

DRAINAGE CERTIFICATION

I, JEAN J. BORDENAVE, NMPE&LS NO. 5110, OF THE FIRM BORDENAVE DESIGNS, HEREBY CERTIFY THAT THIS PROJECT HAS BEEN GRADED AND WILL DRAIN IN SUBSTANTIAL COMPLIANCE WITH AND IN ACCORDANCE WITH THE DESIGN INTENT OF THE APPROVED PLAN STAMP DATED 09/23/08. THE RECORD INFORMATION EDITED ONTO THE ORIGINAL DESIGN DOCUMENT HAS BEEN OBTAINED BY BY ME OR UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS CERTIFICATION IS SUBMITTED IN SUPPORT OF A REQUEST FOR CERTIFICATE OF OCCUPANCY.

EXCEPTIONS AND/OR QUALIFICATIONS: NONE

THE RECORD INFORMATION PRESENTED ON THE EDITED DESIGN DOCUMENT IS NOT NECESSARILY COMPLETE AND INTENDED ONLY TO VERIFY SUBSTANTIAL COMPLIANCE OF THE GRADING AND DRAINAGE ASPECTS OF THIS PROJECT. THOSE RELYING ON THE EDITED DESIGN DOCUMENT ARE ADVISED TO OBTAIN INDEPENDENT VERIFICATION OF ITS ACCURACY BEFORE USING IT FOR ANY OTHER PURPOSE.

LEGEND	
TBM	TEMPORARY BENCHMARK
G	GROUND
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOWLINE
TA	TOP OF ASPHALT
TCP	TOP OF CONCRETE
TC	TOP OF CURB
TP	TOP OF EARTH PAD
TS	TOP OF SIDEWALK
TW	TOP OF WALL
FH	FIRE HYDRANT
WM	WATER METER
WV	WATER VALVE
MH	MANHOLE
CB	CATCH BASIN GRATE
GM	GAS METER
GV	GAS VALVE
LP	LIGHT POLE
PP	POWER POLE
GW	GUY WIRE
PED	ELEC. OR TEL. PEDESTAL
RD	ROOF DRAINAGE POINT
FEMA FLOODPLAIN BOUNDARY	
DRAINAGE BASIN BOUNDARY	
EROSION SETBACK LINE	
EXISTING CONTOUR	
PROPOSED CONTOUR	
XX.XX	EXISTING SPOT ELEVATION
● XX.XX	PROPOSED SPOT ELEVATION
XX.XX	RECORD SPOT ELEVATION

GRADING NOTES

1. TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, THE CONTRACTOR MUST CONTACT THE NEW MEXICO ONE CALL SYSTEM AT 260-1990 FOR LOCATION OF EXISTING UTILITIES.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL OBSTRUCTIONS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM AMOUNT OF DELAY.
3. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH.
4. ALL CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE STANDARDS AND PROCEDURES.

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL ENSURE THAT NO SOIL ERODES FROM THE SITE ONTO PUBLIC RIGHT-OF-WAY OR PRIVATE PROPERTY. THIS CAN BE ACHIEVED BY THE CONSTRUCTION OF TEMPORARY SOIL BERMS OR SILT FENCES AT PROPERTY LINES AND WETTING SOIL TO PREVENT IT FROM BLOWING. IF THE SITE IS CONTROLLED BY A SWPPP PLAN, EROSION CONTROL SHALL BE ACCOMPLISHED ACCORDING TO THE PLAN.
2. THE CONTRACTOR SHALL PROMPTLY CLEAN UP ANY MATERIAL EXCAVATED WITHIN THE PUBLIC RIGHT-OF-WAY SO THAT THE EXCAVATED MATERIAL IS NOT SUSCEPTIBLE TO BEING WASHED DOWN THE STREET.
3. THE CONTRACTOR SHALL SECURE THE APPROPRIATE BARRICADING, TOP SOIL DISTURBANCE AND EXCAVATION PERMITS FROM THE CITY PRIOR TO BEGINNING CONSTRUCTION.

