

# CITY OF ALBUQUERQUE



June 29, 2007

Wallace Bingham, PE  
Bingham Engineering  
6344 Belcher Ave NE,  
Albuquerque, NM 87109

**Re: Milligan Duplex Grading and Drainage Plan**  
**Engineer's Certification Stamp dated 6-29-07, (J11/D34)**

Dear Mr. Bingham,

P.O. Box 1293

Based upon the information provided in your submittal dated 6-29-07, the above referenced plan is approved for Building Permit and SO#19 Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Albuquerque

A separate permit is required for construction within City R/W. A copy of this approval letter must be on hand when applying for the excavation permit.

New Mexico 87103

Also, prior to Certificate of Occupancy release, Engineer Certification of the grading plan per the DPM checklist will be required.

[www.cabq.gov](http://www.cabq.gov)

If you have any questions, please contact me at 924-3986.

Sincerely,

Bradley L. Bingham, PE  
Principal Engineer, Planning Dept.  
Development and Building Services

C: Antoinette Baldonado, Barricading and Excavation  
file

# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: MILLIGAN DUPLEX ZONE MAP/DRG. FILE #: J11  
DRB#: EPC#: WORK ORDER#:   
LEGAL DESCRIPTION: 511 59TH STREET NW, ALBUQUERQUE, nm

CITY ADDRESS: 511 59th st.NW

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6344 BELCHER AVE. NE  
CITY, STATE: ALB., NM

CONTACT: MONTE  
PHONE: 7974699  
ZIP CODE: 87109

OWNER: Pat Milligan  
ADDRESS: 3730 Coors Blvd  
CITY, STATE: ALB. 87120

CONTACT: Pat  
PHONE: 831 0900  
ZIP CODE:

ARCHITECT:   
ADDRESS:   
CITY STATE:

CONTACT:   
PHONE:   
ZIP CODE:

SURVEYOR:   
ADDRESS:   
CITY, STATE:

CONTACT:   
PHONE:   
ZIP CODE:

CONTRACTOR:   
ADDRESS:   
CITY, STATE:

CONTACT:   
PHONE:   
ZIP CODE:

## CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1st SUBMITTAL,  
REQUIRES TCL or equal  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☒ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERT (DRB APPR. SITE PLAN)  
☐ OTHER

