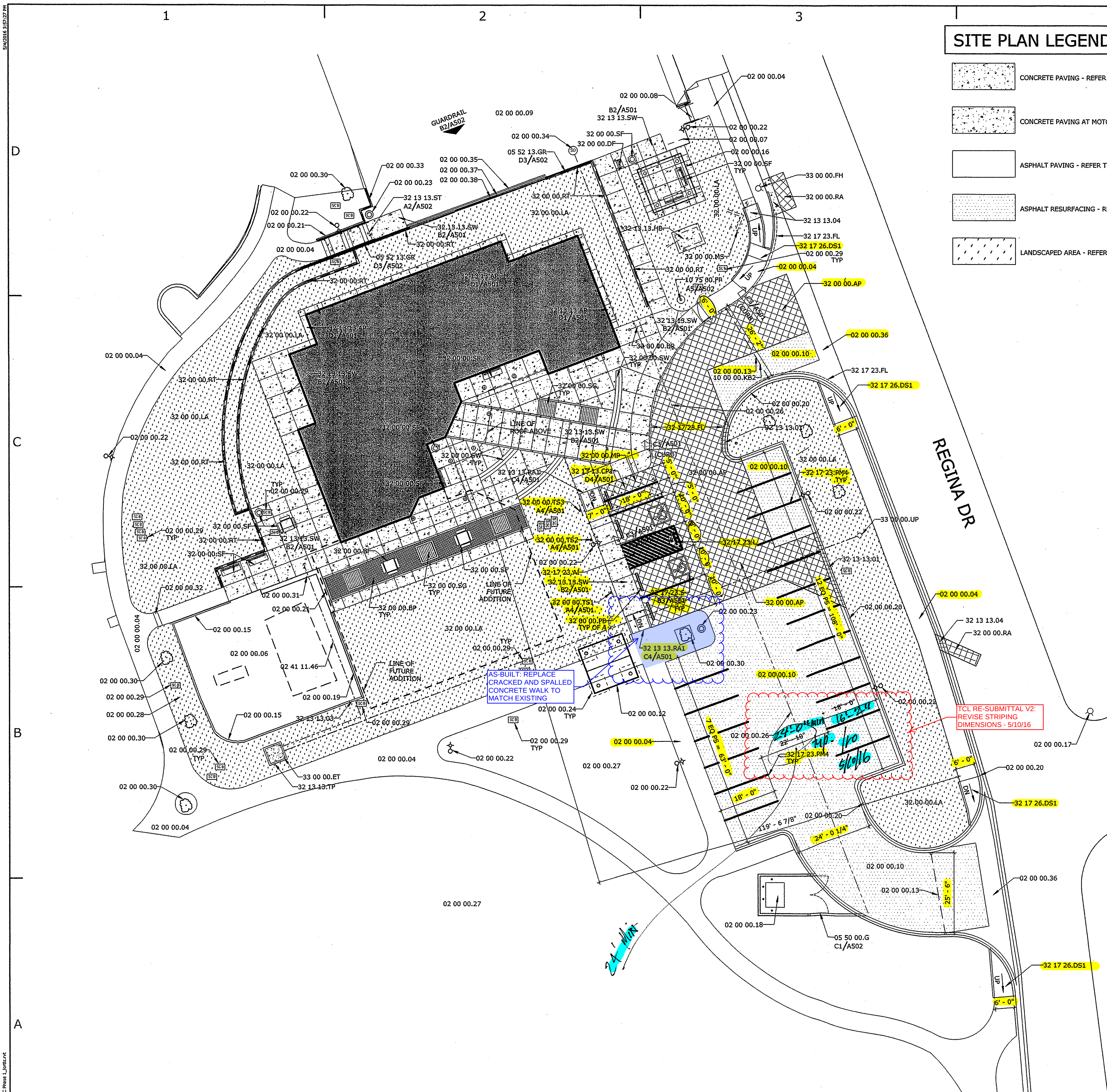
PAT HURLEY COMMUNITY CENTER
CITY OF ALBUQUERQUE
3828 RINCON ROAD, NW ALBUQUERQUE, NM 87102

[illegible]

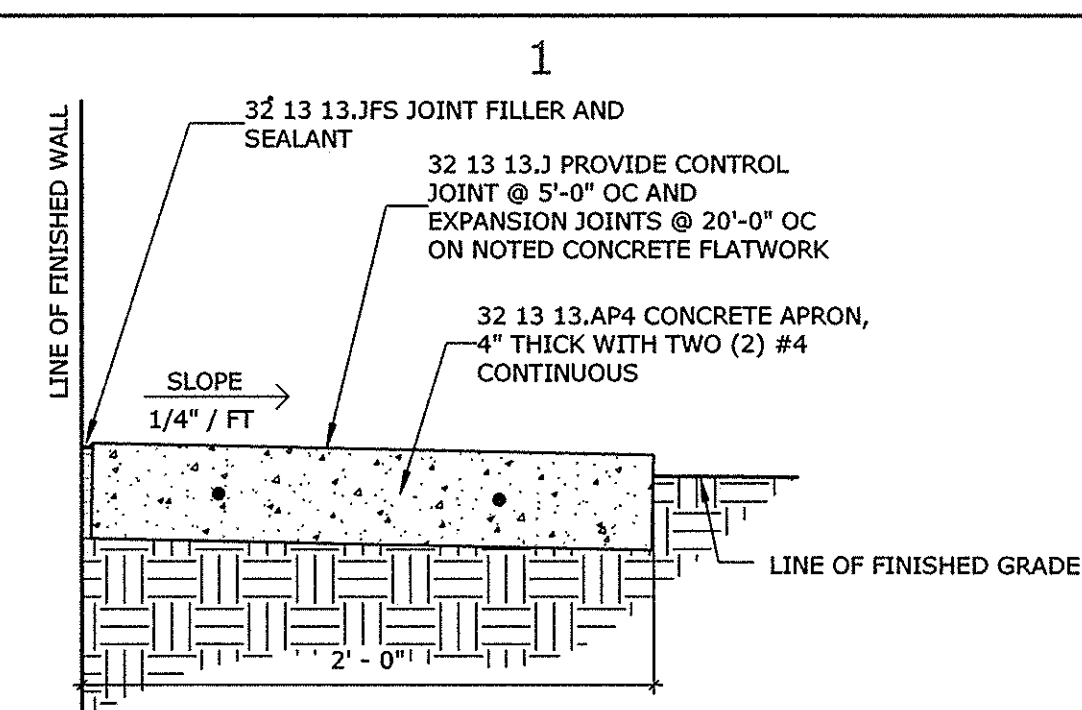
PROJECT NO: 5239.01
DRAWN BY: lro
CHECKED BY: CKR
GREER STAFFORD/SJCF ARCHITECT
SHEET TITLE ARCHITECTURAL SITE PLAN

