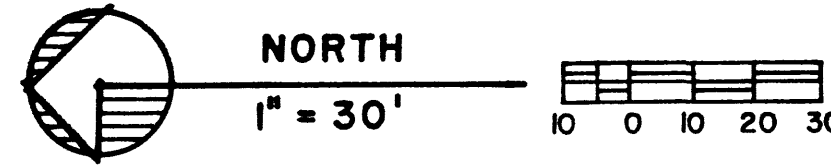


VICINITY MAP

J-11-Z



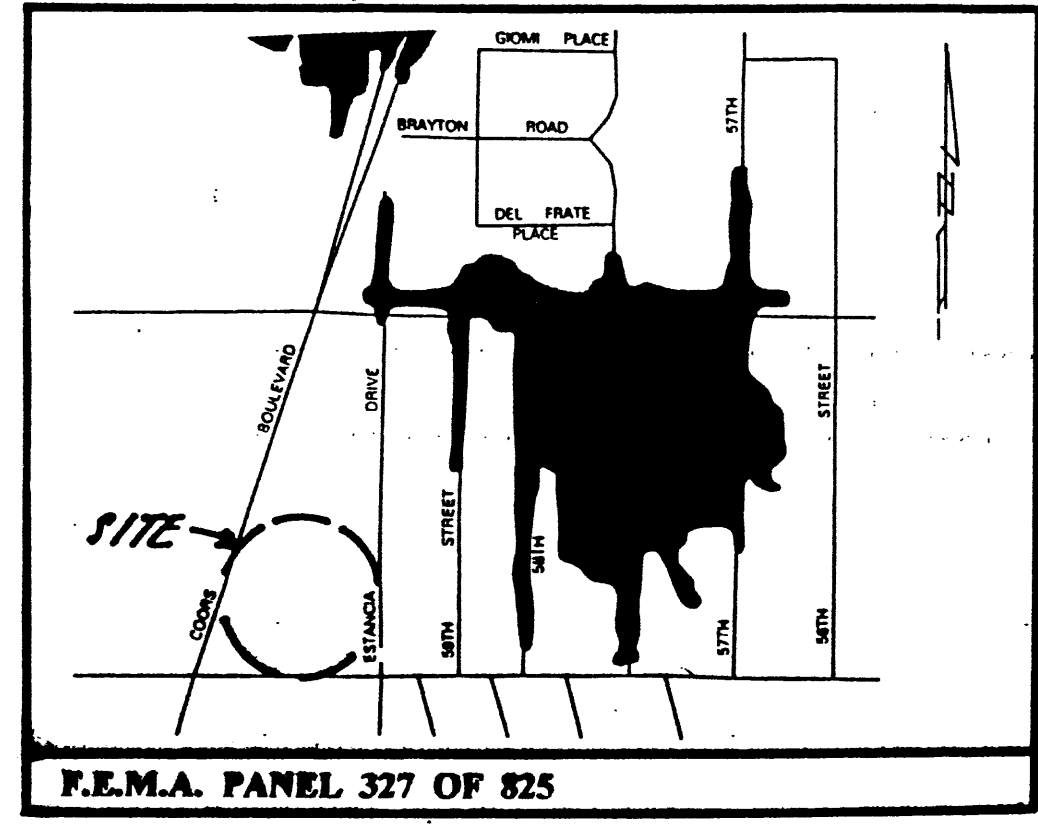
ADJACENT CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMES, DICES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

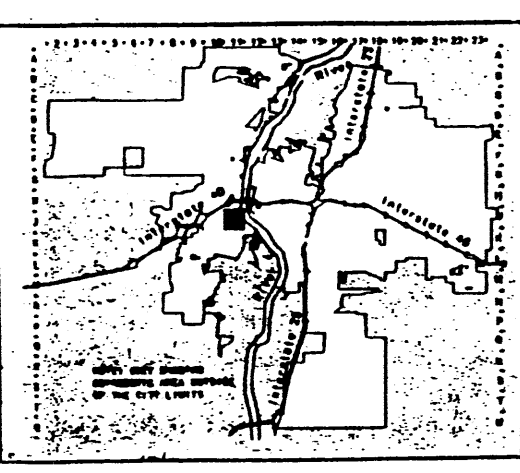
- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 360-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.



F.E.M.A. PANEL 327 OF 525

UTILITY PRECAUTIONS:
THE CONTRACTOR SHALL INFORM ITSELF OF THE LOCATION OF ANY UTILITY LINE, PIPELINE, OR UNDERGROUND UTILITY LINE IN OR NEAR THE AREA OF THE WORK. IN ADVANCE OF ANY DURING EXCAVATION WORK, THE CONTRACTOR IS FULLY RESPONSIBLE FOR ANY AND ALL DAMAGE CAUSED BY ITS FAILURE TO LOCATE, IDENTIFY AND PRE-EXISTING ANY AND ALL EXISTING UTILITIES, PIPELINES, AND UNDERGROUND UTILITY LINES. IN PLANNING AND CONDUCTING EXCAVATION, THE CONTRACTOR SHALL COMPLY WITH STATE STATUTES, MUNICIPAL AND LOCAL ORDINANCES, RULES AND REGULATIONS, IF ANY, PERTAINING TO THE LOCATION OF THESE LINES AND FACILITIES.

LOCATION MAP



LEGAL DESCRIPTION:

TRACT "C-2-A-2-A", COMPRISING A REPLAT OF TRACT "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

ESTANCIA DRIVE N.W.

NOTE: CONNECT WITH 12" P.V.C. (12H.40)
DRAIN PIPE TO EXISTING INLET PER C.O.A.
STD. DING. N.B. 2237

NOTES:

- A.) NO RETAINING WALLS PROPOSED.
- B.) NO POND AREA'S REQUIRED (FREE-DISCHARGE).

A-1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES

ZONE	LOCATION
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Estancia, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Estancia, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

TABLE A-18. PEAK INTENSITY (INCHES PER HOUR AT 1-HOUR DURATION)

Zone	Intensity
1	4.70
2	(1.84, 3.14)
3	5.05
4	(2.04, 3.41)

TABLE A-4. LAND TREATMENTS

Treatment	Land Condition
A	Soil unprotected by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands, Unirrigated Arroyos
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil unprotected by human activity with slopes greater than 10 percent and less than 20 percent
C	Soil unprotected by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (except landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil unprotected by human activity with slopes at 20 percent or greater. Native grasses, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective acreages. In lack of specific measurement for treatment D, the area percentages in TABLE A-5 may be employed.

TABLE A-9. PEAK DISCHARGE (cfs/acre)

Zone	Treatment			
	A	B	C	D
1	1.25 (0.00, 0.24)	2.03 (0.31, 0.76)	3.57 (0.47, 1.49)	5.27 (1.69, 2.89)
2	1.56 (0.00, 0.38)	2.28 (0.08, 0.95)	3.14 (0.60, 1.71)	4.70 (1.86, 3.14)
3	1.87 (0.00, 0.58)	2.60 (0.21, 1.19)	3.45 (0.78, 2.00)	5.02 (2.04, 3.39)
4	2.20 (0.05, 0.87)	2.92 (0.38, 1.45)	3.73 (1.00, 2.26)	5.25 (2.17, 3.57)

BENCH MARK REFERENCE:

ACS STATION "18-111", M.S.L.D. ELEVATION = 5096.81; PROJECT T.B.M. AS SHOWN ON PLAN HEREON.

AS-BUILT PREPARED BY:

Wayjohn Surveying, Inc.
330 Louisiana Blvd. NE
Albuquerque, N.M. 87108-2669



NOTE: "AS BUILT" ELEVATION SHOWN IN RED

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED IN THE VICINITY OF THE NORTHEAST CORNER OF THE INTERSECTION OF COORS BLVD. N.W. AND FORTUNA ROAD N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATLAS MAP J-11-Z).

THE SUBJECT SITE IS PRESENTLY AN UNDEVELOPED INFILL SITE THAT IS TO HAVE A PROPOSED AUTO PARK AND SELL, TOGETHER WITH, ALL ASSOCIATED IMPROVEMENTS CONSTRUCTED THEREON.

THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 327 OF 525); 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES; 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES; 4) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE; 5) IS ALLOWED TO FREE DISCHARGE DEVELOPED FLOWS FROM SAID PROPERTY; SAID FLOWS WILL NOT HAVE AN ADVERSE EFFECT TO DOWNSTREAM PROPERTIES.

DRAINAGE CALCULATIONS:

PER SECTION 22.2 HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 3.82 ACRES

PRECIPITATION ZONE: ONE (1)
PEAK INTENSITY, IN/HR. A 15-TWELVE (12) MINUTES, 100-YR. = 4.70
"LAND TREATMENT METHOD" FOR CALCULATION OF "Qp", TABLES A-4 & A-9
"LAND TREATMENT FACTORS", TABLE A-4

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	3.82	2.87	10.96
D	0.00	4.37	0.00