LEGAL DESCRIPTION

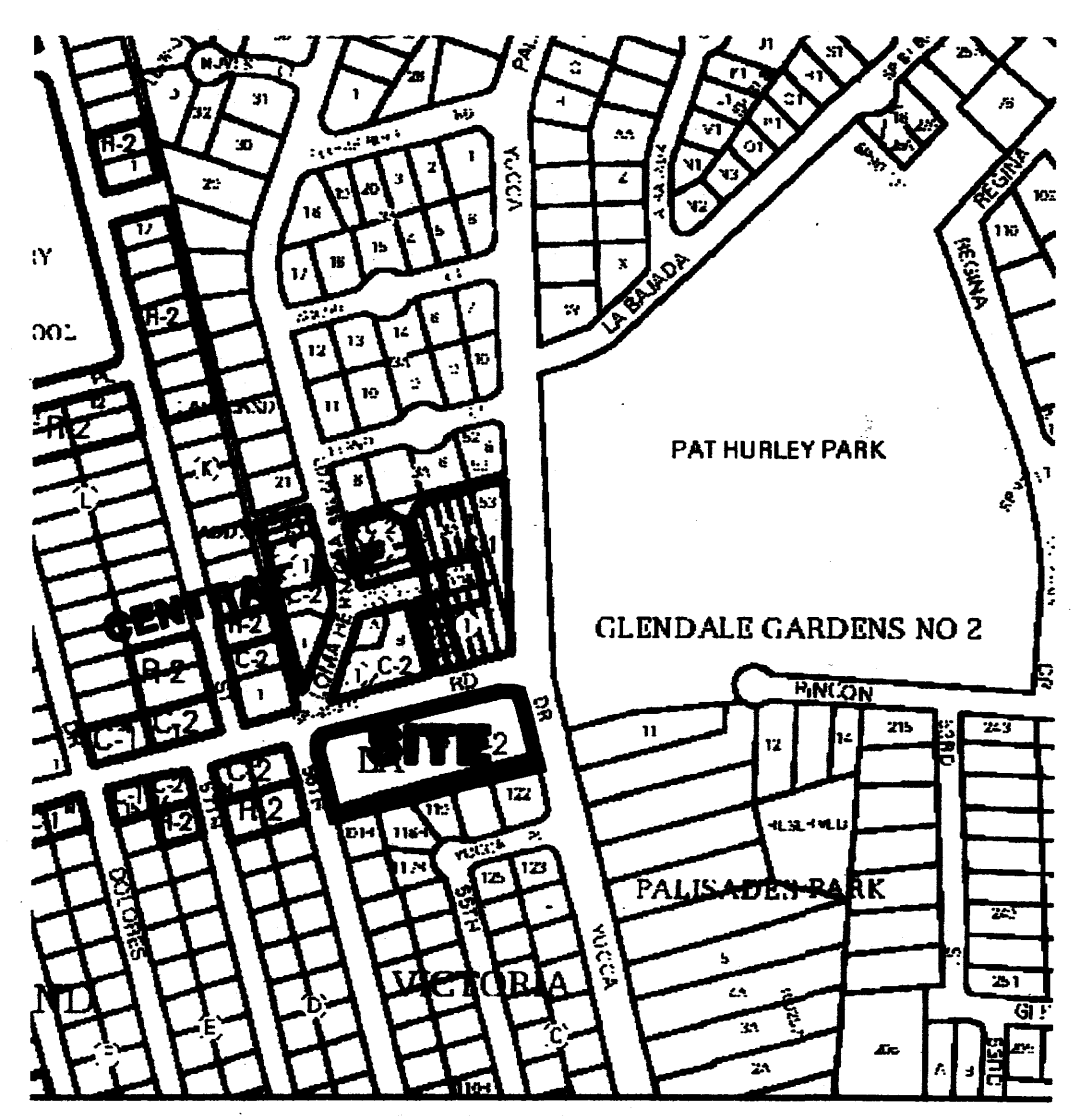
LOT 100, BLOCK, LA VICTORIA SUBDIVISION

PERMANENT BENCHMARK

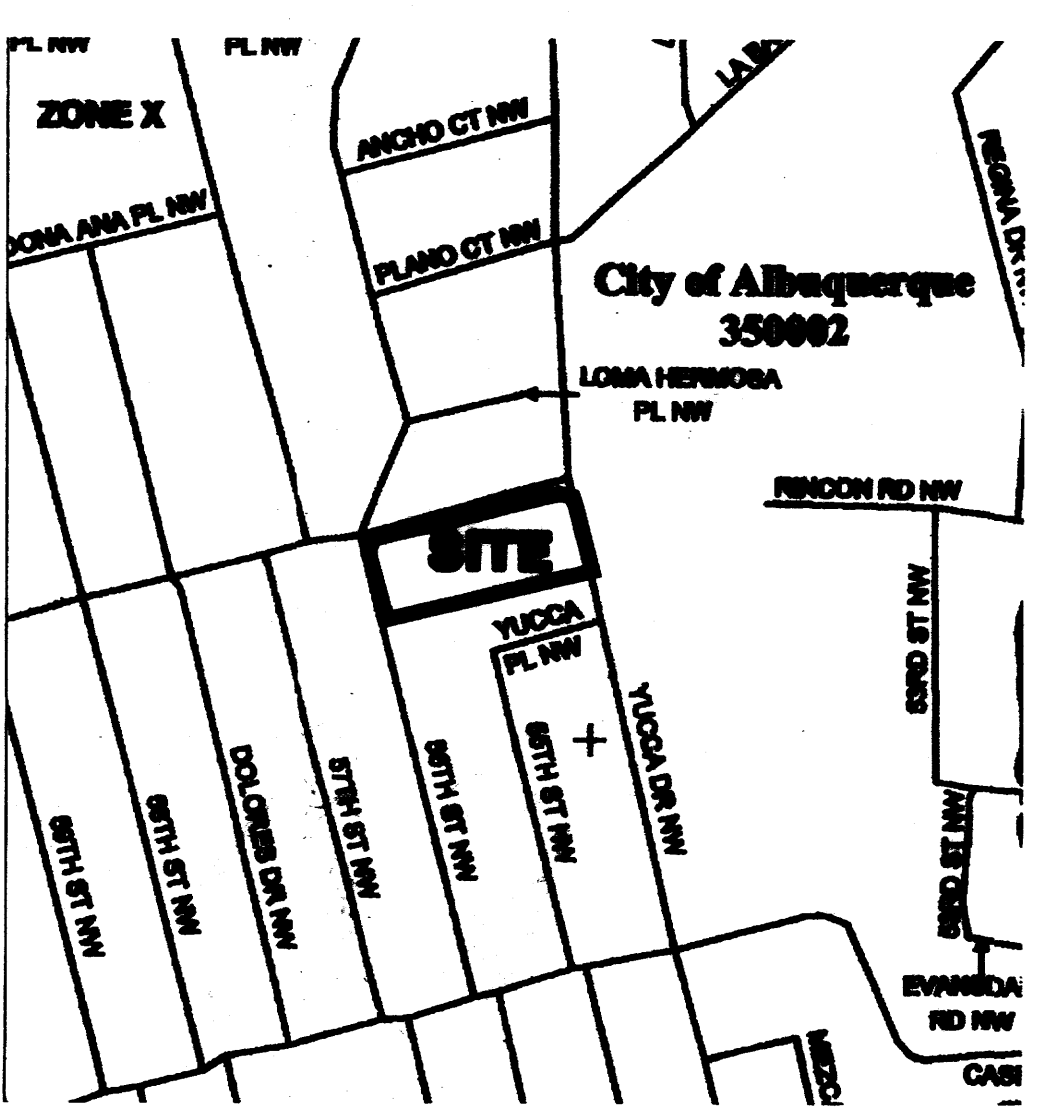
ACS 5-K11 ELEVATION 5090.69 (NGVD 1929)