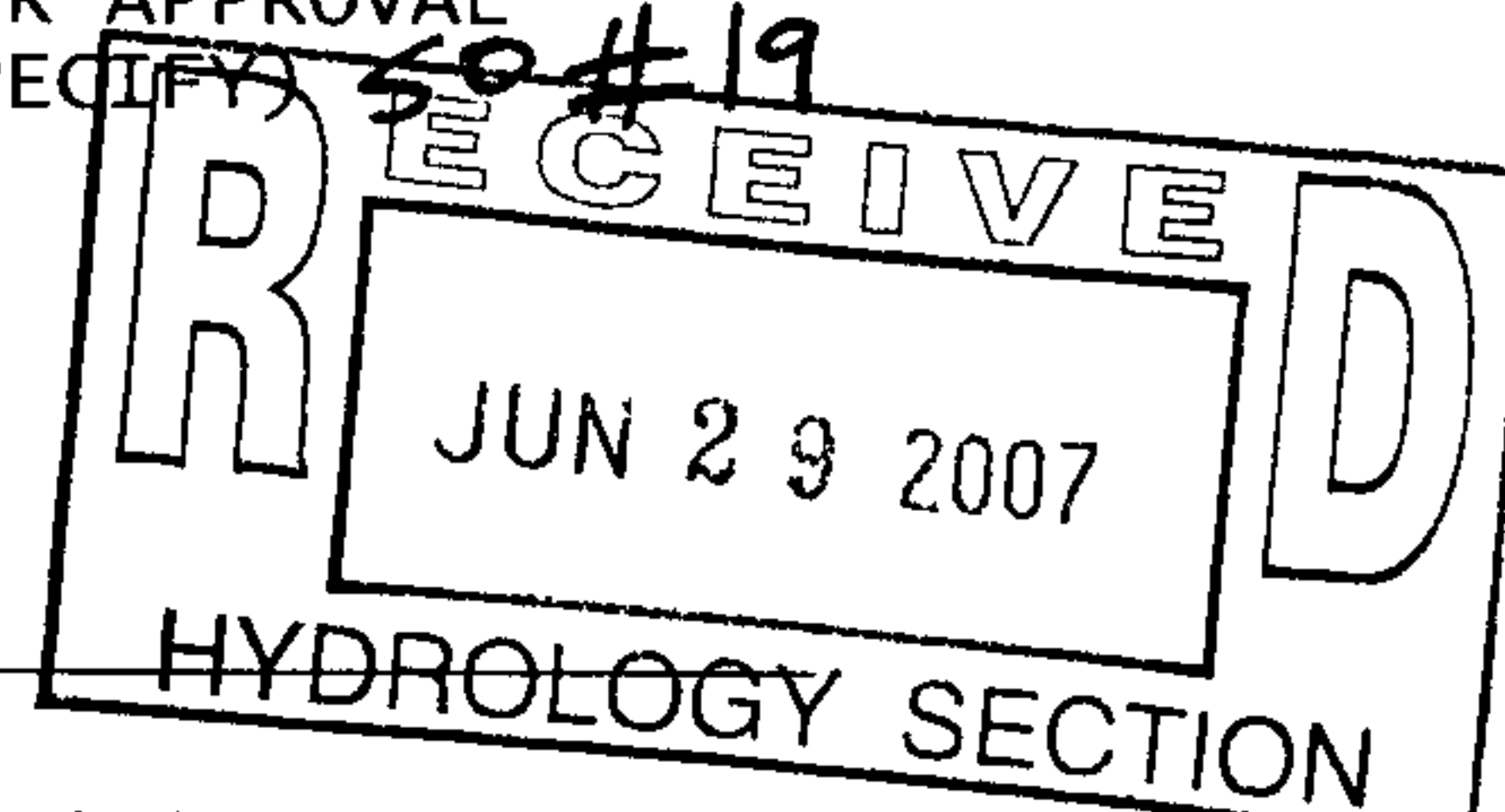
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 6/29/07 BY: wallace Bingham

## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☒ OTHER (SPECIFY) 60 #19



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. Conceptual Grading and Drainage Plan: Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. Drainage Plans: Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. Drainage Report: Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: MILLIGAN DUPLEX ZONE MAP/DRG. FILE #: J11 1034  
DRB#: EPC#: WORK ORDER#:   
LEGAL DESCRIPTION: 511 58<sup>TH</sup> STREET NW, ALBUQUERQUE, nm

CITY ADDRESS: 511 58<sup>th</sup> st.NW

ENGINEERING FIRM: BINGHAM ENGINEERING  
ADDRESS: 6344 BELCHER AVE. NE  
CITY, STATE: ALB., NM

CONTACT: MONTE  
PHONE: 7974699  
ZIP CODE: 87109

OWNER: Pat Milligan  
ADDRESS: 3730 Coors Blvd  
CITY, STATE: ALB. 87120

CONTACT: Pat  
PHONE: 831 0900  
ZIP CODE:

ARCHITECT:  
ADDRESS:  
CITY STATE:

CONTACT:  
PHONE:  
ZIP CODE:

SURVEYOR:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

CONTRACTOR:  
ADDRESS:  
CITY, STATE:

CONTACT:  
PHONE:  
ZIP CODE:

## CHECK TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL,  
REQUIRES TCL or equal  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☒ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERT (DRB APPR. SITE PLAN)  
☐ OTHER