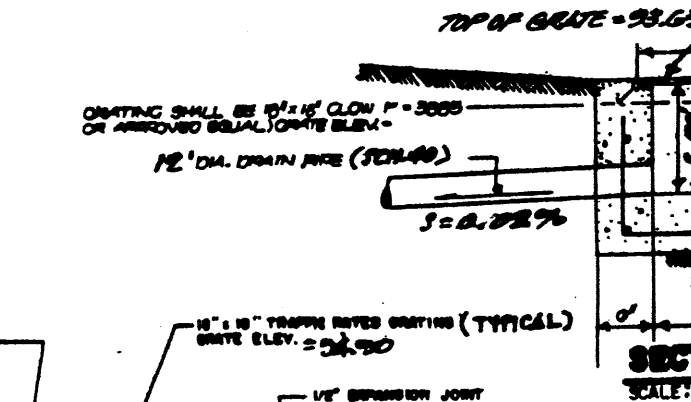
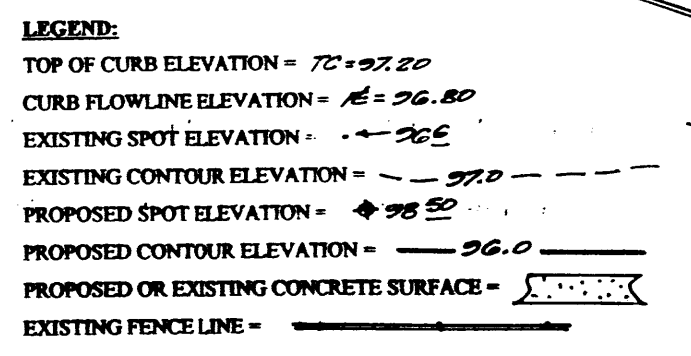
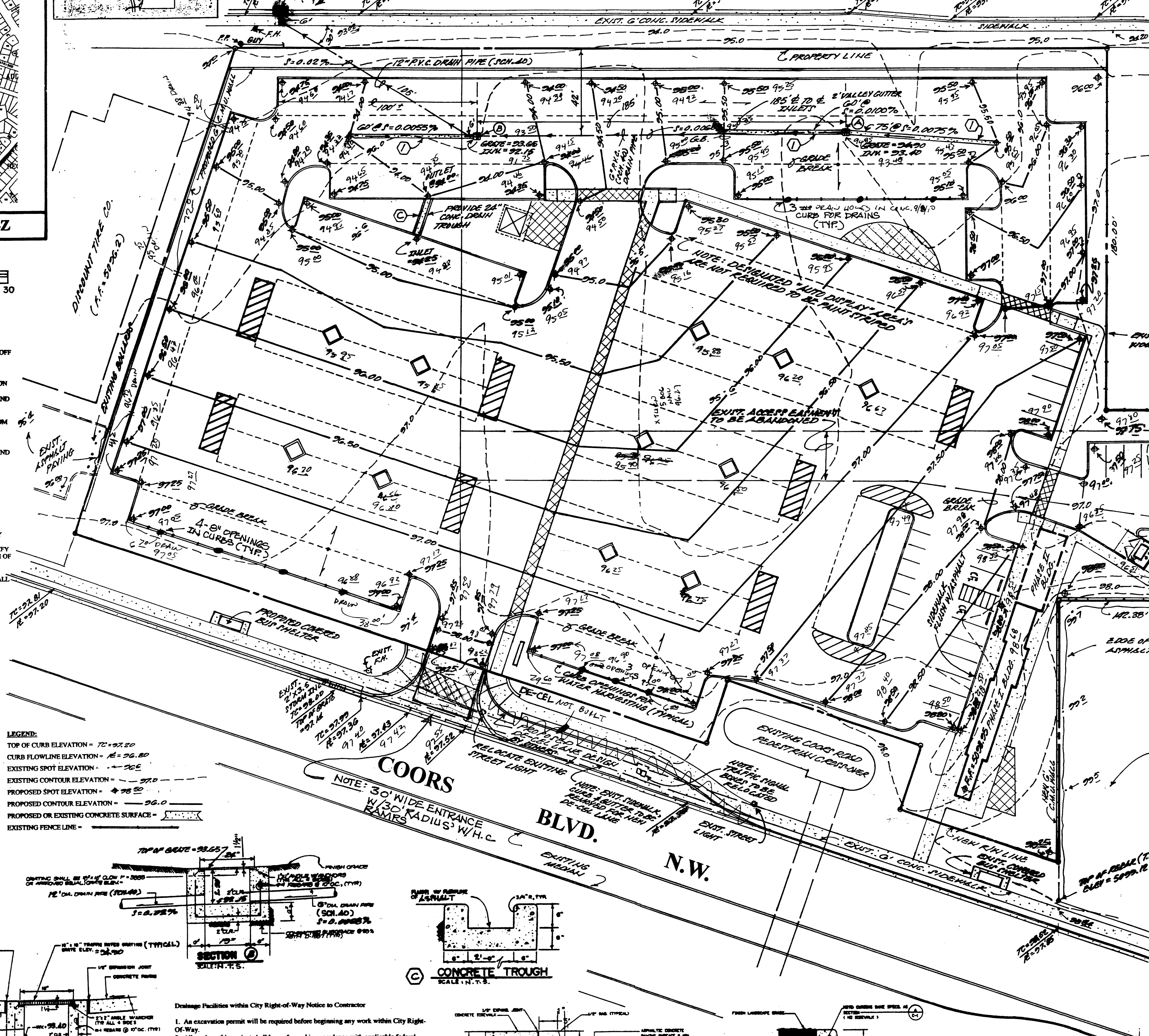
"Qp" = 10.96 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.87	2.87	2.50
D	2.95	4.37	12.89

"Qp" = 15.39 CFS

*** INCREASE = 4.43 CFS



STORM INLET SECTION A-A



CONCRETE TROUGH SECTION B-B

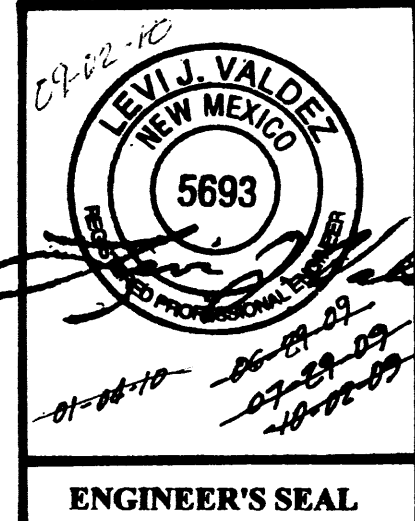
Drainage Facilities within City Right-of-Way Notice to Contractor

1. An excavation permit will be required before beginning any work within City Right-Of-Way.
2. All work on this project shall be performed in accordance with applicable federal, state and local laws, rules and regulations concerning construction safety and health.
3. Two working days prior to any excavation, the contractor must contact the line locating service, New Mexico One Call 200-1990, for the location of existing utilities.
4. Prior to construction, the contractor shall excavate and verify the locations of all obstructions. Should a conflict exist, the contractor shall notify the engineer so that the conflict can be resolved with a minimum amount of delay.
5. Backfill compaction shall be according to traffic rules.
6. Maintenance of the facility shall be the responsibility of the owner of the property being served.
7. Work on arterial streets shall be performed on a 24-hour basis.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

GRADING AND DRAINAGE PLAN



ENGINEER'S SEAL

A PROPOSED PLAN
FOR
COORS PARK & SELL
(COORS BLVD. N.W. AND FORTUNA ROAD N.W.)
ALBUQUERQUE, NEW MEXICO
JUNE, 2009
(ENGINEER'S CERTIFICATION)

RECEIVED
SEP 09 2010
HYDROLOGY SECTION

09-02-10

RECEIVED
SEP 27 2009
HYDROLOGY
SECTION

ESTANCIA DRIVE N.W.

60' R.O.W.

KEYED NOTES

1. MONUMENT SIGN
2. BIKE RACK
3. NEW 3' HIGH CMU SCREEN WALL
4. NEW 6' HIGH CMU SCREEN WALL
5. 20' HIGH POLE LIGHT
6. 16' HIGH POLE LIGHT
7. SHADE STRUCTURE WITH TABLES/CHAIRS/BENCHES AND TRASH RECEPTACLE
8. NEW CURB CUT/DRIVEPAD PER COA REQUIREMENTS
9. EXISTING 6' WIDE CONCRETE SIDEWALK
10. NEW 6' WIDE CONCRETE SIDEWALK
11. NEW PEDESTRIAN GATE
12. NEW VEHICULAR/PEDESTRIAN GATE
13. COLORED SCORED CONCRETE PATIO
14. 6' WIDE COLORED SCORED CONCRETE CROSSWALK
15. NEW HC RAMP PER COA STANDARDS
16. DUMPSTER ENCLOSURE AND RECYCLING ENCLOSURE PER CITY OF ALBUQUERQUE REQUIREMENTS
17. LANDSCAPE BUFFER
18. EXISTING FIRE HYDRANT
19. NOT USED
20. 8'x8' TREE PLANTER
21. NEW CMU ON EXISTING RETAINING WALL TO 6' HIGH
22. NEW 6' HIGH ORNAMENTAL IRON FENCE. COLOR TO MATCH SHERWIN WILLIAMS BAKED CLAY SW6340 (WARM BROWN)
23. EXISTING LIGHT POLE TO BE RELOCATED
24. EXISTING LIGHT POLE TO REMAIN
25. BENCH SEATING WITH TRASH RECEPTACLE
26. CONCRETE FILLED PIPE BOLLARD
27. NOT USED
28. EXISTING COVERED BUS SHELTER
29. MOTORCYCLE PARKING SPACE SIGN
30. CURB NOTCH SEE DETAIL 4E ON SITE DETAIL SHEET
31. SCORED COLORED CONCRETE

SIGNS WHICH ARE DIRECTLY SPOTLIGHTED OR INTERNALLY ILLUMINATED SIGNS ARE ALLOWED PROVIDED THAT: THERE IS NO GLARE ON THE STREET OR UPON ADJACENT PROPERTY & THE LIGHT DOES NOT DISTRACT MOTORISTS.

NO ILLUMINATED SIGN, OR ANY ILLUMINATED ELEMENT OF ANY SIGN, MAY TURN ON OR OFF, OR CHANGE ITS BRIGHTNESS.

NO SIGN OR ANY PART OF ANY SIGN MAY MOVE OR ROTATE, INCLUDING WIND DEVICES WHICH ARE ALSO RESTRICTED.

A TOTAL OF TEN ITEMS ALLOWED PER PREMISE FRONTAGE MAY BE DISPLAYED ON A COMBINATION OF GROUND SIGNS, WALL SIGNS, & PROJECTING SIGNS. DIRECTIONAL SIGNS ARE NOT COUNTED. LETTERS & SYMBOLS 3" OR UNDER IN HEIGHT ARE NOT COUNTED.

EACH PREMISES ON COORS BOULEVARD IS PERMITTED TO DISPLAY SIGNS CONTAINING UP TO A TOTAL OF TEN ITEMS OF INFORMATION ALONG ANY ONE STREET FRONTAGE. AN ADDITIONAL TEN ITEMS OF INFORMATION MAY BE DISPLAYED ON ANY OTHER STREET WHICH PROVIDES ACCESS TO THE SAME PREMISE.

