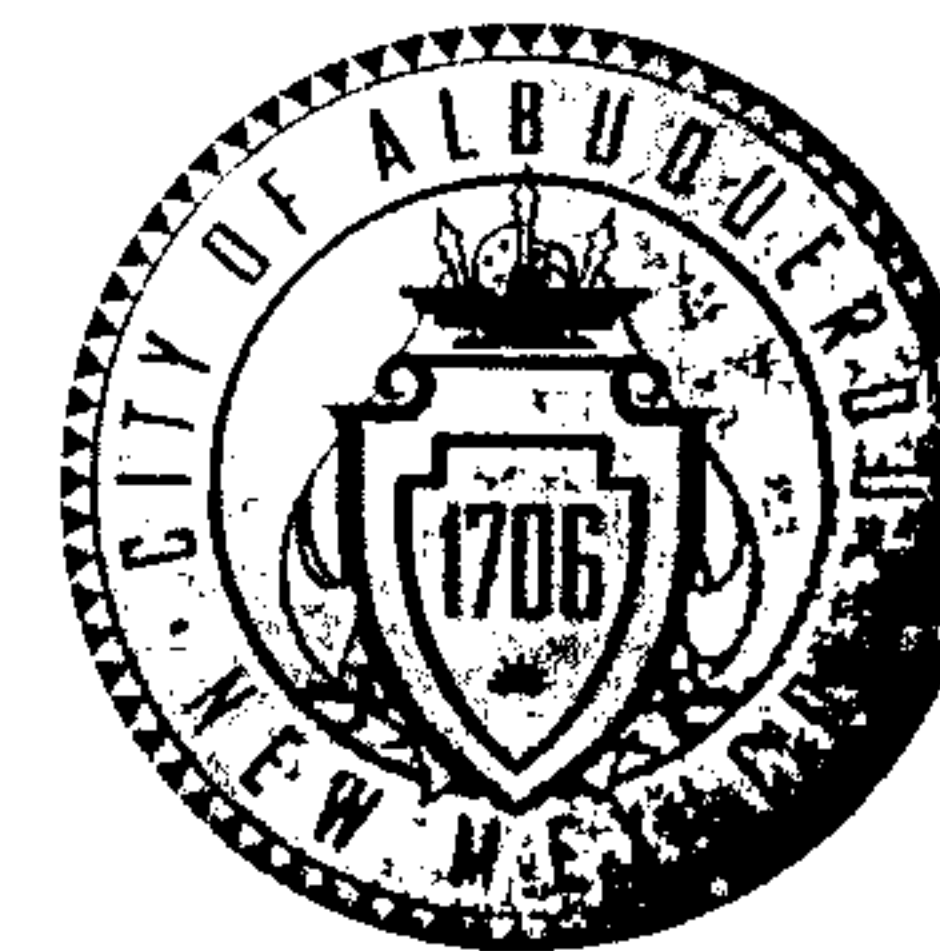


# CITY OF ALBUQUERQUE



**Planning Department  
Transportation Development Services Section**

April 9, 2010

Kenneth R. Hovey, Registered Architect  
Ken Hovey Architect  
1606 Central Avenue SE, Ste. 101  
Albuquerque, NM 87106

Re: Certification Submittal for Final Building Certificate of Occupancy for  
Service Vehicle Storage Facility for Five G's [J-11 / D035]  
351 Yucca Drive NW  
Architect's Stamp Dated 04/08/10

Dear Mr. Hovey:

Based upon the information provided in your re-submittal received 04-08-10,  
Transportation Development has no objection to the issuance of a Permanent Certificate  
of Occupancy.

This letter serves as a "green tag" from Transportation Development for a  
Permanent Certificate of Occupancy to be issued by the Building and Safety Division.

If you have any questions, please contact me at 505-924-3630.

Sincerely,

Milo E. Salgado-Fernandez, P.E.  
Senior Traffic Engineer  
Development and Building Services  
Planning Department

c: Engineer  
Hydrology file  
CO Clerk

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# KEN HOVEY, ARCHITECT



*architecture*

1606 CENTRAL AVENUE SE, SUITE 101 ALBUQUERQUE, NM 87106  
B 505.242.6610 F 505.243.2129 ken\_hovey@msn.com

April 8, 2010

City of Albuquerque  
Transportation Department  
600 Second Street NW  
Albuquerque, New Mexico

Subject: Architect's TCL Certification for the Service Vehicle Storage Facility for Five G's.

I, Ken Hovey, prepared the Traffic Circulation Layout (TCL) for the subject project located at 351 Yucca Drive NW and more particularly described as Lot 100, La Victoria Subdivision, Bernalillo County, Albuquerque, New Mexico.

I have visited the site and performed a visual inspection of the as-built construction and I find that it is in substantial compliance with the approved TCL dated 10/16/08.

I have submitted, herewith, a copy of the approved TCL with redlines showing any departure from the approved plan. The submitted plan is representative of actual site conditions and is true and correct to the best of my knowledge and belief.

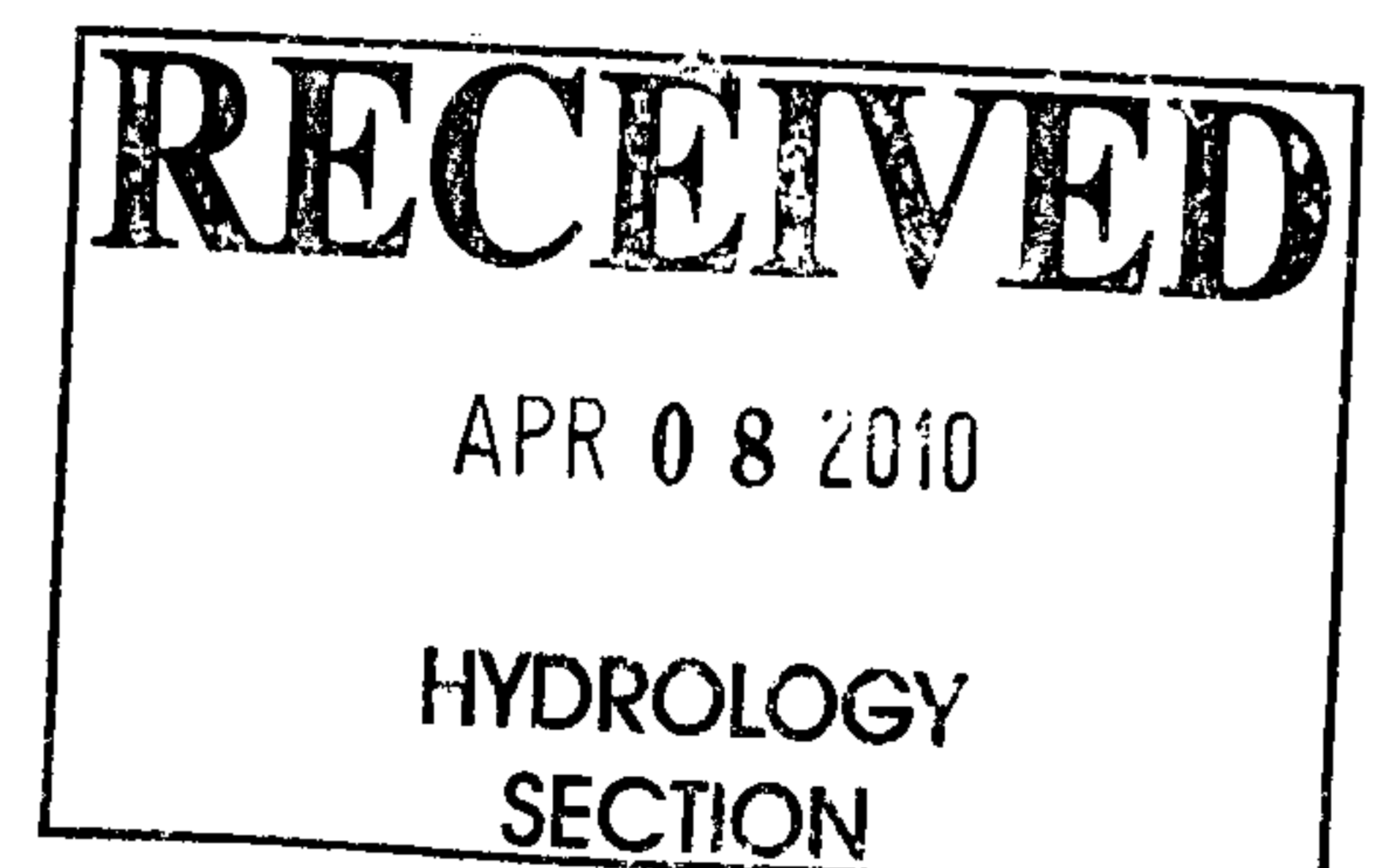
The information presented on the redlined TCL is intended only to verify substantial compliance of the Traffic aspects of this project and is not necessarily complete. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

This Architect's certification is submitted in support of issuance of a Certificate of Occupancy for the subject addresses.

