
To: Margaret Haynes, NMDOT Assistant District 3 Traffic Engineer

From: Chuck Huffine, PE, PTOE

Date: March 31, 2022

Re: 3/17/22 Comment Responses – Coffee Shop Development Traffic Impact
Study Northeast corner of NM 45 (Coors Blvd) and Brayton Rd
Albuquerque, New Mexico

NMDOT provided the comments below, dated March 17, 2022, concerning the Coffee Shop Development draft Traffic Impact Study, dated January 16, 2022. An updated Traffic Report has been prepared and submitted with this memo. The following presents my responses:

General Comments:

- 1) An access permit shall be obtained from the COA for Fortuna, Hanover and Brayton which access NM 45.

Response: We understand that NMDOT will work with the City of Albuquerque to get these directly.

- 2) Synchro is not an acceptable software for signalized analysis or queueing calculations. These will need to be resubmitted utilizing the Highway Capacity Software (HCS). HCM output via Synchro is also not acceptable. Please provide HCS files as well. I am requesting a second draft TIS or TIS addendum to be submitted for review.

Response: Analysis on Coors Blvd. was re-done using HCS7, based on the Highway Capacity Manual.

- 3) Include site plan within body of the report.

Response: Included as Figure 2.

- 4) No additional access will be allowed to this site when the future development builds out. All access shall be obtained via Brayton and 59th Street.

Response: Understood

- 5) This study is only valid to the unknown build-out if the future restaurant trip generation is equal to or less than what is shown in this TIS.

Response: Understood

- 6) Please provide plat identifying the share access easement through the Taco Bell property. Summary tables with LOS for each lane approach should be inserted within the report document.

Response: Plat and easement info is attached to this memo.

- 7) NM 45 planning documents include 4 thru lanes and bike lanes along NM 45. Further discussion is needed. Any right-of-way needs along this development's frontage to NM 45 will be required.

Response: This issue can be discussed directly with the owner and is not discussed in the traffic study. Since there are no adjacent bike lane facilities on Coors Blvd., and it may be some time before a bike lane is added, we are not including a bike lane in our recommendations.

- 8) At minimum, all ADA facilities along the development and at its access points must meet PROWAG.

Response: Understood.

- 9) Include deceleration lane warrant for a dedicated right turn at NM 45 and Brayton. It appears it is warranted. If so, this will be required by this development. Vacant property south of Brayton is public ROW.

Response: The warrant for the northbound right turn deceleration lane will be met by this development. See Table 6 in the traffic report. We do note that no deceleration lane was required for the Dutch Brothers Coffee Shop. In addition, since no other turn lanes meet deceleration lengths in the study area, we request that only a lane long enough to handle queues be required. We proposed 100 feet.

- 10) Are there any opportunities to modify signal timing within the NM 45 coordinated system, if so please provide recommendations. Analysis must reflect if there is or is not existing detection at the signals.

Response: There is no detection on mainline Coors Blvd. Signal timings were not changes as a result of background growth or the proposed development.

- 11) Include coordinated signal timing plans for NM 45 signalized intersections in the appendix.

Response: Existing signal timing and coordination plans are included in Appendix D.

Report Comments:

- 1) Page 3 – Provide trip total in table.

Response: Provided

- 2) Page 3 – Trips were collected at a similar site to develop a trip rate for the proposed coffee shop.

Response: Acknowledged.

- 3) Page 5 – Acceptable LOS criteria follows the NMDOT's State Access Management Manual (SAMM). NM 45 and all of its access points must meet SAMM criteria, this includes but is not limited to the LOS, access spacing and deceleration lanes.

Response: Understood.

- 4) Page 8 – MRCOG has a long range bikeplan which identifies NM 45 as a bike route, therefore those facilities should be incorporated as a part of this project.

Response: Discussion of the bike route is included in the revised study. However, any bike improvements will need to be discussed with the owner.

- 5) Page 10 – Provide justification of pass by rate of 50%

Response: Justification came from the ITE Trip Generation Handbook, 3rd edition.

- 6) Page 14 – Revise per HCS analysis. Add gridlines to ease reading across the columns. Modifying roadway network LOS graphics in appendix is not necessary.

Response: Gridlines were added. LOS graphics were also updated.

- 7) Page 15 – SAMM requires queue plus deceleration lane length for compliance. It does not appear that any of the auxiliary lanes which this development will use meet SAMM today. Include this in your study. Optimization of storage area and priority of compliance is at signalized intersections.

Response: All existing turn lanes are long enough to handle forecast queues with the proposed development. However, none of the turn lanes currently provide the 400-foot required deceleration distance. Table 6 in the traffic report shows that the proposed development will only contribute a small fraction of traffic to these lanes, or none at all. As such, the report recommends that NMDOT length these lanes and not the developer/owner. Note that the southbound left turn lane at Brayton cannot be widened as the northbound left turn lane at Hanover takes priority for the available length of median.