## CHECK TYPE OF APPROVAL SOUGHT:

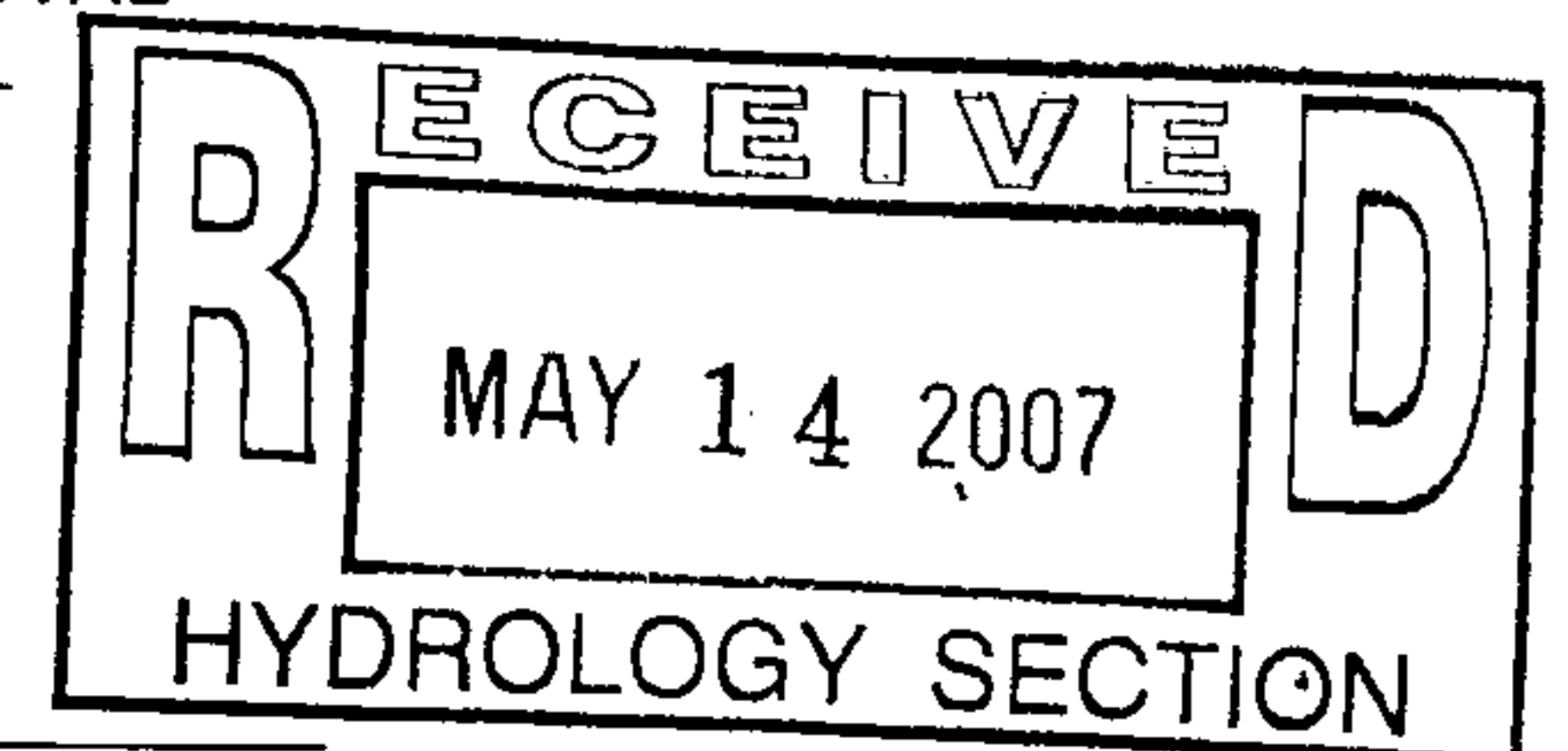
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

## WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 5/14/07

BY: Wallace Bingham



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

width of keyway



okd by WLG

0.2.4.12

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

\_\_\_\_\_  
Signed                      Date

**TRAFFIC CIRCULATION LAYOUT  
APPROVED**

\_\_\_\_\_  
Signed                      Date



# CITY OF ALBUQUERQUE



May 22, 2007

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: Milligan Duplex, 511 58<sup>th</sup> Street NW, Grading and Drainage Plan  
Engineer's Stamp dated 5-09-07 (J11-D34)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 5-10-07, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Based upon the elevation data provided, the site does not flow to the street.
2. Your arrows demonstrate that flow is to be guided over the sidewalk. This is not acceptable. ~~If flow is guided to the southeast corner of the site, a sidewalk culvert (and an SO#19 permit) will be required.~~ **Not req'd for**
3. Show the limits of the proposed grading. Is there grading along the western property line?
4. ~~Provide additional elevation data. Spot elevations should be given in the corners of the lot and at the driveway.~~ **Too much!**

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

# DRAINAGE AND TRANSPORTATION INFORMATION SUBMITTAL SHEET

PROJECT TITLE: MILLIGAN DUPLEX \_\_\_\_\_ ZONE MAP/DRG. FILE #: J11/D34  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_  
LEGAL DESCRIPTION: 511 58<sup>TH</sup> STREET NW, ALBUQUERQUE, nm \_\_\_\_\_

CITY ADDRESS: 511 58<sup>th</sup> st.NW \_\_\_\_\_

ENGINEERING FIRM: BINGHAM ENGINEERING \_\_\_\_\_ CONTACT: MONTE \_\_\_\_\_  
ADDRESS: 6344 BELCHER AVE. NE \_\_\_\_\_ PHONE: 7974699 \_\_\_\_\_  
CITY, STATE: ALB.,NM \_\_\_\_\_ ZIP CODE: 87109 \_\_\_\_\_

OWNER: Pat Milligan \_\_\_\_\_ CONTACT: Pat \_\_\_\_\_  
ADDRESS: 3730 Coors Blvd \_\_\_\_\_ PHONE: 831 0900 \_\_\_\_\_  
CITY, STATE: ALB. 87120 \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