REF: COORS CORRIDOR SECTOR PLAN PP. 114,115

LEGAL DESCRIPTION

TRACT "C-2-A-2-A", BEING A REPLAT OF TRACTS "C-2-A-1" AND "C-2-A-2", OF THE CAMPBELL LANDS, A RE-DIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE DATA

BUILDING AREA: 1150 SF
+ 486 SF FUTURE = 1,636 SF

REQUIRED PARKING = 1 PER 200 SF =
8 SPACES REQUIRED

HC PARKING PROVIDED = 2 SPACE

PROVIDED PARKING
= 28 CUSTOMER SPACES* (INCLUDING 2 HC)
*FOR 12 SALES OFFICES
+ 2 MOTORCYCLE SPACES

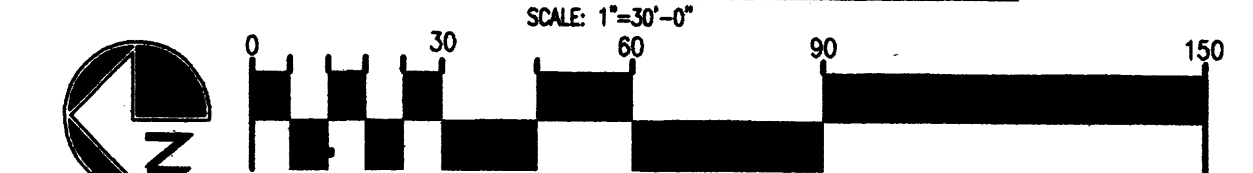
ADDITIONAL SPACES:
310 CAR SALES SPACES / 9 GOLF CART SPACES

BICYCLE SPACES:
5 SLOTS IN RACK

NOTE: ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS, ETC., SHALL BE SCREENED FROM VIEW.

NOTE: LANDSCAPING ISLANDS SHALL BE AT GRADE WITH THE PARKING LOT (NOT RAISED) SO THE CURB NOTCHES CAN FUNCTION.

SITE PLAN FOR BUILDING PERMIT



NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.

ADMINISTRATIVE ADMENDMENT REVISION

A PROPOSED PLAN FOR
COORS PARK & SELL
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)
ALBUQUERQUE, NEW MEXICO

JUNE 29, 2009

3 OF 9

ADMINISTRATIVE AMENDMENT
FILE #10-10113 PROJECT #1001989
remove decel lane + bus shelter;
bring walls up to code
CM Moore
APPROVED BY DATE 9/22/10

NOTE: THE EPC APPROVED DECELERATION LANE ALONG COORS BLVD HAS BEEN REMOVED. THE NEW BUS STOP TRANSIT REQUIRED HAS BEEN REMOVED.

THE REQUIREMENT FOR A RIGHT TURN DECELERATION LANE, LOCATED AT THE APPROVED RIGHT TURN-IN RIGHT TURN-OUT SITE ACCESS ON COORS BOULEVARD, IS BASED ON THE CRITERIA AS IDENTIFIED IN THE CITY'S DEVELOPMENT PROCESS MANUAL (DPM). THE CURRENT LAND USE FOR THE SITE (I.E. AUTOMOBILE PARK AND SELL) DOES NOT GENERATE THE NUMBER OF ENTERING TRIPS, ASSIGNED TO THIS SITE DRIVE DURING EITHER AM OR PM PEAK HOUR, TO MEET THIS CRITERIA. HOWEVER, SHOULD THE LAND USE CHANGE, THE APPLICANT SHALL BE SUBJECT TO RE-EVALUATION, AS DETERMINED BY THE TRAFFIC ENGINEER, TO ESTABLISH WHETHER A RIGHT TURN DECELERATION LANE WOULD BE REQUIRED FOR THE NEW LAND USE PROPOSAL.

ENGINEER'S SEAL

PROJECT NUMBER: 1001989

APPLICATION NUMBER:

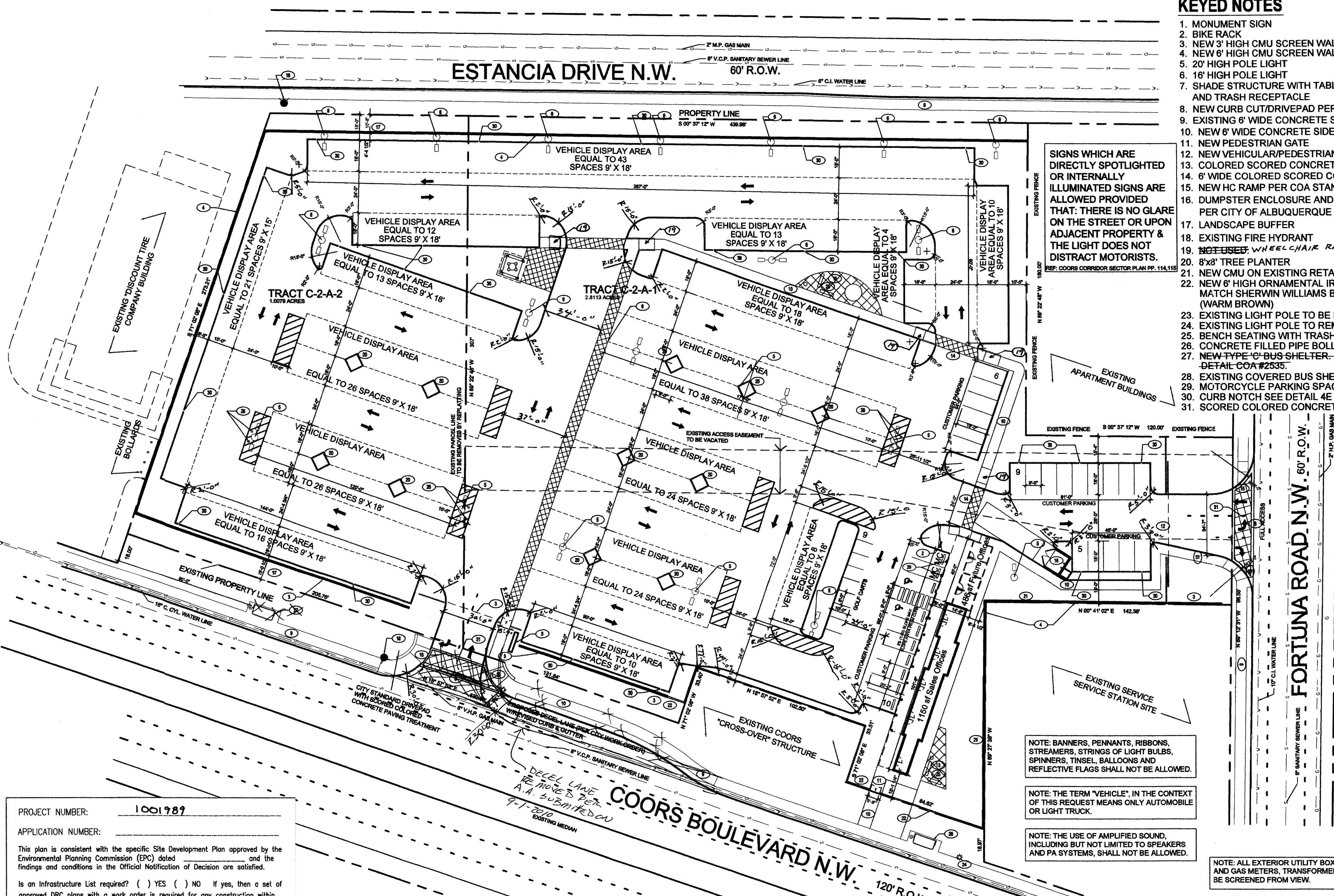
This plan is consistent with the specific Site Development Plan approved by the Environmental Planning Commission (EPC) dated 02/04/10 and the findings and conditions in the Official Notification of Decision are satisfied.

Is an Infrastructure List required? () YES () NO If yes, then a set of approved DRC plans with a work order is required for any construction within Public Right-of-Way or for construction of public improvements.

DRB SITE DEVELOPMENT PLAN SIGNOFF APPROVAL

Traffic Engineering, Transportation Division	02/04/10
Water Utility Department	01/13/10
Parks and Recreation Department	1/13/10
City Engineer	4-20-10
Environmental Health Department (conditional)	12-11-9
Solid Waste Management	01-13-10
DRB Chairperson, Planning Department	Catalina Jaramila

* Environmental Health, if necessary



KEYED NOTES

- MONUMENT SIGN
- BIKE RACK
- NEW 3' HIGH CMU SCREEN WALL
- NEW 6' HIGH CMU SCREEN WALL
- 20' HIGH POLE LIGHT
- 16' HIGH POLE LIGHT
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- EXISTING FIRE HYDRANT
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- NEW CMU ON EXISTING RETAINING WALL TO 6' HIGH
- NEW 6' HIGH ORNAMENTAL IRON FENCE. COLOR TO MATCH SHERWIN WILLIAMS BAKED CLAY SW6340 (WARM BROWN)
- EXISTING LIGHT POLE TO BE RELOCATED
- EXISTING LIGHT POLE TO REMAIN
- BENCH SEATING WITH TRASH RECEPTACLE
- CONCRETE FILLED PIPE BOLLARD
- NEW TYPE 'C' BUS SHELTER. PER COA STANDARD. DETAIL COA #2535
- EXISTING COVERED BUS SHELTER
- MOTORCYCLE PARKING SPACE SIGN.
- CURB NOTCH SEE DETAIL 4E ON SITE DETAIL SHEET.
- SCORED COLORED CONCRETE

SIGNS WHICH ARE DIRECTLY SPOTLIGHTED OR INTERNALLY ILLUMINATED SIGNS ARE ALLOWED PROVIDED THAT: THERE IS NO GLARE ON THE STREET OR UPON ADJACENT PROPERTY & THE LIGHT DOES NOT DISTRACT MOTORISTS.

REF: COORS CORRIDOR SECTOR PLAN PP. 114, 115

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+ 2 MOTORCYCLE SPACES

ADDITIONAL SPACES:
310 CAR SALES SPACES / 9 GOLF CART SPACES

BICYCLE SPACES:
5 SLOTS IN RACK

NOTE: BANNERS, PENNANTS, RIBBONS, STREAMERS, STRINGS OF LIGHT BULBS, SPINNERS, TINSEL, BALLOONS AND REFLECTIVE FLAGS SHALL NOT BE ALLOWED.

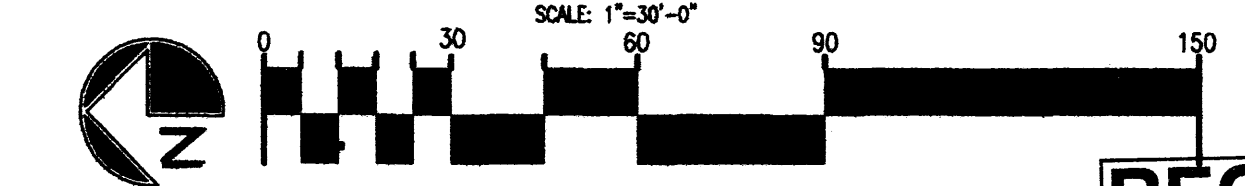
NOTE: THE TERM "VEHICLE", IN THE CONTEXT OF THIS REQUEST MEANS ONLY AUTOMOBILE OR LIGHT TRUCK.