- 8) Page 17 – Any issues with sight distance at access points at NM 45?

Response: No issues were found at the access points to Coors Blvd.

Respectfully submitted,



Chuck Huffine, PE, PTOE
President
CLH Associates LLC

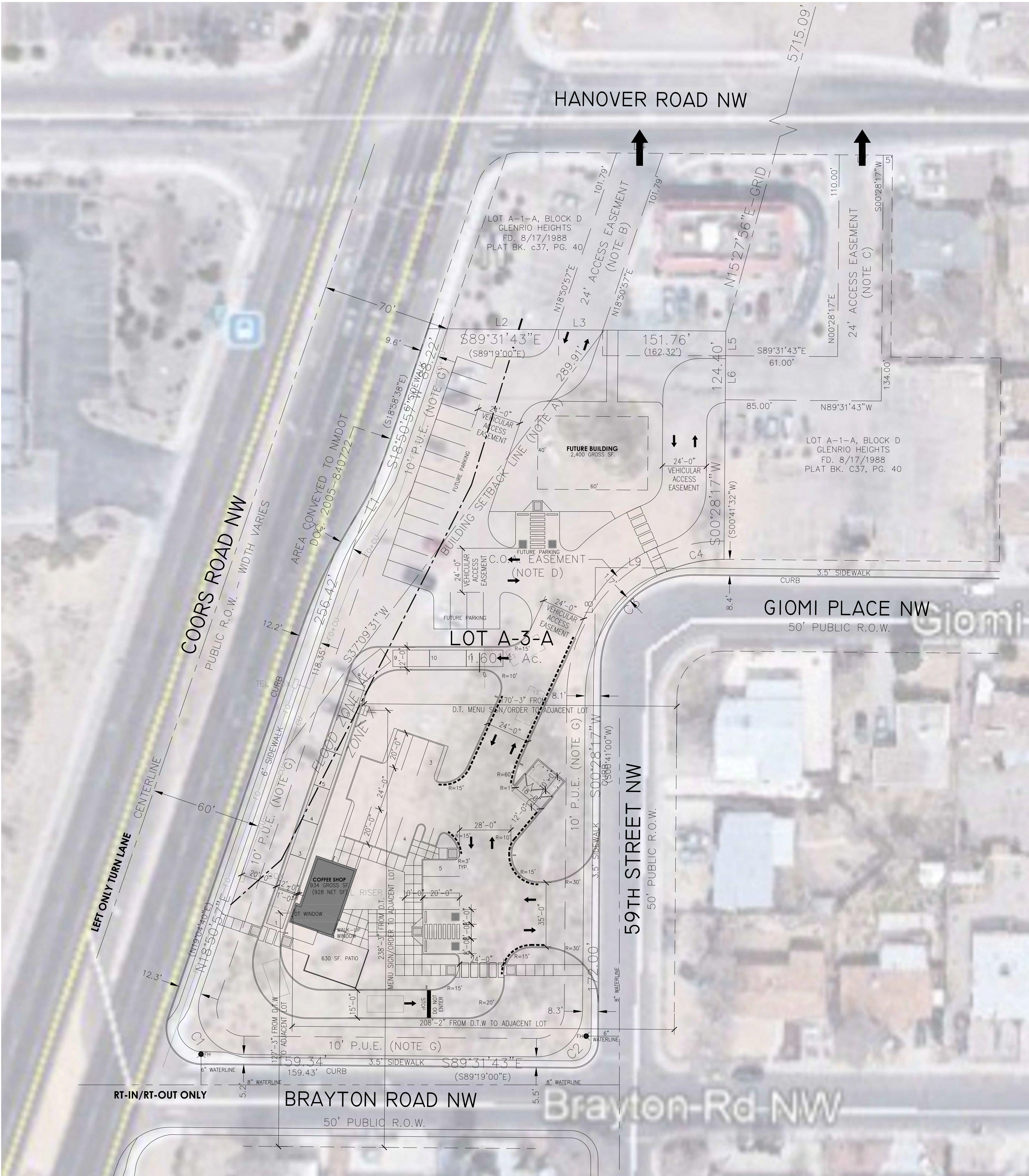
Cc:
Helen Strader, Broker/Owner
Matt Grush, COA

D

C

B

A



A1 ARCHITECTURAL SITE PLAN

0 30' 60'

SCALE: 1" = 30'

GENERAL NOTES

- A. PARKING LOT DIMENSIONS ARE FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- B. ALL FIRE APPARATUS ACCESS ROADS SHALL NOT EXCEED 10 PERCENT IN GRADE.
- C. ALL FIRE APPARATUS ACCESS ROADS SHALL HAVE AN ASPHALT, CONCRETE, OR OTHER APPROVED DRIVING SURFACE CAPABLE OF SUPPORTING THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS.

