

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

December 31, 2018

Jeffery Wooten, P.E.
Wooten Engineering
1005 21st St SE, Suite A5
Rio Rancho, NM 87124

RE: **Coors Blvd Wecks**
730 Coors Blvd NW
Grading and Drainage Plan
Engineer's Stamp Date: 12/11/2018
Hydrology File: J11D032

Dear Mr. Wooten:

PO Box 1293
Albuquerque
NM 87103
www.cabq.gov

Based on the submittal received on 12/21/18, the Grading and Drainage Plan cannot be approved for Site Plan for Building Permit (Administrative Amendment) or Building Permit until the following corrections are made:

Prior to Site Plan For Building Permit (Administrative Amendment):

1. If only seeking Site Plan for Building Permit approval at this time, label the grading plan "Conceptual, Not For Construction" or similar. If seeking SPBP and Building Permit simultaneously, forgo the conceptual markings and address all Building Permit comments.

Prior to Grading/Building Permit:

2. For trash enclosures serving food service developments, demonstrate control of liquids from dumpster areas per DPM Chapter 22.9.E, Table 1 by containing runoff from the dumpster area and discharging to the sanitary sewer. If this information is on the utility plan please provide it, or show on the grading plan.
3. This project requires an ESC Plan, submitted to the Stormwater Quality Engineer (Curtis Cherne PE, ccherne@cabq.gov or 924-3420).
4. Add note on the plan that "No work shall be performed in the public ROW without an approved Work Order or Excavation Permit."
5. For Information. Hydrology and Transportation files are available online through the City's GIS Viewer 2.0: <https://www.cabq.gov/gis/advanced-map-viewer>. Turn on the *HydroTrans*

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layer: *Operational Layers* > *Albuquerque Layers* > *Sites* > *HydroTrans*. Select the desired polygon from the map and click *Link to Project Documents*.

Prior to Certificate of Occupancy (For Information):

6. Engineer's Certification, per the DPM Chapter 22.7: *Engineer's Certification Checklist For Non-Subdivision* is required.
7. A Bernalillo County Recorded [Private Facility Drainage Covenant](#) is required for the stormwater quality pond. The original notarized form, exhibit A (legible on 8.5x11 paper), and recording fee (\$25, payable to Bernalillo County) must be turned into DRC (4th, Plaza del Sol) for routing. Please contact Charlotte LaBadie (clabadie@cabq.gov, 924-3996) or Madeline Carruthers (mtafoya@cabq.gov, 924-3997) regarding the routing and recording process for covenants. The routing and recording process for covenants can take a month or longer; Hydrology recommends beginning this process as soon as possible as to not delay approval for certificate of occupancy.

PO Box 1293

If you have any questions, please contact me at 924-3695 or dpeterson@cabq.gov.

Albuquerque

Sincerely,

NM 87103

Dana Peterson, P.E.
Senior Engineer, Planning Dept.
Development Review Services

www.cabq.gov



City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

- ____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

- ____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

- ____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

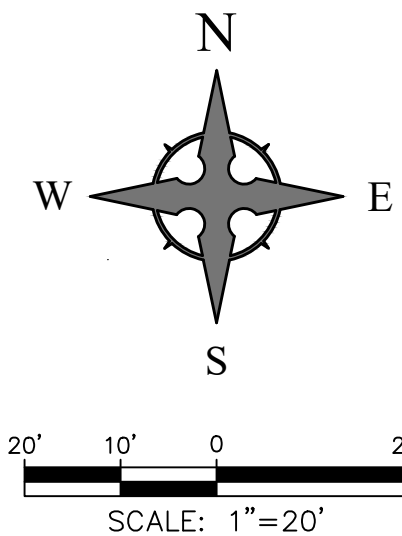
DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



	FLOW ARROW
	PROPOSED TOP OF GRADE/PVMT ELEVATIONS
	PROPOSED FLOW LINE/CURB ELEVATIONS
	PROPOSED TOP OF GUTTER ELEVATIONS
	PROPOSED TOP OF SIDEWALK ELEVATION
	FINISHED GRADE AT TOP OF WALL
	FINISHED GRADE AT BOTTOM OF WALL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING STORM DRAIN

SU-1	REV		
JCK TERMINAL			



Per FIRM Map 35001C0327J, dated November 04, 2016, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.'

