

# CITY OF ALBUQUERQUE

Planning Department  
Alan Varela, Director



Mayor Timothy M. Keller

July 10, 2023

Mike Salvador  
Buffalo Design Architects  
10899 Montgomery Blvd. NE, Suite A  
Albuquerque, NM 87111

**Re: Starbucks**  
**1440 Coors Blvd. NW**  
**30-Day Temporary Certificate of Occupancy**  
**Transportation Development Final Inspection**  
Architect's Stamp dated 9-14-22 (J11D017)  
Certification dated 6-16-23

Dear Mr. Salvador,

Based upon the information provided in your submittal received 06-22-23, Transportation Development has no objection to a 30-day Temporary Certificate of Occupancy based. This letter serves as a "green tag" from Transportation Development for a 30-day Temporary Certificate of Occupancy to be issued by the Building and Safety Division.

Prior to the issuance of a permanent Certificate of Occupancy, the following items must be addressed:

- There was a large shipping container blocking the access way for the ADA parking so I was unable to verify the NO PARKING at the rear of the access way.
- Per the approved plan, the "ONE WAY ONLY" pavement marking at the entrance to the drive-thru and the "DO NOT ENTER" pavement marking at the drive-thru exit were not in place.

Once these corrections are complete, email pictures to [earmijo@cabq.gov](mailto:earmijo@cabq.gov) for release of Final CO.

If you have any questions, please contact me at (505) 924-3991.

Sincerely,

Ernest Armijo, P.E.  
Principal Engineer, Planning Dept.  
Development Review Services

C: CO Clerk, File



# City of Albuquerque

Planning Department  
Development & Building Services Division

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 6/2018)

**Project Title:** Starbucks Development Building Permit #: Hydrology File #:

DRB#: N/A EPC#: N/A Work Order#:

Legal Description: Plat of Lot A-3-A, Block D, Glenrio Heights Addition

City Address: 1440 Coors Blvd. NW. Albuquerque, NM 87105 | UPC #: 101105808543921603

**Applicant:** Buffalo Design Architects Contact: Mike Salvador

Address: 10899 Montgomery Blvd. NE, Suite A, Albuquerque, NM 87111

Phone#: 505-720-1920 | 505-492-0405 Fax#: N/A E-mail: msalvador@bd-llc.com

**Other Contact:** N/A Contact:

Address:

Phone#: Fax#: E-mail:

**TYPE OF DEVELOPMENT:** 1 PLAT (# of lots) RESIDENCE DRB SITE ADMIN SITE

IS THIS A RESUBMITTAL? Yes X No

**DEPARTMENT** X TRANSPORTATION HYDROLOGY/DRAINAGE

Check all that Apply:

### TYPE OF SUBMITTAL:

- X ENGINEER/ARCHITECT CERTIFICATION
- PAD CERTIFICATION
- CONCEPTUAL G & D PLAN
- GRADING PLAN
- DRAINAGE REPORT
- DRAINAGE MASTER PLAN
- FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- ELEVATION CERTIFICATE
- CLOMR/LOMR
- TRAFFIC CIRCULATION LAYOUT (TCL)
- TRAFFIC IMPACT STUDY (TIS)
- STREET LIGHT LAYOUT
- OTHER (SPECIFY) \_\_\_\_\_
- PRE-DESIGN MEETING?

### TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- BUILDING PERMIT APPROVAL
- X CERTIFICATE OF OCCUPANCY
- PRELIMINARY PLAT APPROVAL
- SITE PLAN FOR SUB'D APPROVAL
- SITE PLAN FOR BLDG. PERMIT APPROVAL
- FINAL PLAT APPROVAL
- SIA/ RELEASE OF FINANCIAL GUARANTEE
- FOUNDATION PERMIT APPROVAL
- GRADING PERMIT APPROVAL
- SO-19 APPROVAL
- PAVING PERMIT APPROVAL
- GRADING/ PAD CERTIFICATION
- WORK ORDER APPROVAL
- CLOMR/LOMR
- FLOODPLAIN DEVELOPMENT PERMIT
- OTHER (SPECIFY) \_\_\_\_\_

DATE SUBMITTED: June 16, 2023 By: Mike Salvador (Buffalo Design Architects)

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: \_\_\_\_\_

FEE PAID: \_\_\_\_\_



10899 montgomery blvd ne  
albuquerque, nm 87111

505.492.0405  
[www.buffaloarch.com](http://www.buffaloarch.com)

June 16, 2023

Transportation Development  
City of Albuquerque  
600 2nd Street NW.  
Albuquerque, NM 87102

Re: **Permanent Certificate of Occupancy for**  
**Starbucks**  
**Address: 1440 Coors Blvd. NW., Albuquerque, NM 87105 (Coors Blvd. and Brayton Rd. NW)**

To whom it concerns:

I, Larry Anderson, NMRA of **buffalo design architects, inc.**, hereby certify that the following project at the address listed above is in substantial compliance with and in accordance with the design intent of the Traffic Circulation Layout (TCL) Plan approved September 15, 2022.

I further certify that I have personally visited the project site for the **Starbucks** development on June 9, 2023 and have determined by visual inspection that the survey data provided is representative of actual site conditions and is true and correct to the best of my knowledge and belief. This certification is submitted in support of a request for Engineer's Certification (TCL approved Site Plan) for Permanent Certificate of Occupancy.

The record information presented herein is not necessarily complete and intended only to verify substantial compliance of the traffic aspects of this project. Those relying on the record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

Please feel free to contact me if you have any questions.

**Larry Anderson, AIA, Principal**  
buffalo design, llc

Attachments: Redlined Approved TCL Site Plan.