SITE DEVELOPMENT DATA

LEGAL DESCRIPTION:
PLAT OF LOT A-3-A, BLOCK D, GLENRIO HEIGHTS
(FORMERLY LOTS A-2-A & A-3, BLOCK D)
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO

LAND AREA:
0.9396 ACRES (40,929 SQ. FT.)

BUILDING AREAS:
TOTAL BUILDING AREA: 934 SF. SINGLE-STORY STRUCTURE

ZONE ATLAS PAGE:
J-11-Z

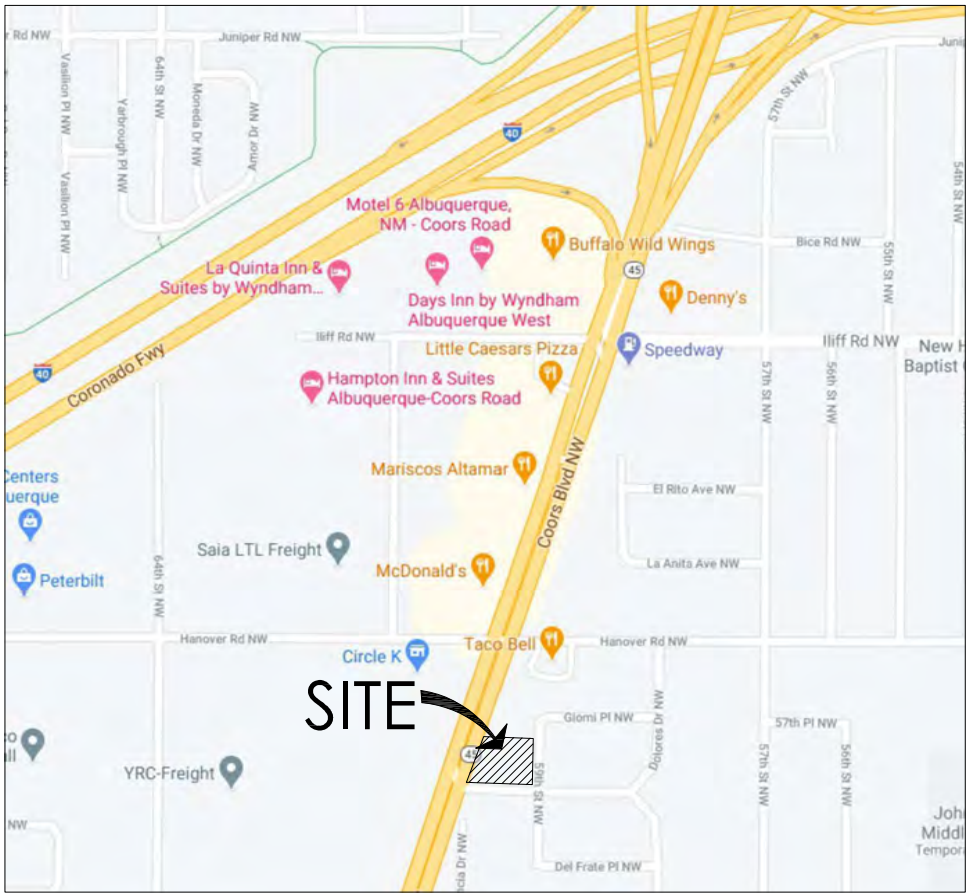
CURRENT ZONING:
CITY OF ALBUQUERQUE IDO ZONE DISTRICT: MX-L

PARKING REQUIREMENTS: (8 SPACES PER 1,000 SF)
934 SF / 1,000 = 0.93 X 8 = 7.47/8
PARKING SPACES REQUIRED = 8 SPACES
PARKING SPACES PROVIDED = 12 SPACES

BUILDING HEIGHT:
20' BUILDING HEIGHT

CONSTRUCTION TYPE:
PROPOSED 1-STORY COFFEE SHOP (RESTAURANT): V-B NON-SPRINKLERED

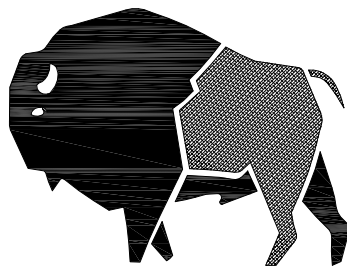
FIRE FLOW REQUIREMENTS:
PER IFC 2015, TABLE B105.1(2)
CONSTRUCTION TYPE: V-B NON-SPRINKLERED
TOTAL BUILDING SQUARE FOOTAGE: 934 SF.
FIRE FLOW: 1,500 GPM



LOCATION MAP:



