

April 29, 1998

Mark Goodwin  
DMG Consulting Engineers  
P.O. Box 90606  
Albuquerque, New Mexico 87199

RE: REVISED DRAINAGE PLAN FOR PHILLIPS 66 @ HANOVER & COORS (J11-D30)  
REVISION DATED 3/30/98

Dear Mr. Goodwin:

Based on the information provided on your March 30, 1998 resubmittal, the above referenced site is approved for Building Permit. Please be advised that the Building Permit will not be signed off until DRC has its first review session.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, engineer Certification per the DPM checklist will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
File

Sincerely

*Bernie J. Montoya*  
Bernie J. Montoya CE  
Associate Engineer

Good for You, Albuquerque!



VERBAL: 4/2/98

Must address R/W within the  
pending area

*BM*

FOR \_\_\_\_\_ DESCRIPTION \_\_\_\_\_  
PREPARED BY \_\_\_\_\_ DATE \_\_\_\_\_ FILE \_\_\_\_\_  
CHECKED BY \_\_\_\_\_ SHEET \_\_\_\_ of \_\_\_\_

ALBUQUERQUE PUBLIC WORKS DEPARTMENT

# DRAINAGE INFORMATION SHEET

J-11/D30

PROJECT TITLE: PHILLIPS 66, HANOVER ROAD & COORS BOULEVARD ZONE ATLAS/DRNG, FILE#: 6-18

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 211, Cinelli Addition, town of Atrisco, City of Albuquerque, Bernalillo County, New Mexico

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: D. MARK GOODWIN & ASSOCIATES CONTACT: DAVID SOULE

ADDRESS: PO BOX 90606 PHONE: 828-2200

OWNER: PHILLIPS 66 COMPANY CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

ARCHITECT: SLNB ARCHITECTS CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

SURVEYOR: HARRIS SURVEYING CONTACT: TONY

ADDRESS: 2412 MONROE SUITE #D PHONE: 889-8056

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

TYPE OF SUBMITTAL: BERN monroya CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☒ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☐ ENGINEER'S CERTIFICATION
- ☐ OTHER

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
- ☐ S. DEV. PLAN FOR BLDG PERMIT APPROVAL
- ☐ SECTOR PLAN APPROVAL
- ☐ FINAL PLAT APPROVAL
- ☐ FOUNDATION PERMIT APPROVAL
- ☒ BUILDING PERMIT APPROVAL
- ☐ CERTIFICATION OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER \_\_\_\_\_ (Specify)

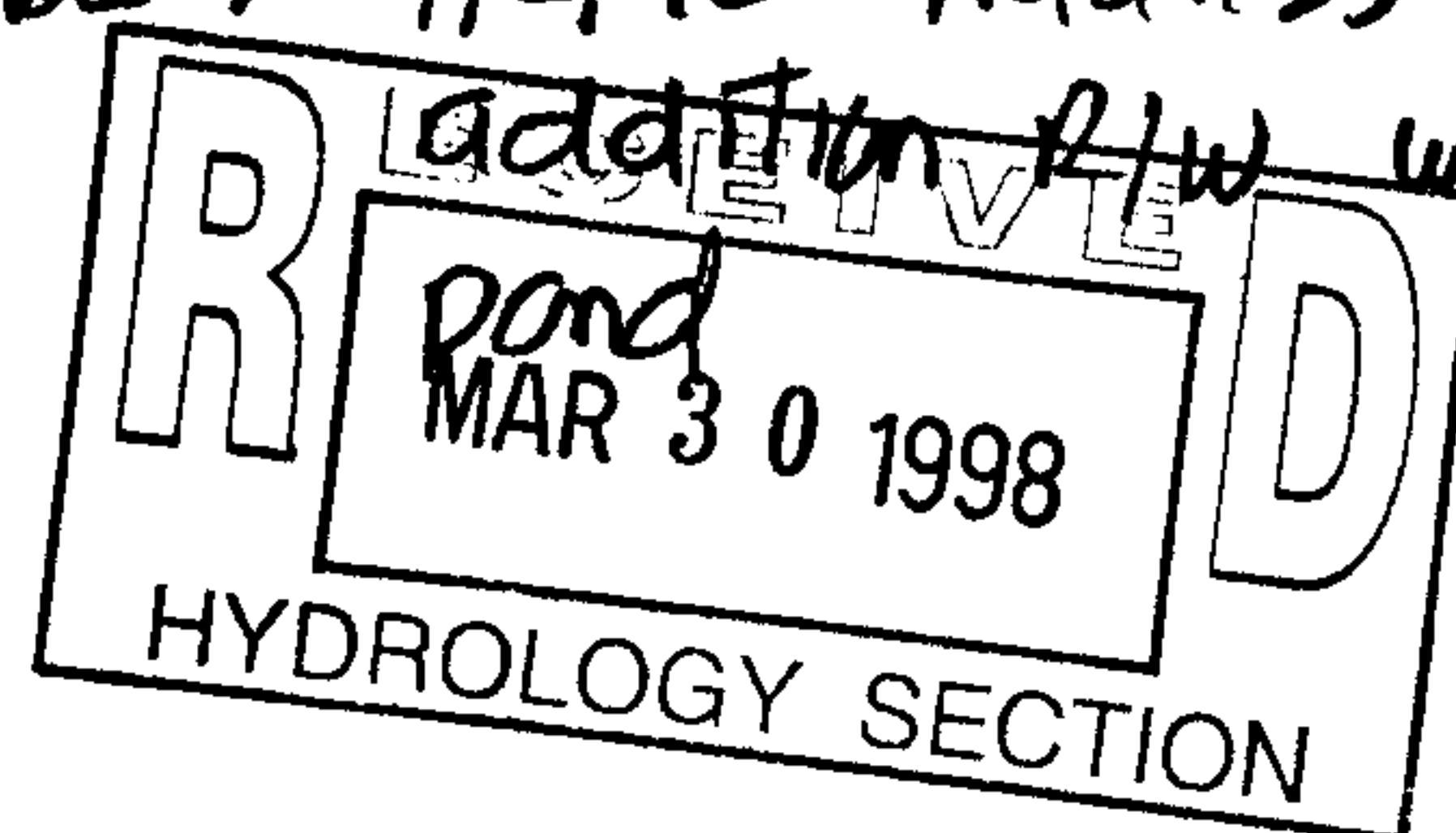
## PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: 3/27/98