TRAFFIC CIRCULATION  
LAYOUT APPROVED

Ernest Amigo 9/15/2022  
Signed Date

## KEYED NOTES

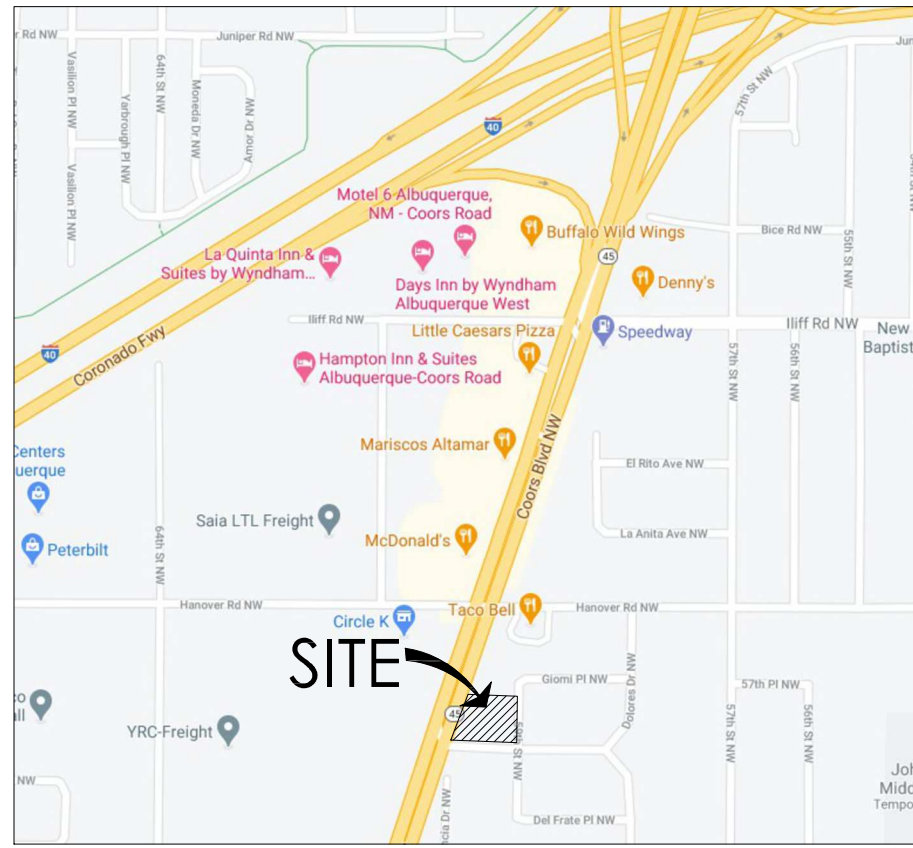
- EXISTING FIRE HYDRANT TO REMAIN.
- EXISTING CONCRETE DRIVEWAY TO REMAIN.
- EXISTING CONCRETE CURB TO REMAIN.
- REMOVE EXISTING 3'-6" WIDE PUBLIC SIDEWALK ALONG BRAYTON ROAD AND 59TH STREET AS SHOWN ON SITE PLAN AND WITH PHASE I LINE.
- EXISTING 6' WIDE PUBLIC SIDEWALK TO REMAIN.
- EXISTING PUE TO REMAIN.
- REMOVE EXISTING CURB AND SIDEWALK AS REQUIRED FOR NEW DRIVEWAY.
- PROPOSED INFRASTRUCTURE: NEW CONCRETE DRIVEWAY WITH ADA (2% MAX SLOPE IN ANY DIRECTION) PATHWAY ACROSS DRIVEWAY. DRIVEWAY TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2420) PROVIDE TRUNCATED DOMES AT ALL RAMP LOCATIONS. RAMP TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2418, 2440, 2041).
- NEW PAINTED HANDICAP ACCESS AISLE STRIPING WITH 12" HIGH x 2" WIDE PAINTED LETTERING "NO PARKING" PER 66-1-4.1.B NMSA 1978.
- NEW HANDICAP PAVEMENT SYMBOL TO BE PAINTED BLUE, INTERNATIONAL SYMBOL OF ACCESSIBILITY PER 66-1-4.1.E NMSA 1978.
- NEW CONCRETE HC RAMP WITH YELLOW TRUNCATED DOMES. SLOPE 1:12 MAX. SEE DETAIL.
- NEW PAINTED PARKING SPACE STRIPING.
- NEW 6' WIDE CONCRETE SIDEWALK.
- NEW POLE MOUNTED ACCESSIBLE PARKING SIGNAGE. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING". SEE DETAIL A1.
- CLEAR SITE TRIANGLE. SEE GENERAL NOTE "C" FOR INFORMATION.
- NEW TRASH ENCLOSURE PER COA SOLID WASTE STANDARDS.
- NEW POLE MOUNTED MOTORCYCLE PARKING SIGNAGE. SIGN TO BE NOTED PER 66-7-352.4C NMSA 1978. "VIOLATORS ARE SUBJECT TO A FINE AND/OR TOWING".
- NEW BIKE RACK. PER COA DETAIL.
- NEW ASPHALT PAVING, 2.5" ASPHALT/5.0" BASE COURSE PER RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION DATED: FEBRUARY 2, 2022.
- FUTURE PHASE II DEVELOPMENT UNDER SEPARATE PERMIT.
- DASHED LINE INDICATES PHASE, CONSTRUCTION LIMITS AND EDGE OF PAVEMENT/LANDSCAPING FOR THIS DEVELOPMENT.
- DRIVE-THRU ELECTRIC MENU BOARD LOCATION.
- NEW 6' WIDE CONCRETE PEDESTRIAN ACCESS SIDEWALK.
- DRIVE-THRU WINDOW LOCATION WITH 12 VEHICLE QUEUING PER COA.
- NEW PAINTED PEDESTRIAN CROSSWALK.
- NEW WALK-UP WINDOW LOCATION.
- FUTURE AREA FOR COOLER LOCATION.
- NEW LANDSCAPING AREA, TYPICAL.
- EXISTING PAVING TO REMAIN.
- 4' HIGH STUCCO & STONE SCREEN WALL.
- LIGHT POLE ON CONCRETE BASE, TYPICAL.
- NEW RECYCLE ENCLOSURE PER COA SOLID WASTE STANDARDS.
- DIRECTIONAL EXIT ONLY AND THANK YOU SIGN, SEE DETAIL C4/AS-TCL, SHEET 2 OF 2.
- NEW STREET TREES, PER COA-IDO STANDARDS.
- NEW 6'-0" WIDE CONCRETE SIDEWALK (SHOWN SHADED) CONSTRUCTED TO COA STANDARDS (STD. DWG. 2430, 2443.1, 2032).
- PROPOSED INFRASTRUCTURE: NEW CONCRETE ADA COMPLIANT RAMP (2% MAX SLOPE IN ANY DIRECTION) WITH TRUNCATED DOMES. RAMP TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2418, 2440, 2041).
- EXISTING ADA RAMP IS COMPLIANT AND TO REMAIN.
- DIRECTIONAL SIGN, SEE DETAIL A4/AS-TCL, SHEET 2 OF 2.
- CROSSHATCHED AREA INDICATED 4.5" CONCRETE PAVING, 12'-0" IN FRONT OF ORDER POINT TO 12'-0" AFTER DT WINDOW. PER RECOMMENDATIONS OF THE GEOTECHNICAL INVESTIGATION DATED: FEBRUARY 2, 2022.
- PAVEMENT SIGN, SEE DETAIL D4/AS-TCL, SHEET 2 OF 2.

## GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- SLOPES: (1.) PARKING LOTS SLOPES SHALL BE BETWEEN 1% MIN. AND 8% MAX. (2.) PARKING AREAS ADJACENT TO MAJOR CIRCULATION AISLES OR ADJACENT TO MAJOR ENTRANCES 1% MIN. TO 6% MAX. (3.) HANDICAP PARKING SLOPES SHALL BE BETWEEN 1% MIN TO 2% MAX.
- LANDSCAPING AND SIGNING WILL NOT INTERFERE WITH CLEAR SIGHT REQUIREMENTS. THEREFORE, SIGNS, WALLS, TREES, AND SHRUBBERY BETWEEN 3 AND 8 FEET TALL (AS MEASURED FROM THE GUTTER PAN) WILL NOT BE ACCEPTABLE IN THIS AREA. SEE PLAN FOR LOCATION.
- ANY ENCROACHMENT OR OVERHANG INTO THE ROW FROM SIGNS, FENCES, CANOPY, ROOF LINES, ETC. WILL REQUIRE AN ANNUAL REVOCABLE ENCROACHMENT PERMIT.
- SIGNAGE AND FENCE CONSTRUCTION ARE UNDER SEPARATE PERMIT.
- ALL EXISTING BROKEN OR CRACKED SIDEWALK ALONG STREETS MUST BE REPLACED WITH SIDEWALK AND CURB & GUTTER. ALL WORK TO BE CONSTRUCTED TO COA STANDARDS (STD. DWG. 2430 & 2418).
- ALL IMPROVEMENTS LOCATED WITHIN THE RIGHT-OF-WAY REQUIRES A WORK ORDER.