If you have any questions, or if further discussion is required, please don't hesitate to contact me at (505) 242-6610 or by email at [ken\\_hovey@msn.com](mailto:ken_hovey@msn.com).

Sincerely,

Ken Hovey  
Architect & LEED AP



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: SERVICE VEHICLE STORAGE FACILITY FOR FIVE G'S ZONE MAP: J-11 / 17035  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 100 LA VICTORIA SUBDIVISION  
 CITY ADDRESS: 351 YUCCA DRIVE NW

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: TONY GUTIERREZ CONTACT: TONY  
 ADDRESS: 351 YUCCA DRIVE NW PHONE: 250-4152  
 CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87105

ARCHITECT: KEN HOVEY CONTACT: KEN  
 ADDRESS: 1606 CENTRAL AVE SE STE 101 PHONE: 242-6610  
 CITY, STATE: ALBUQ, NM ZIP CODE: 87106

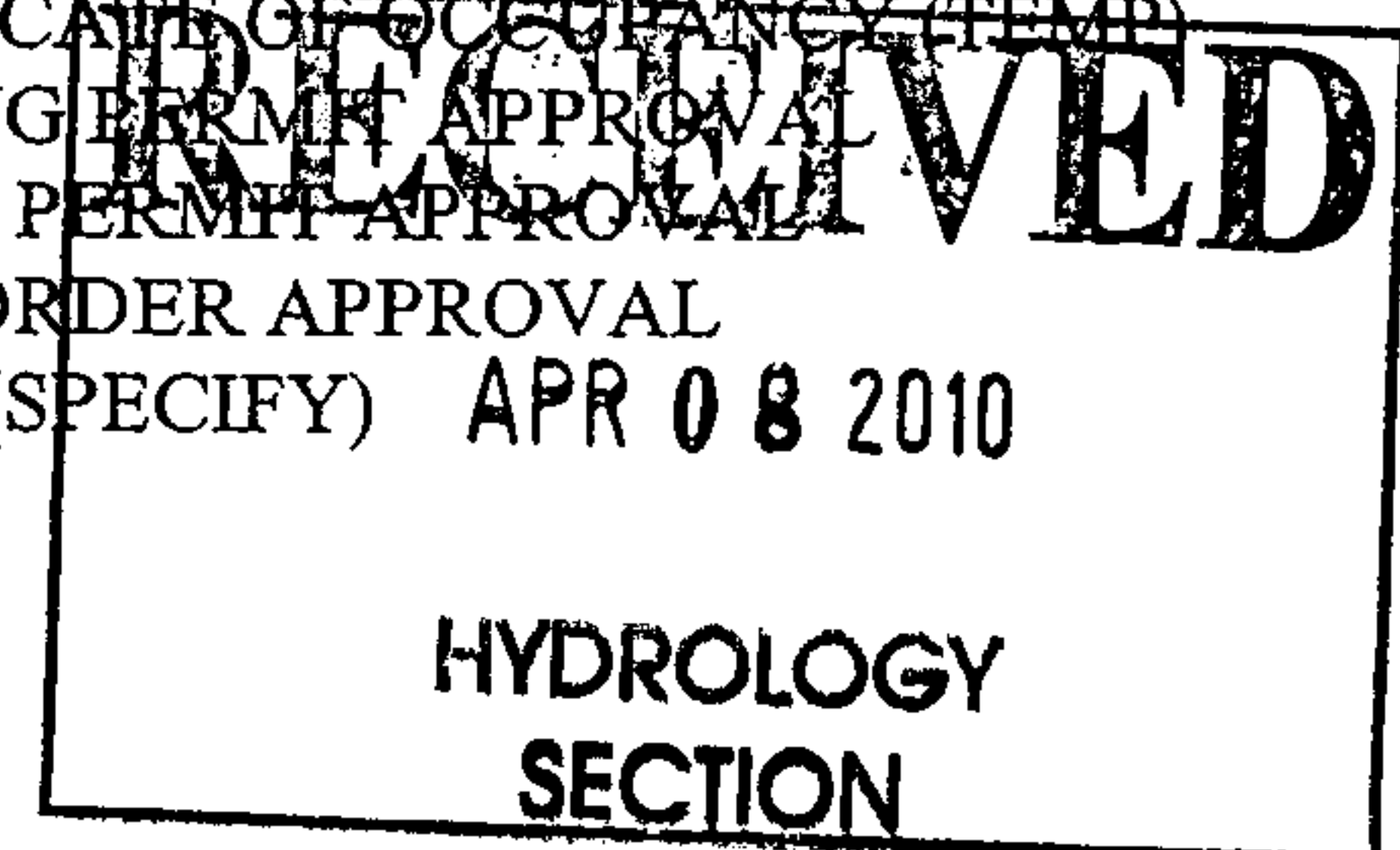
SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: TONY GUTIERREZ CONTACT: TONY  
 ADDRESS: 351 YUCCA DRIVE NW PHONE: 250-4152  
 CITY, STATE: ALBUQ, NM ZIP CODE: 87105

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☒ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) ARCHITECT'S

CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☐ YES  
☐ NO  
☐ COPY PROVIDED

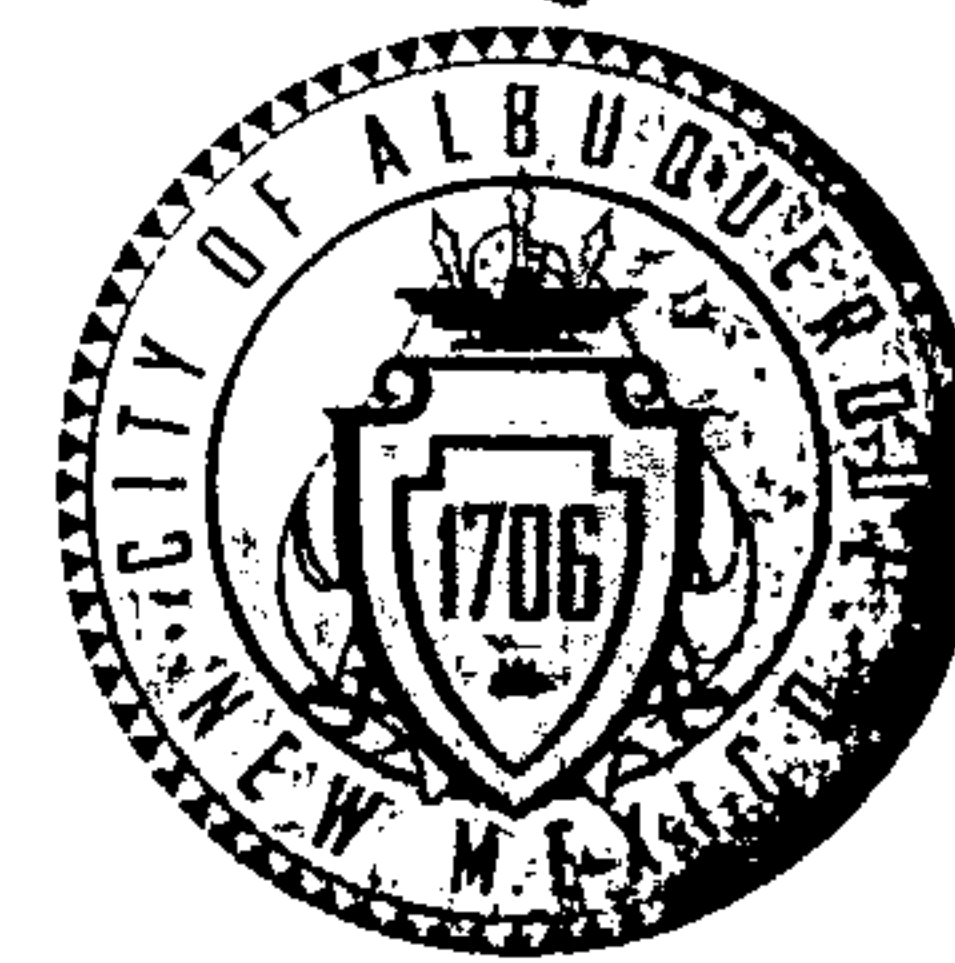


DATE SUBMITTED: 4-8-10 BY: KEN H HOVEY

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



March 30, 2010

Jean J. Bordenave, P.E.  
**Bordenave Designs**  
P.O. Box 91194  
Albuquerque, NM 87109

**Re: Service Vehicle Storage Addition for 5 G's, 315 Yucca Dr NW,  
Request for Permanent C.O.—Approved  
Engineer's Stamp dated: 9-23-08, (J11/D035)  
Certification dated: 3-26-10**