1. EXCEPT AS PROVIDED HEREIN, GRADING SHALL BE PERFORMED AT THE ELEVATIONS AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THIS PLAN.
2. THE COST FOR REQUIRED CONSTRUCTION DUST AND EROSION CONTROL MEASURES SHALL BE INCIDENTAL TO THE PROJECT COST.
3. ALL WORK RELATIVE TO FOUNDATION CONSTRUCTION, SITE PREPARATION, AND PAVEMENT INSTALLATION, AS SHOWN ON THIS PLAN, SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE "GEOTECHNICAL INVESTIGATION" AS PROVIDED BY THE ARCHITECT OR OWNER. ALL OTHER WORK SHALL UNLESS OTHERWISE STATED OR PROVIDED FOR HEREON, BE CONSTRUCTED IN ACCORDANCE WITH THE PROJECT, (FIRST PRIORITY) SPECIFICATIONS, AND/OR THE CITY OF ALBUQUERQUE (COA) STANDARD SPECIFICATIONS FOR PUBLIC WORKS (SECOND PRIORITY).
4. EARTH SLOPES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL UNLESS SHOWN OTHERWISE.
5. IT IS THE INTENT OF THESE PLANS THAT THIS CONTRACTOR SHALL NOT PERFORM ANY WORK OUTSIDE OF THE PROPERTY BOUNDARIES EXCEPT AS REQUIRED BY THIS PLAN.
6. THE CONTRACTOR IS TO ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. THIS SHOULD BE ACHIEVED BY CONSTRUCTING TEMPORARY BERM OR FENCE AT THE PROPERTY LINES AND WETTING THE SOIL TO PROTECT IT FROM WIND EROSION.
7. A DISPOSAL SITE FOR ANY & ALL EXCAVATION MATERIAL, AND UNSUITABLE MATERIAL AND/OR A BORROW SITE CONTAINING ACCEPTABLE FILL MATERIAL SHALL BE OBTAINED BY THE CONTRACTOR IN COMPLIANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS AND APPROVED BY THE OBSERVER. ALL COSTS INCURRED IN OBTAINING A DISPOSAL OR BORROW SITE AND HAUL TO OR FROM SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT AND NO SEPARATE MEASUREMENT OR PAYMENT SHALL BE MADE.
8. PAVING AND ROADWAY GRADES SHALL BE $\pm 0.05'$ FROM PLAN ELEVATIONS. PAD ELEVATION SHALL BE $\pm 0.05'$ FROM BUILDING PLAN ELEVATION.
9. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS REFLECT TOP OF PAVEMENT ELEVATIONS IN THE PARKING AREA AND MUST BE ADJUSTED FOR PAVEMENT, MEDIANS, AND ISLANDS.
10. VERIFY ALL ELEVATIONS SHOWN ON PLAN FROM BASIS OF ELEVATION CONTROL STATION (IF APPLICABLE) PRIOR TO BEGINNING CONSTRUCTION.
11. THE CONTRACTOR SHALL PROVIDE THE SWPPP DOCUMENT (IF NECESSARY) AND SHALL ABIDE BY ALL LOCAL, STATE, AND FEDERAL LAWS, RULES AND REGULATIONS WHICH APPLY TO EROSION CONTROL CONSTRUCTION AND IMPROVEMENTS, INCLUDING EPA REQUIREMENTS WITH RESPECT TO STORM WATER DISCHARGE.