Grading Plan

VICINITY MAP J-11



FEMA FIRM MAP 329



DRAINAGE NOTES

1. THE SITE IS PRESENTLY DEVELOPED AS A GAS STATION. THE EXISTING BUILDING, GASOLINE PUMPING AREA CONCRETE AND PUMP ISLANDS WILL BE RETAINED. AN ADDITIONAL BUILDING WILL BE ADDED SOUTH OF THE EXISTING STRUCTURE AND ATTENDANT ACCESS TO THE NEW BUILDING WILL BE PAVED. TWO EXISTING DRIVEPADS WILL BE CLOSED AND A NEW DRIVEPAD WILL BE CONSTRUCTED. MOST OF THE LOT IS PRESENTLY VACANT AND WILL REMAIN SO AT THIS TIME.
- RUNOFF FROM THE UTILITY EASEMENT AREA IS CALCULATED BASED ON LAND TREATMENT C. THE RUNOFF FROM THE BALANCE OF THE UNUSED AREA IS CALCULATED BASED ON LAND TREATMENT B. IT IS NOT IN A NATURAL CONDITION BUT IS NOT BEING DISTURBED ON A CONTINUOUS BASIS.
- THERE IS EXCESS RIGHT-OF-WAY ALONG YUCCA DRIVE APPROXIMATELY 12 FEET IN WIDTH. THIS AREA IS SHOWN AS ROW IN THE CALCULATIONS TABLE.
2. THE SITE IS LOCATED IN PRECIPITATION ZONE 1. THERE IS FLOW INCREASE OF 0.21 AND .23 CFS FOR THE 10 YEAR AND 100 YEAR STORMS RESPECTIVELY AND THE 6 HOUR RUNOFF VOLUMES FOR THE 10 YEAR AND 100 YEAR STORM INCREASE BY 399 AND 496 CUBIC FEET RESPECTIVELY.
3. THE SITE IS LOCATED IN A 'ZONE X' PER FEMA FIRM MAP NO. 329, DATED NOVEMBER, 2003.
4. TOPO SURVEY DATA SHOWN ON THIS DRAWING WAS OBTAINED BY HARRIS SURVEYING, INC., DATED JUNE, 2006.

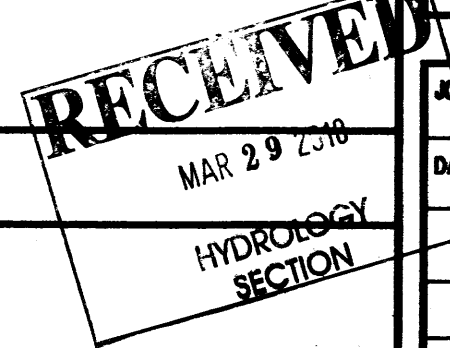
DRAINAGE DATA

CONDITION	STORM	TREATMENT	TREATMENT	EXCESS	PEAK	RUNOFF	RUNOFF
	PERIOD	TYPE	AREA	PRECIPITATION	PRECIPITATION	VOLUME	RATE
		(table 4)	sq. ft.	(table 5)	(table 6)	cu. ft.	cfs
EXISTING	10	A	0	0.08	0.24	0	0.00
		B	55244	0.22	0.76	1013	0.96
		C	13323	0.44	1.49	489	0.46
		D	5895	1.24	2.89	588	0.38
		TOTAL	74262			2090	1.80
DEVELOPED	100	A	0	0.44	1.29	0	0.00
		B	55244	0.67	2.03	3064	2.57
		C	13323	0.99	2.87	1099	0.86
		D	5895	1.97	4.37	935	0.57
		TOTAL	74262			5119	4.02
DEVELOPED	10	A	0	0.08	0.24	0	0.00
		B	55244	0.22	0.76	1013	0.96
		C	8026	0.44	1.49	294	0.27
		D	10992	1.24	2.89	1136	0.73
		TOTAL	74262			2443	1.97
DEVELOPED	100	A	0	0.44	1.29	0	0.00
		B	55244	0.67	2.03	3064	2.57
		C	8026	0.99	2.87	662	0.53
		D	10992	1.97	4.37	1805	1.10
		TOTAL	74262			5551	4.21
ROW	100	A	0	0.44	1.29	0	0.00
		B	0	0.67	2.03	0	0.00
		C	0	0.99	2.87	0	0.00
		D	2162	1.97	4.37	355	0.22
		TOTAL	2162			355	0.22



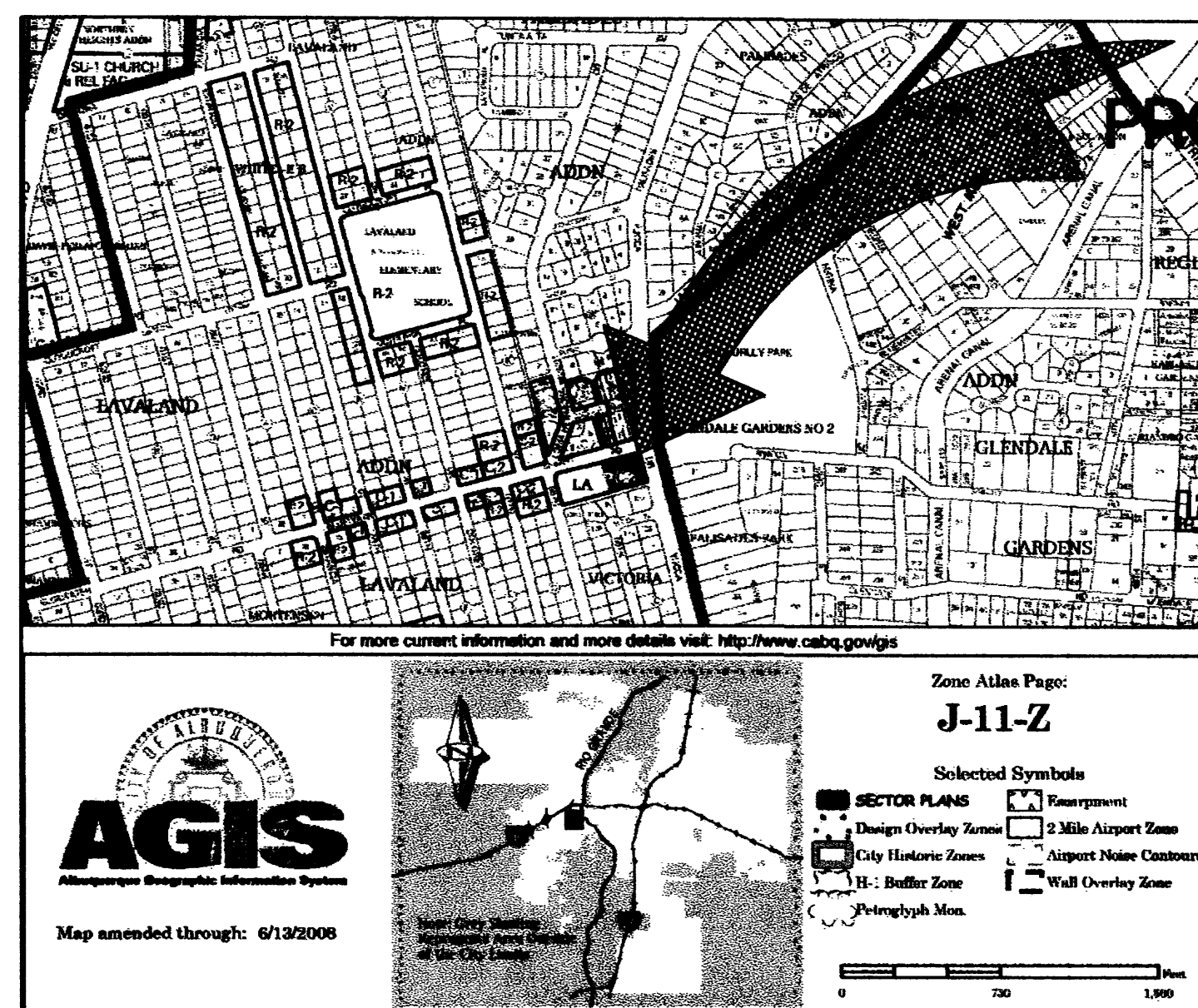
Service Vehicle Storage Addition for Five G's