Dear Mr. Bordenave,

Based upon the information provided in your submittal, received 3-29-10, the above referenced Certification is approved for a release of a Permanent Certificate of Occupancy by Hydrology.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis Cherne, P.E.  
Senior Engineer—Hydrology Section  
Development and Building Services

PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

C: CO Clerk—Katrina Sigala  
File



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: Service Vehicle Storage Addition for 5 G's ZONE MAP: J11 / 10035  
DRB#: --- EPC#: --- WORK ORDER#: ---

LEGAL DESCRIPTION: Lot 100, Block C, La Victoria Subdivision  
CITY ADDRESS: 351 Yucca Drive NW

ENGINEERING FIRM: Bordenave Designs CONTACT: J. Bordenave  
ADDRESS: PO Box 91194 PHONE: 823-1344  
CITY, STATE: Albuquerque, NM ZIP CODE: 87109

OWNER: 5 G's CONTACT: T. Gutierrez  
ADDRESS: 5008 Cascade Place NW PHONE: 250-4152  
CITY, STATE: Albuquerque, NM ZIP CODE: 87105

ARCHITECT: IWG Architecture CONTACT: K. Hovey  
ADDRESS: 2420 Comanche Road NE, Suite H-6 PHONE: 341-0655  
CITY, STATE: Albuquerque, NM ZIP CODE: 87107

SURVEYOR: Harris Surveying, Inc. CONTACT: T. Harris  
ADDRESS: 2412-D Monroe NE PHONE: 889-8056  
CITY, STATE: Albuquerque, NM ZIP CODE: 87110

CONTRACTOR: Unknown CONTACT: ---  
ADDRESS: --- PHONE: ---  
CITY, STATE: --- ZIP CODE: ---

## TYPE OF SUBMITTAL:

☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☒ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) ---

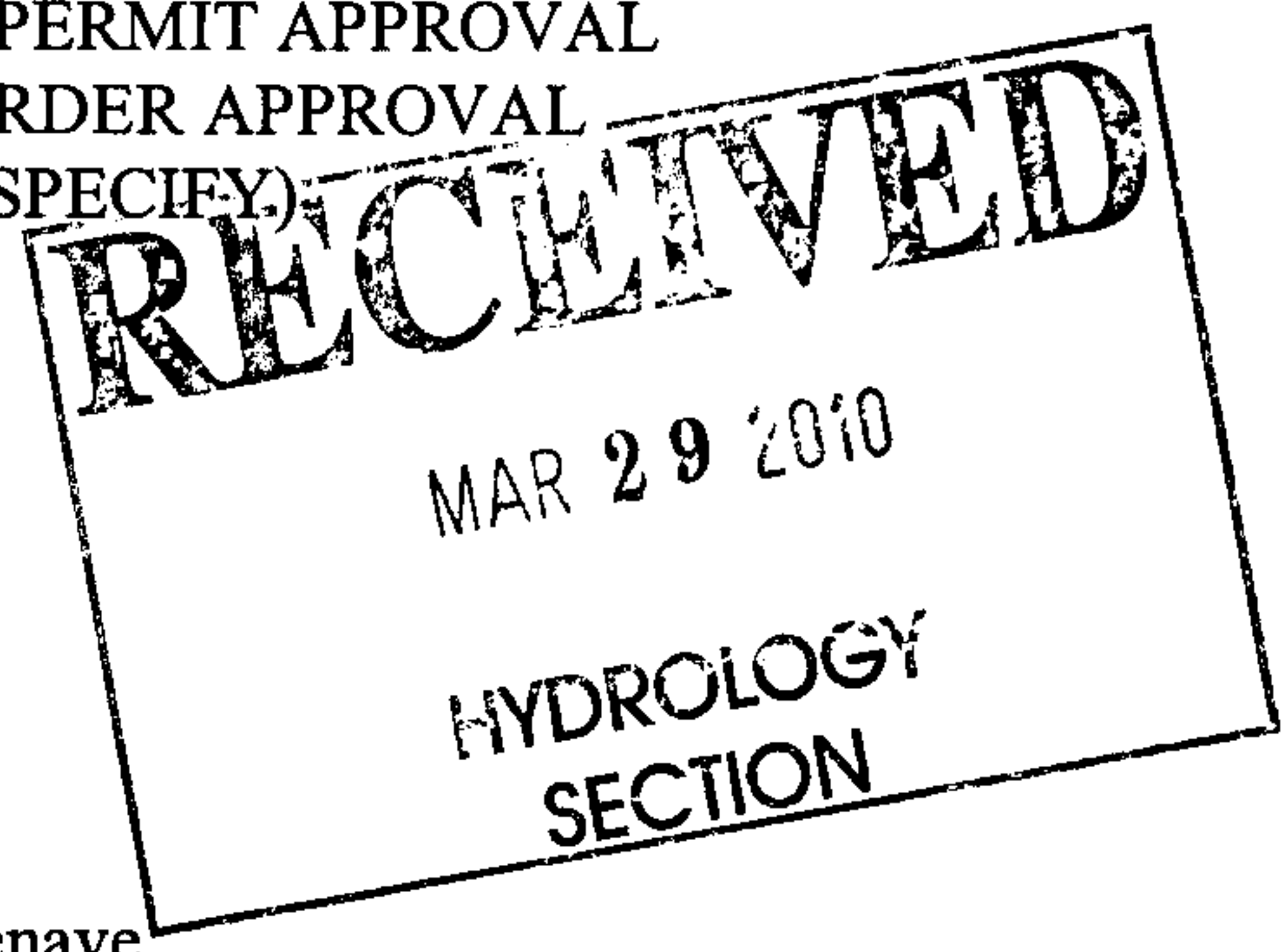
## CHECK TYPE OF APPROVAL SOUGHT:

☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☐ BUILDING PERMIT APPROVAL  
☒ CERTIFICATE OF OCCUPANCY  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) ---

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☒ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 03/26/10 BY: Jake Bordenave



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.

# CITY OF ALBUQUERQUE



October 17, 2008

Jean J. Bordenave, P.E.  
Bordenave Designs  
P.O. Box 91194  
Albuquerque, NM 87109

**Re: Service Vehicle Storage Addition for 5 G's Grading and Drainage Plan  
Engineer's Stamp dated 9-23-08 (J11/D035)**

Dear Mr. Bordenave,

Based upon the information provided in your submittal received 9-23-08, the above referenced plan is approved for Building Permit. Please attach a copy of this approved plan to the construction sets prior to sign-off by Hydrology.

Prior to Certificate of Occupancy release, Engineer Certification per the DPM checklist will be required.

If you have any questions, you can contact me at 924-3695.

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file

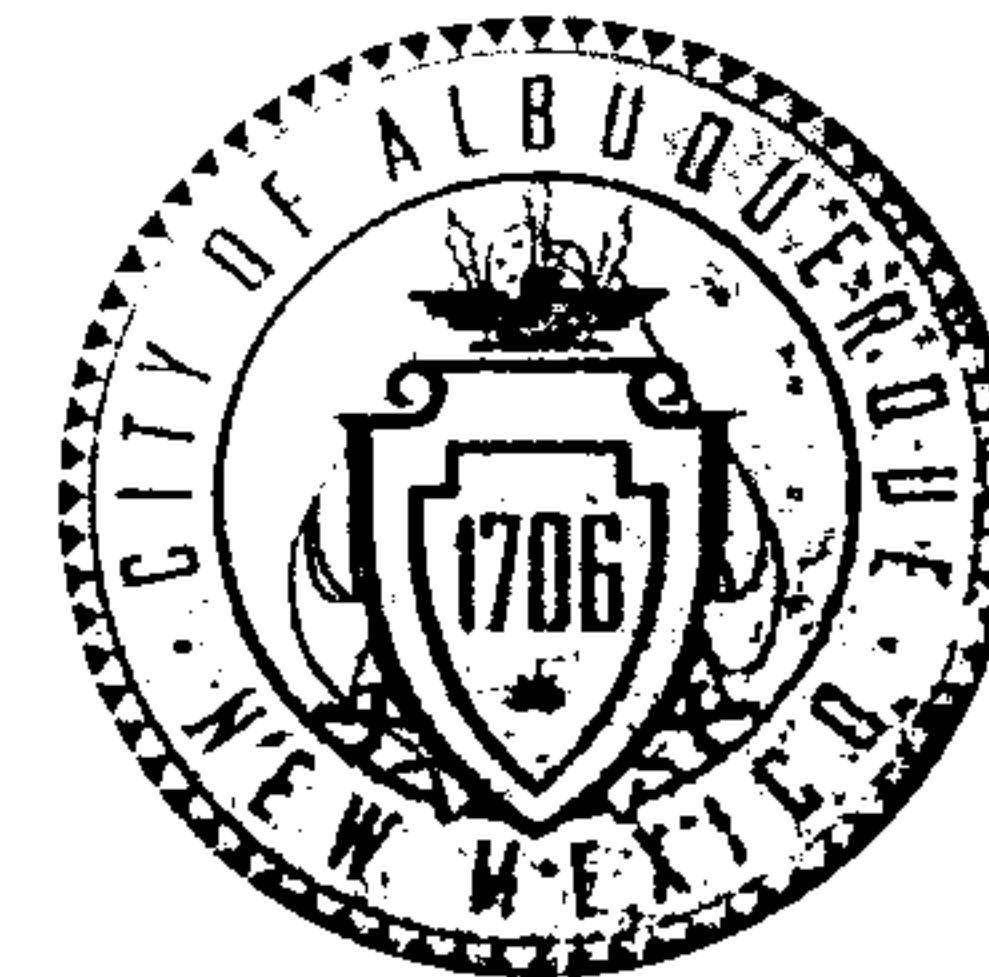
PO Box 1293

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

# CITY OF ALBUQUERQUE



June 2, 2009

Levi J. Valdez, P.E.  
George T. Rodriguez-Consulting  
12800 San Juan NE  
Albuquerque, NM 87123