BY: David Soule  
DAVID SOULE

Verbal: 4/2/98 Address the  
addition R/W within the



October 24, 1997

Hydrology Section, City of Albuquerque  
Plaza Del Sol  
200 Lomas NW  
Albuquerque, New Mexico 87102

RE: Phillips 66, Hanover road and Coors Boulevard

To whom it may concern:

Attached, please find the proposed grading and drainage plan for the referenced project located at the southwest corner of the intersection of Coors Boulevard and Hanover Road N.W.

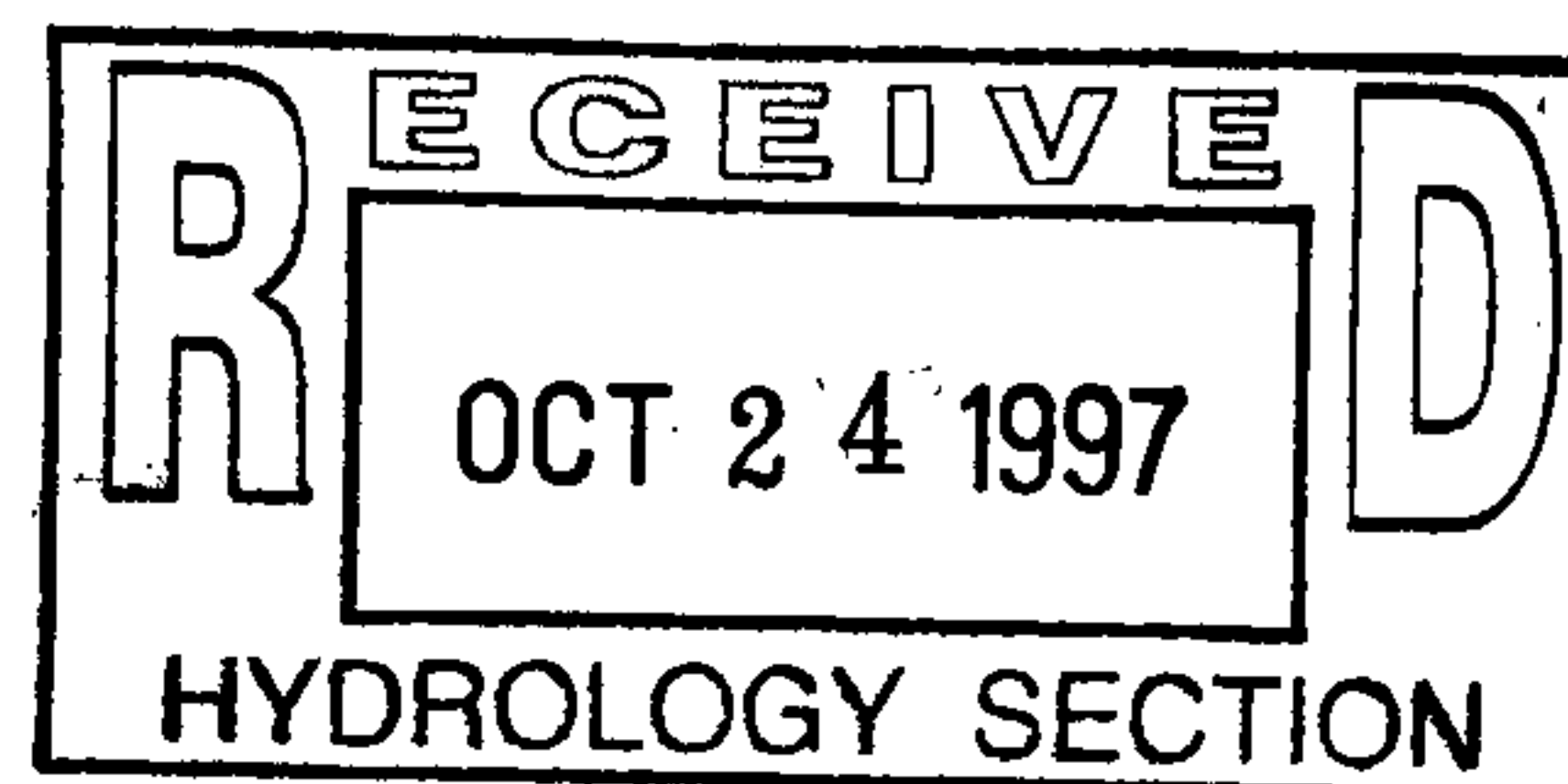
The site currently is being used as a restaurant and bar. It is proposed to remove the existing structure and associated parking lot, then construct improvements which facilitate the use of the property as a gas station and drive-thru restaurant. The proposed drainage management program will correct the adverse drainage currently occurring. The existing structures which are currently below the flood plain designation will be replaced with structures above this designation. The proposed peak flows will be less than the existing flows and the flood plain volume will be slightly increased.