NOTE: THE USE OF AMPLIFIED SOUND, INCLUDING BUT NOT LIMITED TO SPEAKERS AND PA SYSTEMS, SHALL NOT BE ALLOWED.

NOTE: ALL EXTERIOR UTILITY BOXES, ELECTRICAL AND GAS METERS, TRANSFORMERS, ETC., SHALL BE SCREENED FROM VIEW.

NOTE: LANDSCAPING ISLANDS SHALL BE AT GRADE WITH THE PARKING LOT (NOT RAISED) SO THE CURB NOTCHES CAN FUNCTION.

SITE PLAN FOR BUILDING PERMIT



NOTE: NO ELECTRONIC DISPLAY PANELS, ALSO KNOWN AS LED DISPLAY PANELS OR ELECTRONIC BILLBOARDS, SHALL BE PERMITTED.

REVISED JANUARY 2010

A PROPOSED PLAN FOR
COORS PARK & SELL
(COORS BLVD. N.W. AND FORTUNA RD. N.W.)
ALBUQUERQUE, NEW MEXICO

JUNE 29, 2009

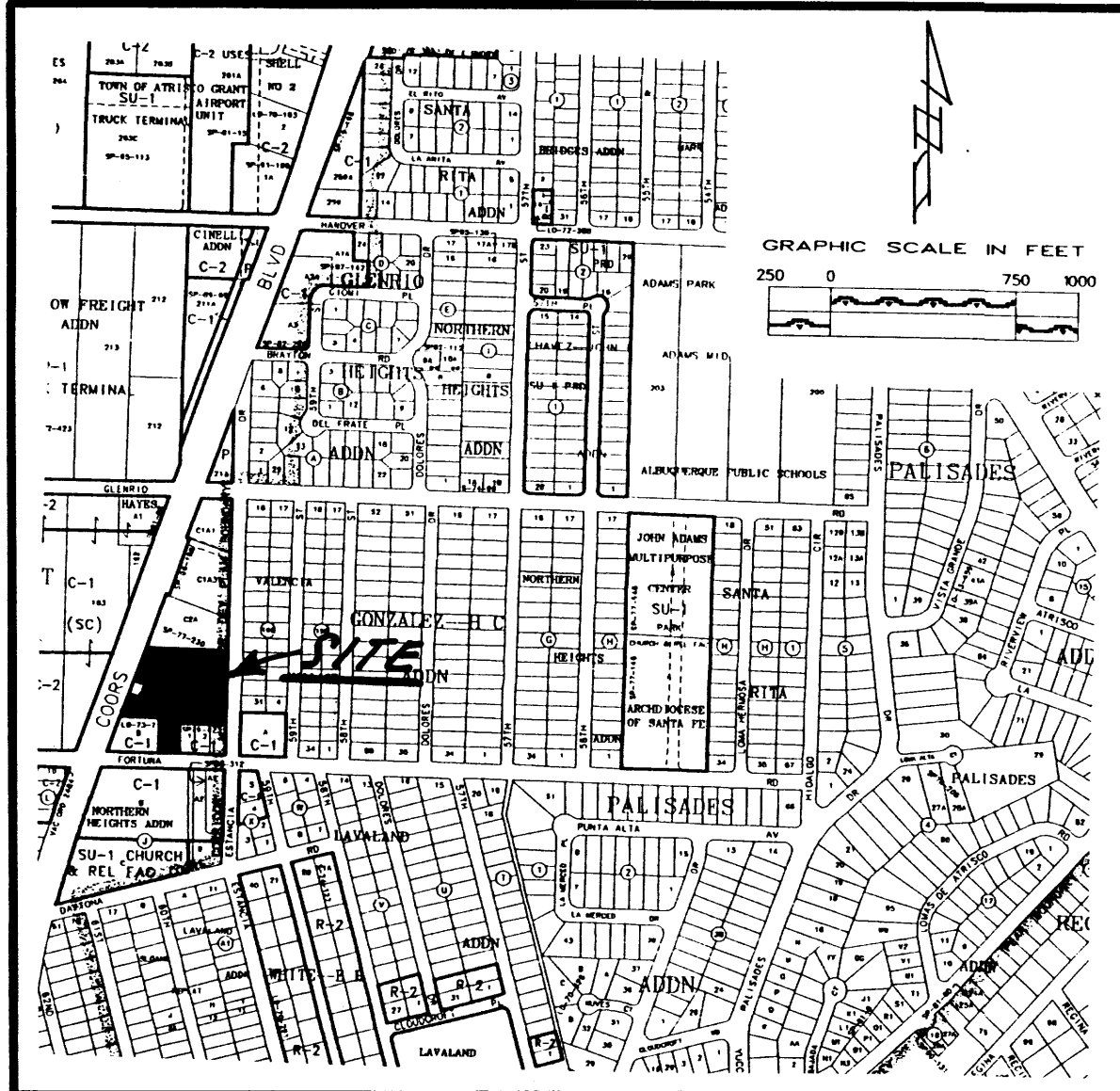
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SEP 21 2010

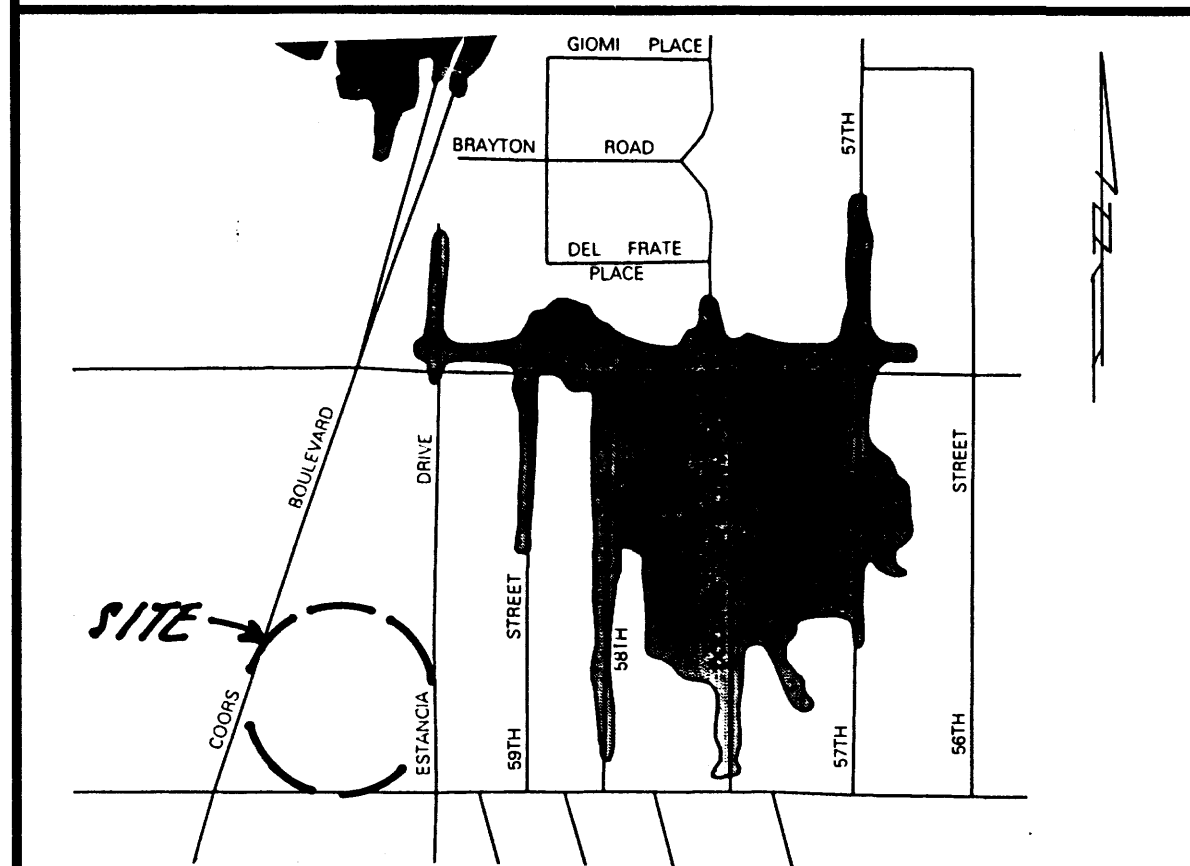
HYDROLOGY SECTION

ENGINEER'S SEAL

3 OF 9



VICINITY MAP J-11-Z



F.E.M.A. PANEL 327 OF 825

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

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CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