**Re: La Victoria Subdivision, Replat of Lot 100, Grading Plan**  
**Engineer's Stamp dated 4-8-09 (J11/D035)**  
**Certification dated 5-12-09**

Dear Mr. Valdez,

Based upon the information provided in your submittal received 6-2-09, the above referenced plan is approved for Final Plat action by the DRB.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

NM 87103

[www.cabq.gov](http://www.cabq.gov)

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

C: file  
Brad Bingham



# DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(REV 12/2005)

PROJECT TITLE: LA VICTORIA SUBDIVISION ZONE MAP: J11/D035  
 DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 100, LA VICTORIA SUBDIVISION  
 CITY ADDRESS: BLUEWATER ROAD N.W. & 56TH ST. N.W.

ENGINEERING FIRM: LEVI J. VALDEZ, P.E. - GEORGE T. RODRIGUEZ-DEVEL. CONSUL. CONTACT: LEVI VALDEZ  
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 610-0593  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: TONY GUTIERREZ CONTACT: TONY GUTIERREZ  
 ADDRESS: 5008 CASCADE PL. N.W. PHONE: 839-9559  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87105

ARCHITECT: N/A CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

SURVEYOR: HARRIS SURVEYING CONTACT: TONY HARRIS  
 ADDRESS: 2412-D MONROE ST. N.E. PHONE: 889-8056  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87110

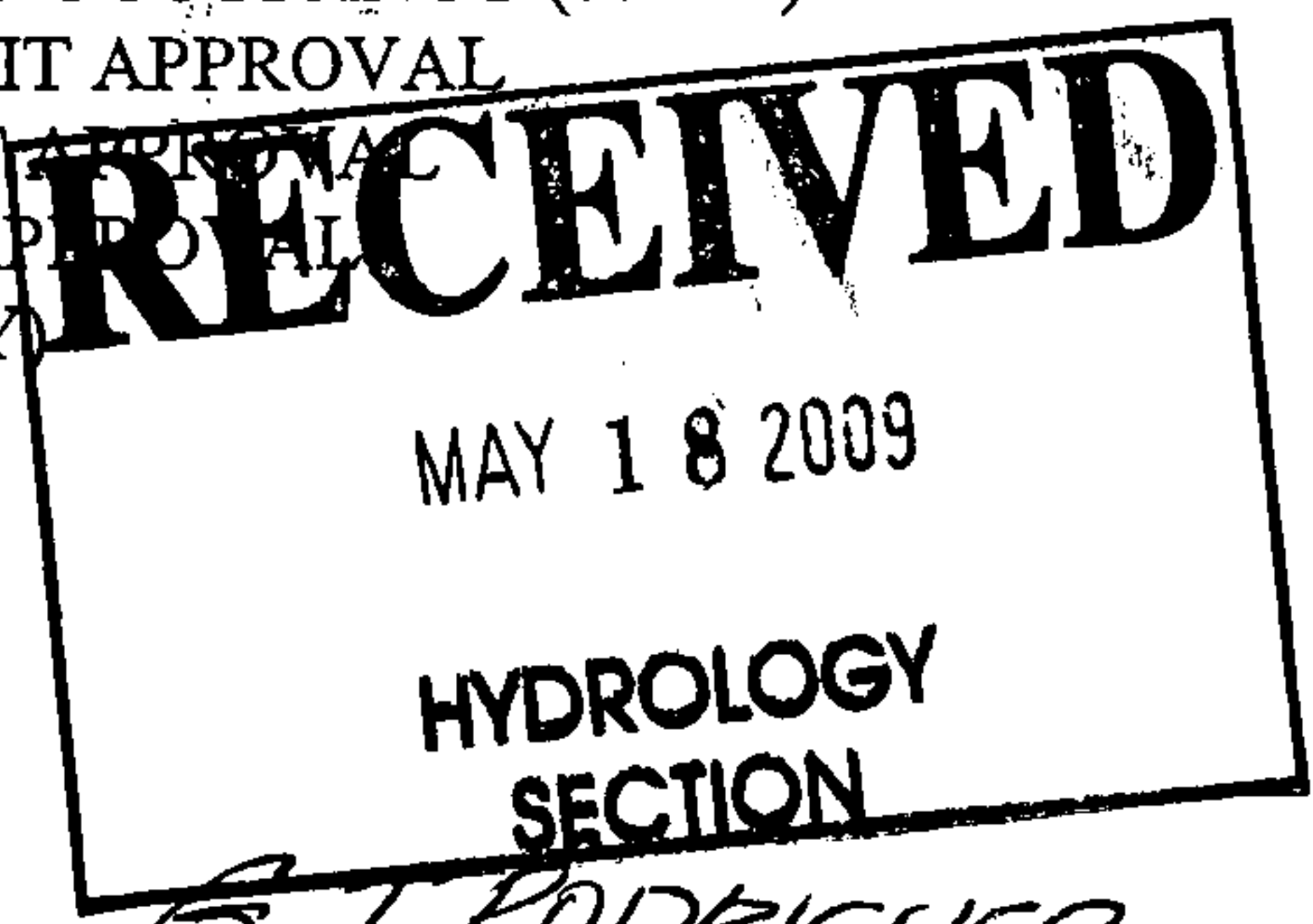
CONTRACTOR: N/A CONTACT: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

- TYPE OF SUBMITTAL:**
- ☐ DRAINAGE REPORT
  - ☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL
  - ☐ DRAINAGE PLAN RESUBMITTAL
  - ☐ CONCEPTUAL G & D PLAN
  - ☐ GRADING PLAN
  - ☐ EROSION CONTROL PLAN
  - ☒ ENGINEER'S CERT (HYDROLOGY)
  - ☐ CLOMR/LOMR
  - ☐ TRAFFIC CIRCULATION LAYOUT
  - ☐ ENGINEER'S CERT (TCL)
  - ☐ ENGINEER'S CERT (DRB SITE PLAN)
  - ☐ OTHER (SPECIFY) \_\_\_\_\_

- CHECK TYPE OF APPROVAL SOUGHT:**
- ☐ SIA/FINANCIAL GUARANTEE RELEASE
  - ☐ PRELIMINARY PLAT APPROVAL
  - ☐ S. DEV. PLAN FOR SUB'D APPROVAL
  - ☐ S. DEV. FOR BLDG. PERMIT APPROVAL
  - ☐ SECTOR PLAN APPROVAL
  - ☒ FINAL PLAT APPROVAL
  - ☐ FOUNDATION PERMIT APPROVAL
  - ☐ BUILDING PERMIT APPROVAL
  - ☐ CERTIFICATE OF OCCUPANCY (PERM)
  - ☐ CERTIFICATE OF OCCUPANCY (TEMP)
  - ☐ GRADING PERMIT APPROVAL
  - ☐ PAVING PERMIT APPROVAL
  - ☐ WORK ORDER APPROVAL
  - ☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:  
☒ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: MAY 15, 2009 BY: G.T. RODRIGUEZ