351 YUCCA DRIVE NW, ALBUQUERQUE, NEW MEXICO 87105

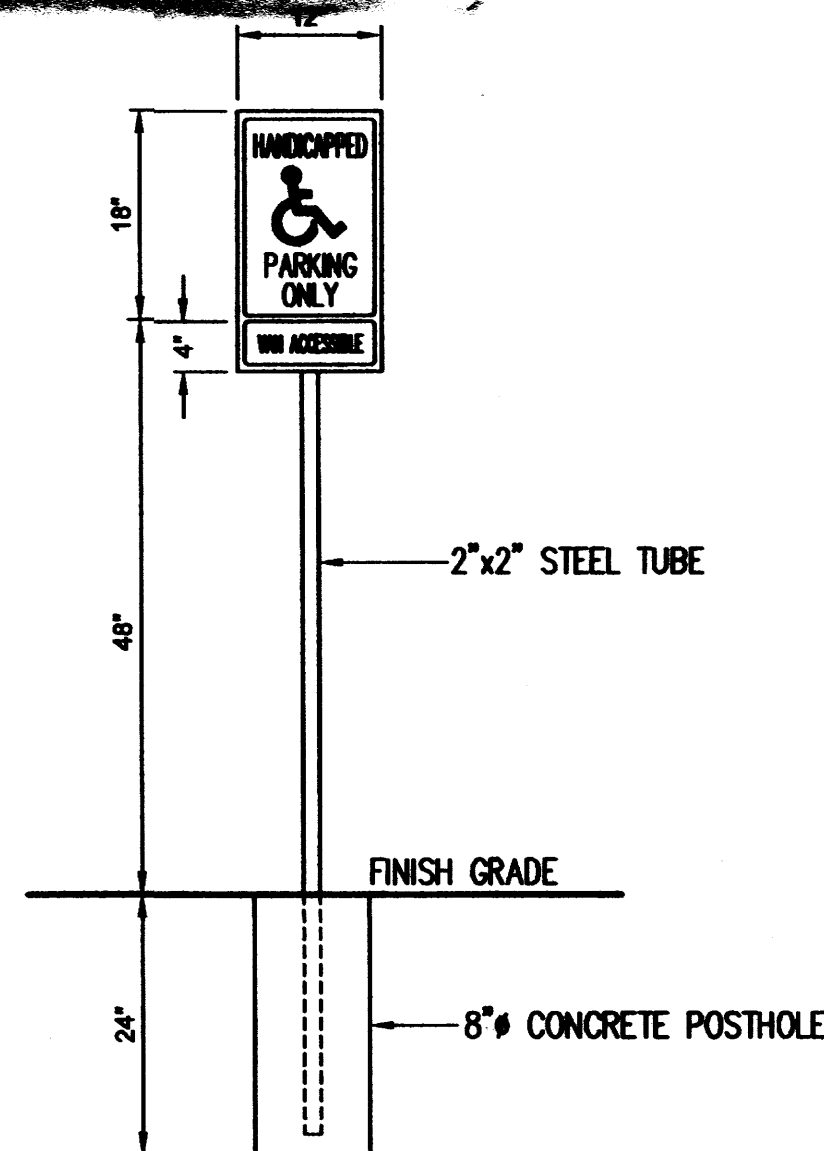


DATE	22 SEPTEMBER 2008
REVISIONS	

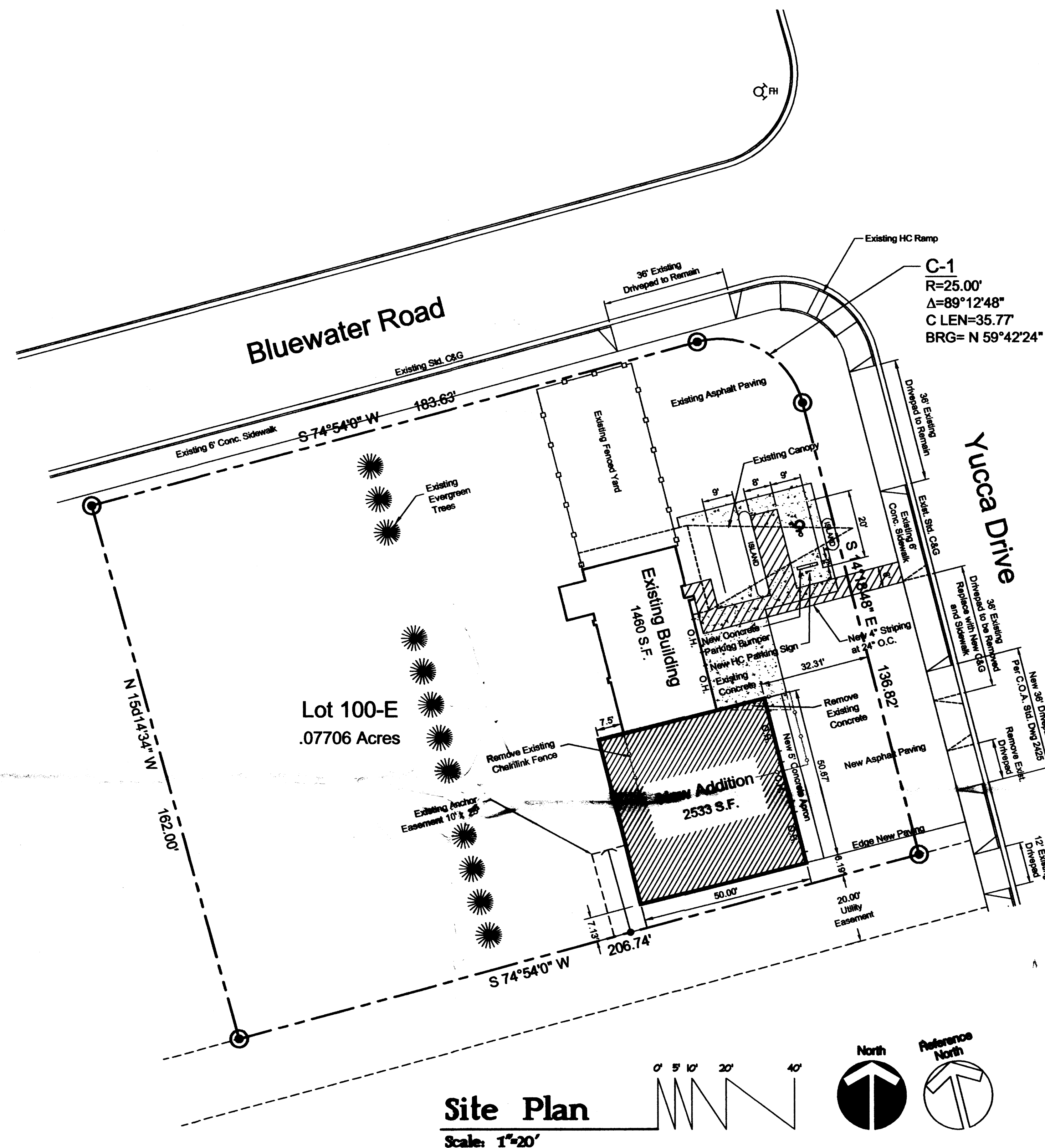
C-2



Vicinity Map



Handicap Parking Sign
Scale: 3/4" = 1'-0"



Design Data

LEGAL DESCRIPTION: LOT 100-E
LA VICTORIA SUBDIVISION
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

LOT SIZE: 0.1106 ACRES

ZONING: C-2

APPLICABLE BUILDING CODE: IBC - 2003

ADDRESS: 351 YUCCA DRIVE NW
ALBUQUERQUE, NM 87105

BUILDING AREA:
EXISTING: 1480 SQ. FT.
ADDITION: 2533 SQ. FT.

NUMBER OF STORIES: ONE

TYPE OF CONSTRUCTION: II-B

AUTOMATIC FIRE SPRINKLERS: NO

PROPOSED USE:
S-1 - OVERNIGHT PARKING OF SERVICE VEHICLES

ALLOWABLE BUILDING AREA: TABLE 503 & SEC. 506.3
9,000 SQ. FT.

OFF-STREET PARKING REQUIRED:
OFFICE: 155/100 = 2 SPACES
EXISTING VEHICLE STORAGE: 1305
NEW VEHICLE STORAGE: 2533
VEHICLE STORAGE TOTAL: 3838/2000 = 2 SPACES