If you have any questions concerning this site or the submittal, please contact me at 828-2200.

Sincerely,  
D. MARK GOODWIN & ASSOCIATES, P.A.

*David Soule*  
David Soule  
Staff Engineer

Attachments



## DRAINAGE INFORMATION SHEET

5-11 0038

PROJECT TITLE: PHILLIPS 66, HANOVER ROAD & COORS BOULEVARD ZONE ATLAS/DRNG, FILE#: Q-18

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 211, Cinelli Addition, town of Atrisco, City of Albuquerque, Bernalillo County, New Mexico

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: D. MARK GOODWIN & ASSOCIATES CONTACT: DAVID SOULE

ADDRESS: PO BOX 90606 PHONE: 828-2200

OWNER: PHILLIPS 66 COMPANY CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

ARCHITECT: SLNB ARCHITECTS CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

SURVEYOR: HARRIS SURVEYING CONTACT: TONY

ADDRESS: 2412 MONROE SUITE #D PHONE: 889-8056

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN  
☒ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION  
☐ OTHER

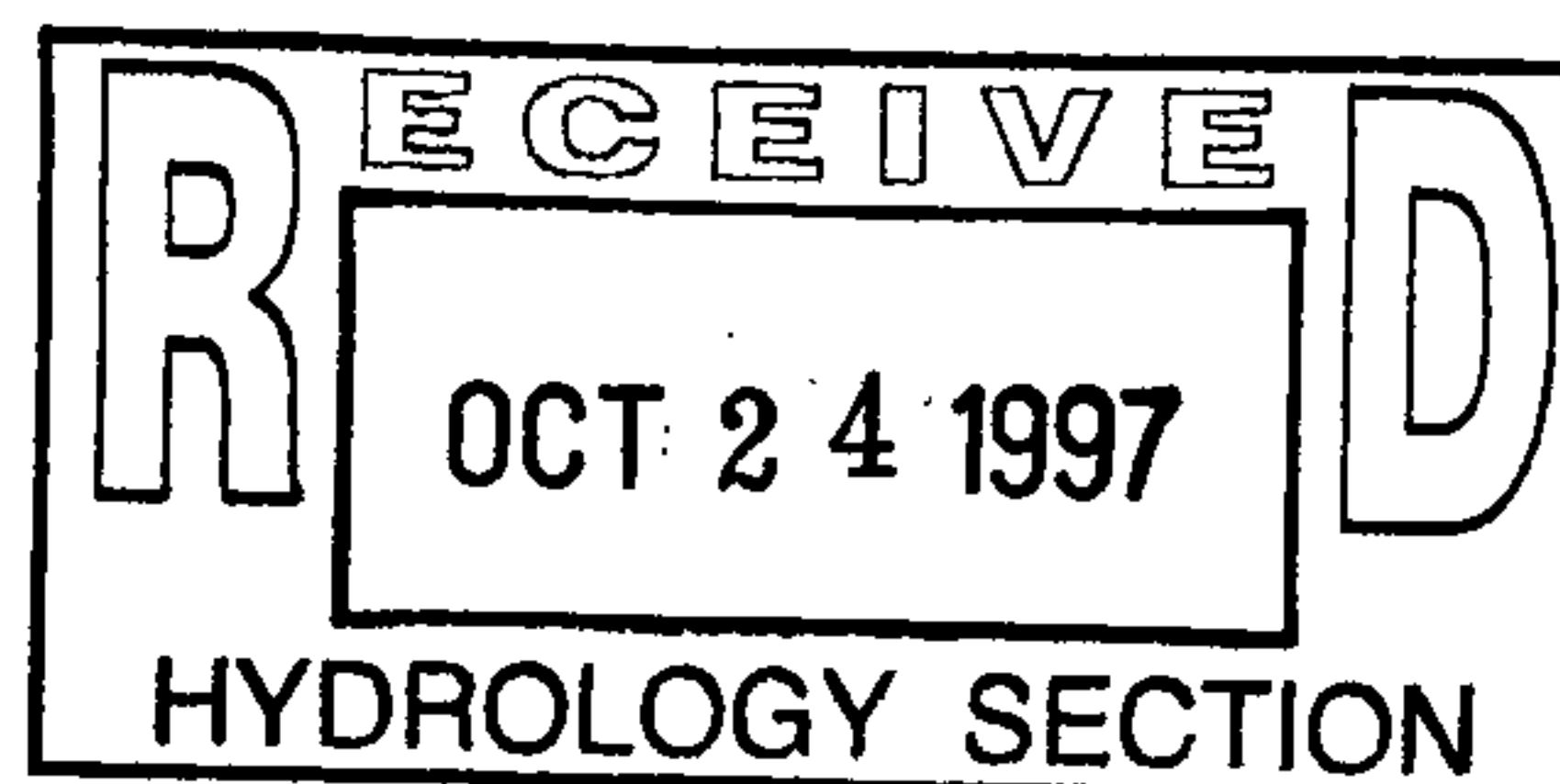
- ☐ SKETCH PLAT APPROVAL  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☒ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☐ CERTIFICATION OF OCCUPANCY APPROVAL  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ S.A.D. DRAINAGE REPORT  
☐ DRAINAGE REQUIREMENTS  
☐ OTHER \_\_\_\_\_ (Specify)