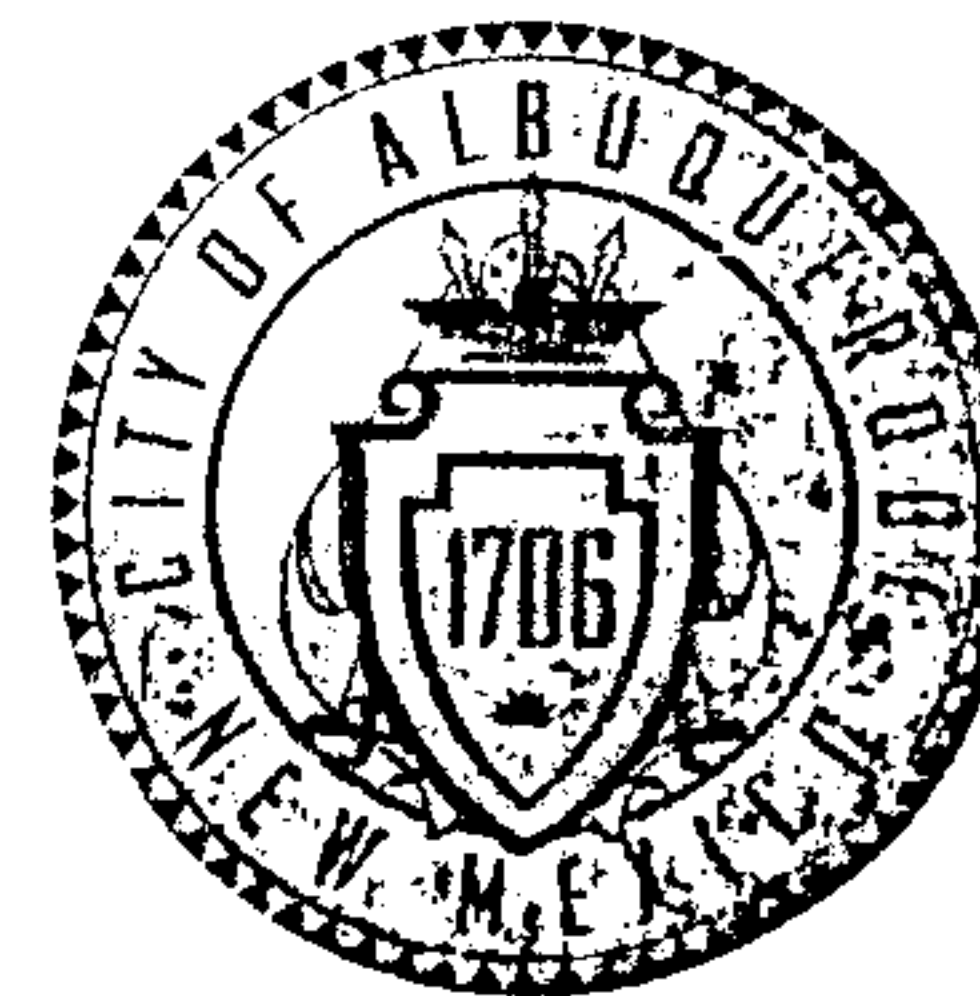


Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



# CITY OF ALBUQUERQUE



October 16, 2008

Kenneth R. Hovey, R.A.  
Ken Hovey Architect  
2420 Comanche Rd. NE Ste H-6  
Albuquerque, NM 87107

Re: Service & Storage Addition for Five G's, 351 Yucca Dr NW, Traffic Circulation Layout  
Architect's Stamp dated 9-23-08 (J-11/D035)

Dear Mr. Hovey,

The TCL submittal received 9-23-08 is approved for Building Permit. The plan is stamped and signed as approved. A copy of this plan will be needed for each of the building permit plans. Please keep the original to be used for certification of the site for final C.O. for Transportation. **Public infrastructure or work done within City Right-of-Way shown on these plans is for information only and is not part of approval. A separate DRC and/or other appropriate permits are required to construct these items.**

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

If a temporary CO is needed, a copy of the original TCL that was stamped as approved by the City will be needed. This plan must include a statement that identifies the outstanding items that need to be constructed or the items that have not been built in "substantial compliance," as well as the signed and dated stamp of a NM registered architect or engineer. Submit this TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

When the site is completed and a final C.O. is requested, use the original City stamped approved TCL for certification. A NM registered architect or engineer must stamp, sign, and date the certification TCL along with indicating that the development was built in "substantial compliance" with the TCL. Submit this certification TCL with a completed Drainage and Transportation Information Sheet to Hydrology at the Development Services Center of Plaza Del Sol Building.

Once verification of certification is completed and approved, notification will be made to Building Safety to issue Final C.O. To confirm that a final C.O. has been issued, call Building Safety at 924-3306.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File

11/10/08  
Spoke w/ Ken Hovey  
- addn of Traffic Bins,  
Landscaping  
does not req  
new TCL  
show at  
cert,

35

J11/D036

**DRAINAGE AND TRANSPORTATION INFORMATION SHEET**  
(REV 12/2005)

PROJECT TITLE: SERVICE VEHICLE STORAGE ADDITION FOR FIVE G'S ZONE MAP: J11  
DRB#: \_\_\_\_\_ EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: LOT 100 LA VICTORIA SUBDIVISION  
CITY ADDRESS: 351 YUCCA DRIVE NW 87105

ENGINEERING FIRM: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

OWNER: TONY GUTIERREZ CONTACT: TONY  
ADDRESS: 351 YUCCA DRIVE NW PHONE: 250-4152  
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87105

ARCHITECT: KEN HOVEY CONTACT: KEN  
ADDRESS: 2420 COMANCHE RD NE STE 6 PHONE: 341-0655  
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87107

SURVEYOR: \_\_\_\_\_ CONTACT: \_\_\_\_\_  
ADDRESS: \_\_\_\_\_ PHONE: \_\_\_\_\_  
CITY, STATE: \_\_\_\_\_ ZIP CODE: \_\_\_\_\_

CONTRACTOR: FIVE G'S STEEL ERECTORS, INC CONTACT: TONY GUTIERREZ  
ADDRESS: 351 YUCCA DR, NW PHONE: 250 4152  
CITY, STATE: ALBUQUERQUE NM ZIP CODE: 87105

TYPE OF SUBMITTAL:  
☐ DRAINAGE REPORT  
☐ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR RESUBMITTAL  
☒ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER'S CERT (TCL)  
☐ ENGINEER'S CERT (DRB SITE PLAN)  
☐ OTHER (SPECIFY) \_\_\_\_\_

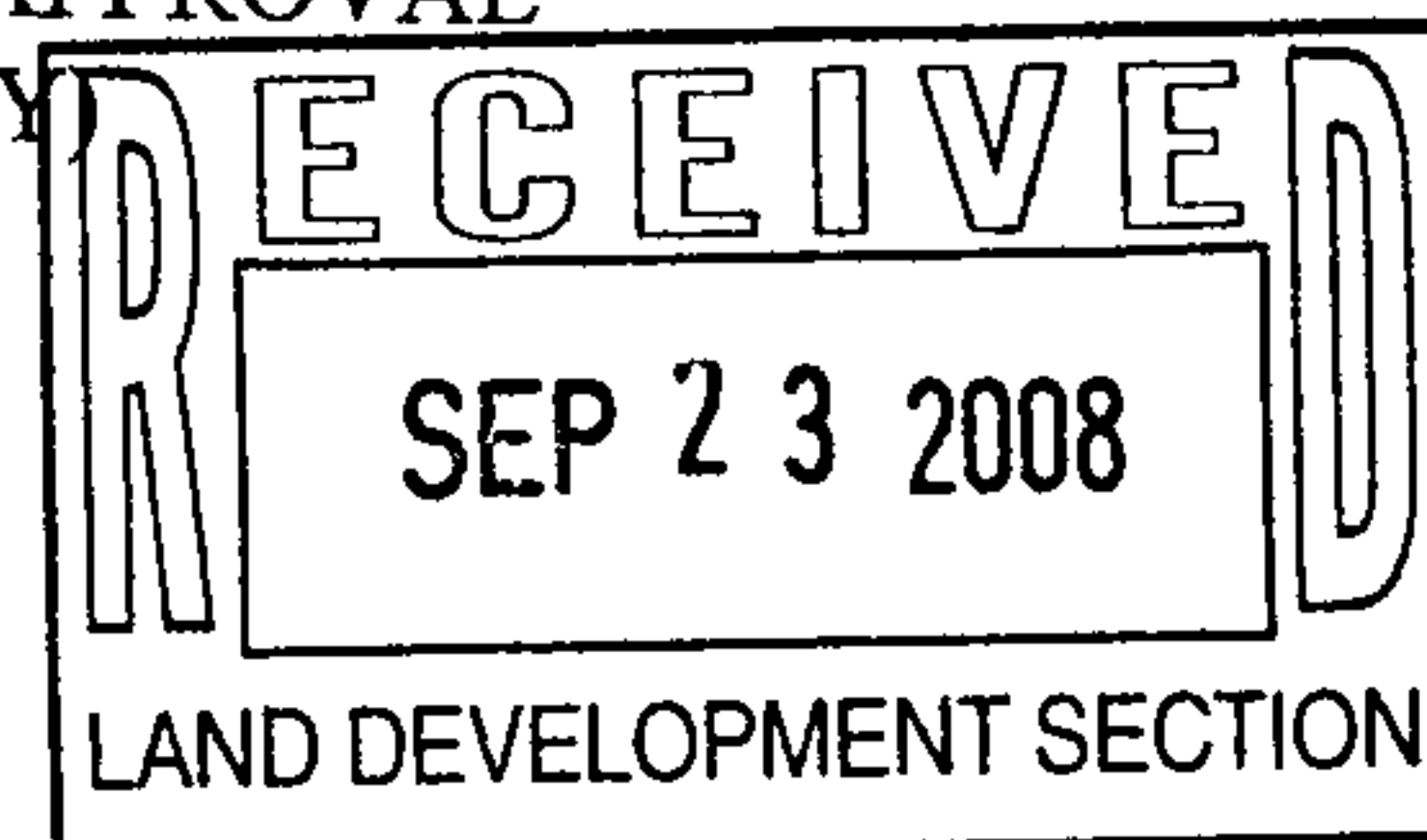
CHECK TYPE OF APPROVAL SOUGHT:  
☐ SIA/FINANCIAL GUARANTEE RELEASE  
☐ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☐ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