## SITE LIGHTING GENERAL NOTES:

- THE LOCATION OF THE LIGHTING FIXTURES TOGETHER WITH ITS CUT-OFF ANGLE SHALL BE SUCH THAT IT DOES NOT DIRECTLY SHINE ON ANY PUBLIC RIGHT-OF-WAY OR ADJACENT RESIDENTIAL PROPERTY.
- LIGHTING TO BE PROVIDED ON COMMERCIAL BUILDING FACADES SHALL BE MOUNTED AT 12 FEET MAXIMUM.
- SITE LIGHTING SHALL BE FULLY SHIELDED, AND HIGH-PRESSURE SODIUM LIGHTING AND UN-SHIELDED LIGHTING SHALL BE PROHIBITED.



LOCATION MAP:

## GENERAL NOTES

- PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE NOTED TO PERCENT IN GRADE.
- ALL FIRE APPARATUS ACCESS ROADS SHALL BE NOTED TO PERCENT IN GRADE.

## SITE DEVELOPMENT DATA

**LEGAL DESCRIPTION:**  
PLAT OF LOT A-3-A, BLOCK D, GLENRIO HEIGHTS  
(FORMERLY LOTS A-2-A & A-3, BLOCK D)  
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

**LAND AREA:**  
1.6014 ACRES (69,757 SQ. FT.)

**BUILDING AREAS:**  
TOTAL BUILDING AREA: 934 SF. SINGLE-STORY STRUCTURE

**ZONE ATLAS PAGE:**  
J-11-Z

**CURRENT ZONING:**  
CITY OF ALBUQUERQUE (COA) INTEGRATED DEVELOPMENT ORDINANCE (IDO):  
MX-L REQUIREMENTS (MIXED-USE, LOW INTENSITY ZONE DISTRICT)  
EXCERPT FROM TABLE 4-2-1, ALLOWABLE USES:  
PERMISSIVE PRIMARY USE: RESTAURANT  
PROJECT USE: DRIVE-THRU/WALK-UP COFFEE SHOP

**SIGNAGE:**  
ALL SIGNAGE SHALL COMPLY WITH IDO SECTION 14-16-5-12 SIGNS

**BUILDING HEIGHT:** = 38' MAXIMUM BUILDING HEIGHT  
STRUCTURE HEIGHT SHALL CONFORM TO THE COA IDO SECTION 2-4(B)  
MIXED-USE LOW INTENSITY ZONE DISTRICT (MX-L)

**MINIMUM BUILDING SETBACKS:**  
COA IDO REQUIREMENTS TABLE 2-4-3: MX-L ZONE DISTRICT DIMENSIONAL STANDARDS SUMMARY:

FRONT	=	5' PER COA IDO
SIDE	=	5' PER COA IDO
REAR	=	15' PER COA IDO

**PARKING CALCULATIONS:**  
OFF-STREET PARKING SPACES USED TO COMPLY WITH THE REQUIREMENTS OF SECTION 14-16-5-5 PARKING AND LOADING AND TABLE 5-5-1:  
PERMISSIVE PRIMARY USE: RESTAURANT  
PROJECT USE: DRIVE-THRU/WALK-UP COFFEE SHOP  
8 SPACES / 1,000 SQ. FT. GFA  
BUILDING AREA: 934 SF. / 1,000 SQ. FT. = 0.93 X 8 = 7.47/8  
1 X 8 SPACES = 8 REQUIRED SPACES

REQUIRED PARKING SPACES: 8 SPACES  
PROVIDED PARKING SPACES: 10 SPACES  
INCLUDING: 2 HC SPACES

PER 5-5-5(D) MOTORCYCLE PARKING, TABLE 5-5-4:  
TOTAL PARKING SPACES REQUIRED BY TABLE 5-5-1: 5 REQUIRED SPACES  
1-25 REQUIRED PARKING SPACES: = 1 REQUIRED MOTORCYCLE SPACE  
REQUIRED MOTORCYCLE PARKING: 1 SPACE  
PROVIDED MOTORCYCLE PARKING: 2 SPACE

PER TABLE 5-5-5, BICYCLE PARKING REQUIREMENTS:  
NON-RESIDENTIAL USES NOT LISTED IN THIS TABLE: 3 SPACES OR 10% OF REQUIRED OFF-STREET PARKING SPACES, WHICHEVER IS GREATER  
REQUIRED BICYCLE PARKING: 3 SPACES  
PROVIDED BICYCLE PARKING: 3 SPACES

**CONSTRUCTION TYPE:**  
PROPOSED 1-STORY COFFEE SHOP (RESTAURANT): V-B NON-SPRINKLERED

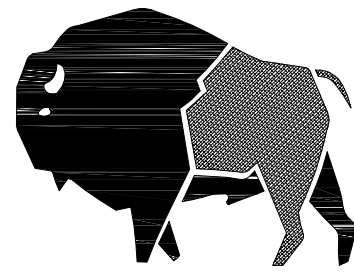
**FIRE FLOW REQUIREMENTS:**  
PER IFC 2015, TABLE B105.1(2)  
CONSTRUCTION TYPE: V-B NON-SPRINKLERED  
TOTAL BUILDING SQUARE FOOTAGE: 934 SF.  
FIRE FLOW: 1,500 GPM

## FIRE LANE LOCATION

----- FIRE LANE STRIPING PER COA-AFD REQUIREMENTS



VICINITY MAP:



buffalodesign

architects

10899 montgomery blvd ne  
suite a  
albuquerque, nm 87111

SEAL



09-14-2022

PROJECT

STARBUCKS COFFEE COMPANY  
BUILDING & SITE DEVELOPMENT

NEC of COORS ROAD NW. and BRYTON ROAD NW.  
ALBUQUERQUE, NEW MEXICO

REVISIONS	DESCRIPTION	
	DATE	
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

