

CITY OF ALBUQUERQUE

Planning Department
Alan Varela, Director



Mayor Timothy M. Keller

July 19, 2022

Scott McGee, P.E.
9700 Sand Verbena Trail NE
Albuquerque, NM 87122

**RE: Starbucks – Coors & Brayton
Grading and Drainage Plan
Engineer's Stamp Date: 06/24/22
Hydrology File: J11D017**

Dear Mr. McGee:

Based upon the information provided in your submittal received 06/30/2022, the Grading & Drainage Plan **is not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

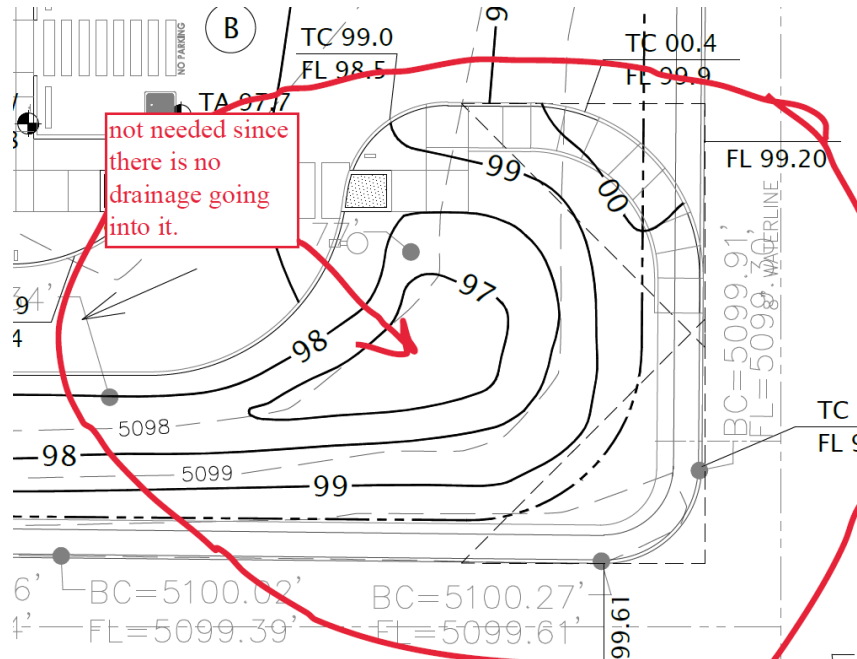
1. It is unclear what is being constructed and what is existing. It is not Hydrology's job to guess and if I can't tell, I know the contractor will not be able to tell as well. In places the line work for the existing is the same line weight as proposed. The only items that stands out are the proposed contour lines. Is the proposed pavement asphalt? At the edge of pavement at places there is a call out of top of curb and at others there is just a spot elevation but the line work is the same at both spots a single line it is not clear where the proposed curbing onsite starts and where it stops. The standard for a curb is a double line. Please clean this up.
2. It appears that there is proposed grading and construction work being done on a tract of land that is not owned by the project Owner. Provide written and signed permission from the adjoining property owner for work on their property. This should be notarized.
3. Please call out the stormwater quality ponds and include the provided SWQV and elevation of the SWQV and the bottom of the pond elevation. There is a pond at the southeast corner that does not have drainage going to it so it is not needed. The pond on the southwest corner discharges to the northeast but there needs a pipe under the connectivity sidewalk for drainage.

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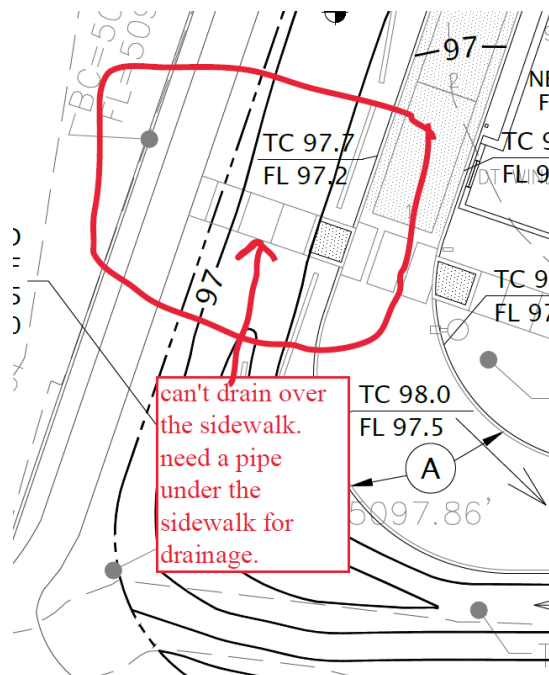