### PRE-DESIGN MEETING:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: OCTOBER 24, 1997

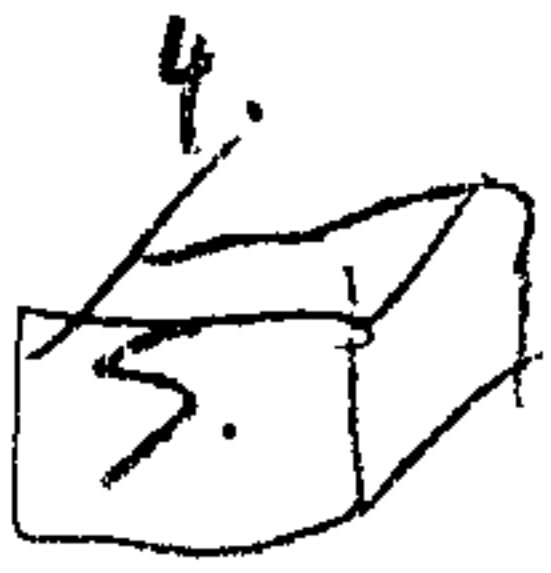
BY: David Soule  
DAVID SOULE



1. 1450

2.

3.

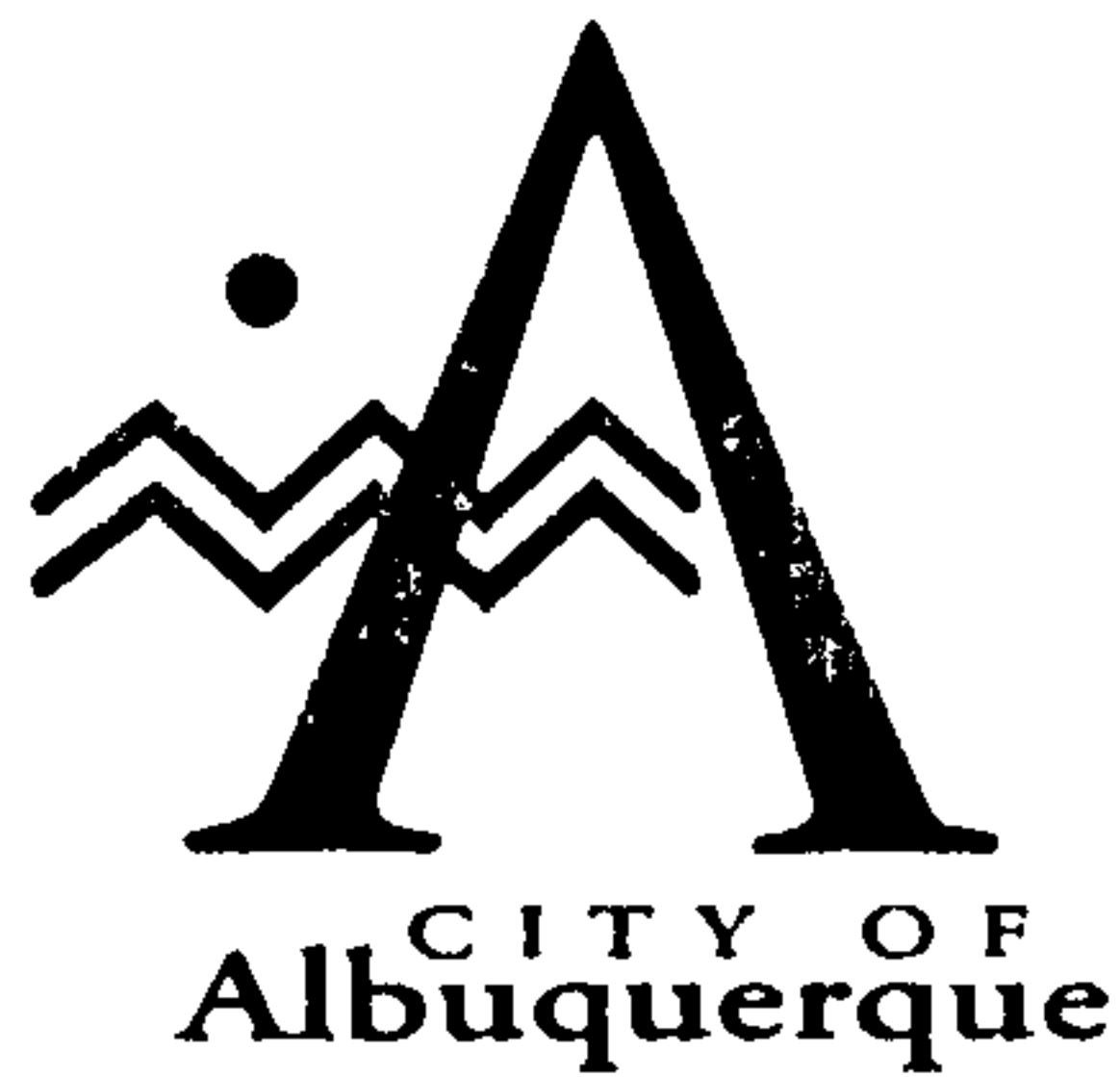


6.

Runoff







Martin J. Chávez, Mayor

November 24, 1997

Mark Goodwin  
D. Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, New Mexico 87199

RE: CONCEPTUAL GRADING & DRAINAGE PLAN FOR PHILLIPS 66 @ HANOVER  
& COORS (J11-D30) ENGINEER'S STAMP DATED 10/23/97

Dear Mr. Goodwin:

Based on the information provided on your October 24, 1997 submittal, the above referenced site is approved for Site Development Plan for Building Permit.