CLIENT PROJ #:  
ARCHT PROJ #: A20.02  
DRAWN BY: mws  
CHECKED BY: mws  
DATE: JULY 20, 2022

SHEET TITLE  
ARCHITECTURAL  
SITE PLAN FOR  
TRAFFIC CIRCULATION  
LAYOUT

AS-TCL  
PAGE: 1 OF 2

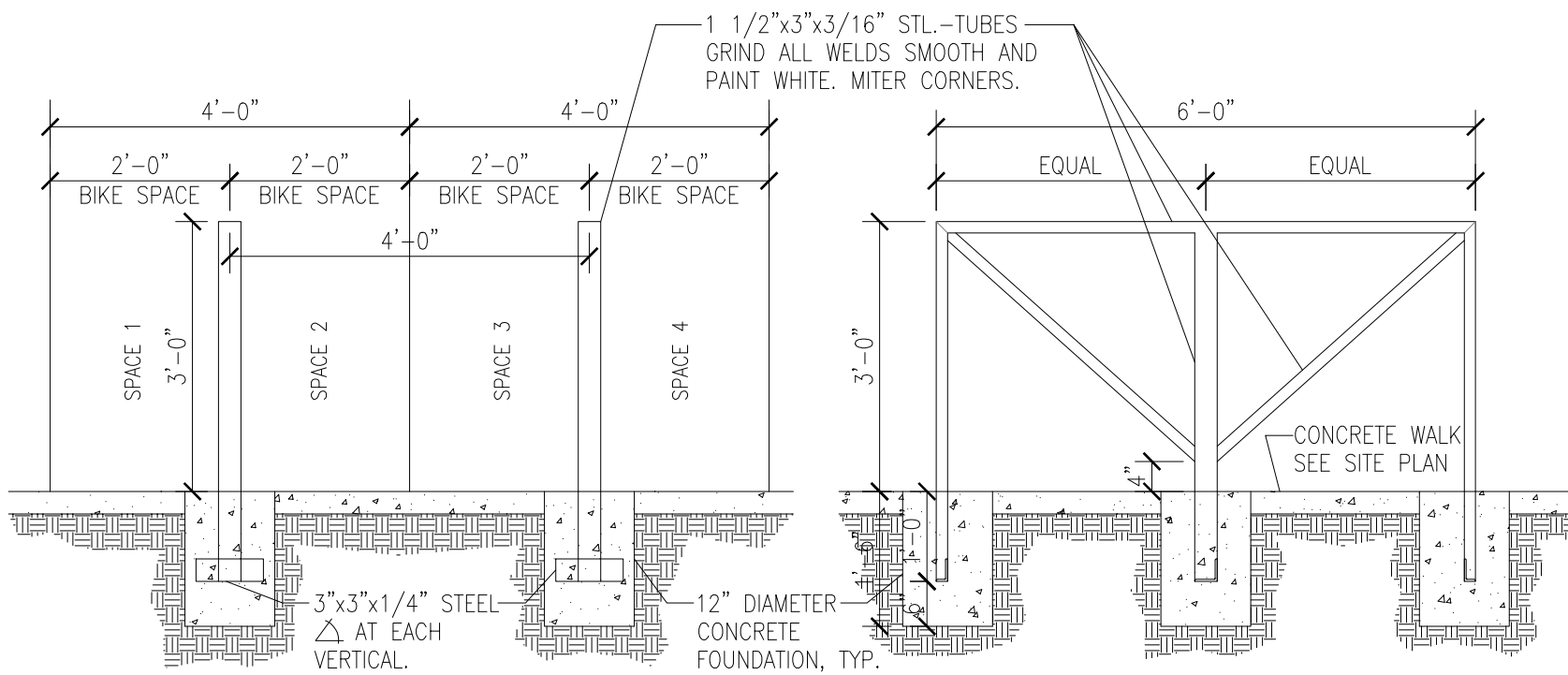


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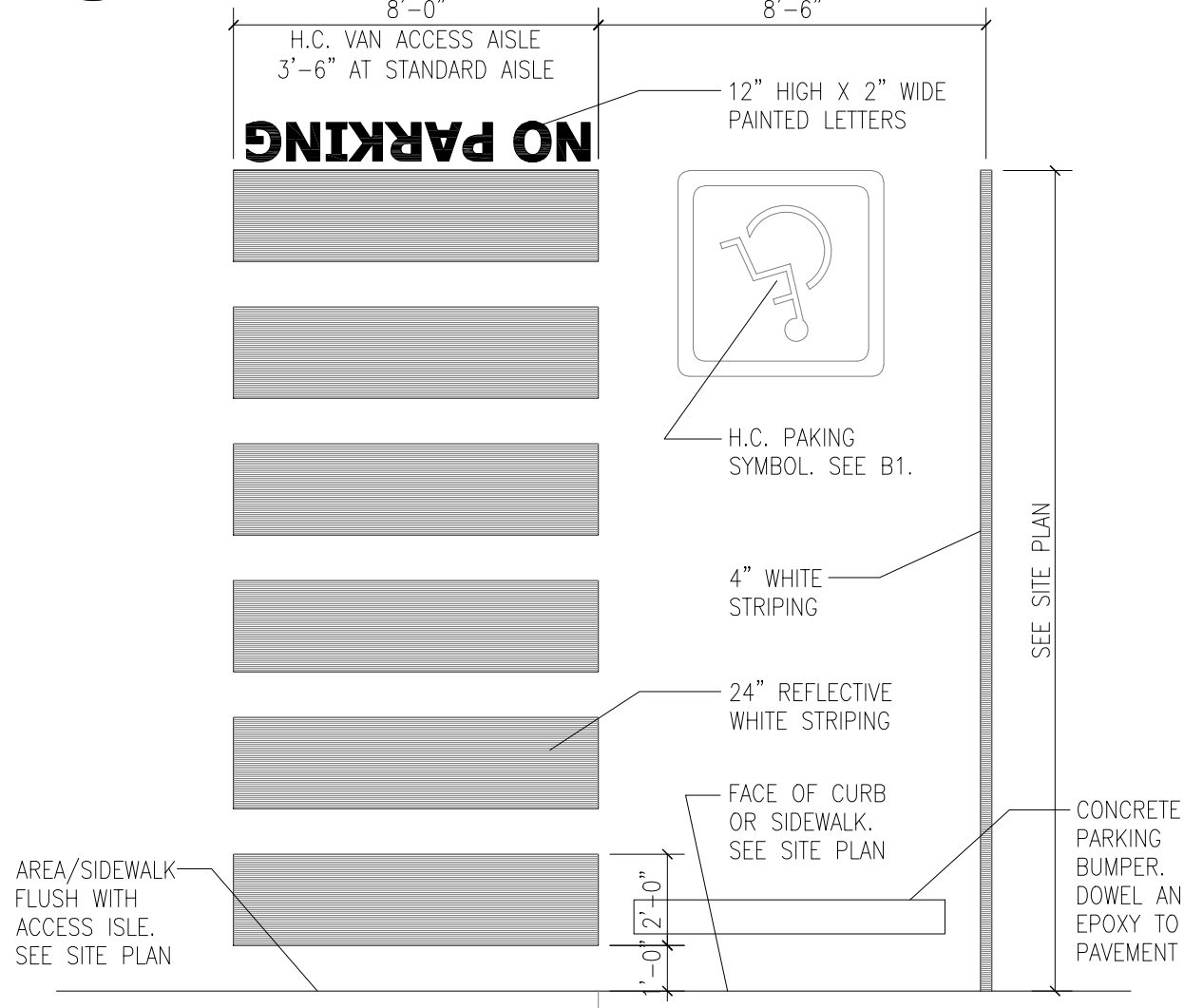
C