<i>BENCH MARKS</i>
A.C.S. MONUMENT "20-J11"
MONUMENT TYPE 3
NEW MEXICO STATE PLANE COORDINATES (CENTRAL ZONE-N.A.D. 1983)
N=1,491,770.982
E=1,506,437.513
PUB. EL.=5094.032 NAVD 1988
GROUND TO GRID FACTOR=0.999680825
DELTA ALPHA ANGLE = -0°15'27.22"

[illegible]

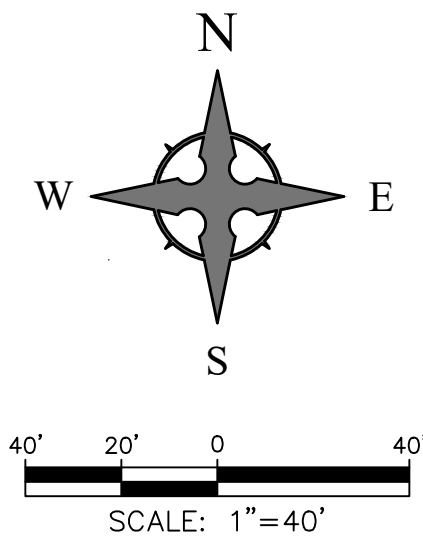
Wooten Engineering
1005 21st St SE, Suite 13
Rio Rancho, N.M. 87124
Phone: (505) 980-3560