Please be advised that prior to Building Permit approval, the following must be addressed:

1. Submit a copy to Loren Mainz at City Hall 3rd. floor for his review for EPA standards.
2. Your report indicates that the pond is to be located on the Northwest side of the site and the plan drawing shows it on the Northeast.
3. What type of sediment control to you propose within the ponding area?

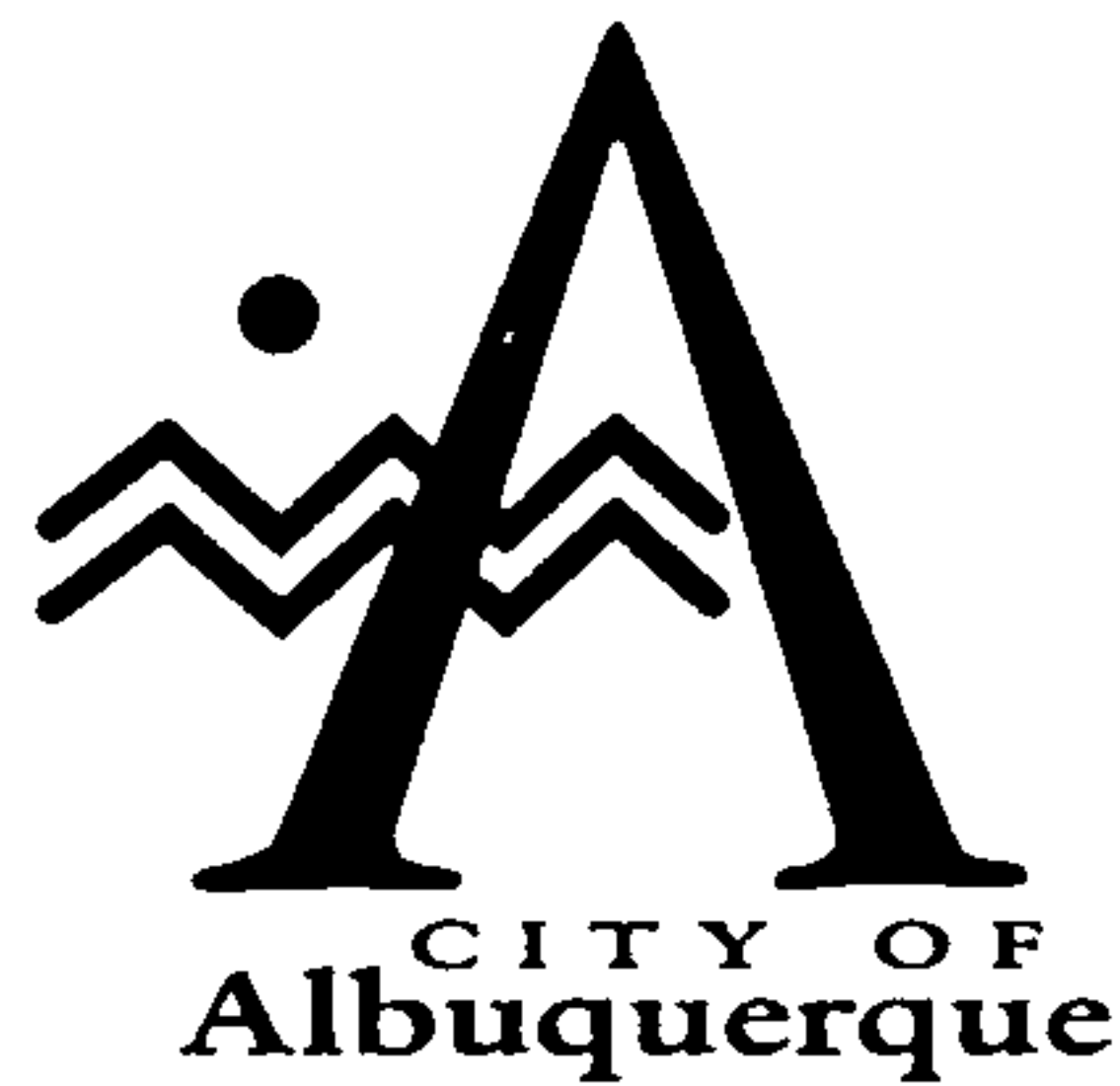
If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
{File}

Sincerely

  
Bernie J. Montoya CE  
Associate Engineer





November 27, 1998

Mark Goodwin  
Mark Goodwin & Associates  
P.O. Box 90606  
Albuquerque, New Mexico 87199

RE: ENGINEER CERTIFICATION FOR PHILLIPS 66 @ HANOVER & COORS NW  
(J11-D30) CERTIFICATION STATEMENT DATED 10/22/98

Dear Mr. Goodwin:

Based on the information provided on your October 22, 1998 submittal, Engineer Certification for the above referenced site is acceptable.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
File ✓

Sincerely

Bernie J. Montoya CE  
Associate Engineer

Good for You, Albuquerque!