## CHECK TYPE OF SUBMITTAL:

- ☒ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1st SUBMITTAL,  
REQUIRES TCL or equal  
☒ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL GRADING & DRAINAGE PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERTIFICATION (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT (TCL)  
☐ ENGINEERS CERTIFICATION (TCL)  
☐ ENGINEERS CERT (DRB APPR. SITE PLAN)  
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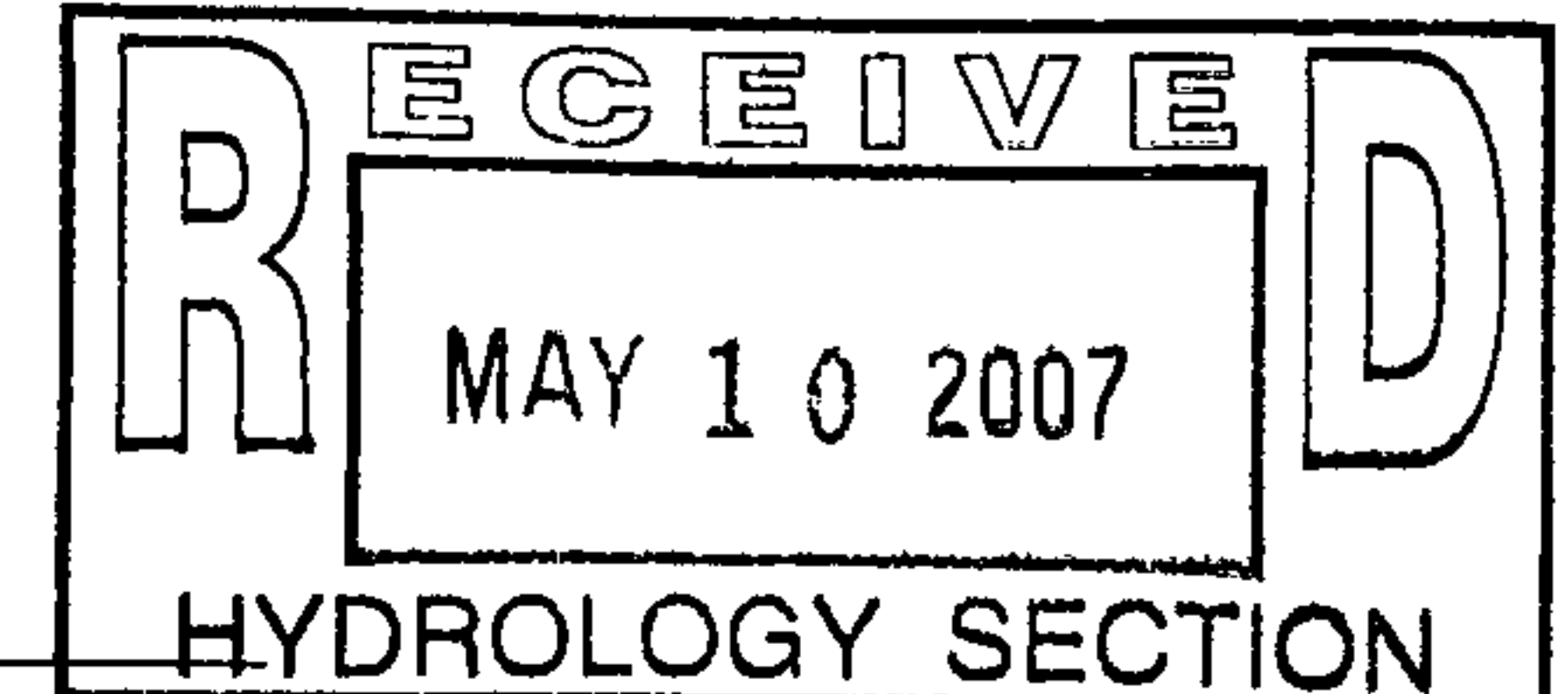
## WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. PLAN FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
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☐ CERTIFICATE OF OCCUPANCY (PERM.)  
☐ CERTIFICATE OF OCCUPANCY (TEMP.)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY)

DATE SUBMITTED: 5/9/07 BY: wallace Bingham



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



May 18, 2007

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

Re: Milligan Duplex, 511 58<sup>th</sup> Street NW, Traffic Circulation Layout  
Engineer's Stamp dated 5-14-07 (J11-D34)

Dear Mr. Bingham,

The TCL submittal received 5-14-07 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

P.O. Box 1293

Albuquerque

New Mexico 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File



# CITY OF ALBUQUERQUE



November 14, 2006

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: Milligan Duplex, 511 58<sup>th</sup> Street NW, Grading and Drainage Plan  
Engineer's Stamp dated 10-18-06 (J11-D34)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 10-18-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show the limits of the proposed grading.
2. Is there any offsite flow?
3. The elevation data provided does not demonstrate that the site will flow to the street.
4. Your calculations only address the existing flow condition. Please provide the proposed flow calculations.
5. Provide an executive summary, including the following information:
  - General project location
  - Development concept for the site
  - Drainage concept for the site (include relevant #'s as appropriate)
  - How offsite flows will be handled
  - How onsite flows will be handled and discharged
  - Downstream capacity and how determined
  - Impacts on or requirements of other jurisdictions
6. Provide a benchmark.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)



Q Factor (Zone 1)			
A	B	C	D
1.29	2.03	2.87	4.37

Existing Conditions % Land Treatment				Total Area (Acres)
A	B	C	D	
10%	15%	35%	40%	0.2023

Existing Conditions Area (Acres) per Land Treatment			
A	B	C	D
0.02	0.03	0.07	0.08

Existing Conditions Q <sub>100</sub> (cfs)				TOTAL
A	B	C	D	
0.03	0.06	0.20	0.35	0.64
TOTAL				0.64