☐ YES  
☐ NO  
☐ COPY PROVIDED

DATE SUBMITTED: 9-23-08

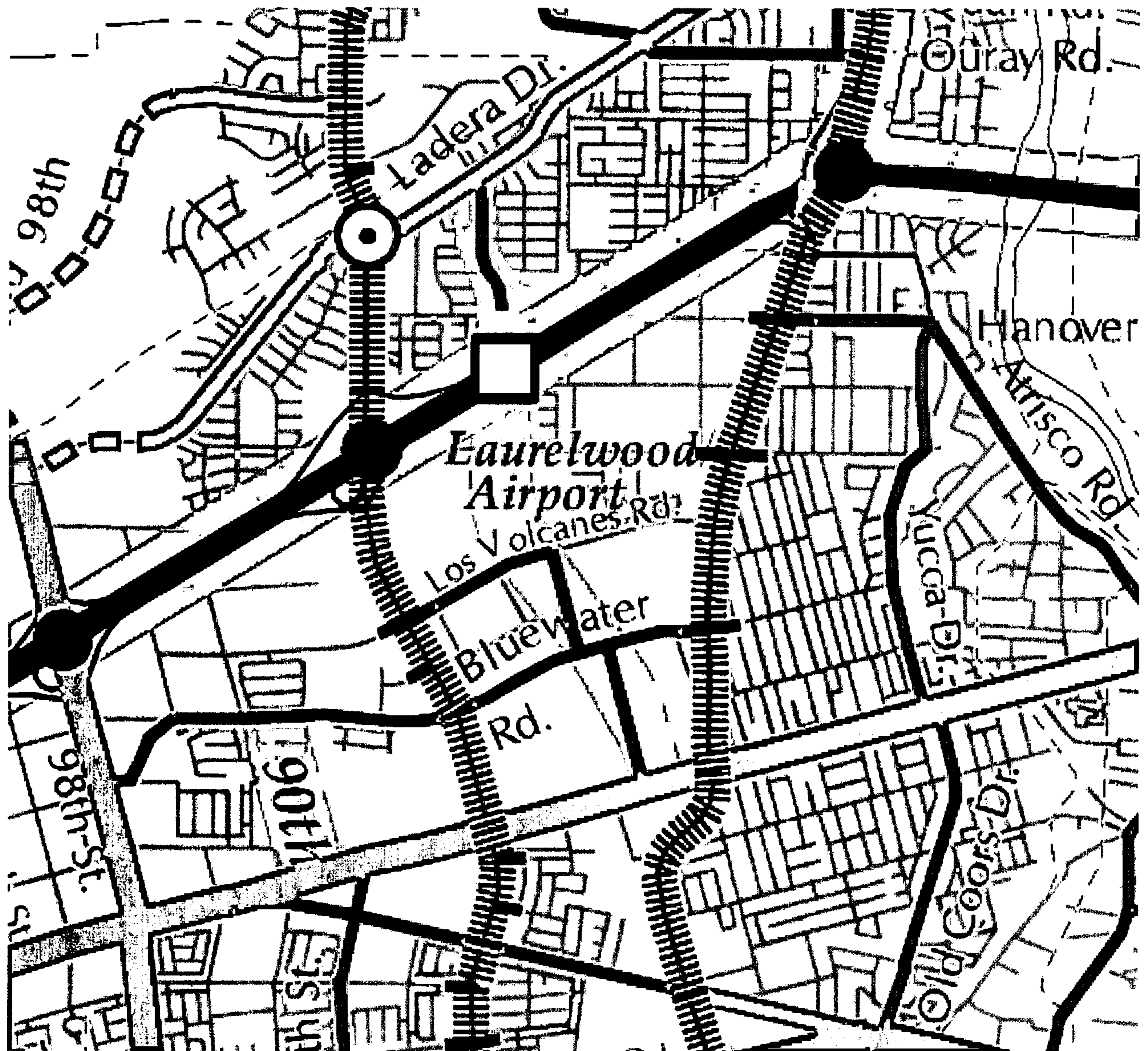
BY: FORNIA ORZ



Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location, and scope to the proposed development defines the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

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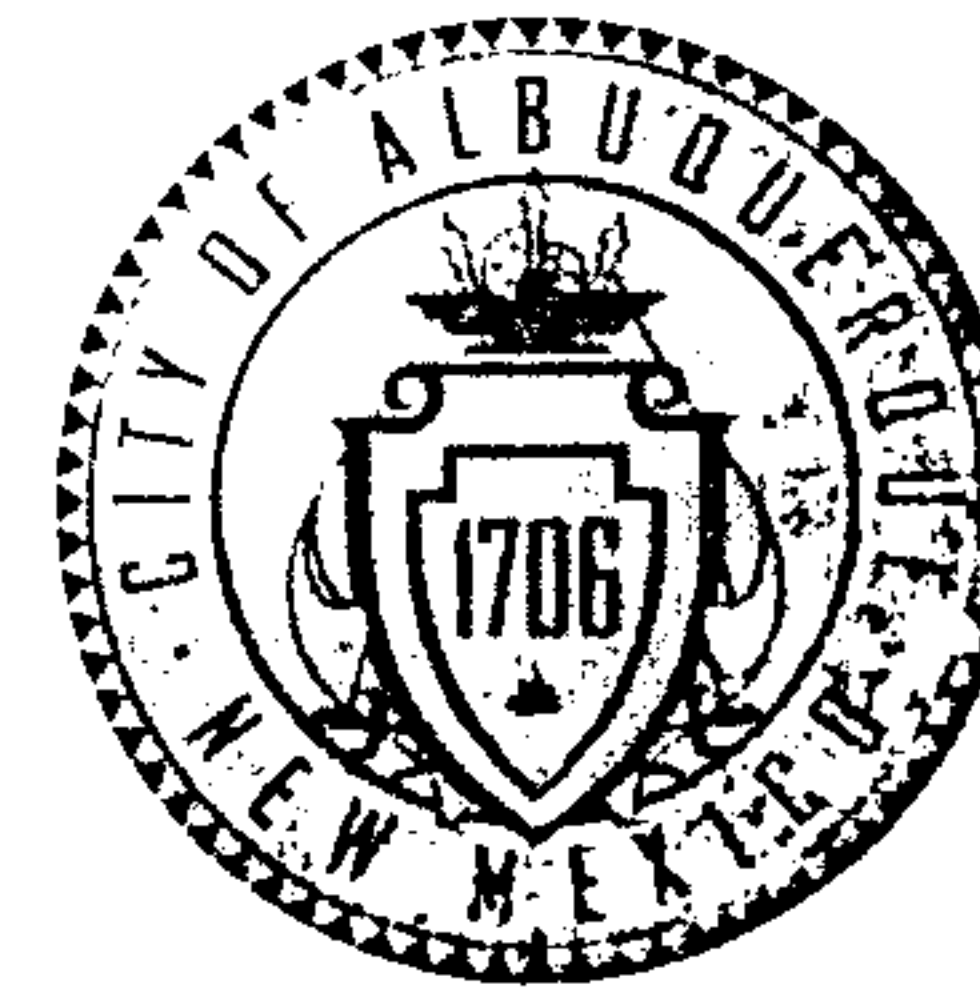


Existing	Proposed	
		Facility with HOV Potential
		Limited Access Roadway (see Addendum for additional information)
		Principal Arterial
		Minor Arterial
		Collector

Dashed lines indicate proposed alignments.



# CITY OF ALBUQUERQUE



May 4, 2009

Levi J. Valdez, P.E.  
George T. Rodriguez-Consulting  
12800 San Juan NE  
Albuquerque, NM 87123

**Re: La Victoria Subdivision, Replat of Lot 100, Grading Plan**  
**Engineer's Stamp dated 4-8-09 (J11/D035)**

Dear Mr. Valdez,

Based upon the information provided in your submittal received 4-20-09, the above referenced plan is approved for Preliminary Plat action by the DRB. Once that board approves the Grading Plan, please submit a mylar copy for signature in order to obtain a Rough Grading Permit.

PO Box 1293

If you have any questions, you can contact me at 924-3695.