DRAWING SHEET

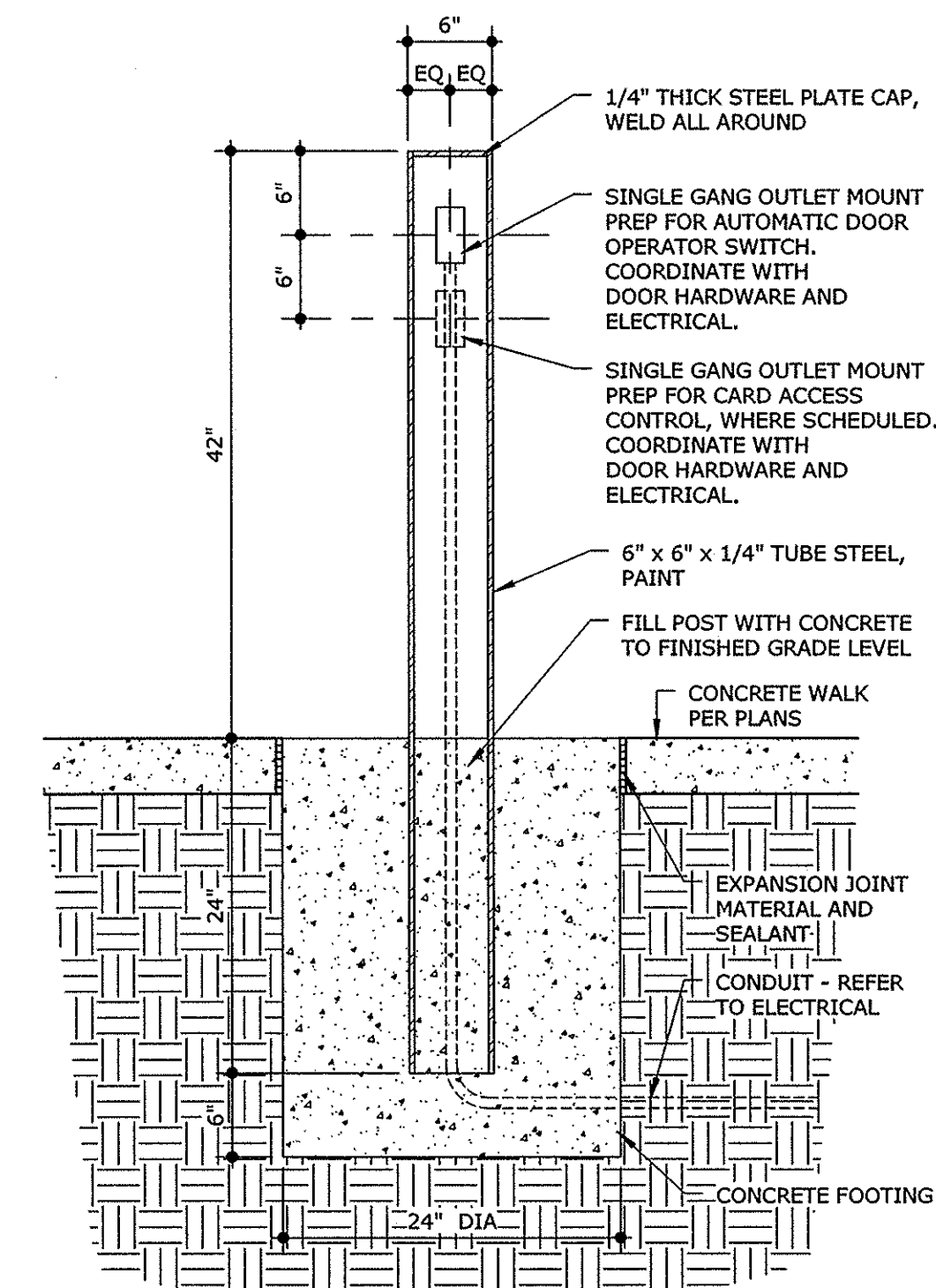
AS102



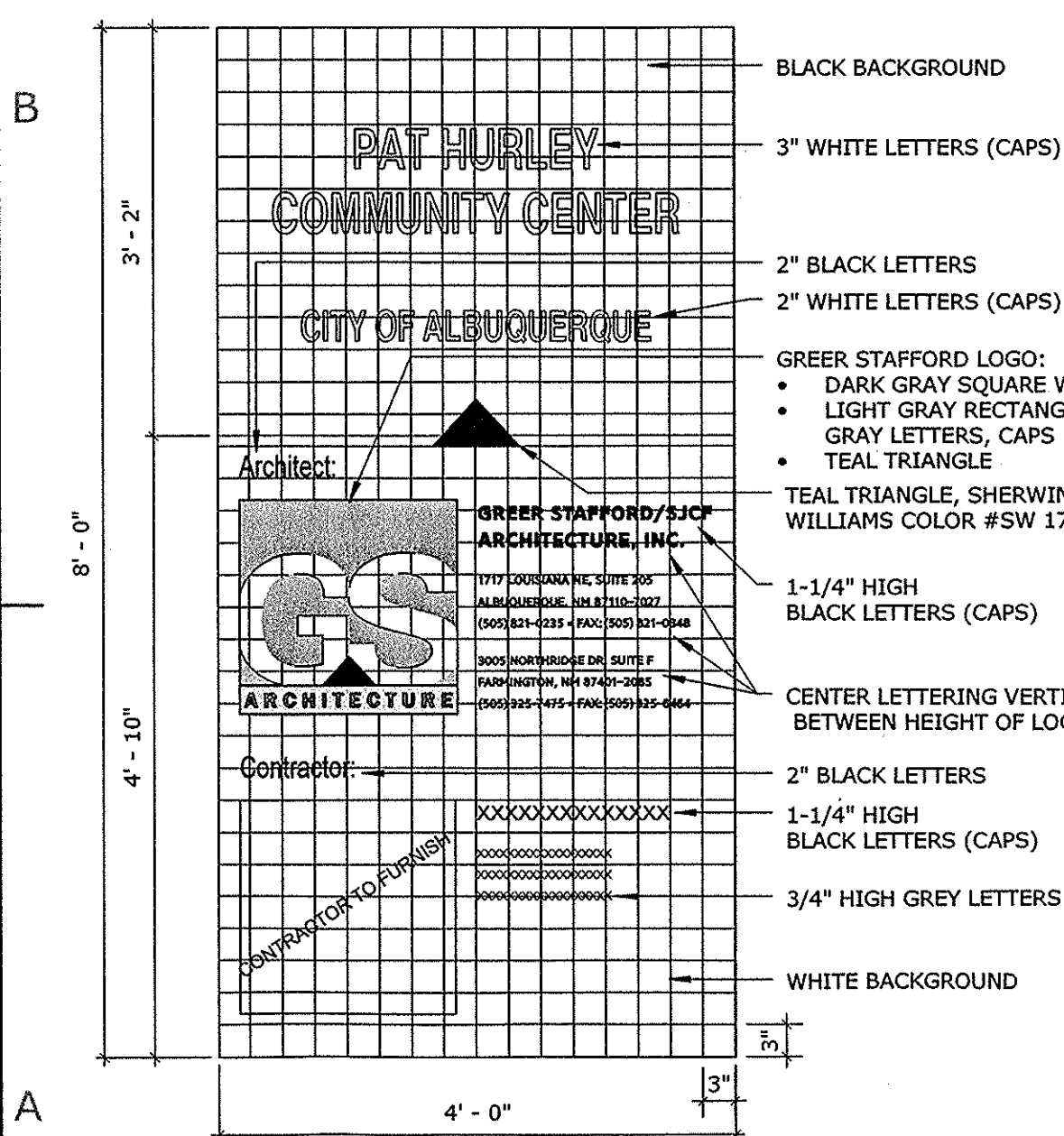
(A1) ARCHITECTURAL SITE PLAN
1/16" = 1'-0"