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4. Where does the entire site drain? The SWQ pond needs a spillway and the site needs to somehow drain to 59th Street or Brayton through a sidewalk culvert or pipe through the curb. Please revise the grading.



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 10/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

TYPE OF DEVELOPMENT: _____ PLAT (# of lots) _____ RESIDENCE _____ DRB SITE _____ ADMIN SITE

IS THIS A RESUBMITTAL? _____ Yes _____ No

DEPARTMENT: _____ TRAFFIC/TRANSPORTATION _____ HYDROLOGY/DRAINAGE

Check all that Apply:

TYPE OF SUBMITTAL:

- _____ ENGINEER/ARCHITECT CERTIFICATION
- _____ PAD CERTIFICATION
- _____ CONCEPTUAL G & D PLAN
- _____ GRADING PLAN
- _____ DRAINAGE MASTER PLAN
- _____ DRAINAGE REPORT
- _____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
- _____ ELEVATION CERTIFICATE
- _____ CLOMR/LOMR
- _____ TRAFFIC CIRCULATION LAYOUT (TCL)
- _____ TRAFFIC IMPACT STUDY (TIS)
- _____ OTHER (SPECIFY) _____
- _____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

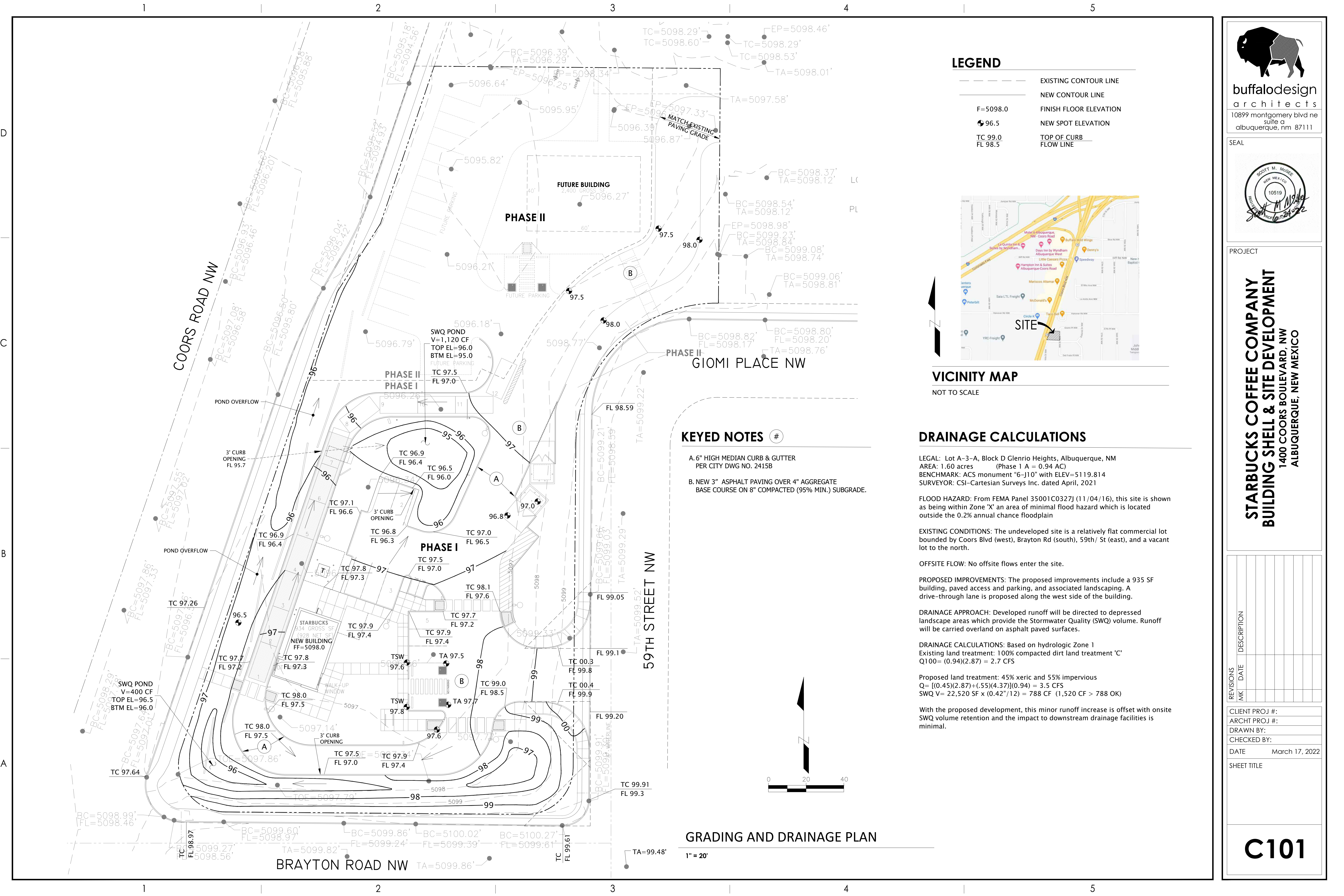
- _____ BUILDING PERMIT APPROVAL
- _____ CERTIFICATE OF OCCUPANCY
- _____ PRELIMINARY PLAT APPROVAL
- _____ SITE PLAN FOR SUB'D APPROVAL
- _____ SITE PLAN FOR BLDG. PERMIT APPROVAL
- _____ FINAL PLAT APPROVAL
- _____ SIA/ RELEASE OF FINANCIAL GUARANTEE
- _____ FOUNDATION PERMIT APPROVAL
- _____ GRADING PERMIT APPROVAL
- _____ SO-19 APPROVAL
- _____ PAVING PERMIT APPROVAL
- _____ GRADING/ PAD CERTIFICATION
- _____ WORK ORDER APPROVAL
- _____ CLOMR/LOMR
- _____ FLOODPLAIN DEVELOPMENT PERMIT
- _____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