VICINITY MAP:



buffalodesign

architects

10899 montgomery blvd ne
suite a
albuquerque, nm 87111

SEAL

PROJECT

STARBUCKS COFFEE COMPANY
BUILDING & SITE DEVELOPMENT

NEC of COORS ROAD NW. and BRYTON ROAD NW.
ALBUQUERQUE, NEW MEXICO

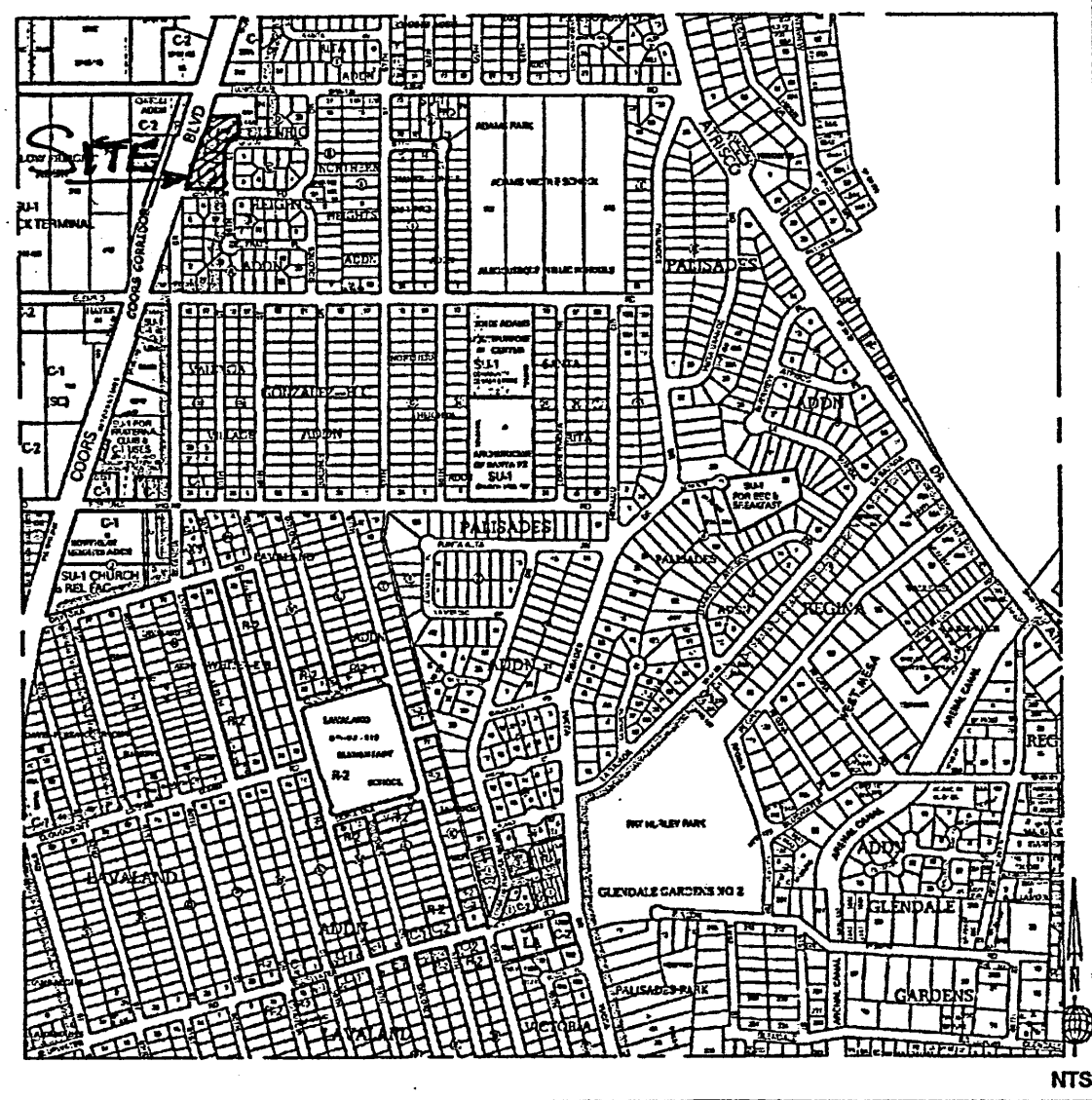
REVISIONS

DATE	DESCRIPTION

CLIENT PROJ #:
ARCHT PROJ #: A19.15
DRAWN BY: MWS
CHECKED BY: MWS
DATE September 10, 2021

SHEET TITLE
ARCHITECTURAL
SITE PLAN

AS-101



VICINITY MAP

ZONE ATLAS PAGE J-11

UTILITY APPROVALS:

PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON AND JOINT USE OF:

A. PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE, AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.

B. NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.

C. QWEST COMMUNICATIONS FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.

D. COMCAST CABLE FOR THE INSTALLATION, MAINTENANCE AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE TV SERVICES.

INCLUDED, IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE, CHANGE, REMOVE, MODIFY, RENEW, OPERATE, AND MAINTAIN FACILITIES FOR THE PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSE SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN. NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURES SHALL BE ERRECTED OR CONSTRUCTED ON SAID EASEMENTS NOR SHALL ANY WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOL, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON THIS PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMERS/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

DISCLAIMER:
IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM) AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH MAY HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN ON THIS PLAT.