D1 CONCRETE APRON
1 1/2" = 1'-0"



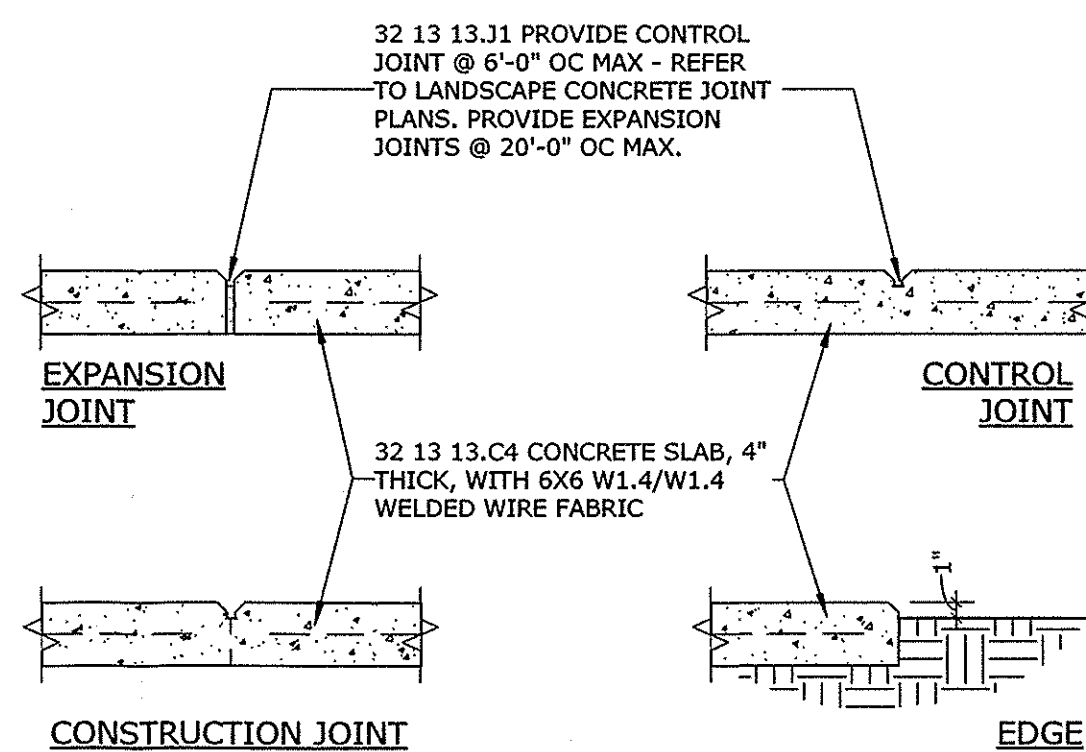
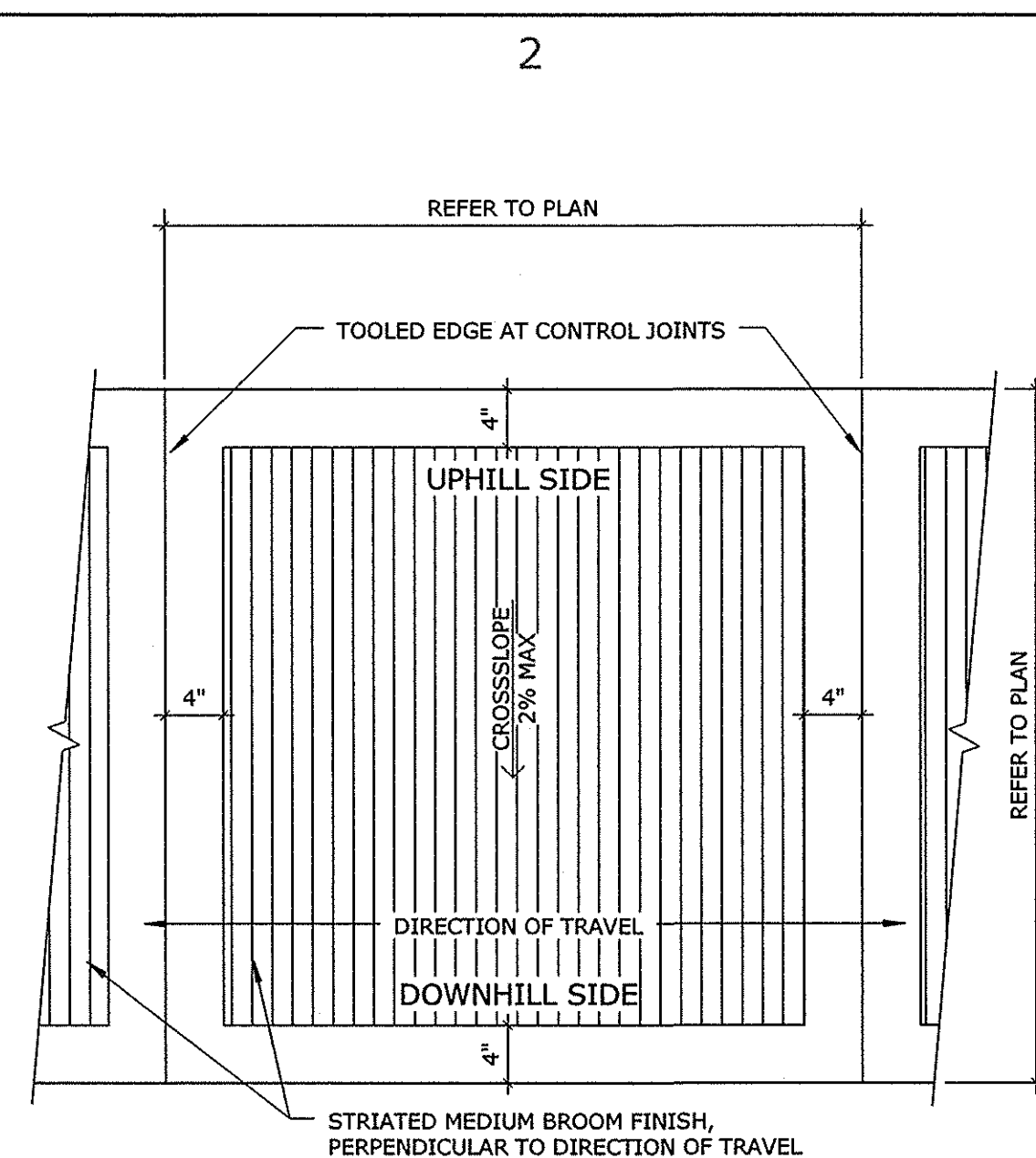
B1 DOOR OPERATOR BOLLARD
1" = 1'-0"