D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

May 4, 1998

Mr. Bernie J. Montoya, C.E.  
Associate Engineer  
City of Albuquerque  
200 Lomas N.W.  
Albuquerque, NM 87102

**Re: Phillips 66 Hanover and Coors(J11-D30) Grading and Drainage Plan for Building Permit**

Mr. Montoya:

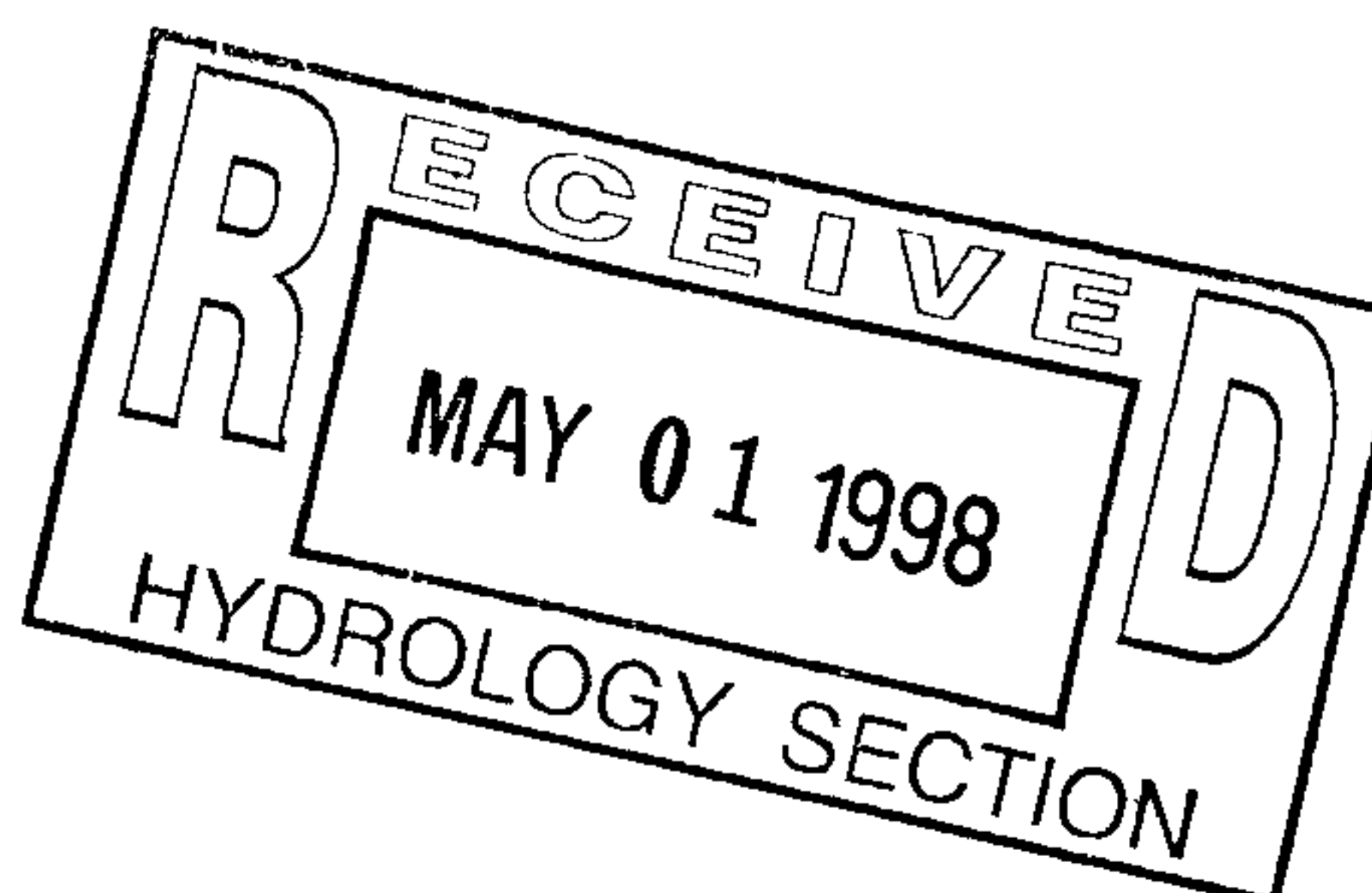
Enclosed is the revised grading and drainage plan for the referenced project. The required signature from storm drain maintenance was obtained. At this time we request acceptance of this drainage plan for building permit approval.  
Feel free to contact me if there are any questions, or if further discussion is required.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

David Soule  
Staff Engineer

f:\phillips.han\drain.rev





May 15, 1998

Mark Goodwin  
D. Mark Goodwin & Associate  
P. O. Box 90606  
Albuquerque, New Mexico 87199

RE: REVISED DRAINAGE PLAN FOR PHILLIPS 66 - HANOVER & COORS (J11-D30)  
ENGINEER'S STAMP DATED 5/4/98

Dear Mr. Goodwin:

Based on the information provided on your May 1, 1998 resubmittal, the above referenced site is approved for Building Permit.

Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Also, prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

Also, concurrence from Glenn Jurgensen for the new A inlet will be required.

If I can be of further assistance, please feel free to contact me at 924-3986.

C: Andrew Garcia  
[File]

Sincerely

Bernie J. Montoya CE  
Associate Engineer

Good for You, Albuquerque!