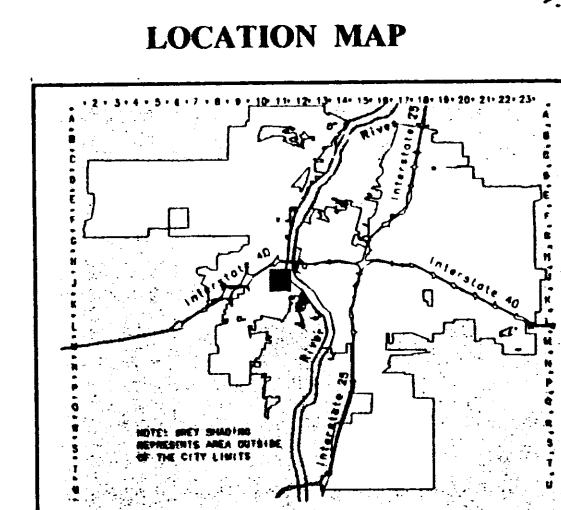
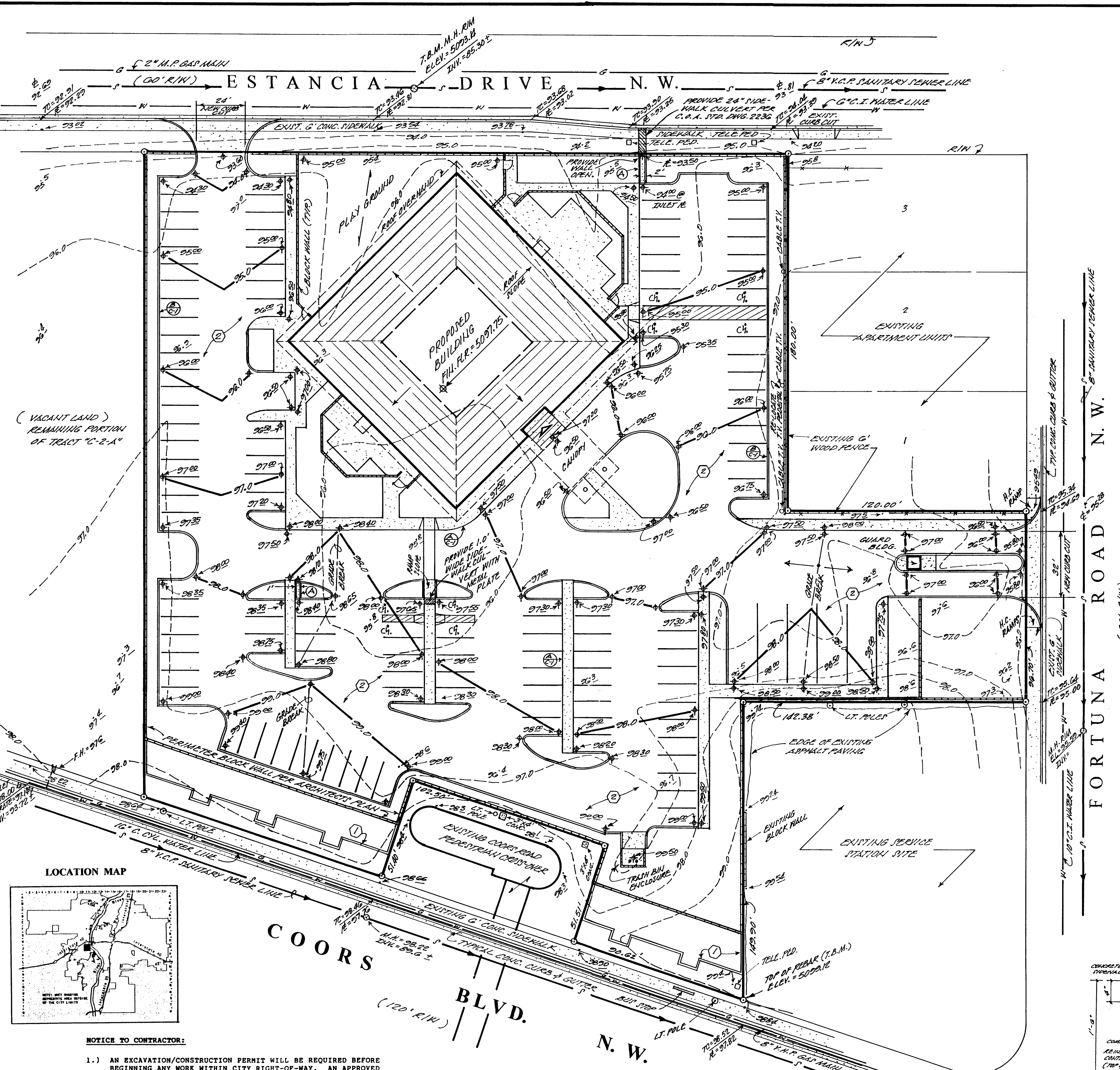
TOP OF CURB ELEVATION = $70.92.01$
 CURB FLOWLINE ELEVATION = $70.92.20$
 EXISTING SPOT ELEVATION = $70.92.20$
 EXISTING CONTOUR ELEVATION = $70.92.20$
 PROPOSED SPOT ELEVATION = $70.92.20$
 PROPOSED CONTOUR ELEVATION = $70.92.20$
 PROPOSED OR EXISTING CONCRETE SURFACE = $70.92.20$
 EXISTING FENCE LINE = $70.92.20$

LEGAL DESCRIPTION:

A SOUTHERLY PORTION OF TRACT "C-2-A", OF THE CAMPBELL LANDS, A REDIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO, (PRESENTLY BEING REPLATTED AND TO BE IDENTIFIED AS TRACT "C-2-A-1".

BENCH MARK REFERENCE:

ACS STATION "18-111", M.S.L.D. ELEVATION = 5096.81; (PROJECT T.B.M. AS SHOWN ON THE PLAN HEREON).



LOCATION MAP

NOTICE TO CONTRACTOR:

- AN EXCAVATION/CONSTRUCTION PERMIT WILL BE REQUIRED BEFORE BEGINNING ANY WORK WITHIN CITY RIGHT-OF-WAY. AN APPROVED COPY OF THIS PLAN MUST BE SUBMITTED AT THE TIME OF APPLICATION OF THIS PERMIT.
- ALL WORK DETAILED ON THESE PLANS TO BE PERFORMED UNDER CONTRACT SHALL, EXCEPT AS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF ALBUQUERQUE INTERIM STANDARD SPECIFICATION - PUBLIC WORKS CONSTRUCTION - 1985.
- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE, (260-1990) FOR LOCATION OF EXISTING UTILITIES.
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- BACKFILL COMPACTION SHALL BE ACCORDING TO ARTERIAL STREET USE.
- MAINTENANCE OF THESE FACILITIES SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY SERVED.

APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

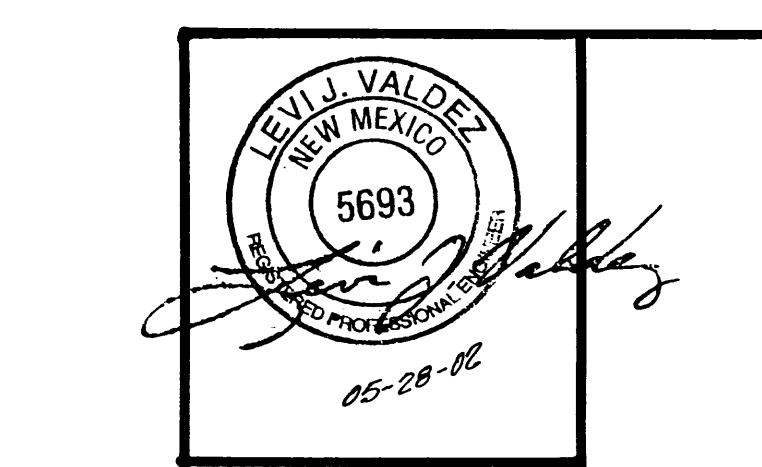
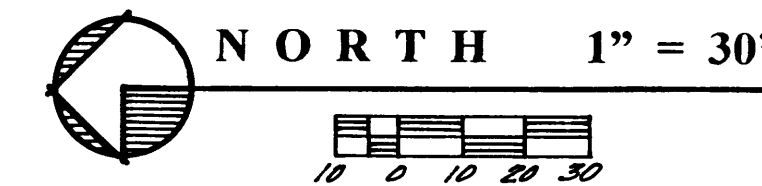
Note: Architect to provide roof drain design to outlet through sidewalk(s) and onto proposed asphalt paved parking area(s).

② Proposed new asphalt paved parking area's.

⑦ **Note:** Proposed Landscape Wall (1.5' ±) high per Architect's design.

GENERAL NOTES:

- NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER THIS SURVEY OF THE SUBJECT PROPERTY.
- NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN SHOWN HEREON.

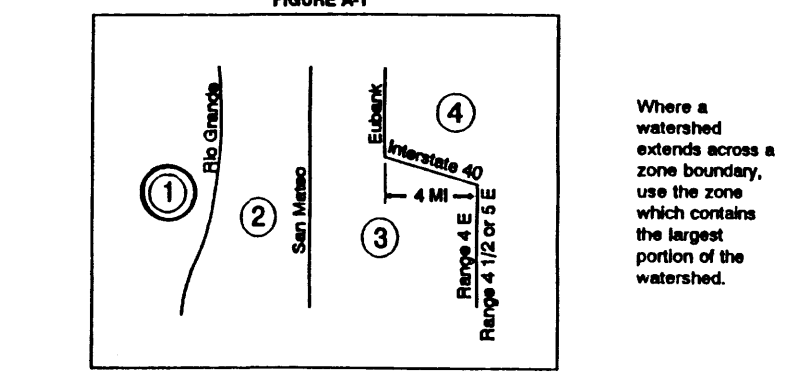


A-1 PRECIPITATION ZONES

Bernillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and El Estero, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of El Estero, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1



DNV SECTION 22.2 - HYDROLOGY

January, 1985

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands. Unimproved areas.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unimproved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (sheet piling). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subareas. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

Zone	Intensity
1	4.70 [1.84, 3.14]
2	4.05 [2.04, 3.41]
3	5.38 [2.21, 3.65]
4	6.34 [2.34, 3.83]

Zone	Treatment	Factor	CFS
1	A	2.87	8.32
1	B	2.87	8.32
1	C	2.87	8.32
1	D	2.87	8.32
2	A	2.87	8.32
2	B	2.87	8.32
2	C	2.87	8.32
2	D	2.87	8.32
3	A	2.87	8.32
3	B	2.87	8.32
3	C	2.87	8.32
3	D	2.87	8.32
4	A	2.87	8.32
4	B	2.87	8.32
4	C	2.87	8.32
4	D	2.87	8.32

DRAINAGE COMMENTS:

AS SHOWN ON THE VICINITY MAP HEREON, THE SUBJECT SITE IS LOCATED AT THE APPROXIMATE NORTHEAST CORNER OF THE INTERSECTION OF COORS BLVD. N.W. AND FORTUNA ROAD N.W., IN THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO, (CITY ZONE ATL S "J-11-Z").

THE SUBJECT SITE IS PRESENTLY AN UNDEVELOPED "MIXED ZONE" PROPERTY THAT IS TO HAVE A PROPOSED FACILITY CONSTRUCTED FOR THE MOOSE FAMILY CENTER LODGE NO. 1517, TOGETHER WITH ALL ASSOCIATED IMPROVEMENTS THEREON.

THE SUBJECT SITE, 1) DOES NOT LIE WITHIN A DESIGNATED FLOODPLAIN (RE: F.E.M.A. PANEL 327 OF 825), 2) DOES NOT ACCEPT OFFSITE FLOWS FROM ADJACENT PROPERTIES, 3) DOES NOT CONTRIBUTE TO THE OFFSITE FLOWS OF ADJACENT PROPERTIES, 4) DOES NOT LIE ADJACENT TO A NATURAL OR ARTIFICIAL WATER COURSE, 5) IS ALLOWED TO FREE DISCHARGE DEVELOPED FLOWS FROM SAID PROPERTY.