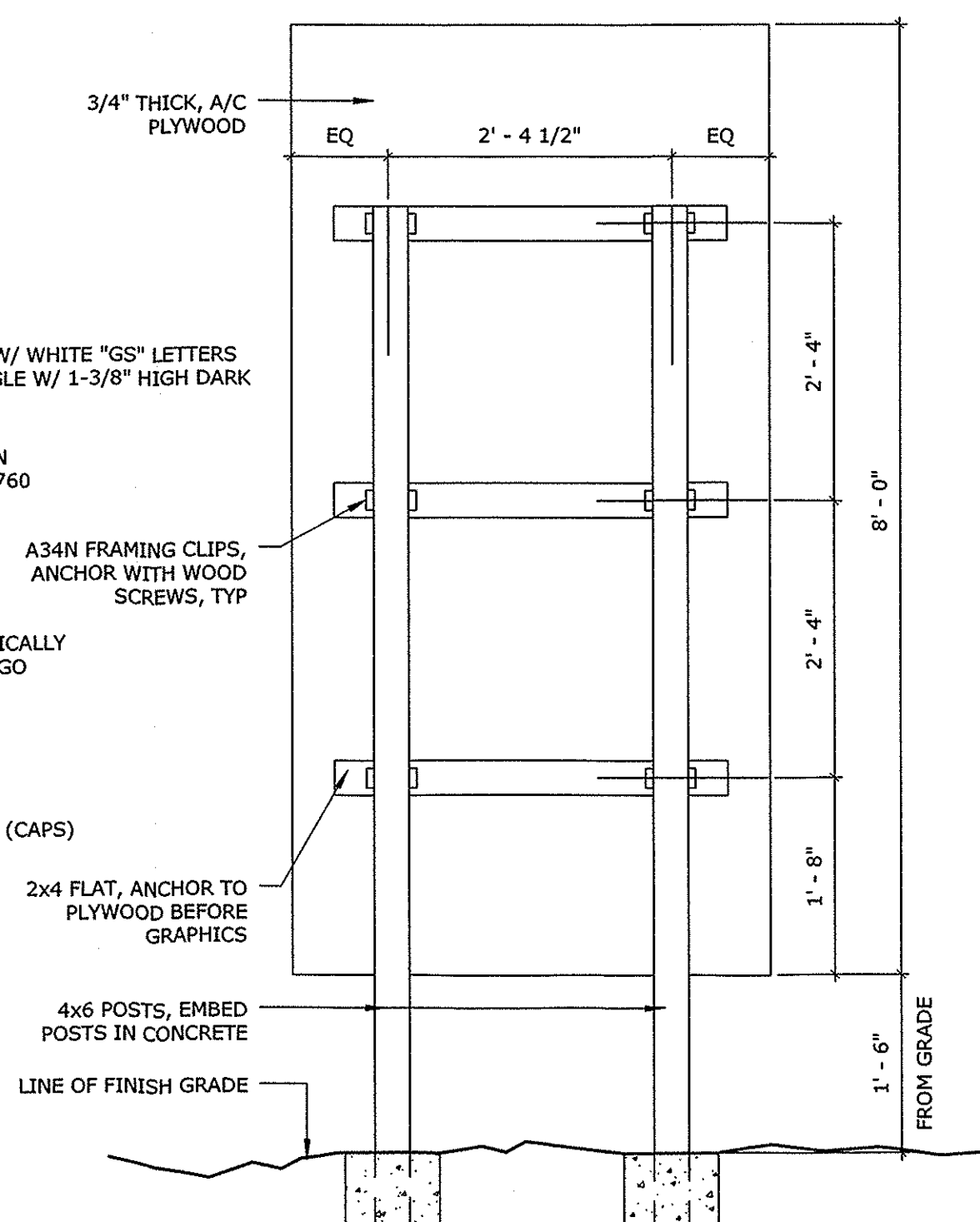
NOTE:

1. SUBMIT FINAL LAYOUT TO ARCHITECT FOR APPROVAL
2. GRID SHOW FOR PROPORTIONING.

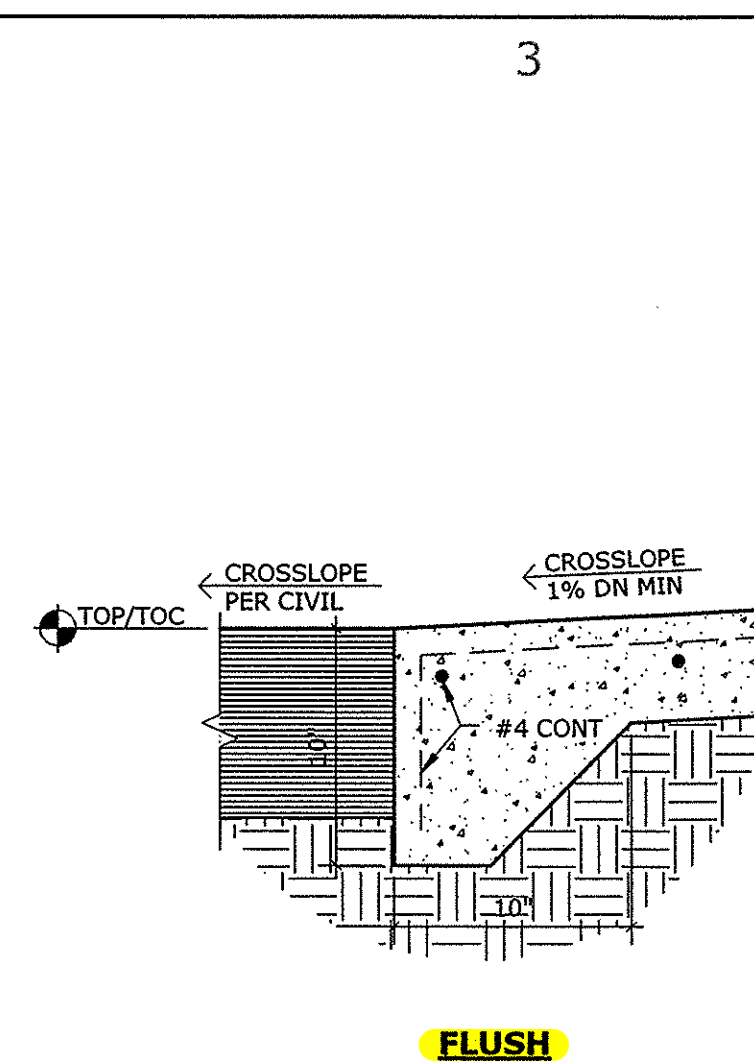
A1 ARCHITECT'S PROJECT SIGN
3/4" = 1'-0"



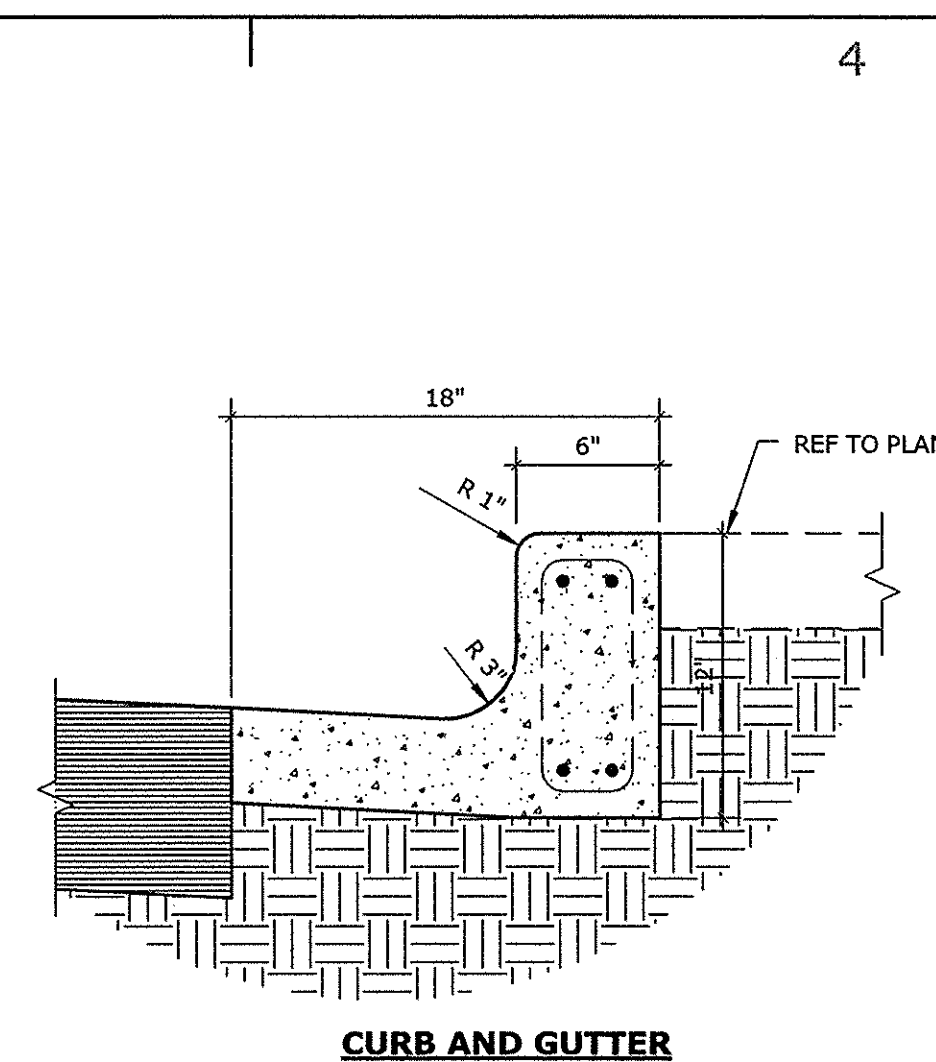
B2 **CONCRETE WALK**
1" = 1'-0"



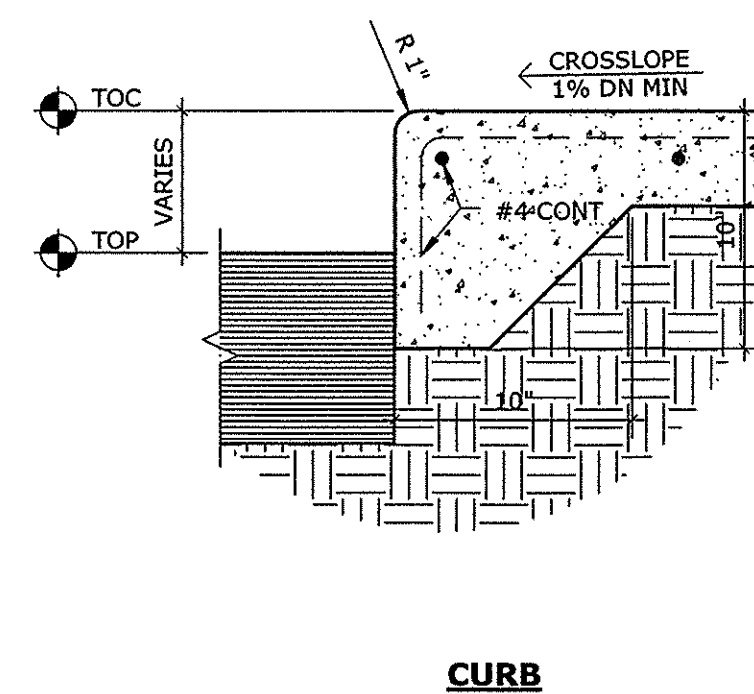
A1 ARCHITECT'S PROJECT SIGN
3/4" = 1'-0"