TOTAL: 4 SPACES

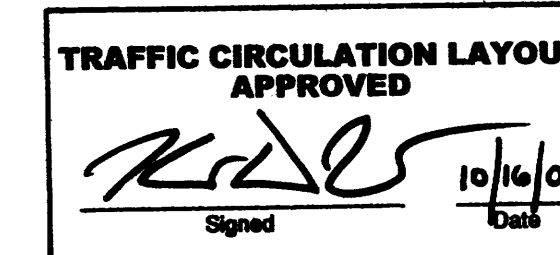
OFF-STREET PARKING PROVIDED:
OVERHEAD DOORS: 5, 5 PARKING SPACES
UNDER CANOPY: 2 PARKING SPACES
TOTAL: 7 PARKING SPACES

HANDICAP DESIGNATED PARKING REQUIRED:
1 SPACE (ONE VAN ACCESSIBLE)

HANDICAP DESIGNATED PARKING PROVIDED:
1 SPACE (VAN ACCESSIBLE)

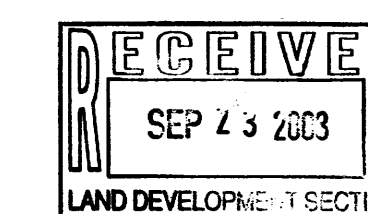
Index to Drawings

DESCRIPTION:	SHEET NO.
SITE PLAN	C-1
FOUNDATION PLAN	S-1
ROOF FRAMING	S-2
FLOOR PLAN AND INTERIOR ELEVATIONS	A-1
EXTERIOR ELEVATIONS	A-2
WALL SECTIONS	A-3
PLUMBING AND MECHANICAL PLAN	P-1
LIGHTING AND POWER PLAN, & PANEL SCHEDULE	E-1

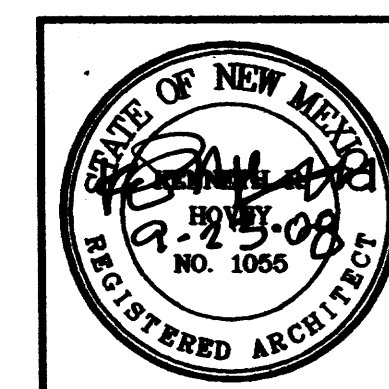


ALL WHEELCHAIR RAMPS LOCATED
WITHIN THE PUBLIC RIGHT OF WAY
MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown
on these plans for information
only and not part of approval.
Separate DRC/Permit approval
and Work Order required.