CALCULATIONS:

PER SECTION 22.2, HYDROLOGY OF THE DEVELOPMENT PROCESS MANUAL, VOLUME 2, DESIGN CRITERIA FOR THE CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.

SITE AREA: 2.90 ACRES

PRECIPITATION ZONE: ONE (1)

PEAK INTENSITY: IN/HR. T_c = TWELVE (12) MINUTES, 100 YR/6 HR. = 4.70

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES "A-8" AND "A-9"

LAND TREATMENT FACTORS, TABLE "A-4"

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	2.90	X 2.87	= 8.32

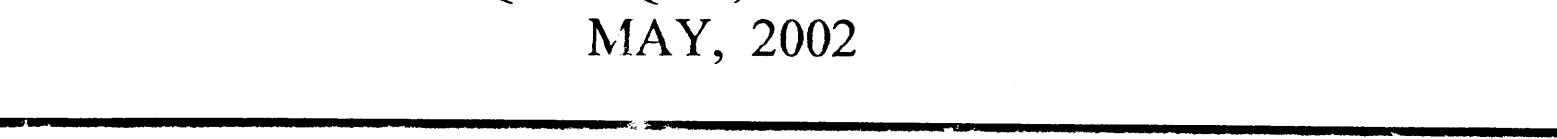
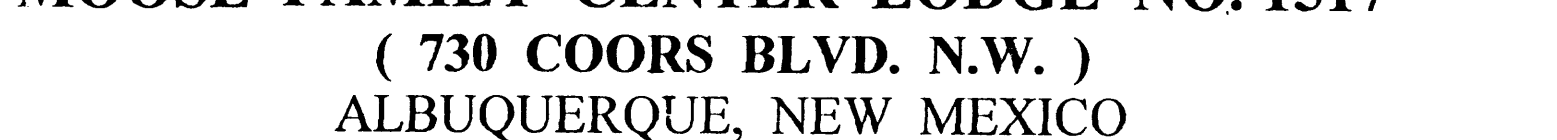
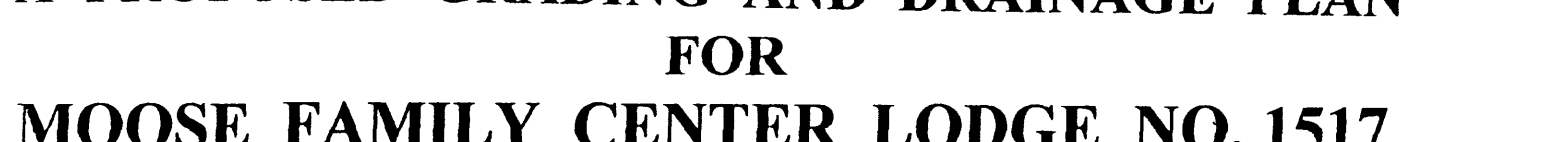
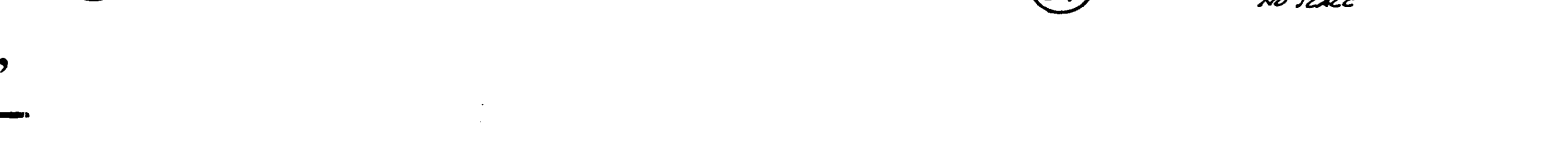
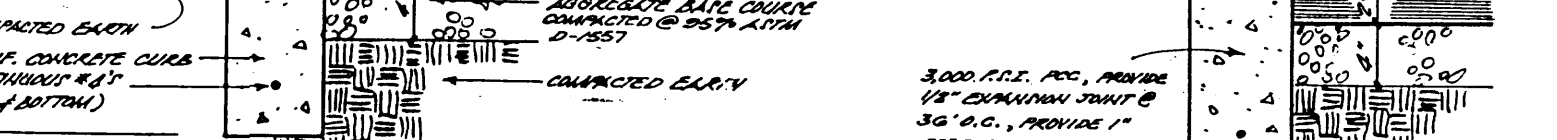
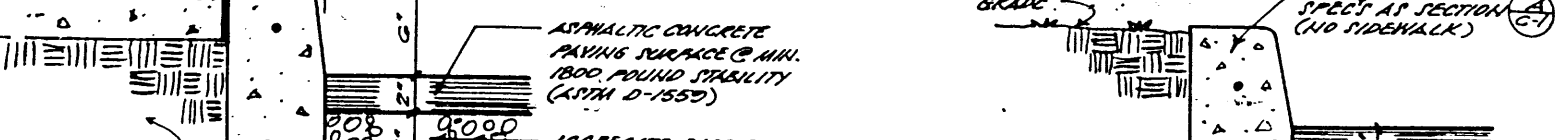
"Qp" = 8.32 CFS

PROPOSED DEVELOPED CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
C	0.80	X 2.87	= 2.30
D	2.10	X 4.37	= 9.18

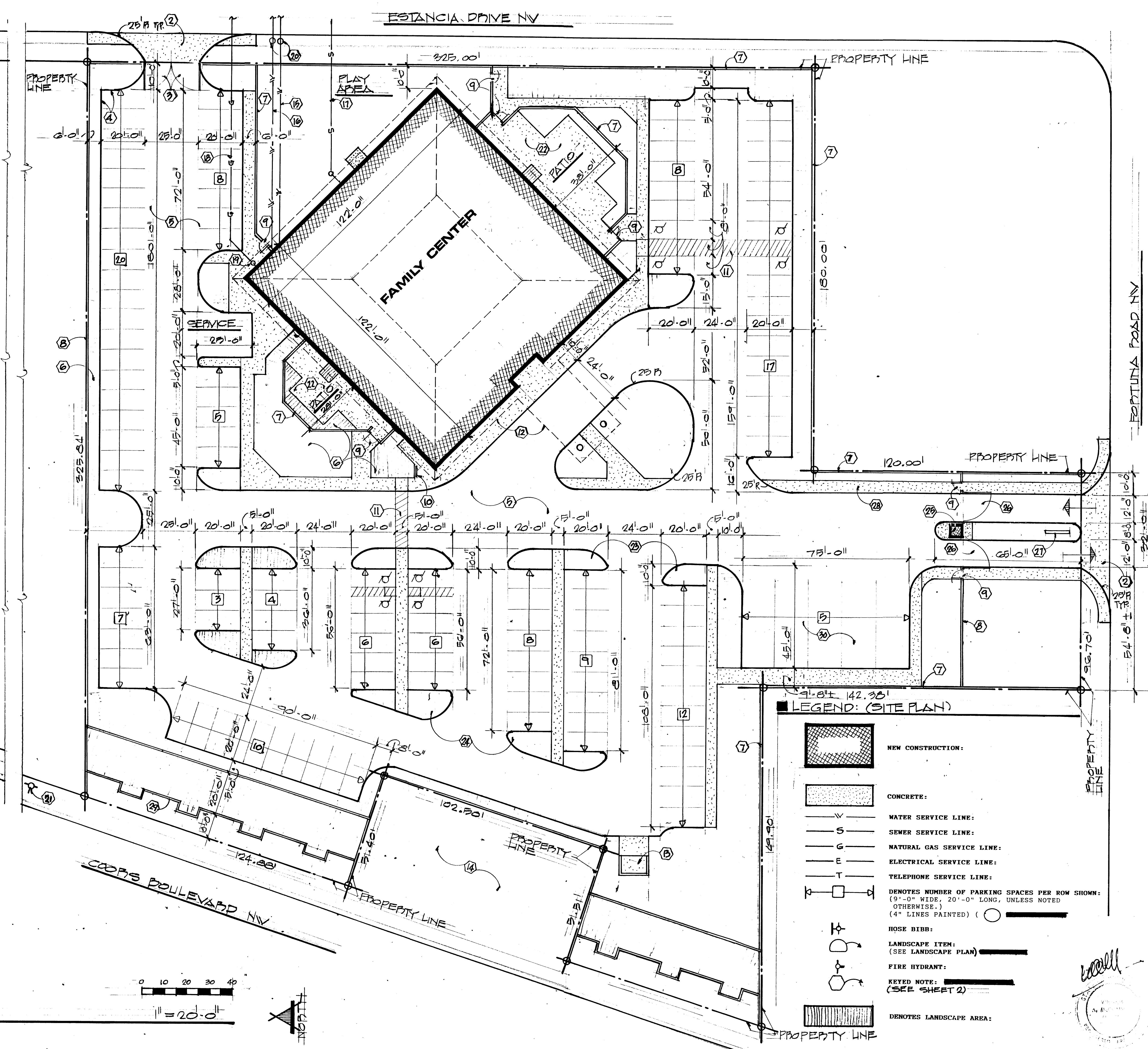
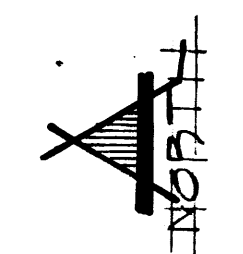
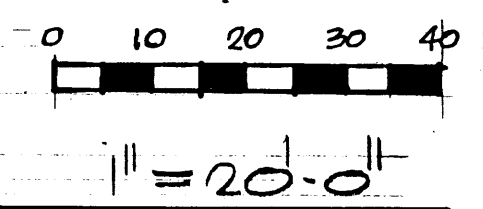
"Qp" = 11.48 CFS