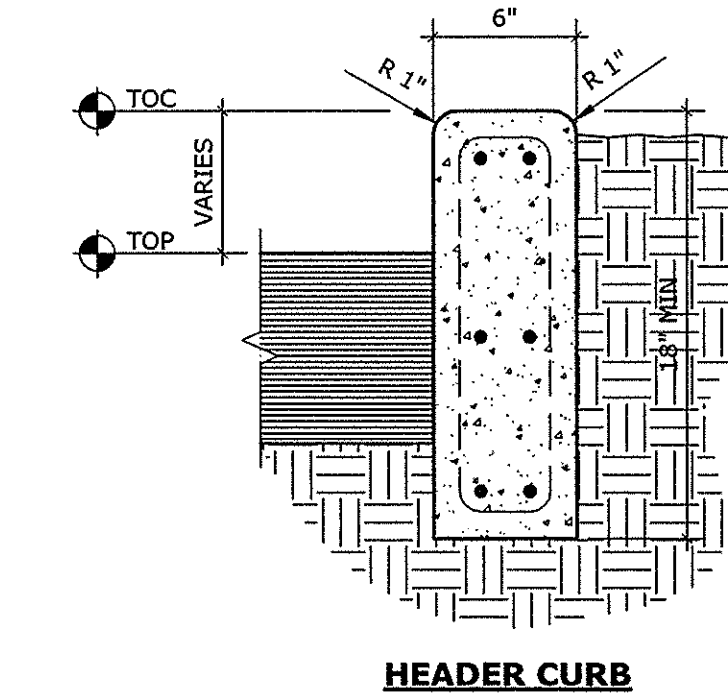
C3 CONCRETE CURB EDGES
1 1/2" = 1'-0"



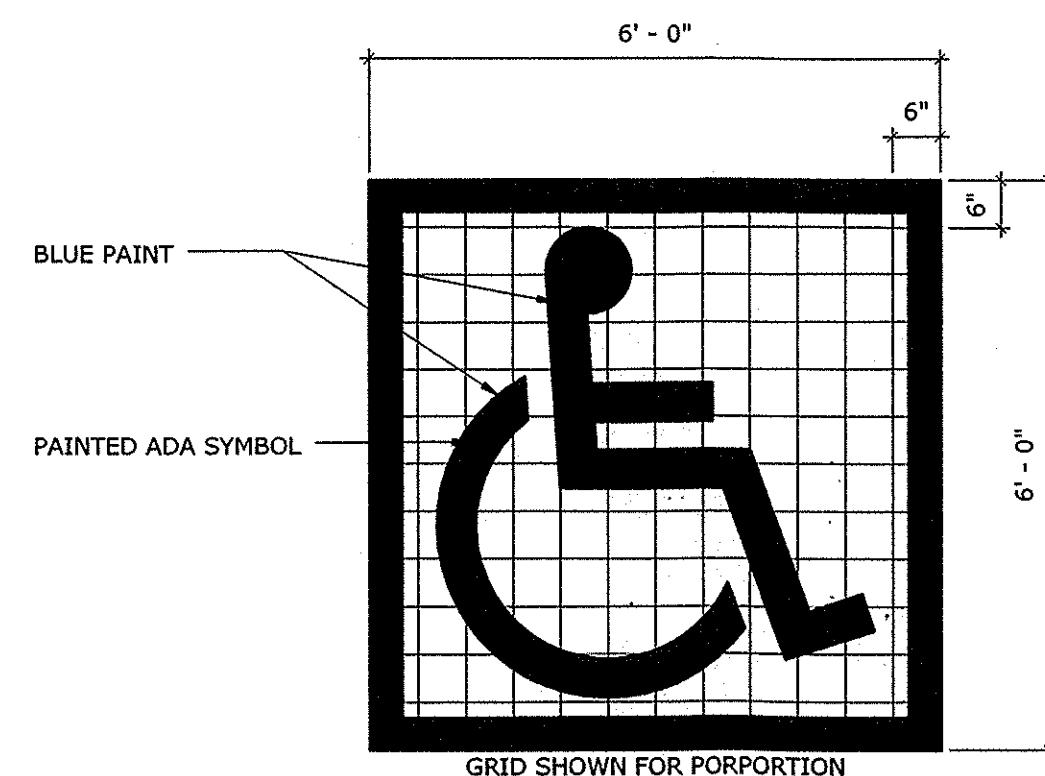
C3 CONCRETE CURB EDGES
1 1/2" = 1'-0"



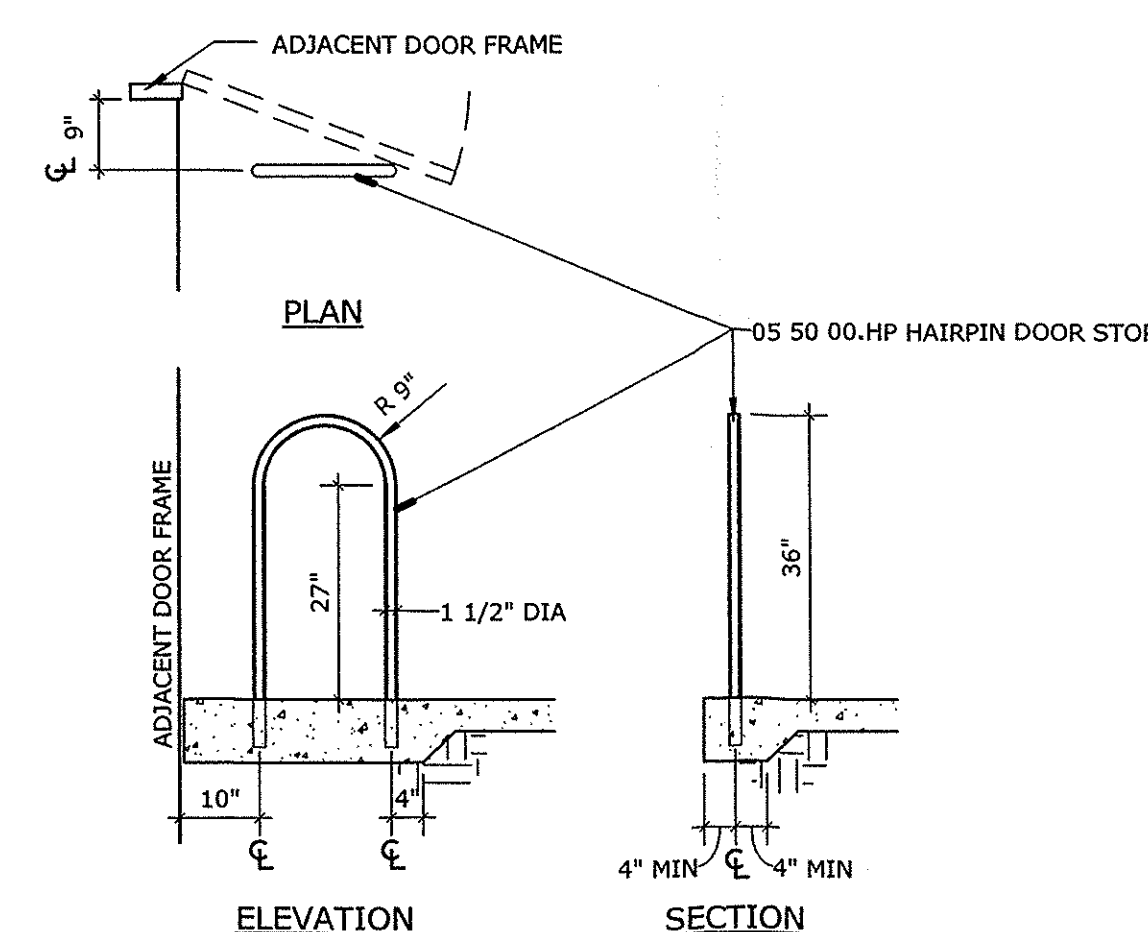
C3 CONCRETE CURB EDGES
1 1/2" = 1'-0"