PUBLIC SERVICE CO. OF NEW MEXICO

DATE

12-28-17

QWEST CORPORATION, DBA CENTURYLINK QC

DATE

1-9-18

NEW MEXICO GAS COMPANY

DATE

12/28/17

COMCAST CABLE

DATE

12/28/17

LEGAL DESCRIPTION:

Lot A-3, Block D of the Amended Plat of Glenrio Heights, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on January 13, 1983 in Plat Book B20, Page 47.

AND

Lot A-2-A, Block D of the Corrected Plat of Glenrio Heights, as the same is shown and designated on the plat thereof, filed in the office of the County Clerk of Bernalillo County, New Mexico on August 17, 1988 in Plat Book C37, Page 40. Excepting therefrom the portion of said Lot A-2-A conveyed to New Mexico Department of Transportation by Warranty Deed recorded March 28, 2005 as Document No. 2005040722.

FREE CONSENT:

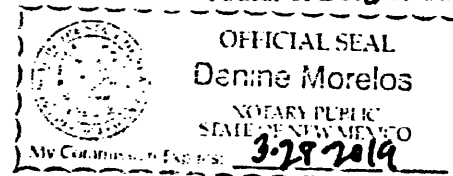
The undersigned owner(s) do hereby consent to the platting of said property as shown hereon and the same is with their free consent and in accordance with their desires. The undersigned individuals hereby represent themselves as authorized to so act. The undersigned hereby grant the easement(s) as shown and noted hereon. The undersigned warrant that they hold among them complete and indefeasible title in fee simple to the subdivided property.

Mary L. Dow, co-trustee
Mary Dow Revocable Trust

Arthur J. Dow, co-trustee

ACKNOWLEDGEMENT

State of New Mexico)
County of Bernalillo)ss



This instrument was acknowledged before me on December 15, 20 17.

BY: Mary L. Dow, trustee Arthur J. Dow, trustee

My Commission expires: 3-28-2019

Denine Morelos
Notary Public

SURVEYOR'S CERTIFICATE:

I, Gary E. Gritsko, a duly qualified New Mexico Professional Surveyor under the laws of the State of New Mexico, do hereby certify that this plat was prepared by me or under my supervision, that it shows all easements as shown on the plat of record or made known to me by the owners of the subdivision shown hereon, utility companies and other parties expressing an interest and that it meets the minimum requirements for monumentation and surveys of the Albuquerque Subdivision Ordinance, and further that it meets the Minimum Standards for Land Surveying in the State of New Mexico, and is true and correct to the best of my knowledge and belief.

Gary E. Gritsko, N.M.P.S. No. 8686

Date

Dec. 14, 2017



COUNTY CLERK/RECORDING STAMP

DOCH 2018007442

01/25/2018 11:00 AM Page: 1 of 3
PLAT R: \$25.00 B: 2018C P: 0010 Linda Stover, Bernalillo County

PLAT OF
Lot A-3-A, Block D,
GLENRIO HEIGHTS/

(formerly Lots A-2-A & A-3, Block D)

within the Town of Atrisco Grant

projected Section 14, T.10N., R.2E., N.M.P.M.

City of Albuquerque, Bernalillo County, New Mexico

December 2017

PURPOSE OF PLAT:

The purpose of this plat is to combine two existing lots into one new lot, to grant additional easements and to vacate certain public utility easements.

CITY OF ALBUQUERQUE DEVELOPMENT REVIEW BOARD APPROVALS:

17DRB-70378

PROJECT NO. 1010973 APPLICATION NO. 17DRB-70379

DRB HAIRPERSON, PLANNING DEPARTMENT

1-18-2018

DATE

PARKS & RECREATION DEPARTMENT

1/17/18

DATE

A.B.C.W.U.A.

1/17/18

DATE

A.M.A.F.C.A.

1/17/18

DATE

CITY ENGINEER

1/17/2018

DATE

TRAFFIC ENGINEERING

1/17/18

DATE

CITY SURVEYOR

P.S.