INCREASE = 3.16 CFS



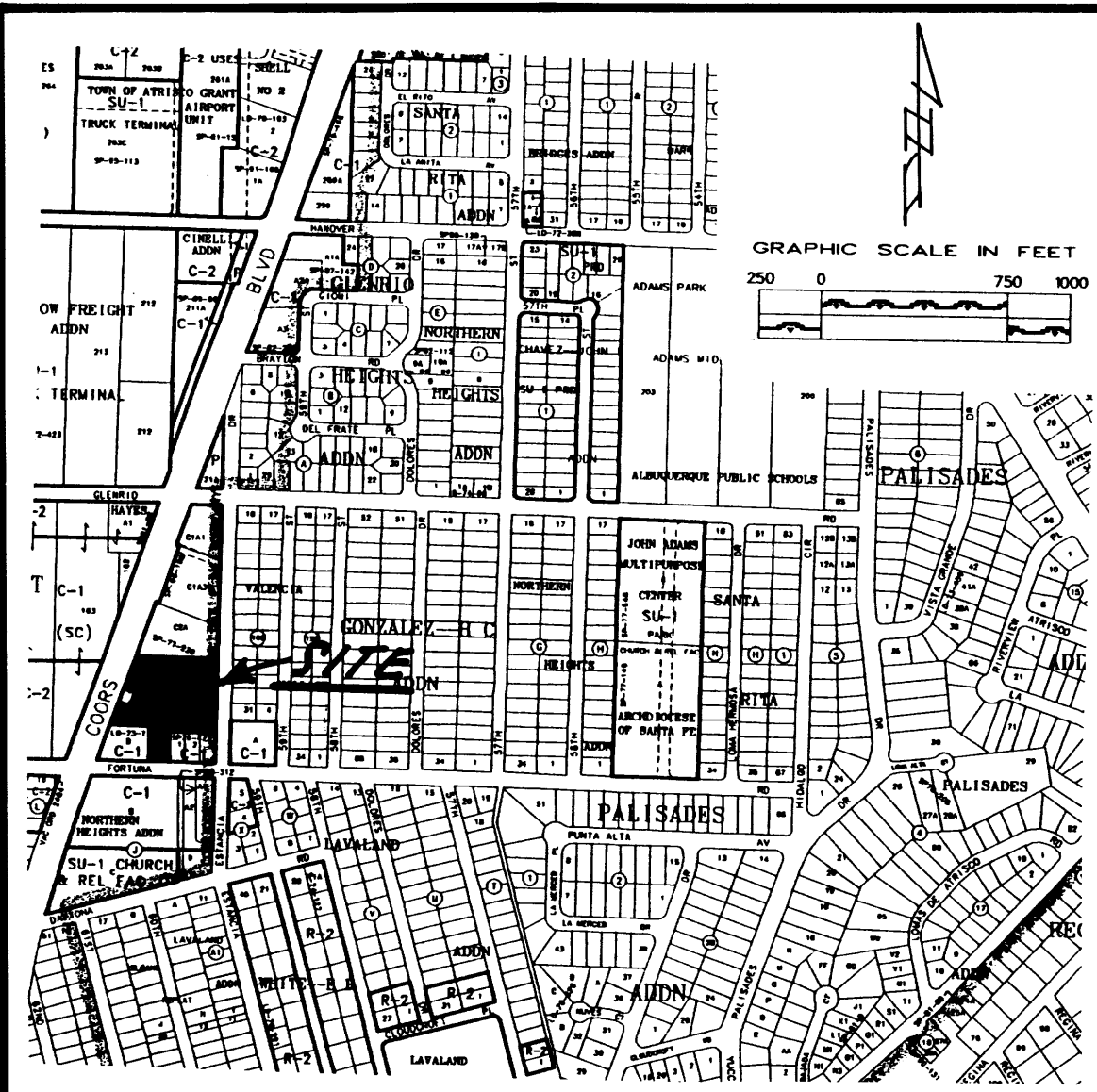
A PROPOSED GRADING AND DRAINAGE PLAN FOR MOOSE FAMILY CENTER LODGE NO. 1517 (730 COORS BLVD. N.W.) ALBUQUERQUE, NEW MEXICO MAY, 2002

SITE PLAN:

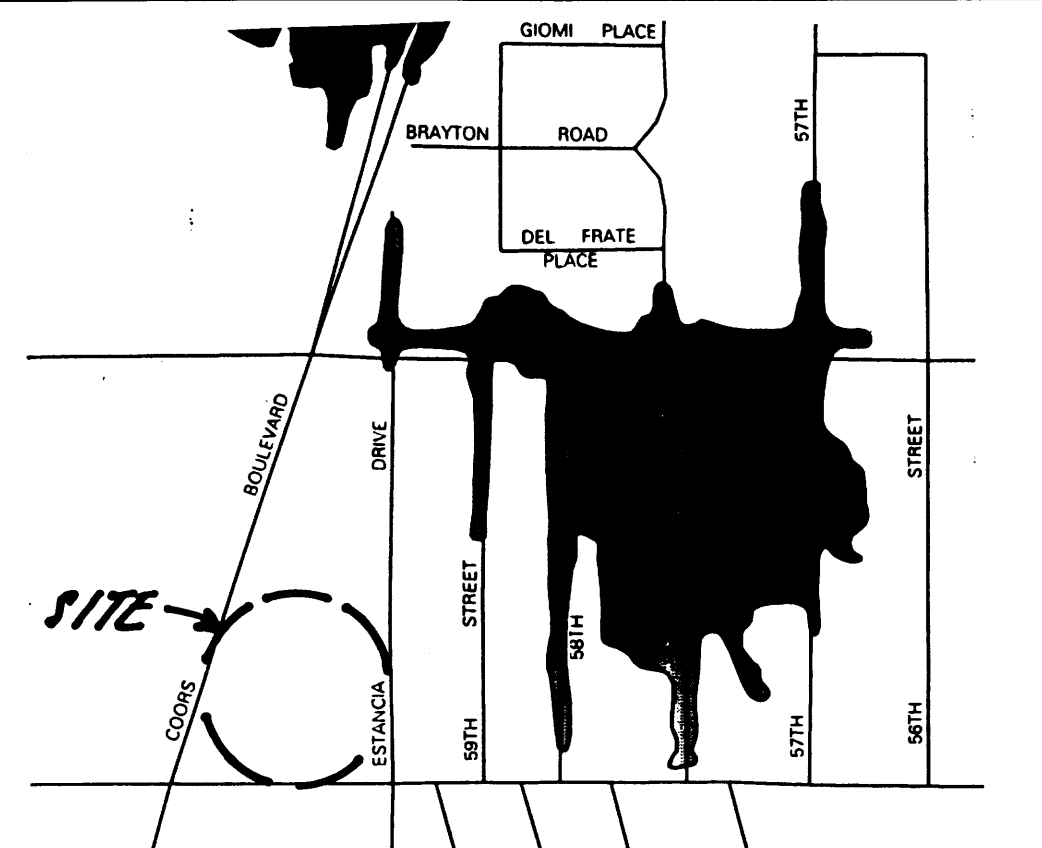


LEGEND: (SITE PLAN)

- NEW CONSTRUCTION:
- CONCRETE:
- WATER SERVICE LINE:
- SEWER SERVICE LINE:
- NATURAL GAS SERVICE LINE:
- ELECTRICAL SERVICE LINE:
- TELEPHONE SERVICE LINE:
- DENOTES NUMBER OF PARKING SPACES PER ROW SHOWN:
(9'-0" WIDE, 20'-0" LONG, UNLESS NOTED OTHERWISE.)
(4" LINES PAINTED) ()
- HOSE BIBB:
- LANDSCAPE ITEM:
(SEE LANDSCAPE PLAN)
- FIRE HYDRANT:
- KEYED NOTE:
(SEE SHEET 2)
- DENOTES LANDSCAPE AREA:



VICINITY MAP J-11-Z



F.E.M.A. PANEL 327 OF 825

EROSION CONTROL MEASURES:

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION. HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE TAKEN:

- ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND ENTERING ADJACENT PROPERTIES.
- ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON.

CONSTRUCTION NOTES:

- TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF DELAY.
- ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
- ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

LEGEND:

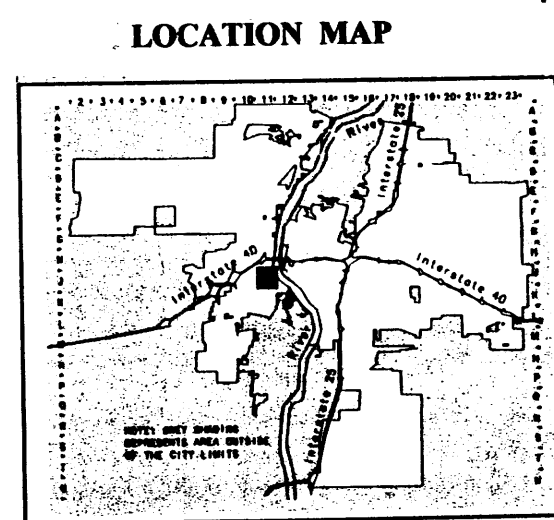
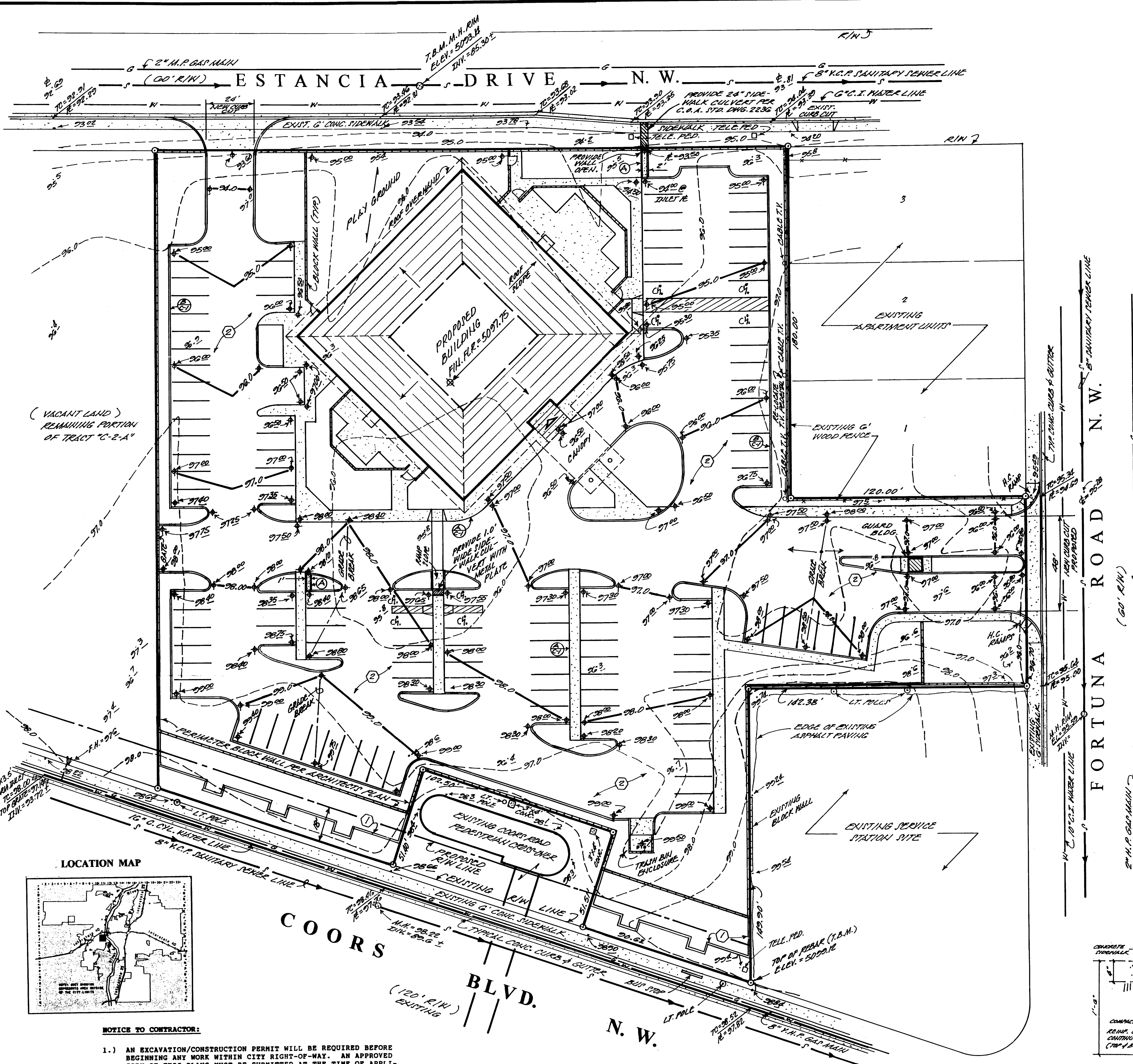
TOP OF CURB ELEVATION = 70 = 92.01
CURB FLOWLINE ELEVATION = 8 = 92.20
EXISTING SPOT ELEVATION = 92.2
EXISTING CONTOUR ELEVATION = 97.0
PROPOSED SPOT ELEVATION = 97.22
PROPOSED CONTOUR ELEVATION = 98.0
PROPOSED OR EXISTING CONCRETE SURFACE =
EXISTING FENCE LINE =