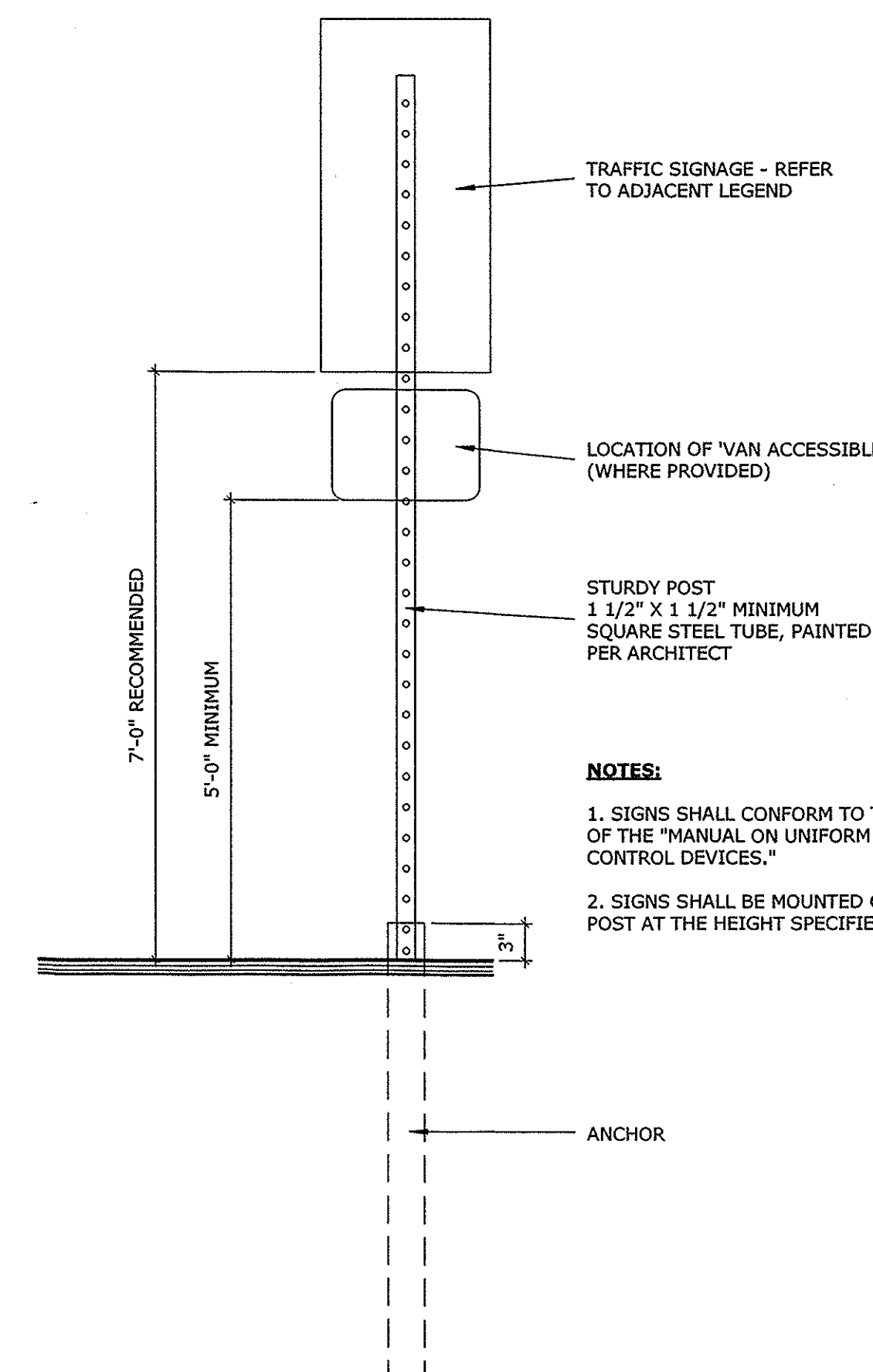
C3 CONCRETE CURB EDGES
1 1/2" = 1'-0"