12/20/17

DATE

BERNALILLO COUNTY TREASURER'S CERTIFICATE:

THIS IS TO CERTIFY THAT TAXES ARE CURRENT & PAID ON

UPC# 10110580894542160, 101105808142321603

Dow Mary L & Arthur J Trustees Dow Rev T
PROPERTY OWNER OF RECORD

Bernalillo County Treasurer

1/23/18

Date

SHEET 1 OF 3

ALPHA PRO SURVEYING, LLC
1436 32ND CIRCLE SE, RIO RANCHO, NEW MEXICO 87124
GARY@ALPHAPROSURVEYING.COM 505-892-1076
DRAWN BY: GEG FILE NO: 16-196

DOCH 2018007442

01/25/2018 11:00 AM Page: 2 of 3
PLAT R-525.00 B-2018C P: 0010 Linda Stover, Bernalillo County

PLAT OF
Lot A-3-A, Block D,
GLENRIO HEIGHTS
(formerly Lots A-2-A & A-3, Block D)
within the Town of Atrisco Grant
projected Section 14, T.10N., R.2E., N.M.P.M.
City of Albuquerque, Bernalillo County, New Mexico
December 2017

SURVEY AND SUBDIVISION NOTES:

- Bearings are based on NM State Plane grid bearings, Central zone, NAD83, rotated at AGRS Control Station 12_H11.
- Distances are horizontal ground distances in US survey feet.
- Bearings and distances in parenthesis () are record dimensions, where record dimensions differ from actual measurements.
- This plat shows all easements of record made known to this surveyor.
- Gross subdivision area: 1.6014 acre, more or less
- Number of existing lots: 2
- Number of lots created: 1
- FLOOD ZONE: The property shown hereon is PARTIALLY located in Flood Zone AE (EL 5097), areas of 1.0% annual chance flood, according to the FEMA Flood Insurance Rate Map of Bernalillo County, New Mexico, Panel No. 35001C0337H, effective date August 16, 2012.
- SOLAR RESTRICTIONS: No property within the area of requested final action shall at any time be subject to a deed restriction, covenant or binding agreement prohibiting solar collectors from being installed on buildings or erected on the lots or parcels within the area of proposed plat. The foregoing requirement shall be a condition to approval of this plat or site development plan for subdivision. (Section 14-14-4-7)
- Reference documents:
 - Plat of Glenrio Heights, fd. 8/17/1988, Bk. C37, Pg 40.
 - Plat of Glenrio Heights, fd. 1/13/1983, Bk. B20, Pg. 47.
 - Warranty Deed, fd. 3/28/2005, Doc. No. 2005-040722.

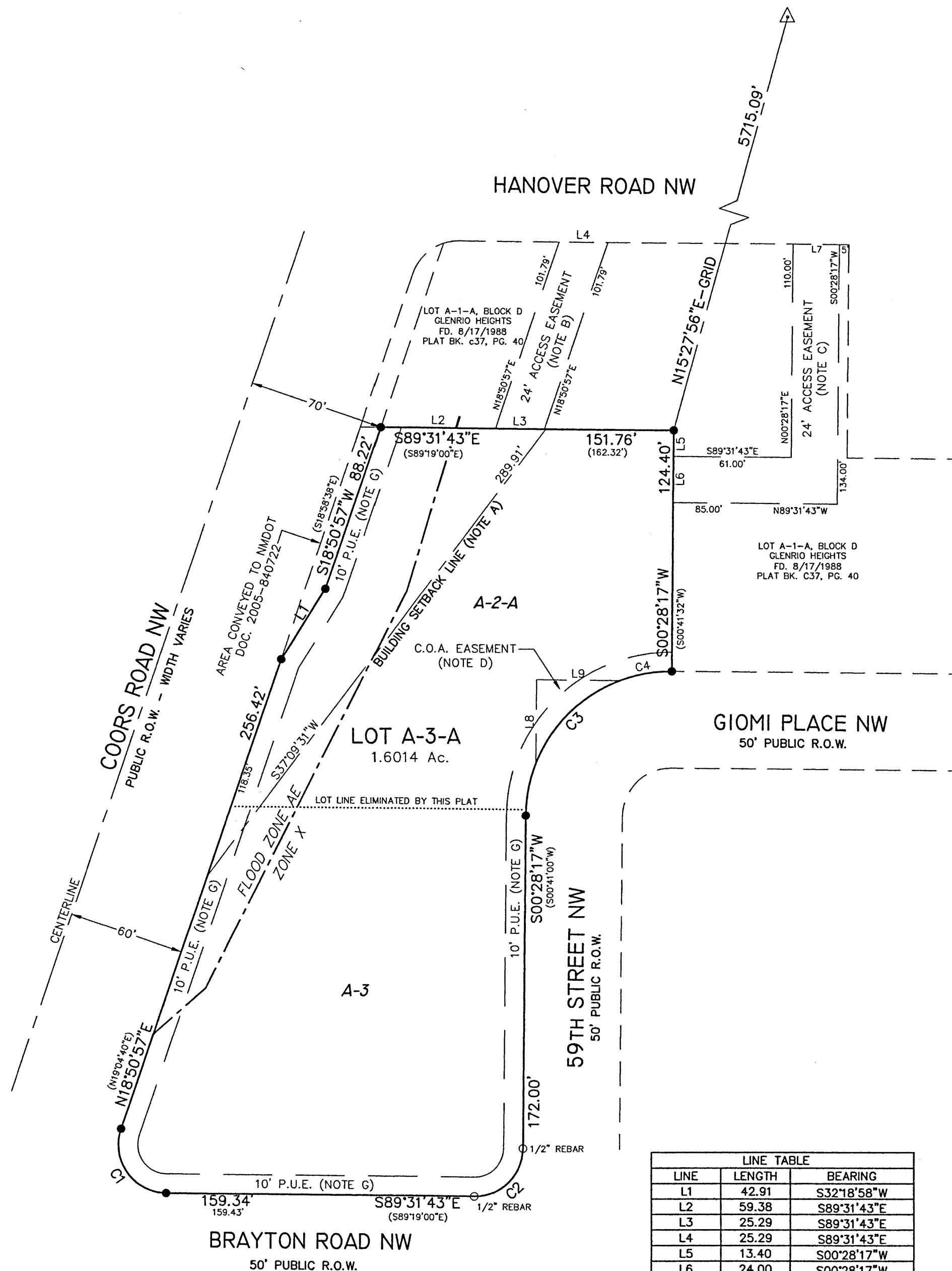
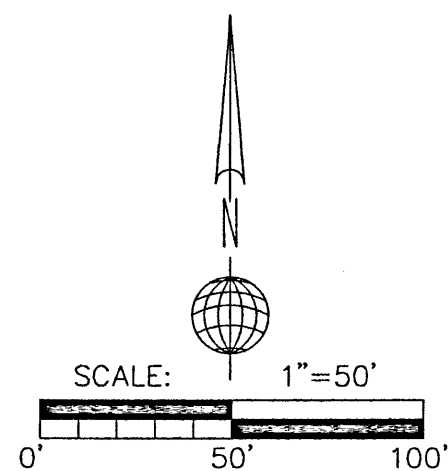
EASEMENT NOTES:

- Building Setback Line reserved by the Declaration of Restrictive Covenants and Easements filed April 16, 1987 as Document No. 1987-039240.
- 24' Reciprocal Access Easement reserved by the Declaration of Restrictive Covenants and Easements filed April 16, 1987 as Document No. 1987-039240.
- 24' Reciprocal Access Easement reserved by the Declaration of Restrictive Covenants and Easements filed April 16, 1987 as Document No. 1987-039240.
- City of Albuquerque Utility Easement reserved by the plat of Glenrio Heights, filed 8/17/1987 in Plat Book C37, Page 40.
- 5' wide Public Utility Easements reserved by the Plat of Glenrio Heights, filed 1/13/1983, in Plat Book B20, Page 37. (falls within the new 10' P.U.E. granted by this plat)
- Direct access onto or off of Coors Road NW is not permitted, according to the plat of Glenrio Heights, filed 8/17/1987 in Plat Book C37, Page 40.
- 10' Public Utility Easement granted by this plat for the installation and maintenance of underground public utility lines and related above ground equipment. This easement includes the existing 5' Public Utility Easement granted by the plat described in Note E above.

WATER AND SEWER NOTE:

THE EXISTING PUBLIC WATER AND SANITARY SEWER INFRASTRUCTURE MAY OR MAY NOT BE SIZED AND CONSTRUCTED TO ADEQUATELY SERVE POTENTIAL FUTURE DEVELOPMENT. IMPROVEMENT TO AND/OR UPSIZING OF EXISTING PUBLIC INFRASTRUCTURE MAY BE REQUIRED AS A CONDITION OF FUTURE DEVELOPMENT APPROVAL.

AGRS STATION "12_H11"
NM STATE PLANE COORDINATES
N=1497519.02, E=1505414.361
CENTRAL ZONE (NAD 83)
G-G FACTOR: 0.999680622
MAPPING ANGLE: -0°15'34.84"
ELEVATION: 5104.85' (NAVD88)



LINE TABLE		
LINE	LENGTH	BEARING
L1	42.91	S32°18'58"W
L2	59.38	S89°31'43"E
L3	25.29	S89°31'43"E
L4	25.29	S89°31'43"E
L5	13.40	S00°28'17"W
L6	24.00	S00°28'17"W
L7	24.00	S89°31'43"E
L8	43.07	S00°28'17"W
L9	43.07	S89°31'43"E

CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD	DELTA
C1	47.29	25.00	S35°20'23"E	40.55	108°22'40"
C2	39.27	25.00	N45°28'17"E	35.36	90°00'00"
C3	117.81	75.00	S45°28'17"W	106.07	90°00'00"
C4	27.54	75.00	S79°57'06"W	27.39	21°02'22"

MONUMENT LEGEND

- △ - FOUND CONTROL STATION AS NOTED
- - FOUND MONUMENT AS NOTED
- - SET 1/2" REBAR W/PLASTIC CAP STAMPED "G.GRITSKO PS8686", UNLESS OTHERWISE NOTED