Site Plan



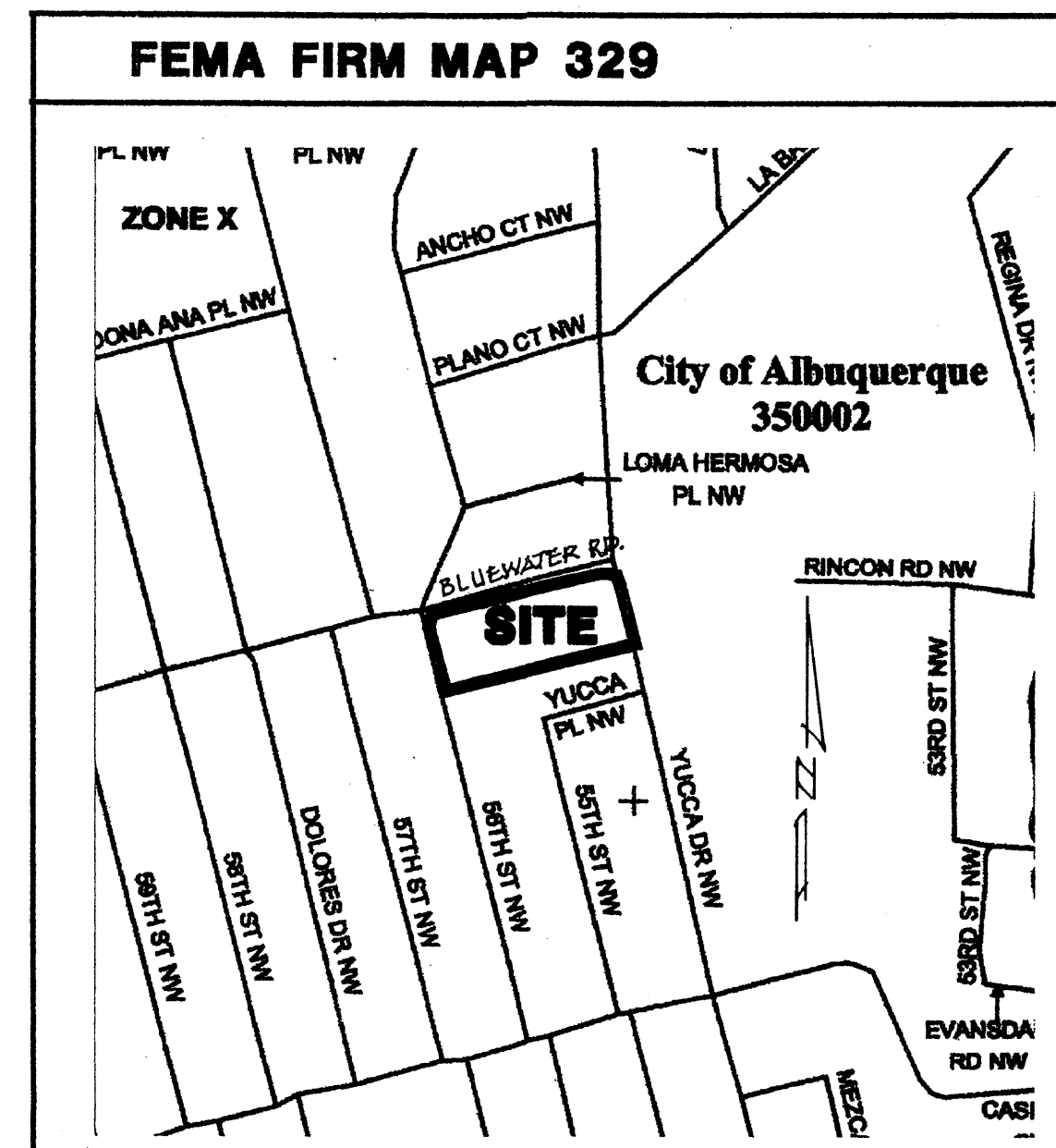
Service Vehicle Storage Addition for Five C's