## DRAINAGE INFORMATION SHEET

PROJECT TITLE: PHILLIPS 66 - Hanover and Coors

ZONE ATLAS/DRNG, FILE#: J11-D30

\_DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 211 Cinelli Addition, Town of Atrisco Grant, City of Albuquerque, Bernalillo County,  
New Mexico

CITY ADDRESS: \_\_\_\_\_

ENGINEERING FIRM: D. MARK GOODWIN & ASSOCIATES CONTACT: DAVID SOULE

ADDRESS: PO BOX 90606 PHONE: 828-2200

OWNER: PHILLIPS 66 COMPANY CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

ARCHITECT: SLNB ARCHITECTS CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

SURVEYOR: HARRIS SURVEYING CONTACT: TONY

ADDRESS: 2412 MONROE SUITE #D PHONE: 889-8056

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

\_\_\_\_\_ DRAINAGE REPORT  
X DRAINAGE PLAN  
\_\_\_\_\_ CONCEPTUAL GRADING & DRAINAGE PLAN  
X GRADING PLAN  
\_\_\_\_\_ EROSION CONTROL PLAN  
\_\_\_\_\_ ENGINEER'S CERTIFICATION  
\_\_\_\_\_ OTHER

### PRE-DESIGN MEETING:

\_\_\_\_\_ YES  
X NO  
\_\_\_\_\_ COPY PROVIDED

### CHECK TYPE OF APPROVAL SOUGHT:

\_\_\_\_\_ SKETCH PLAT APPROVAL  
\_\_\_\_\_ PRELIMINARY PLAT APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR SUB'D APPROVAL  
\_\_\_\_\_ S. DEV. PLAN FOR BLDG PERMIT APPROVAL  
\_\_\_\_\_ SECTOR PLAN APPROVAL  
\_\_\_\_\_ FINAL PLAT APPROVAL  
\_\_\_\_\_ FOUNDATION PERMIT APPROVAL  
X BUILDING PERMIT APPROVAL  
\_\_\_\_\_ CERTIFICATION OF OCCUPANCY APPROVAL  
\_\_\_\_\_ GRADING PERMIT APPROVAL  
\_\_\_\_\_ PAVING PERMIT APPROVAL  
\_\_\_\_\_ S.A.D. DRAINAGE REPORT  
\_\_\_\_\_ DRAINAGE REQUIREMENTS  
\_\_\_\_\_ OTHER \_\_\_\_\_ (Specify)

DATE SUBMITTED: May 4, 1998

BY: 

**RECEIVED**  
**MAY 01 1998**  
**HYDROLOGY SECTION**

## CITY OF ALBUQUERQUE

### Public Works Department

INTEROFFICE CORRESPONDENCE

APRIL 28, 1998

**TO:** Bernie Montoya, Hydrology Section, Development Services Division  
**FROM:** Joseph D. Montaña, Transportation Section, Development Services Division JDM  
**SUBJECT:** Phillips 66 Hanover and Coors(J11-D30) Grading and Drainage Plan for Building and SO#19 Permits

Mr. Montoya:

I have been contacted by the consulting engineer for this site, Mr. David Soule of Mark Goodwin & Associates, P.A., regarding the subject site and the partial encroachment of the drainage pond into the proposed Coors Boulevard right-of-way. The proposed Phillips 66 site is located on the southwest corner of Hanover and Coors. The Coors Corridor Plan requires that the site dedicate right-of-way for the expansion of Coors Boulevard to an 8 lane facility and major intersection improvements at Hanover Road.

The proposed site plan currently identifies a ponding area which would partially encroach into the future right of way. The consulting engineer for this site, has stated the sizing of the pond was based upon the maintaining the volume of flood plain within the site.

It is my understanding that at the time of implementation of the Coors Corridor improvements, storm drainage improvements will be included, thus minimizing the size of on-site ponding. I do not anticipate a major conflict with the potential encroachment of this pond onto future right of way and the proposed improvements for Coors Boulevard. The proposed corner radius for a channelized right-turn lane is the area which may be affected by the interim ponding area for an indefinite period until the proposed off-ramp for Interstate 40 is implemented.

Feel free to contact me if there are any questions, or if further discussion is required.

Cc: Richard Dourte, PWD

8/8-2200



D. Mark Goodwin & Associates, P.A.  
Consulting Engineers

P.O. BOX 90606, ALBUQUERQUE, NM 87199  
(505) 828-2200 FAX 797-9539  
e-mail: dmgs@swcp.com

March 27, 1998

Mr. Bernie J. Montoya, CE  
Associate Engineer  
Hydrology Division  
City of Albuquerque  
200 Lomas NW  
Albuquerque, New Mexico 87102

**Re: Phillips 66 Hanover and Coors(J11-D30) Grading and Drainage Plan for Building and SO#19 Permits**

Dear Mr. Montoya:

Attached is the revised Grading and Drainage plan for the above mentioned site. This revised plan addresses your written comments dated November 24, 1998. The following is a summary of how your comments were incorporated into our grading and drainage plan:

- Comment #1- A copy of this revised plan has been submitted to Loren Meinz.
- Comment #2- The description as described on the drainage report was a mislabel.
- Comment #3- A 12" mat of smooth river rock has been added to the pond bottom for sediment control.