Albuquerque

Sincerely,

Curtis A. Cherne, P.E.  
Senior Engineer, Planning Dept.  
Development and Building Services

NM 87103

[www.cabq.gov](http://www.cabq.gov)

C: file  
Brad Bingham

# CITY OF ALBUQUERQUE



May 3, 2007

Levi J. Valdez, P.E.  
12800 San Juan NE  
Levi J. Valdez & George T. Rodriguez Consulting  
Albuquerque, NM 87123

Re: Lots 100A through 100F of the La Victoria Subdivision  
Engineer's Stamp Dated 4-17-07, (J11/D35)

Dear Mr. Valdez,

Based upon the information provided in your submittal received on April 20, 2007, the above referenced plan is approved for Preliminary Platting action by the DRB. However, there are some additional items that must be addressed prior to approval for Final Platting action or the issuance of Building Permits. Those items are as follows.

## FINAL PLAT

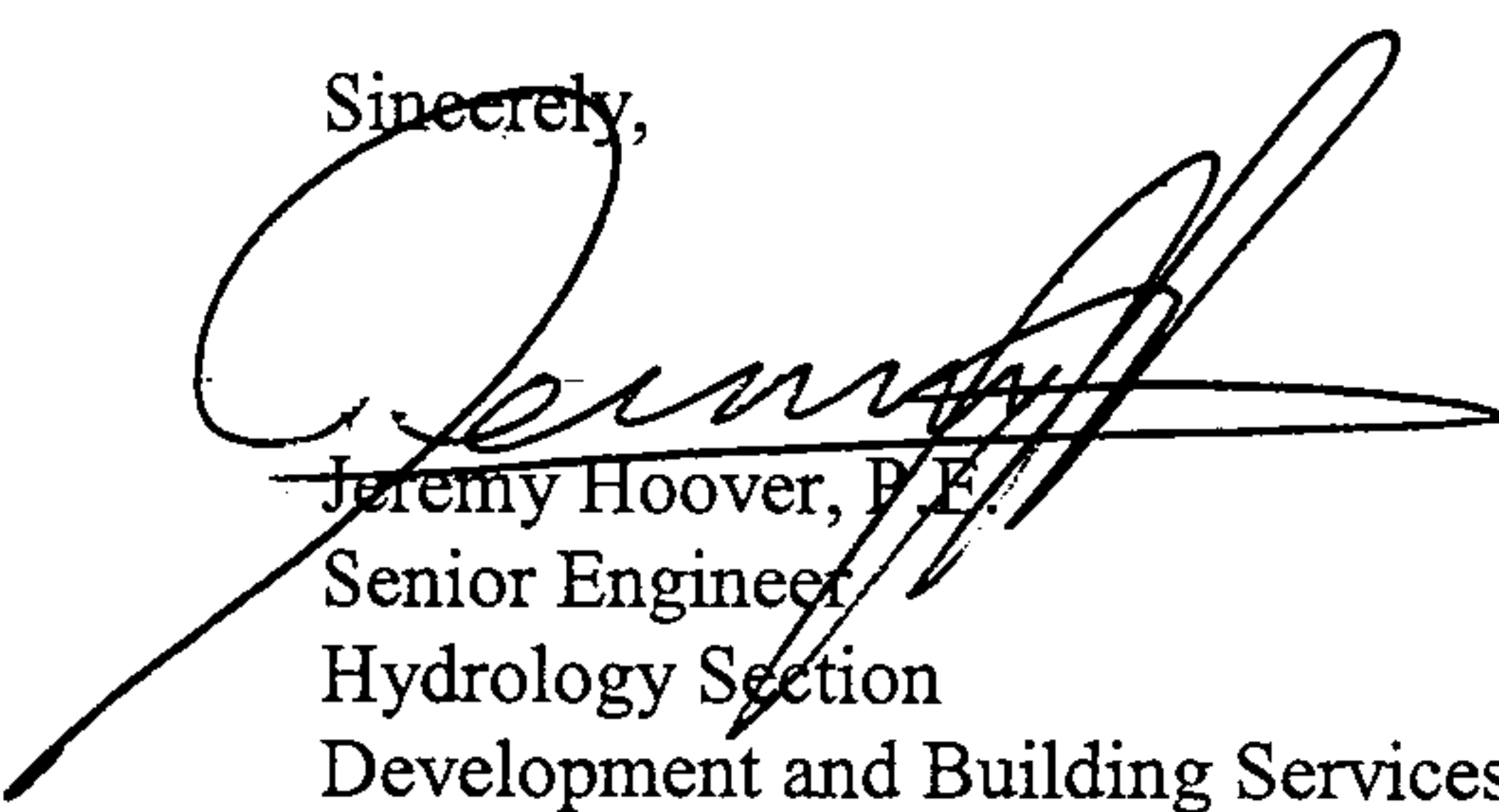
- The exceptions described in the General Notes 1 and 2 must be addressed prior to DRB sign-off. What is the finished floor elevation of the existing structure?

## BUILDING PERMIT

- Please specifically cite and / or include the appropriate F.I.R.M. panel associated with this property.
- Please show the curb and flow line information for Yucca Drive. Is there an existing sidewalk? How will the alley connect to Yucca? Where is the existing drive entrance? How does / will lot 100-F drain?
- The runoff calculations are inconsistent as to the land area. The site is obviously larger than 0.46 acres. The calculations must reflect the entirety of what is currently lot 100, along with the alley.
- With the spot elevations shown for lots 100-A through 100-E, a ponding condition will be created adjacent to the northern walls. Please provide a note to turn the northern blocks at grade so as to facilitate flow from the rear yards to Bluewater.
- A public work order will be required for the alley improvements. You will likely be required to construct wheelchair ramps at the street corners as well. If required by Transportation, the ramps must also be shown on the Building Permit drawings with a note indicating that each of these elements are to be constructed under a separate, public work order.

Be advised that recently, Zoning has had issues with new subdivisions being accessed solely from alleys. You may want to consult with that department to ensure that your project will not be negatively impacted. If you have any questions or need additional information, feel free to contact me at 924-3990.

Sincerely,

  
Jeremy Hoover, P.E.  
Senior Engineer  
Hydrology Section  
Development and Building Services

cc: file (J11/D35)

## DRAINAGE AND TRANSPORTATION INFORMATION SHEET

(Rev. 12/05)

PROJECT TITLE: La VICTORIA SUBDIVISION  
SINGLE FAMILY RESIDENCES ZONE MAP/DRG. FILE # J-11/D035  
 DRB#: 1004617 EPC#: \_\_\_\_\_ WORK ORDER#: \_\_\_\_\_

LEGAL DESCRIPTION: REPLAT OF LOT 100, (LOTS 100-A THRU 100-E), La Victoria Sub.  
 CITY ADDRESS: BLUEWATER ROAD N.W. AT 56TH ST. N.W., CITY

ENGINEERING FIRM: LEVI J. VALDEZ, P.E.  
GEORGE T. RODRIGUEZ, DEVEL. CONS. CONTACT: MR. VALDEZ  
 ADDRESS: 12800 SAN JUAN N.E. PHONE: 505-610-0593  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO ZIP CODE: 87123

OWNER: TONY B. GUTIERREZ  
 ADDRESS: 5008 CASCADE PL. N.W.  
 CITY, STATE: ALBUQUERQUE, NEW MEXICO

CONTACT: TONY GUTIERREZ  
 PHONE: 839-9559  
 ZIP CODE: 87105

ARCHITECT: ?  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

SURVEYOR: HARRIS SURVEYING  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: ALBUQ., N.M.