B

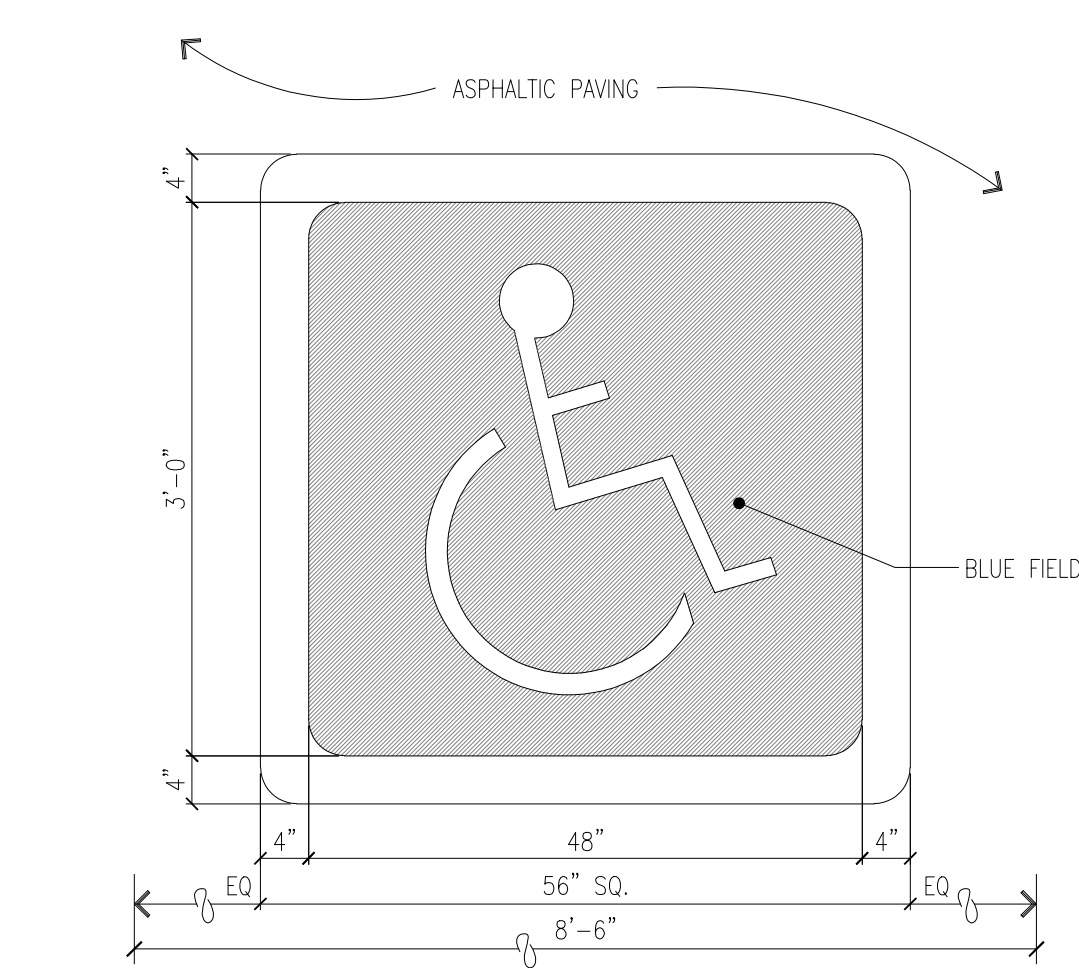
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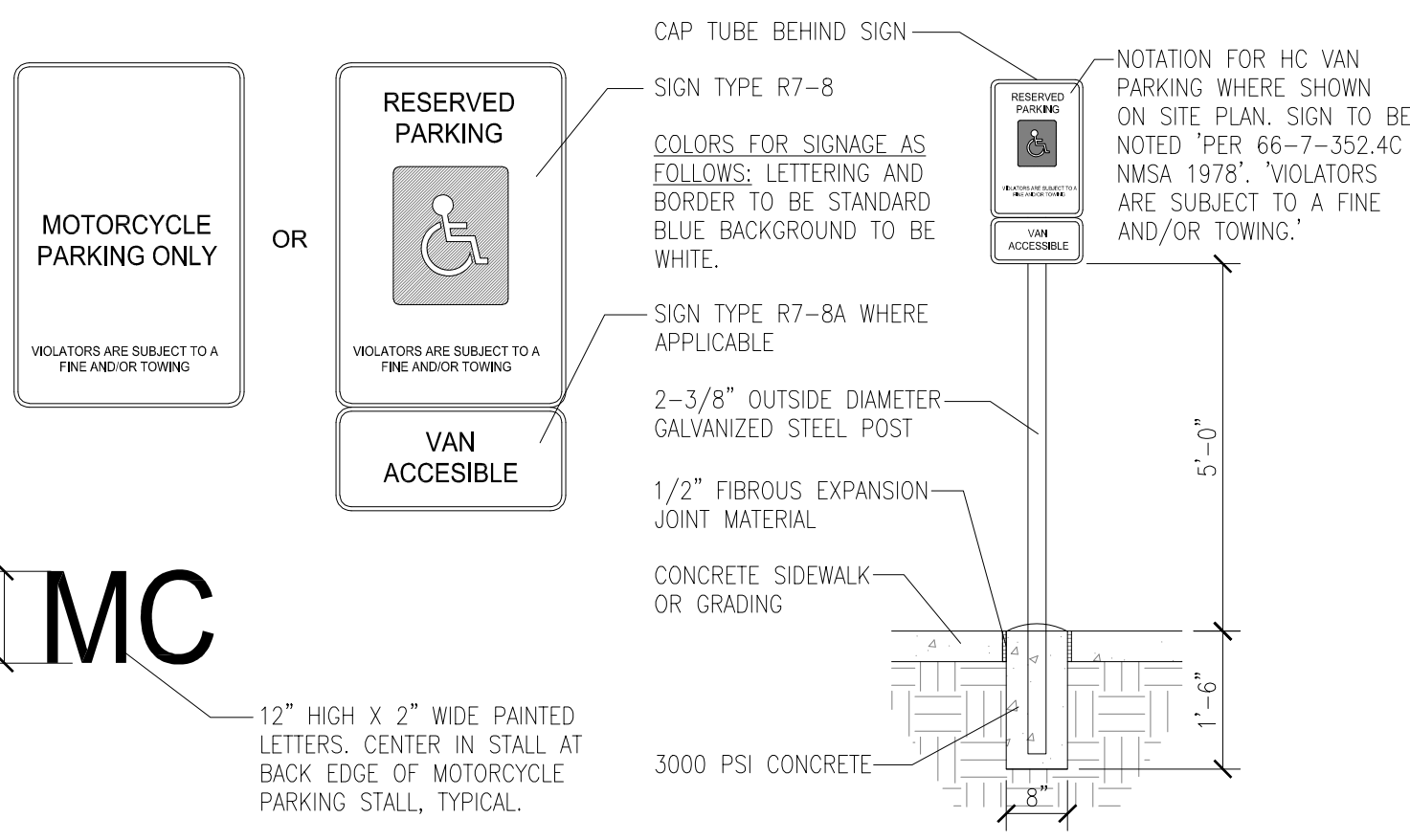
D1 HANDICAP/MC SIGN POST  
SCALE: 1/2" = 1'-0"



C1 HC PARKING STRIPING DETAIL  
SCALE: 1/4" = 1'-0"