SHEET 2 OF 3

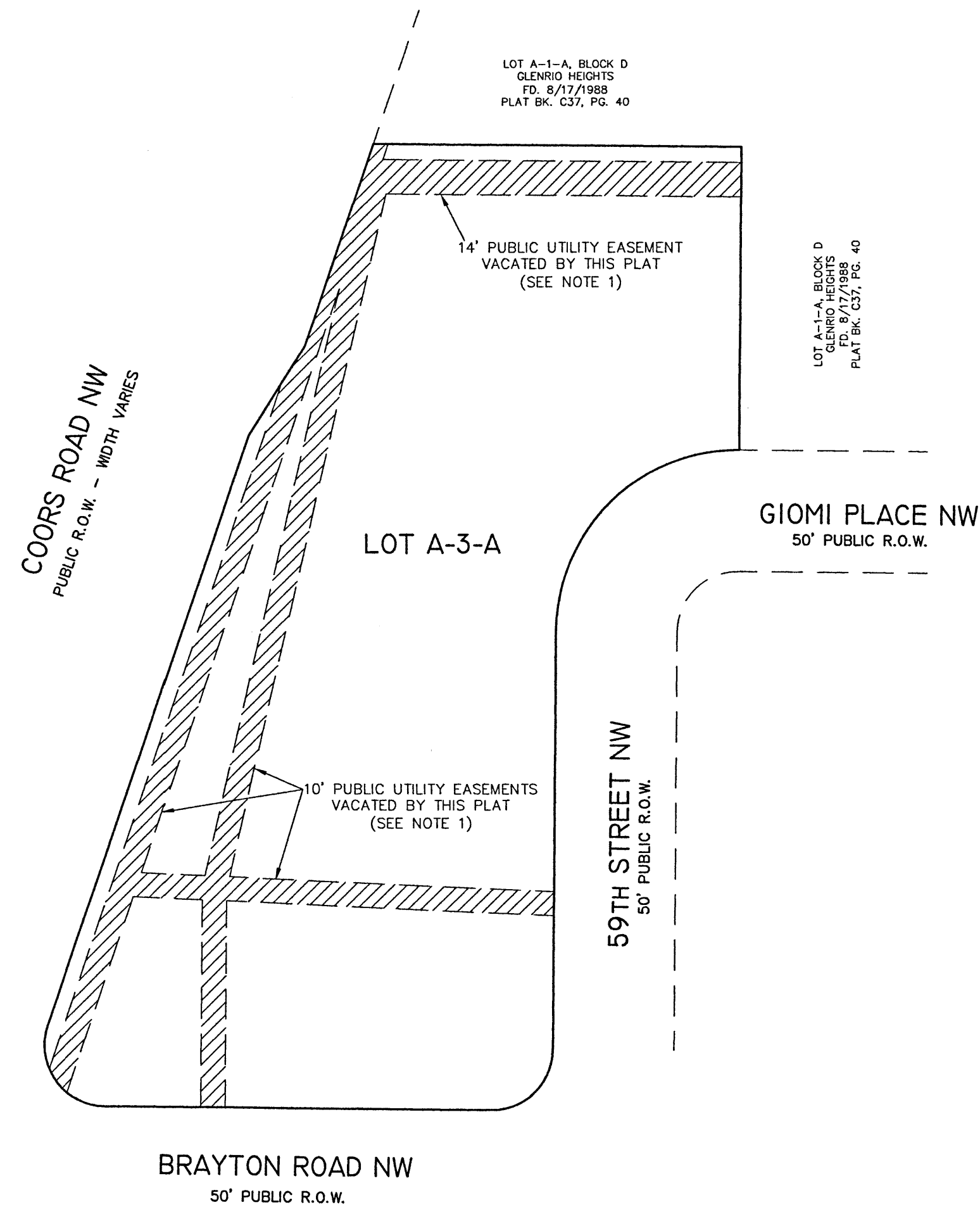
ALPHA PRO SURVEYING, LLC
1436 32ND CIRCLE SE, RIO RANCHO, NEW MEXICO 87124
GARY@ALPHAPROSURVEYING.COM 505-892-1076
DRAWN BY: GEG FILE NO: 16-196

DOCH 2018007442

01/25/2018 11:00 AM Page: 3 of 3
PLAT R: \$25.00 B: 20180 P: 0010 Linda Stover, Bernalillo County

MAP OF VACATED EASEMENTS

Lot A-3-A, Block D,
GLENRIO HEIGHTS
(formerly Lots A-2-A & A-3, Block D)
within the Town of Atrisco Grant
projected Section 14, T.10N., R.2E., N.M.P.M.
City of Albuquerque, Bernalillo County, New Mexico
December 2017



VACATED EASEMENTS NOTE:

1. Public Utility Easements granted by the plat of Glenrio Heights, recorded on February 7, 1963 in Plat Book C5, Page 149. Said easements are vacated by the recording of this plat.