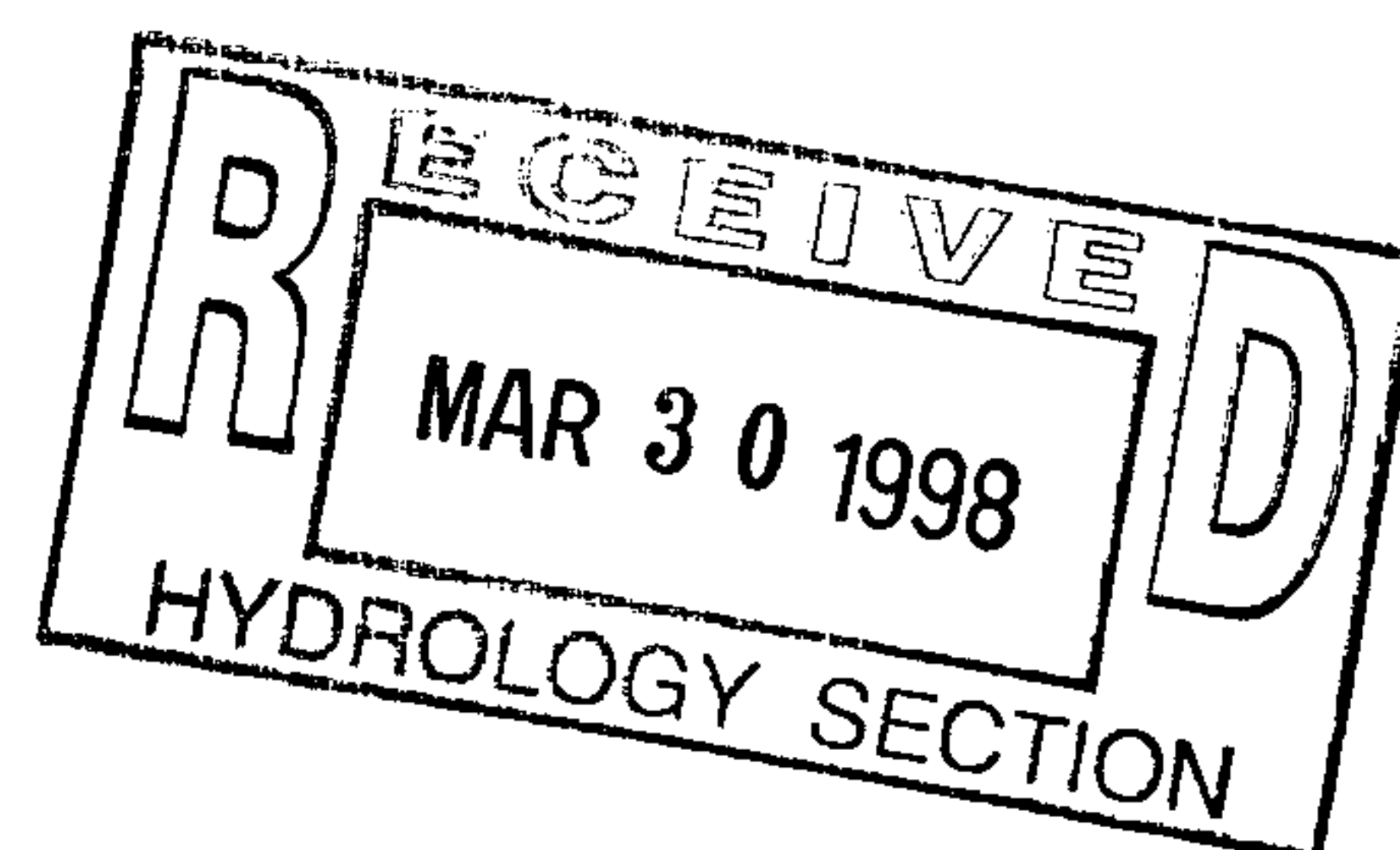
Feel free to contact me if there are any questions.

Sincerely,

MARK GOODWIN & ASSOCIATES, P.A.

  
David Soule  
Staff Engineer

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## DRAINAGE INFORMATION SHEET

J11/D30  
020

PROJECT TITLE: PHILLIPS 66, HANOVER ROAD & COORS BOULEVARD ZONE ATLAS/DRNG, FILE#: C-13

DRB #: \_\_\_\_\_ EPC #: \_\_\_\_\_ WORK ORDER #: \_\_\_\_\_

LEGAL DESCRIPTION: Tract 211, Cinelli Addition, town of Atrisco, City of Albuquerque, Bernalillo County, New Mexico

CITY ADDRESS: 1401 Coors N.W.)

ENGINEERING FIRM: D. MARK GOODWIN & ASSOCIATES CONTACT: DAVID SOULE

ADDRESS: PO BOX 90606 PHONE: 828-2200

OWNER: PHILLIPS 66 COMPANY CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

ARCHITECT: SLNB ARCHITECTS CONTACT: KEN DUCK

ADDRESS: 1620 CENTRAL PHONE: 247-1529

SURVEYOR: HARRIS SURVEYING CONTACT: TONY

ADDRESS: 2412 MONROE SUITE #D PHONE: 889-8056

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_

ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_

### TYPE OF SUBMITTAL:

### CHECK TYPE OF APPROVAL SOUGHT:

- ☐ DRAINAGE REPORT
- ☐ DRAINAGE PLAN
- ☐ CONCEPTUAL GRADING & DRAINAGE PLAN
- ☐ GRADING PLAN
- ☐ EROSION CONTROL PLAN
- ☒ ENGINEER'S CERTIFICATION
- ☐ OTHER

- ☐ SKETCH PLAT APPROVAL
- ☐ PRELIMINARY PLAT APPROVAL
- ☐ S. DEV. PLAN FOR SUB'D APPROVAL
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- ☒ CERTIFICATION OF OCCUPANCY APPROVAL
- ☐ GRADING PERMIT APPROVAL
- ☐ PAVING PERMIT APPROVAL
- ☐ S.A.D. DRAINAGE REPORT
- ☐ DRAINAGE REQUIREMENTS
- ☐ OTHER \_\_\_\_\_ (Specify)

### PRE-DESIGN MEETING:

- ☐ YES
- ☒ NO
- ☐ COPY PROVIDED

DATE SUBMITTED: OCTOBER 22, 1998

BY: David Soule  
DAVID SOULE

30 day issued on 10-26-98 as.