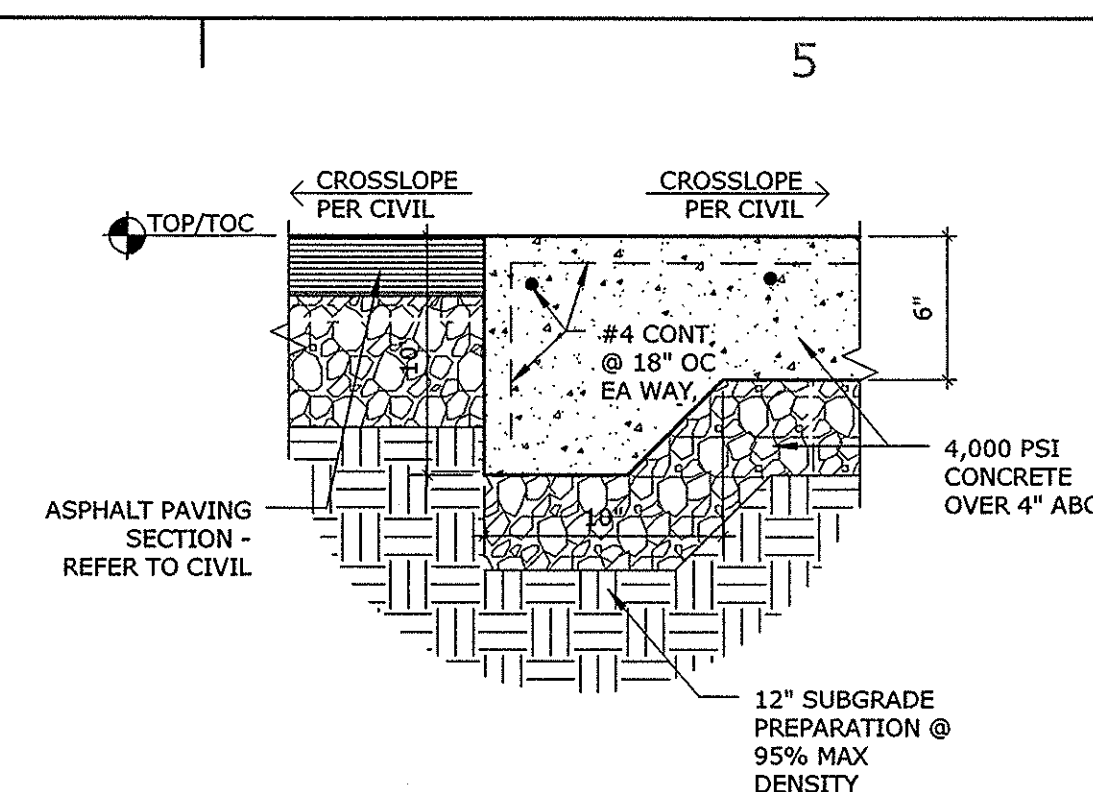
B3 PAINTED HC SYMBOL
1/2" = 1'-0"



A3 HAIR PIN DOOR STOP
1/2" = 1'-0"

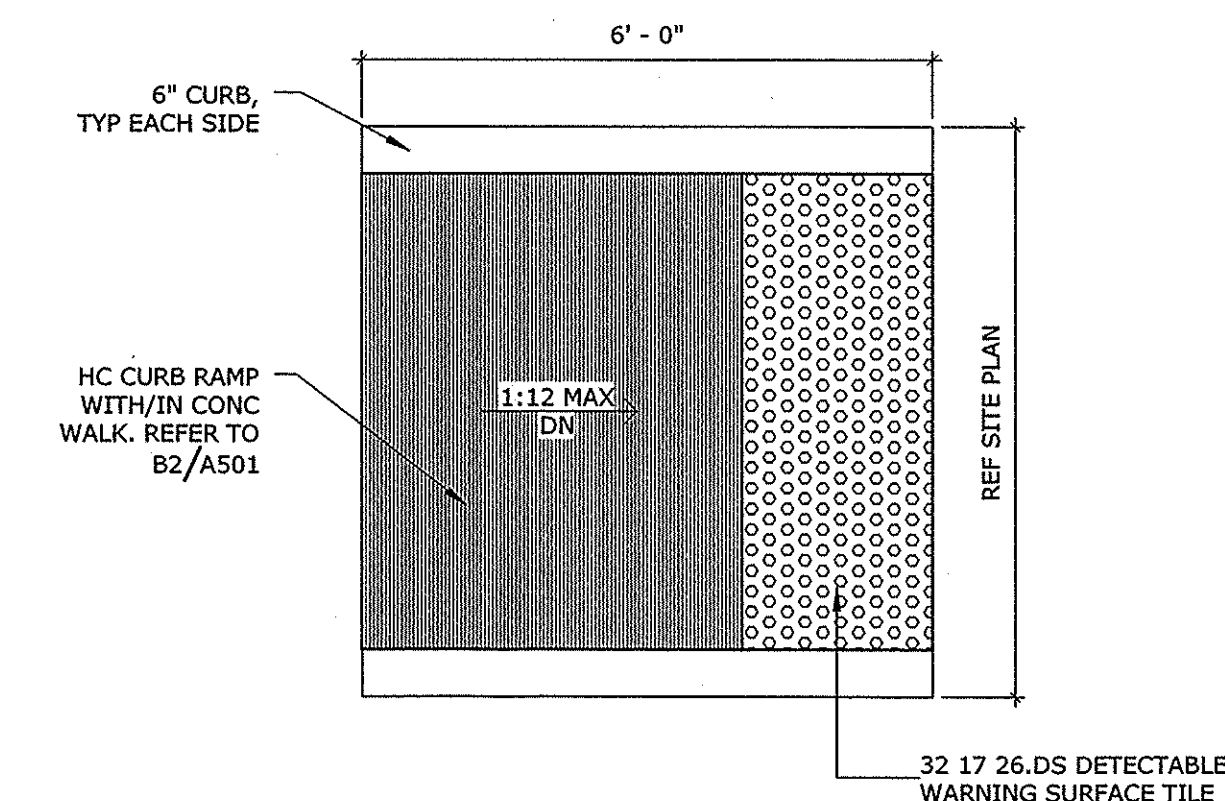


A4 TRAFFIC SIGNAGE
1" = 1'-0"



**CONCRETE / ASPHALT PAVING
TRANSITION AT MOTORCYCLE PARKING**

D4 1 1/2" = 1'-0"



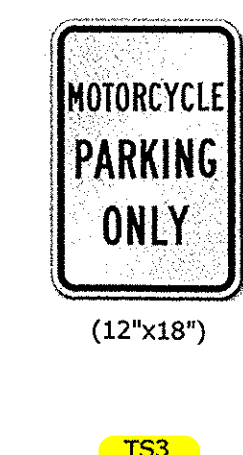
C4 HANDICAP RAMP
1/2" = 1'-0"



— INCLUDE LANGUAGE ON R7-8 SIGN STATING "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER NM STATE STATUTE 66-1-41E.



— INCLUDE LANGUAGE ON R7-8 SIGN STATING "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING" PER NM STATE STATUTE 66-1-4-1E.



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STAMPED, SIGNED, AND DATED BELOW



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PROJECT NO: 5239.01
DRAWN BY: Author
CHECKED BY: Checker
GREER STAFFORD/SJCF ARCHITECT
SHEET TITLE
DETAILS - SITE

DRAWING SHEET

A501