AREA	8812	ft <sup>2</sup>		
	0.2023	Acres		
	0.2023	Acres		
Proposed Conditions % Land Treatment				Total Area (Acres)
A	B	C	D	
			100%	0.2023

Proposed Conditions Area (Acres) per Land Treatment			
A	B	C	D
0.00	0.00	0.00	0.20

Proposed Conditions Q <sub>100</sub> (cfs)				TOTAL
A	B	C	D	
0.00	0.00	0.00	0.88	0.88
TOTAL				0.88

# CITY OF ALBUQUERQUE



November 13, 2006

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: Milligan Duplex, 511 58<sup>th</sup> Street NW, Traffic Circulation Layout  
Engineer's Stamp dated 10-18-06 (J11-D34)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 10-18-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Remove drainage references from the traffic circulation layout.
2. Call out the width of the keyway shown in the southeast corner of the site.
3. Clarify the extents of pavement.
4. Parking spaces cannot cross the lot line.
5. Please show the location of the nearest driveway on the adjacent lot.
6. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
7. To accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%. Provide proof that the existing portion of the drivepad meets these criteria, or remove and rebuild the entire drivepad.
8. The handicapped space must include an 8-foot wide van access aisle to the right of the space.
9. Please refer to all applicable city standards by standard number.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File

P.O. Box 1293

Albuquerque

New Mexico 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



July 21, 2006

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: Milligan Duplex, 511 58<sup>th</sup> Street NW, Traffic Circulation Layout  
Engineer's Stamp dated 7-18-06 (J11-D34)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 7-19-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. A five-foot keyway is required for deadend parking aisles (see the southeast corner of the site).
2. Parking spaces cannot cross the lot line.
3. How is the handicapped space protected from circulating traffic?
4. As the southernmost curb cut is not in use, you must close this curb cut and replace it with sidewalk, curb and gutter.
5. Please show the location of the nearest driveway on the adjacent lot.
6. A two-way drive aisle has a 24-foot minimum width.
7. List the number of parking spaces required by the zoning code as well as the proposed number of parking spaces.
8. To accommodate ADA standards, all driveways must have a 3-foot wide pedestrian access path. This path must have a cross slope of no greater than 2%.
9. List the width of all curb cuts.
10. What is a portal?
11. Provide a separate traffic circulation layout and a separate grading and drainage plan.
12. The handicapped spaces must include an 8-foot wide van access aisle; all other aisles should be 5 feet in width.
13. Please refer to all applicable city standards. *by number*
14. What is the purpose of the gravel area located parallel to the portal? This area is not wide enough for traffic circulation.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File



# CITY OF ALBUQUERQUE



July 24, 2006

Wallace Bingham, P.E.  
Bingham Engineering  
6344 Belcher NE  
Albuquerque, NM 87109

**Re: Milligan Duplex, 511 58<sup>th</sup> Street NW, Grading and Drainage Plan**  
**Engineer's Stamp dated 7-18-06 (J11-D34)**

Dear Mr. Bingham,

Based upon the information provided in your submittal received 7-19-06, the above referenced plan cannot be approved for Building Permit until the following comments are addressed:

1. Show the limits of the proposed grading.
2. Is there any offsite flow?
3. Provide a separate grading and drainage plan and a separate traffic circulation layout.
4. The AHYMO calculations provided appear to only calculate the existing flow condition. Please provide the proposed flow calculations.
5. Provide an executive summary, including the following information:
  - General project location
  - Development concept for the site
  - Drainage concept for the site (include relevant #'s as appropriate)
  - How offsite flows will be handled
  - How onsite flows will be handled and discharged
  - Downstream capacity and how determined
  - Impacts on or requirements of other jurisdictions
6. Provide a benchmark.
7. What is the purpose of the mulch along the northern and southern property lines? The elevations along these areas indicate that flows will pond in this area and not reach the street.
8. Provide additional spot elevations in order to clearly indicate the drainage pattern.

If you have any questions, you can contact me at 924-3981.

Sincerely,

Kristal D. Metro, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: File