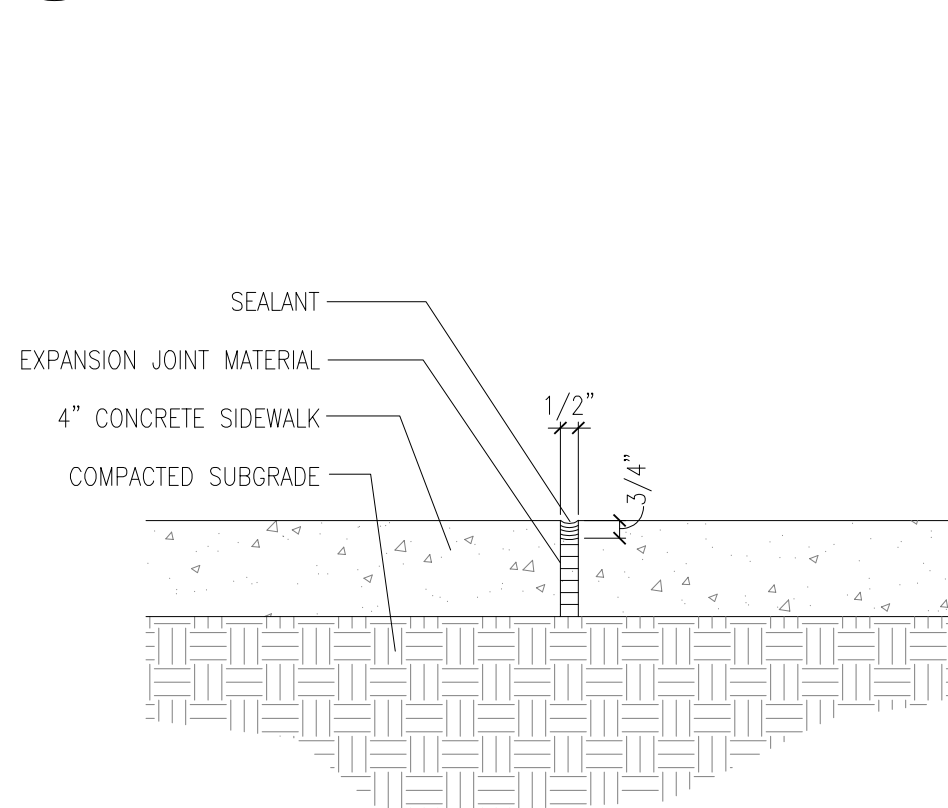


B1 HC PAVEMENT SIGN DETAIL  
SCALE: 3/4" = 1'-0"

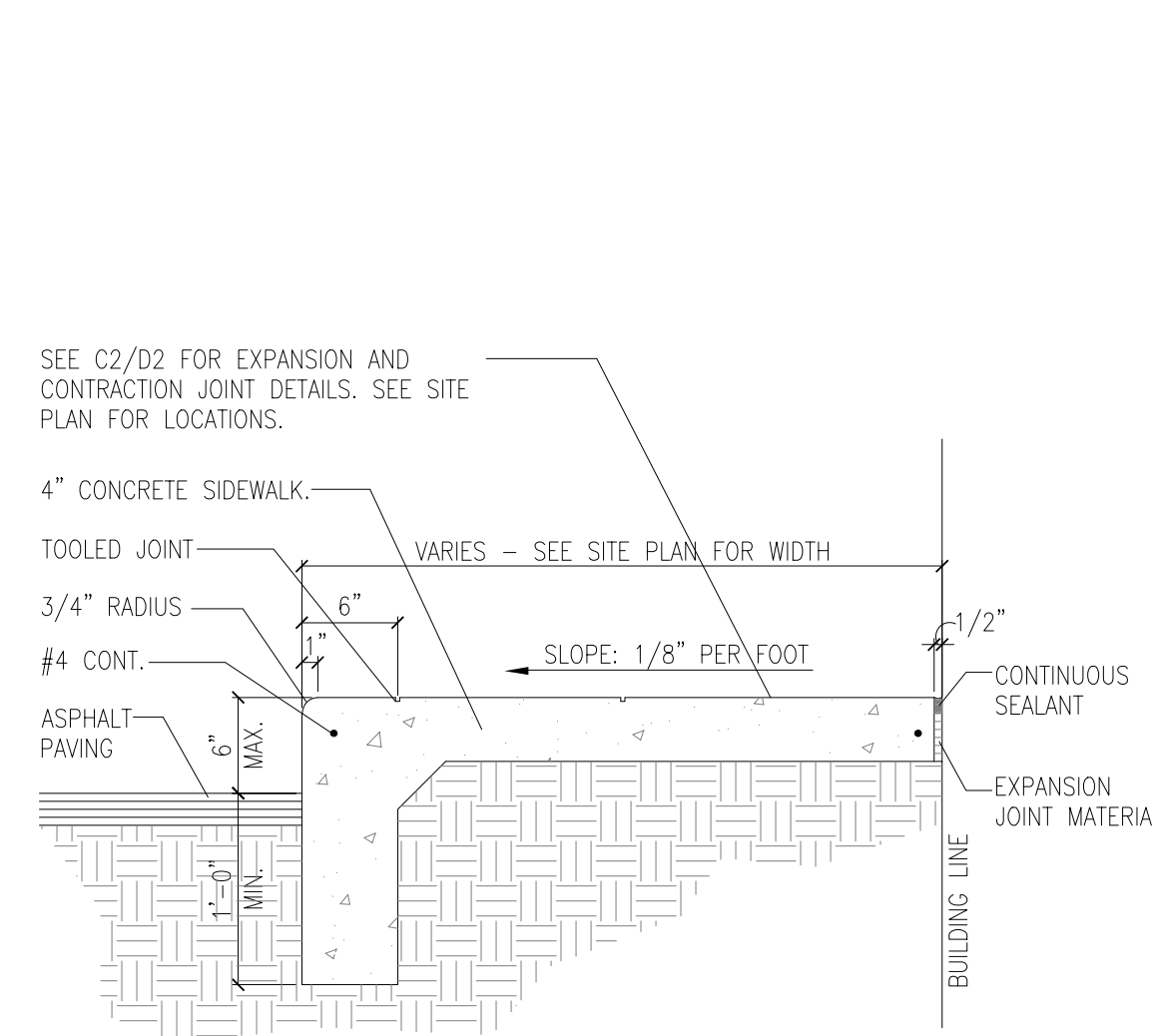


A1 HANDICAP/MC SIGN POST  
SCALE: 1/2" = 1'-0"