WE

Weeks Restaurant
730 Coors Blvd NW
Albuquerque, NM 87121

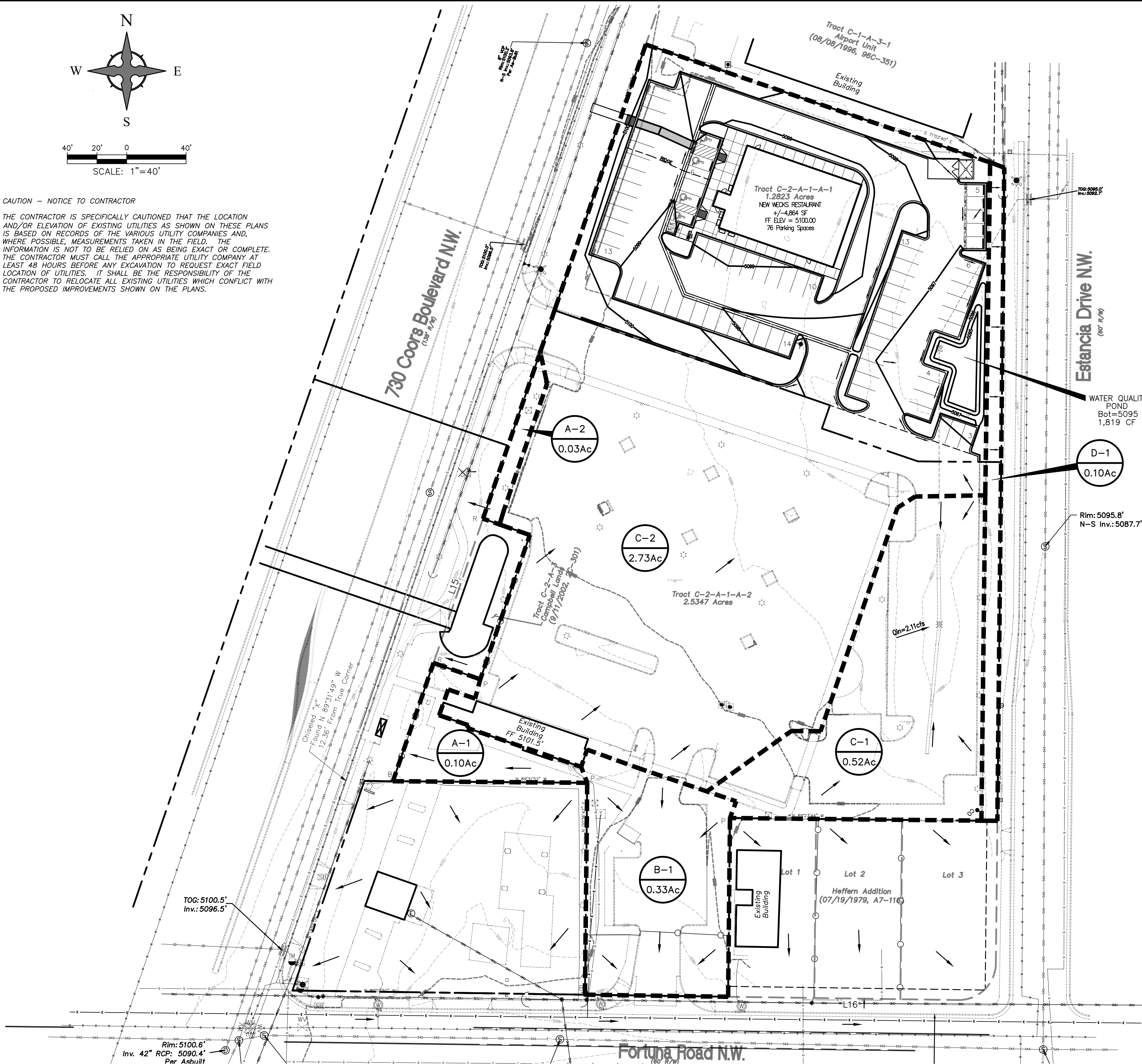
Grading Plan

[C-201]



CAUTION – NOTICE TO CONTRACTOR

THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.



Existing 730 Coors Drainage Calculations												
This table is based on the COA DPM Section 22.2, Zone:1												
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100) ₆₀₀ (CF)	V(100) ₄₄₀ (CF)	V(100) _{10day} (CF)
			A	B	C	D						
A-1	4430	0.10	0.0%	0.0%	70.0%	30.0%	3.32	0.34	1.28	474	518	651
A-2	1244	0.03	0.0%	0.0%	100.0%	0.0%	2.87	0.08	0.99	103	103	103
B-1	14403	0.33	0.0%	0.0%	40.0%	60.0%	3.77	1.25	1.58	1894	2182	3046
C-1	22618	0.52	0.0%	0.0%	20.0%	80.0%	4.07	2.11	1.77	3344	3947	5756
C-2	118998	2.73	0.0%	0.0%	20.0%	80.0%	4.07	11.12	1.77	17592	20765	30285
D-1	4502	0.10	0.0%	90.0%	100.0%	0.0%	4.70	0.49	1.59	598	598	598
TOTAL	166195	3.82						15.38		24004	28113	40439