351 YUCCA DRIVE NW, ALBUQUERQUE, NEW MEXICO 87105



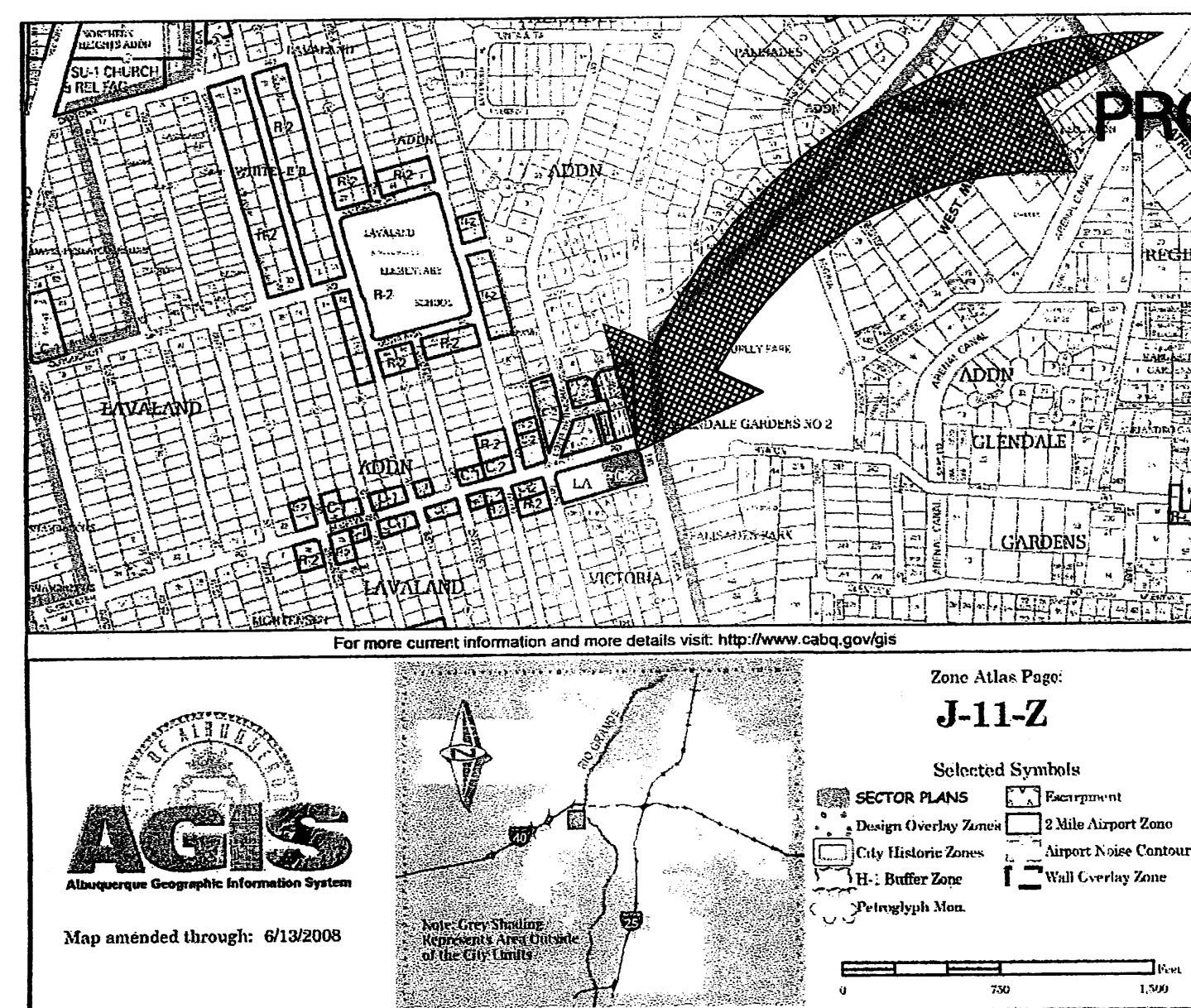
JOB NO.
DATE: 6 AUGUST 2008
REVISIONS
8 SEPTEMBER 2008

SHEET NO.
C-1

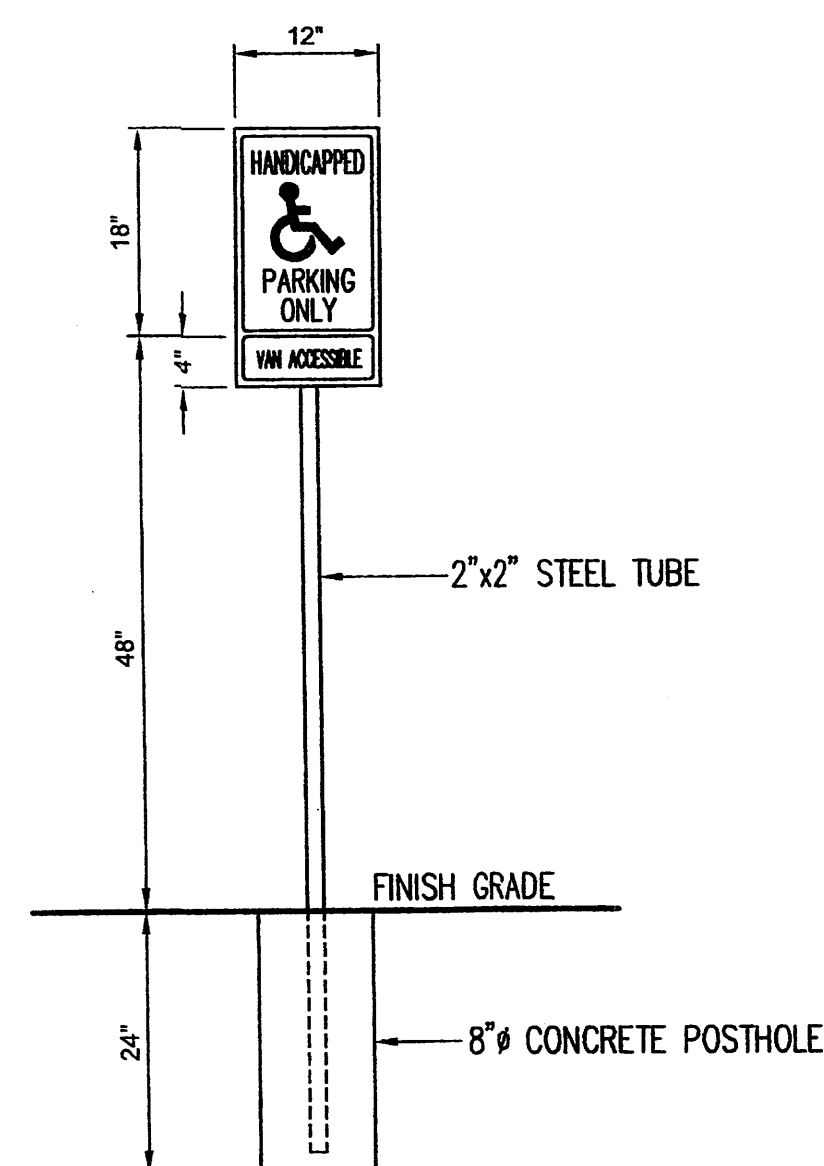


Benchmark Reference: ACS Station "5-K11", Elevation = 5090.69; Project T.B.M. as shown on plan hereon.