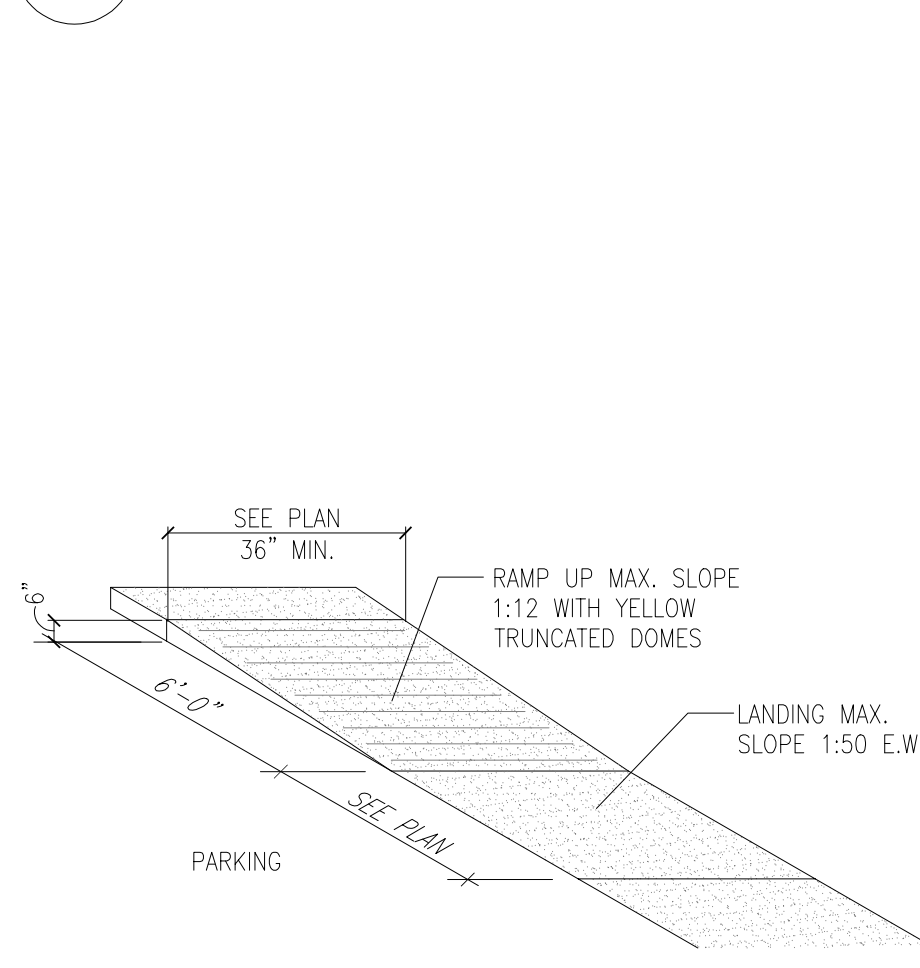
D2 CONTRACTION JOINT DETAIL  
SCALE: 1 1/2" = 1'-0"



C2 EXPANSION JOINT DETAIL  
SCALE: 1 1/2" = 1'-0"

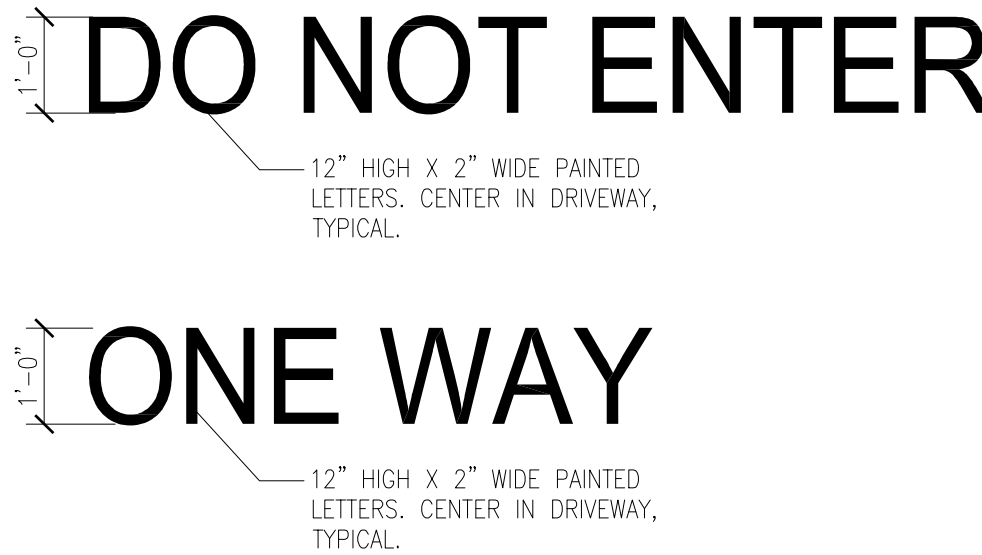


B2 CONCRETE SIDEWALK DETAIL  
SCALE: 1" = 1'-0"