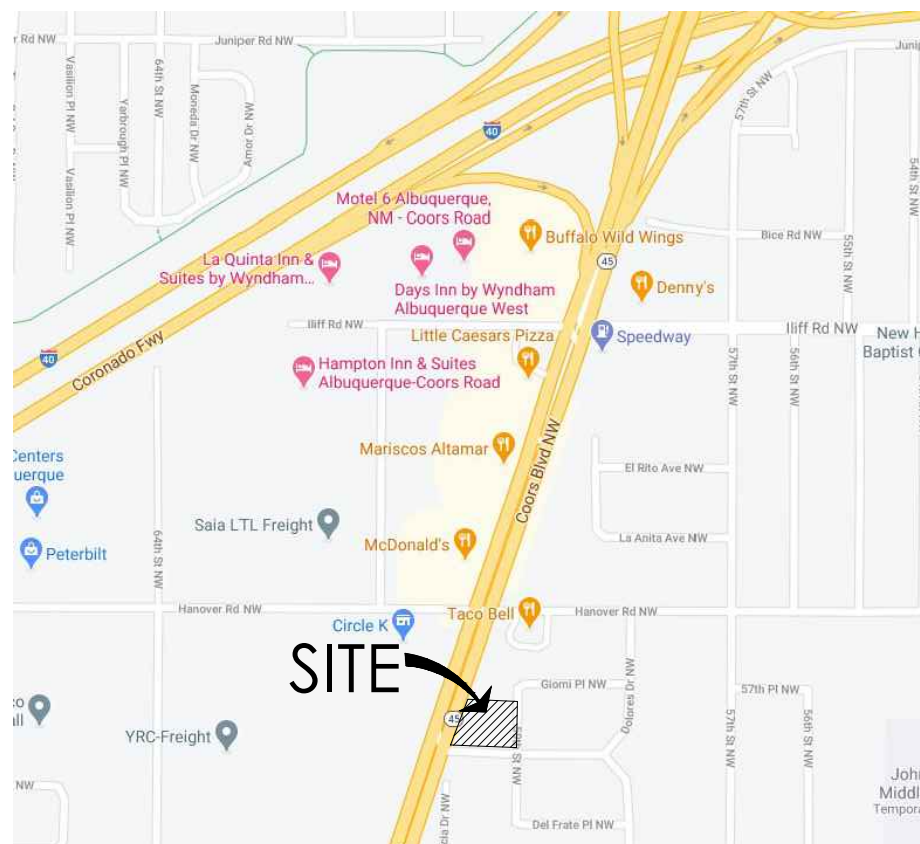
ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____