LEGAL DESCRIPTION:

A SOUTHERLY PORTION OF TRACT "C-2-A", OF THE CAMPBELL LANDS, A REDIVISION OF TRACT "C", AIRPORT UNIT, TOWN OF ATRISCO GRANT, ALBUQUERQUE, NEW MEXICO; (PRESENTLY BEING REPLATTED AND TO BE IDENTIFIED AS TRACT "C-2-A-1".

BENCH MARK REFERENCE:

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LOCATION MAP

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APPROVALS	NAME	DATE
HYDROLOGY INSPECTOR		

NOTE: ALL WORK WITHIN PUBLIC EASEMENT SHALL BE PERFORMED UNDER SEPARATE PERMIT.

Note: Architect to provide roof drain design to outlet through sidewalk(s) and onto proposed asphalt paved parking area(a).

② Proposed new asphalt paved parking area's.

⑦ **Note:** Proposed Landscape Wall (1.5' ±) high per Architect's design.

GENERAL NOTES:

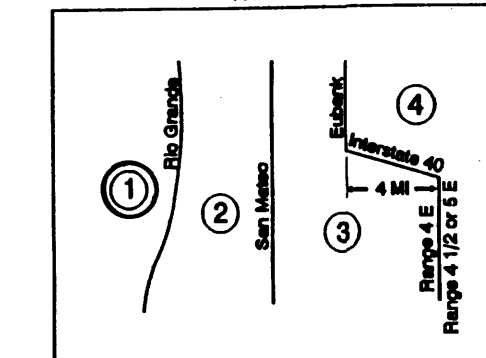
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A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

Zone	Location
1	West of the Rio Grande
2	Between the Rio Grande and San Mateo
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East, South of Interstate 40
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40

FIGURE A-1



Where a watershed extends across a zone boundary, use the zone which contains the largest portion of the watershed.

Zone	Intensity	100-YR [2-YR, 10-YR]
1	1.84, 3.14	
2	2.04, 3.41	
3	2.21, 3.65	
4	2.34, 3.83	

CPM SECTION 22.2 - HYDROLOGY

January, 1995 Page A-4

Treatment	Land Condition
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundwater and infiltration capacity. Croplands. Unflooded arroyos.
B	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.
C	Soil compacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most natural lawns. Gravel or rock on plastic (except landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.
D	Impervious areas, pavement and roofs.

Most watersheds contain a mix of land treatments. To determine proportional treatments, measure respective subwatersheds. In lieu of specific measurement for treatment D, the areal percentages in TABLE A-5 may be employed.

Zone	A	B	C	D
1	1.29	2.00	2.87	4.37
2	1.58	2.28	3.14	4.70
3	1.87	2.66	3.45	5.02
4	2.20	2.92	3.73	5.25

DRAINAGE COMMENTS:

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CALCULATIONS:

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SITE AREA: 2.90 ACRES

PRECIPITATION ZONE: ONE (1)

PEAK INTENSITY: IN/HR AT T_c = TWELVE (12) MINUTES, 100 YR/6 HR = 4.70

LAND TREATMENT METHOD FOR CALCULATION OF "Qp", TABLES "A-8" AND "A-9"

LAND TREATMENT FACTORS, TABLE "A-4".

EXISTING CONDITIONS:

TREATMENT	AREA/ACRES	FACTOR	CFS
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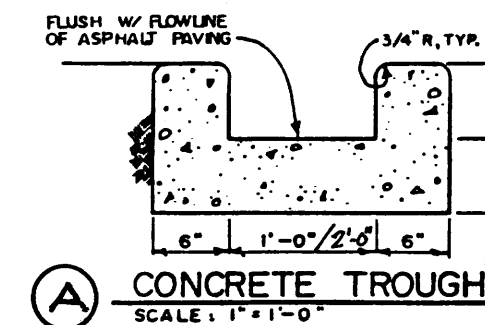
"Qp" = 8.32 CFS

PROPOSED DEVELOPED CONDITIONS:

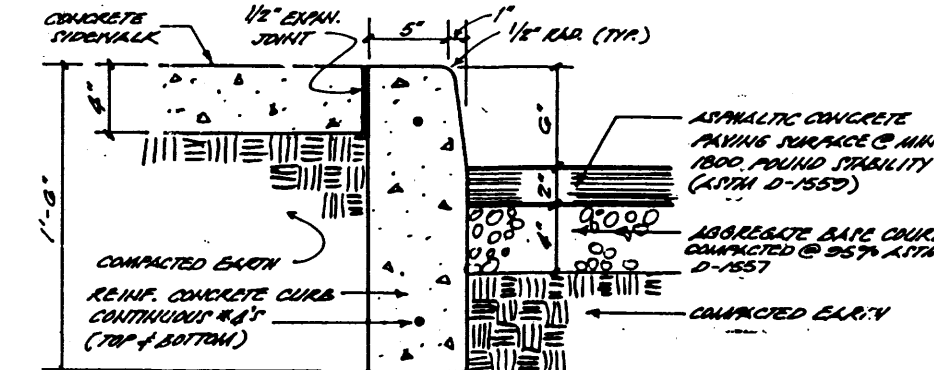
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"Qp" = 11.48 CFS

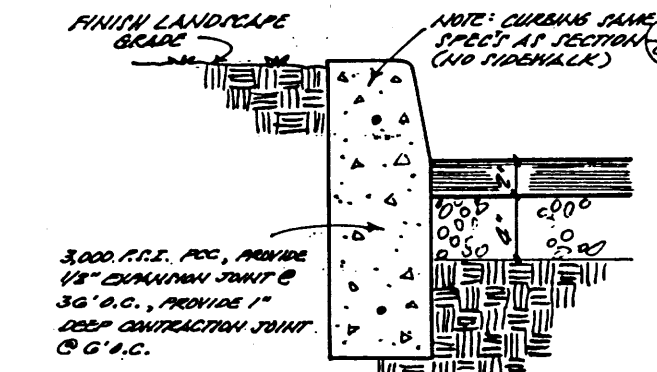
INCREASE = 3.16 CFS



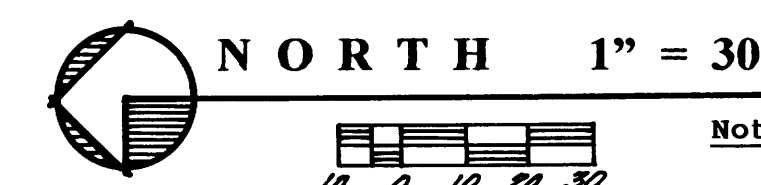
CONCRETE TROUGH SCALE: 1" = 1'-0"



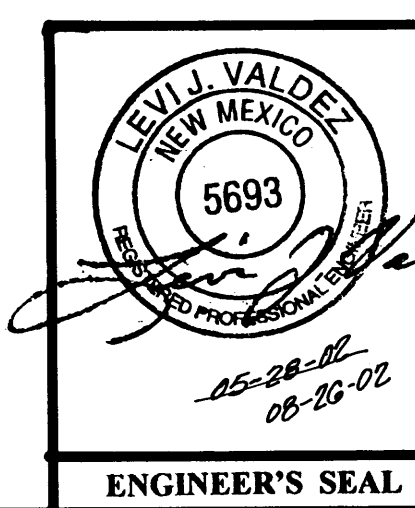
CURB AT CONCRETE WALKWAY



TYPICAL CURB



Note: This is a revision to the original submittal of the "Moose Family Lodge Grading and Drainage Plan", Engineer's stamp dated 05-28-02 (J11/D32); there are no revisions to the grades or concept of said submittal, only to improvements proposed at the main entrance and exits for said development.



A PROPOSED GRADING AND DRAINAGE PLAN FOR MOOSE FAMILY CENTER LODGE NO. 1517 (730 COORS BLVD. N.W.) ALBUQUERQUE, NEW MEXICO MAY, 2002 (REVISED: AUGUST, 2002)