CONTACT: TONY HARRIS  
 PHONE: 889-8056  
 ZIP CODE: \_\_\_\_\_

CONTRACTOR: ?  
 ADDRESS: \_\_\_\_\_  
 CITY, STATE: \_\_\_\_\_

CONTACT: \_\_\_\_\_  
 PHONE: \_\_\_\_\_  
 ZIP CODE: \_\_\_\_\_

## TYPE OF SUBMITTAL:

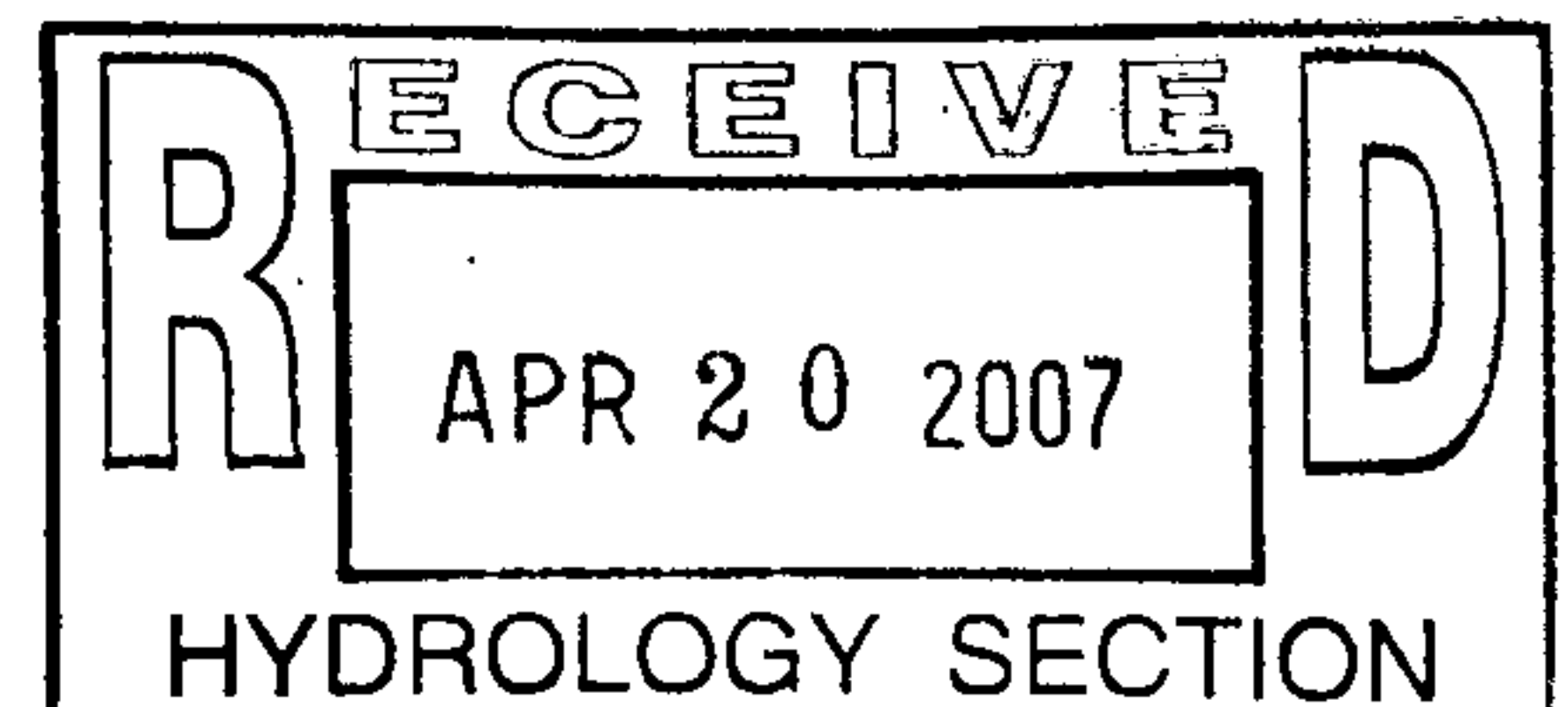
- ☐ DRAINAGE REPORT  
☒ DRAINAGE PLAN 1<sup>st</sup> SUBMITTAL  
☐ DRAINAGE PLAN RESUBMITTAL  
☐ CONCEPTUAL G & D PLAN  
☐ GRADING PLAN  
☐ EROSION CONTROL PLAN  
☐ ENGINEER'S CERT (HYDROLOGY)  
☐ CLOMR/LOMR  
☐ TRAFFIC CIRCULATION LAYOUT  
☐ ENGINEER/ARCHITECT CERT (TCL)  
☐ ENGINEER/ARCHITECT CERT (DRB S.P.)  
☐ ENGINEER/ARCHITECT CERT (AA)  
☐ OTHER (SPECIFY) \_\_\_\_\_

## CHECK TYPE OF APPROVAL SOUGHT:

- ☐ SIA/FINANCIAL GUARANTEE RELEASE  
☒ PRELIMINARY PLAT APPROVAL  
☐ S. DEV. PLAN FOR SUB'D APPROVAL  
☐ S. DEV. FOR BLDG. PERMIT APPROVAL  
☐ SECTOR PLAN APPROVAL  
☒ FINAL PLAT APPROVAL  
☐ FOUNDATION PERMIT APPROVAL  
☒ BUILDING PERMIT APPROVAL  
☐ CERTIFICATE OF OCCUPANCY (PERM)  
☐ CERTIFICATE OF OCCUPANCY (TEMP)  
☐ GRADING PERMIT APPROVAL  
☐ PAVING PERMIT APPROVAL  
☐ WORK ORDER APPROVAL  
☐ OTHER (SPECIFY) \_\_\_\_\_

WAS A PRE-DESIGN CONFERENCE ATTENDED:

- ☐ YES  
☒ NO  
☐ COPY PROVIDED



SUBMITTED BY: GEORGE T. RODRIGUEZ DATE: APRIL 18, 2007

Requests for approvals of Site Development Plans and/or Subdivision Plats shall be accompanied by a drainage submittal. The particular nature, location and scope to the proposed development define the degree of drainage detail. One or more of the following levels of submittal may be required based on the following:

1. **Conceptual Grading and Drainage Plan:** Required for approval of Site Development Plans greater than five (5) acres and Sector Plans.
2. **Drainage Plans:** Required for building permits, grading permits, paving permits and site plans less than five (5) acres.
3. **Drainage Report:** Required for subdivision containing more than ten (10) lots or constituting five (5) acres or more.



ONE STOP SHOP  
CITY OF ALBUQUERQUE PLANNING DEPARTMENT  
Development & Building Services

PAID RECEIPT

APPLICANT NAME

George Rodriguez

AGENT

ADDRESS

12800 San Juan NE

PROJECT & APP #

PROJECT NAME

\$ \_\_\_\_\_ 441032/3424000 Conflict Management Fee

\$ \_\_\_\_\_ 441006/4983000 DRB Actions

\$ \_\_\_\_\_ 441006/4971000 EPC/AA/LUCC Actions & All Appeals

\$ \_\_\_\_\_ 441018/4971000 Public Notification

\$ 50.00 441006/4983000 ~~DRAINAGE PLAN~~ REVIEW OR TRAFFIC IMPACT STUDY\*\*\*  
( ) Major/Minor Subdivision ( ) Site Development Plan ( ) Bldg Permit  
( ) Letter of Map Revision ( ) Conditional Letter of Map Revision  
( ) Traffic Impact Study

\$ 50.00 TOTAL AMOUNT DUE

\*\*\*NOTE: If a subsequent submittal is required, bring a copy of this paid receipt with you to avoid an additional charge.

GEORGE T RODRIGUEZ  
505-610-0593  
12800 SAN JUAN NE  
ALBUQUERQUE, NM 87123-1640

1645

95-681/1070

April 20, 2007 DATE

PAY TO THE  
ORDER OF

City of Albuquerque  
Fifty and 00/100

\$ 50.00

DOLLARS



\*\*\*DUPLICATE\*\*\*

City of Albuquerque  
Treasury Division

BANKWEST

Manzano Office  
1-800-488-2265

FOR

Esther G-D

1:1070068131 277001608 01645

RECEIPT # 00930247  
ACCOUNT # 441006

ACTIVITY 4763000

2:42PM

LOC: ANNX

WSH 007 TRANS# 0039

Fund 0110

TRSMSP

Trans Amt

\$50.00

J24 Misc

\$50.00

CK

\$50.00

CHANGE

\$0.00

Thank You

# CITY OF ALBUQUERQUE



August 12, 2008

Kenneth R. Hovey, R.A.  
**Ken Hovey Architect**  
2420 Comanche Rd. NE Ste H-6  
Albuquerque, NM 87107

**Re: Service & Storage Addition for Five G's, 351 Yucca Dr NW, Traffic  
Circulation Layout**  
**Architect's Stamp dated 8-06-08 (J-11/D035)**

Mr. Hovey,

Based upon the information provided in your submittal received 8-11-08, the above  
referenced plan cannot be approved for Building Permit until the following comments  
are addressed:

PO Box 1293

Albuquerque

NM 87103

www.cabq.gov

1. Call out widths of all sidewalks along Bluewater and Yucca. Is there a wheelchair ramp at this intersection? If so, please identify. — *yes, show on plan*
2. Please include a six foot pedestrian access pathway from the right-of-way to the building.
3. Clarify and dimension all parking stalls. Indicate where the other five parking spaces within the overhead doors are located. ←
4. How does the Handicapped parking stall work? It appears this stall needs additional signage and striping. Does this stall have an eight foot access aisle? Show the handicapped pathway from the stall to the business.
5. Per the DPM 23.6.4B, collector streets are allowed one drive pad per 100-foot of frontage. A meeting with this office is requested to discuss which drive pads need to be closed. — *(close 15'9", 37'4" pad, replace w/ 1 drive (≈36') — KMM 9/4/08)*

If you have any questions, you can contact me at 924-3991.

Sincerely,

Kristal D. Metro, P.E.  
Traffic Engineer, Planning Dept.  
Development and Building Services

C: File