LEGEND

- EXISTING CONTOUR LINE
- NEW CONTOUR LINE
- F=5098.0
- NEW SPOT ELEVATION
- TC 99.0
- FL 98.5
- TOP OF CURB
- FLOW LINE



VICINITY MAP

NOT TO SCALE

DRAINAGE CALCULATIONS

LEGAL: Lot A-3-A, Block D Glenrio Heights, Albuquerque, NM
AREA: 1.60 acres (Phase 1 A = 0.94 AC)
BENCHMARK: ACS monument "6-J1" with ELEV=5119.814
SURVEYOR: CSI-Cartesian Surveys Inc. dated April, 2021

FLOOD HAZARD: From FEMA Panel 35001C0327J (11/04/16), this site is shown as being within Zone 'X' an area of minimal flood hazard which is located outside the 0.2% annual chance floodplain

EXISTING CONDITIONS: The undeveloped site is a relatively flat commercial lot bounded by Coors Blvd (west), Brayton Rd (south), 59th/ St (east), and a vacant lot to the north.

OFFSITE FLOW: No offsite flows enter the site.

PROPOSED IMPROVEMENTS: The proposed improvements include a 935 SF building, paved access and parking, and associated landscaping. A drive-through lane is proposed along the west side of the building.

DRAINAGE APPROACH: Developed runoff will be directed to depressed landscape areas which provide the Stormwater Quality (SWQ) volume. Runoff will be carried overland on asphalt paved surfaces.

DRAINAGE CALCULATIONS: Based on hydrologic Zone 1
Existing land treatment: 100% compacted dirt land treatment 'C'
 $Q_{100} = (0.94)(2.87) = 2.7$ CFS

Proposed land treatment: 45% xeric and 55% impervious
 $Q = [(0.45)(2.87) + (.55)(4.37)](0.94) = 3.5$ CFS
SWQ V= 22,520 SF x (0.42"/12) = 788 CF (1,520 CF > 788 OK)

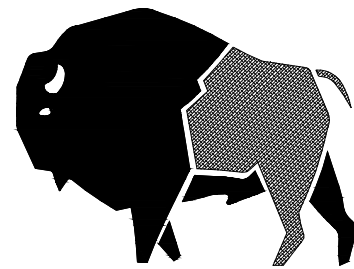
With the proposed development, this minor runoff increase is offset with onsite SWQ volume retention and the impact to downstream drainage facilities is minimal.

KEYED NOTES

- A. 6" HIGH MEDIAN CURB & GUTTER PER CITY DWG NO. 2415B
- B. NEW 3" ASPHALT PAVING OVER 4" AGGREGATE BASE COURSE ON 8" COMPACTED (95% MIN.) SUBGRADE.

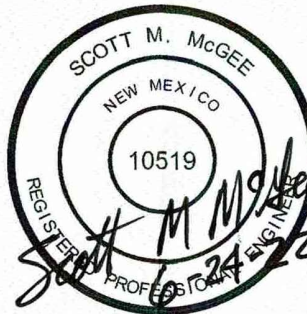
GRADING AND DRAINAGE PLAN

1" = 20'



buffalodesign
architects
10899 montgomery blvd ne
suite a
albuquerque, nm 87111

SEAL



PROJECT

STARBUCKS COFFEE COMPANY
BUILDING SHELL & SITE DEVELOPMENT
1400 COORS BOULEVARD, NW
ALBUQUERQUE, NEW MEXICO

REVISIONS	DESCRIPTION	
	DATE	

CLIENT PROJ #:	
ARCHT PROJ #:	
DRAWN BY:	
CHECKED BY:	
DATE	March 17, 2022
SHEET TITLE	

C101