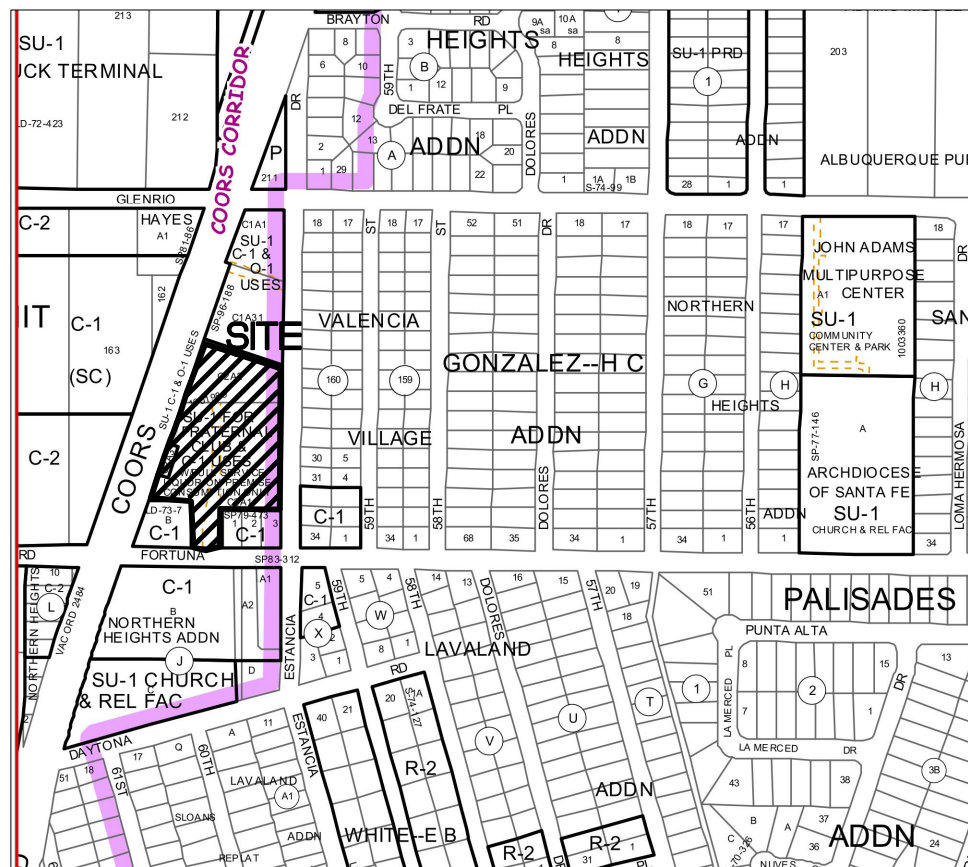
Proposed 730 Coors Drainage Calculations												
This table is based on the COA DPM Section 22.2, Zone:1												
BASIN	Area (SQ. FT)	Area (AC.)	Land Treatment Percentages				Q(100) (cfs/ac.)	Q(100) (CFS)	WTE (inches)	V(100) ₆₀₀ (CF)	V(100) ₄₄₀ (CF)	V(100) _{10day} (CF)
			A	B	C	D						
A-1	4430	0.10	0.0%	0.0%	70.0%	30.0%	3.32	0.34	1.28	474	518	651
A-2	1244	0.03	0.0%	0.0%	100.0%	0.0%	2.87	0.08	0.99	103	103	103
B-1	14403	0.33	0.0%	0.0%	40.0%	60.0%	3.77	1.25	1.58	1894	2182	3046
C-1	22618	0.52	0.0%	0.0%	20.0%	80.0%	4.07	2.11	1.77	3344	3947	5756
C-2	118998	2.73	0.0%	0.0%	26.0%	74.0%	3.98	10.87	1.72	17009	19944	28750
D-1	4502	0.10	0.0%	90.0%	100.0%	0.0%	4.70	0.49	1.59	598	598	598
TOTAL	166195	3.82						15.14		23421	27292	38904

IMPERVIOUS AREA CALCULATIONS (WEEKS ONLY)

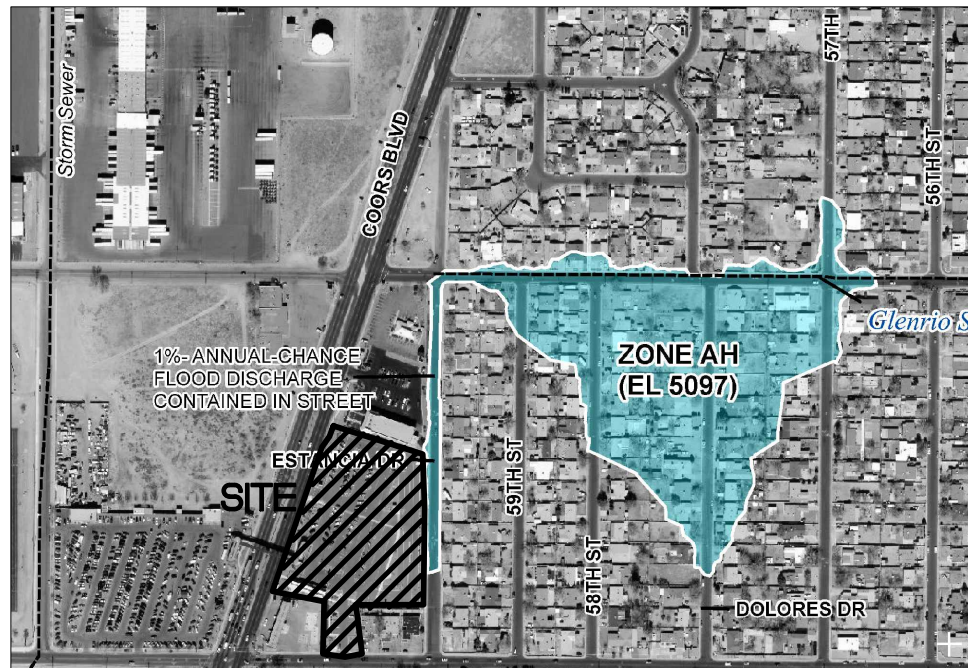
EXISTING SITE CONDITIONS
TOTAL SITE AREA: 55,857 SF
PERVIOUS AREA: 11,834 SF (20.8%)
IMPERVIOUS AREA: 44,223 SF (79.2%)