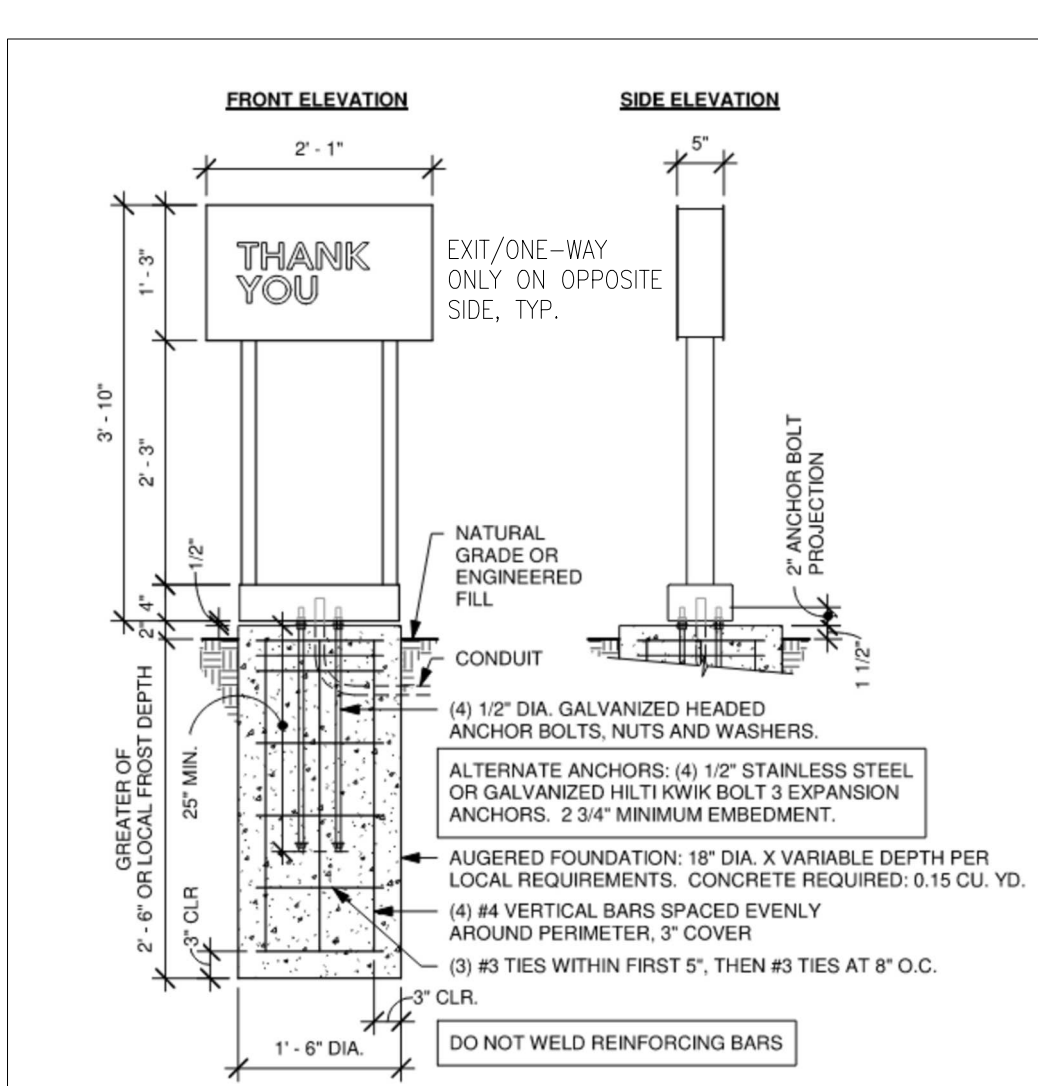


A2 H.C RAMP DETAIL  
SCALE: ISOMETRIC-NOT TO SCALE

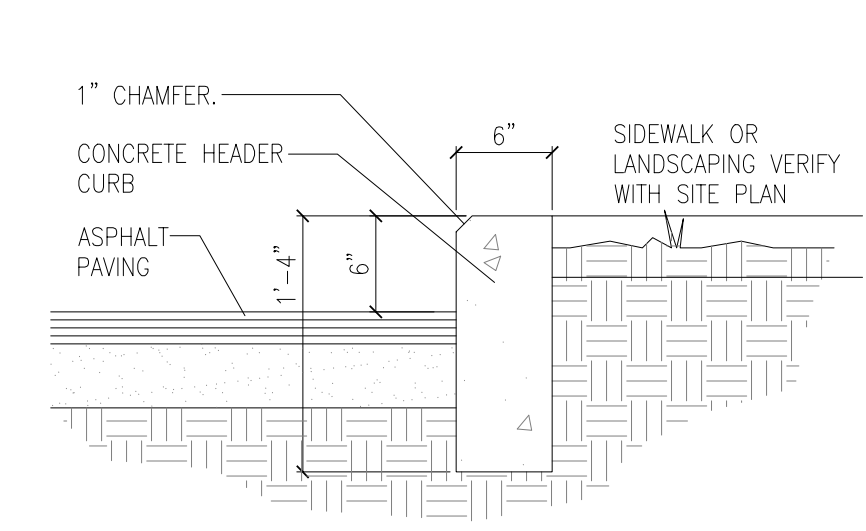
TRAFFIC CIRCULATION  
LAYOUT APPROVED  
Ernest Amijo  
Signed  
9/15/2022  
Date



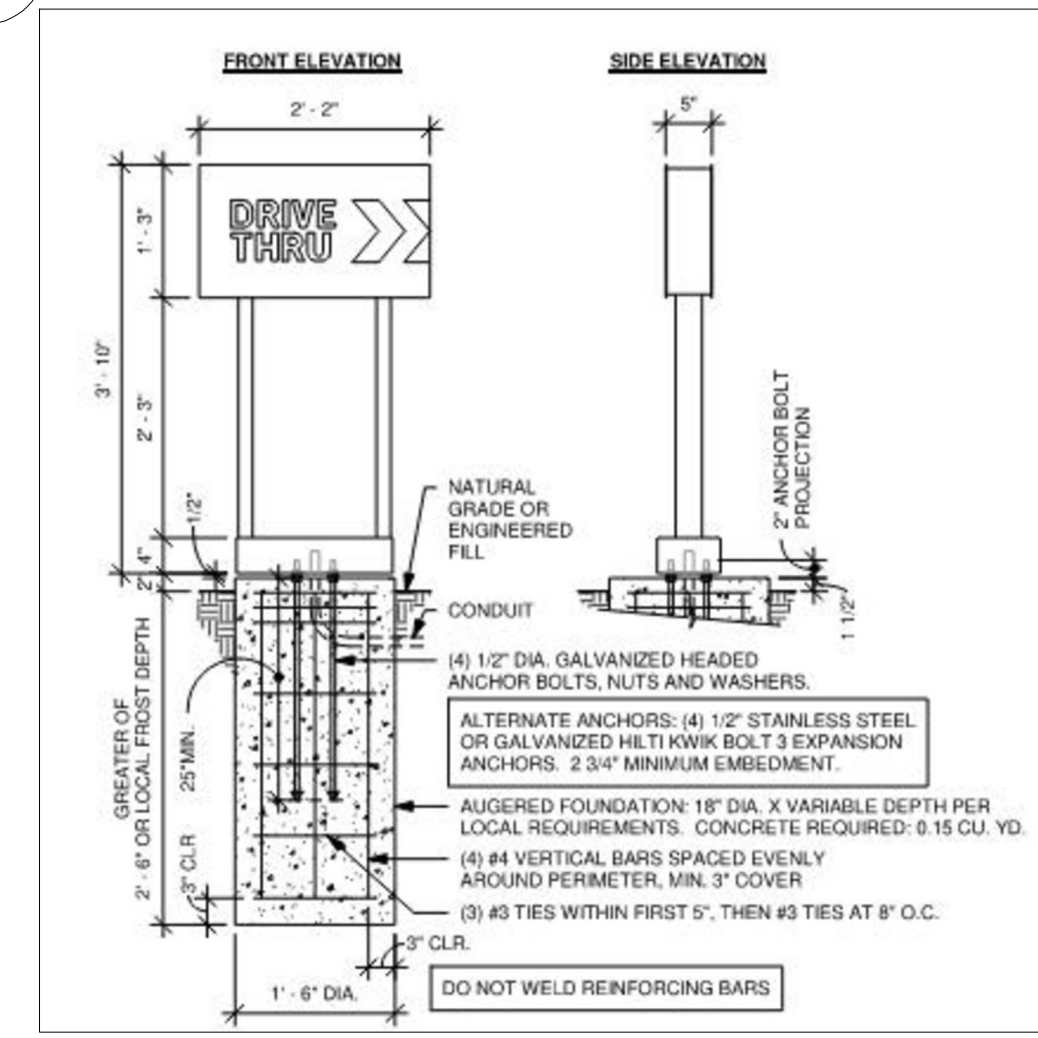
D4 PAVEMENT SIGNS  
SCALE: 1/2" = 1'-0"



C4 THANK YOU/EXIT ONLY SIGN  
SCALE: NOT TO SCALE



B4 TYPICAL STAND-UP CURB  
SCALE: 1" = 1'-0"



A4 DIRECTIONAL SIGN DETAIL  
SCALE: NOT TO SCALE



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SEAL  
STATE OF NEW MEXICO  
LARRY A. ANDERSON  
3089  
REGISTERED ARCHITECT  
09-14-2022

PROJECT  
STARBUCKS COFFEE COMPANY  
BUILDING & SITE DEVELOPMENT  
NEC of COOKS ROAD NW. and BRYTON ROAD NW.  
ALBUQUERQUE, NEW MEXICO

REVISIONS	DESCRIPTION	
	DATE	

CLIENT PROJ #:  
ARCHT PROJ #: A20.02  
DRAWN BY: mws  
CHECKED BY: mws  
DATE JULY 20, 2022

SHEET TITLE  
SITE PLAN  
DETAILS