PROPOSED SITE CONDITIONS
TOTAL SITE AREA: 55,857 SF
PERVIOUS AREA: 14,610 SF (26.2%)
IMPERVIOUS AREA: 41,247 SF (73.8%)

FIRST FLUSH CALCULATION
TOTAL IMPERVIOUS AREA = 41,247 SF
FIRST FLUSH = 41,247 * 0.26" / 12 = 894 CF
TOTAL VOLUME PROVIDED (2 PONDS) = 1,615 CF



VICINITY MAP - Zone Map J-II-Z
LEGAL DESCRIPTION:
Tract C-2-A-1-A-1, Lands of Campbell. 1.2823 Acres.



FIRM MAP 35001C0327J
Per FIRM Map 35001C0327J, dated November 04, 2016, the site is not located in the Floodplain and determined to be outside the 0.2% chance Annual Floodplain.

DRAINAGE MANAGEMENT PLAN

INTRODUCTION
The purpose of this submittal is to provide a conceptual grading plan and drainage management plan for the subject Site Plan for Subdivision located at 730 Coors Blvd NW. The overall development contains approximately 3.817 acres and is located at the northeast corner of Coors Blvd NW and Fortuna Rd NW in Albuquerque, NM.

EXISTING HYDROLOGIC CONDITIONS
The site currently drains to multiple discharge points as described in the drainage calculations table this sheet. The smaller perimeter basins A, B, and D drain via sheet flow to the surrounding roadways. Basins C-1 and C-2 drain to an existing on-site storm sewer system that connects into an existing public storm drain located in Estancia Dr NW. We were unable to locate an existing drainage file for this project but must assume that the existing storm drain is sized to accommodate the site in its' current condition. There is currently 13.23cfs that flows through the existing storm sewer per the calculations table this sheet.

PROPOSED HYDROLOGIC CONDITIONS
The proposed Weeks development will conform to current conditions; however, a new Stormwater Quality Pond will be installed to capture the first flush volume at the redevelopment rate of 0.26 inches of rainfall. Per the calculations table this sheet, the total runoff from Basin C-2 will be reduced from 11.12cfs to 10.87cfs, a Total reduction of 0.25cfs, due to the reduction in impervious area. There is a total volume reduction within Basin C-2 of 943 cubic feet during the 100-Yr, 6-Hr storm. Per the Impervious Area Calculations table this sheet, the Weeks property is required to provide a Water Quality Pond that captures 894 cubic feet. The pond provided captures 1,619 cubic feet. NOTE THAT THE WEEKS PROPERTY DOES NOT PROVIDE STORMWATER PONDING FOR TRACT C-2-A-1-A-2.

The current recorded subdivision plat allows for cross lot drainage between the two lots.

CONCLUSION
This drainage management plan generally conforms to the original approved Drainage Management Plan prepared by Bohannon Huston, Inc. With this submittal, we are requesting DRB level approval of the Site Plan for Subdivision and the Subdivision Plat.

Detention Pond Volume Calculations

Elevation (ft)	Area (sq.ft)	Volume (cu-ft)	Volume Sum (cu-ft)
5095.0	892	0.0	0.0
5096.0	1,372	1,132.0	1,132.0
5096.45	1,680	687.0	1,819.0

BENCH MARKS

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Rio Rancho, N.M. 87124
Phone: (505) 980-3560

Weeks Restaurant
730 Coors Blvd NW
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Drainage Management Plan

C-202