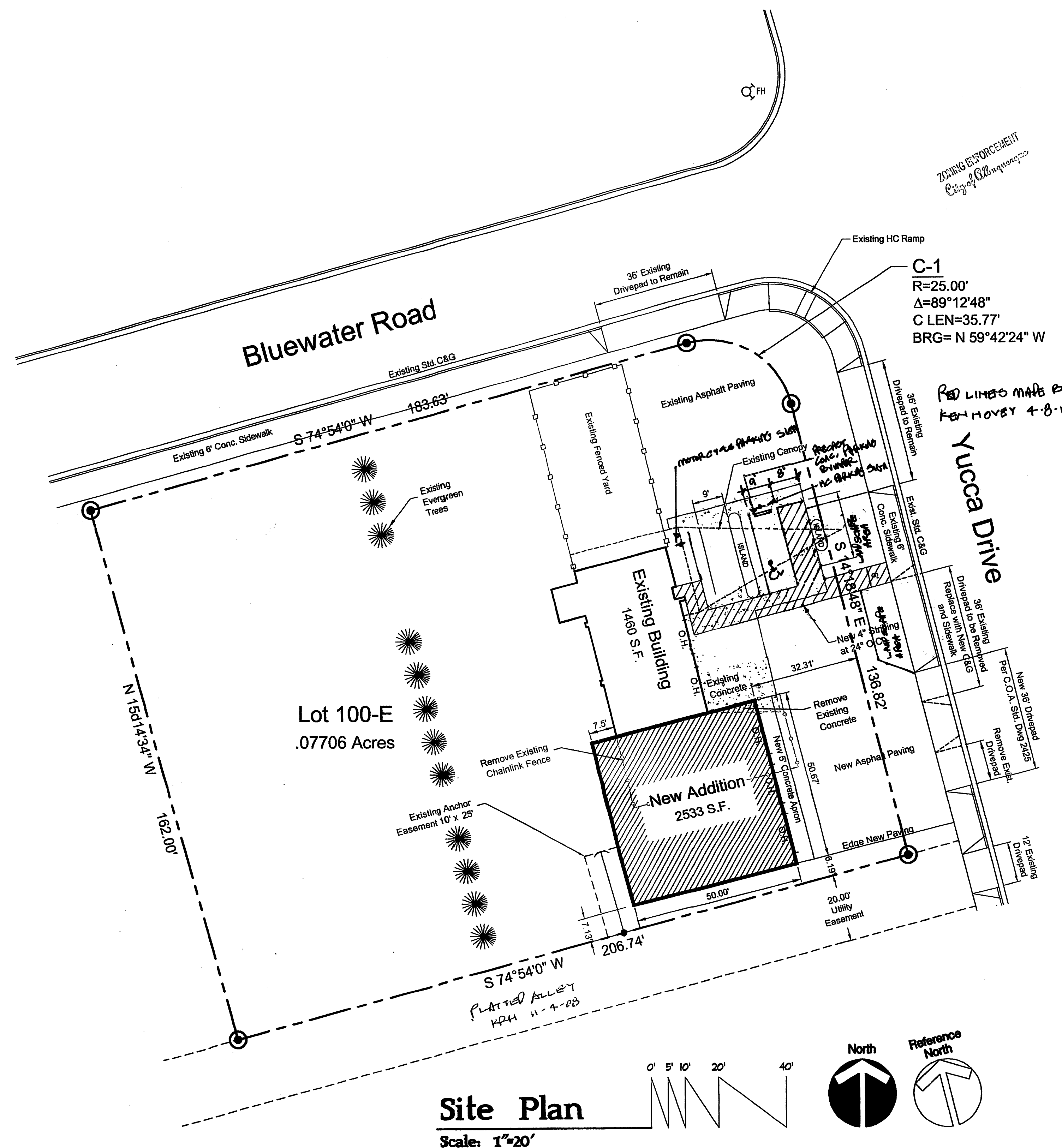
(J11/D035)



Vicinity Map



Handicap
Parking Sign
Scale 3/4"=1'-0"



Site Plan

Scale: 1"=20'

PROPOSED USE: **A** 30 OCTOBER 2008
S-1 - OVERNIGHT PARKING OF SERVICE VEHICLES

OCCUPANT LOAD:

EXISTING OFFICE: 155 S.F./100 = 2
EXISTING VEHICLE STORAGE: 1305 S.F./500 = 3
PROPOSED VEHICLE STORAGE: 2533 S.F./500 = 5
TOTAL OCCUPANT LOAD: 11

PLUMBING FIXTURES REQUIRED: TABLE A-21-A
TOTAL OCCUPANT LOAD: 11
RESTROOMS REQUIRED S-1 OCCUPANCY= 1:100
ONE PROVIDED: YES
LAVATORY AND WATER CLOSET = 1:100
ONE LAV AND WATER CLOSET: YES
PER IBC 2006 SEC. 1104.5.1= 2 DRINKING FOUNTAINS
2 DRINKING FOUNTAINS PROVIDED: YES

Design Data

LEGAL DESCRIPTION:
LOT 100
LA VICTORIA SUBDIVISION
BERNALILLO COUNTY
ALBUQUERQUE, NEW MEXICO

LOT SIZE: 0.1106 ACRES

ZONING: C-2

APPLICABLE BUILDING CODE: IBC - 2003

ADDRESS: 351 YUCCA DRIVE NW
ALBUQUERQUE, NM 87105

BUILDING AREA:

EXISTING: 1460 SQ. FT.
ADDITION: 2533 SQ. FT.

NUMBER OF STORIES: ONE

TYPE OF CONSTRUCTION: II-B

AUTOMATIC FIRE SPRINKLERS: NO

PROPOSED USE:
S-1 - OVERNIGHT PARKING OF SERVICE VEHICLES
NON-RESIDENTIAL USES PER SEC. 208.1.2
KPH 11-4-03

ALLOWABLE BUILDING AREA: TABLE 503 & SEC. 506.3
9,000 SQ. FT.

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OFFICE: 155/100 = 2 SPACES

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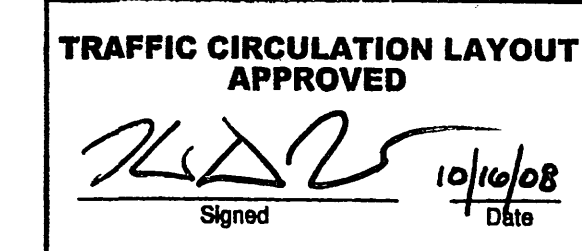
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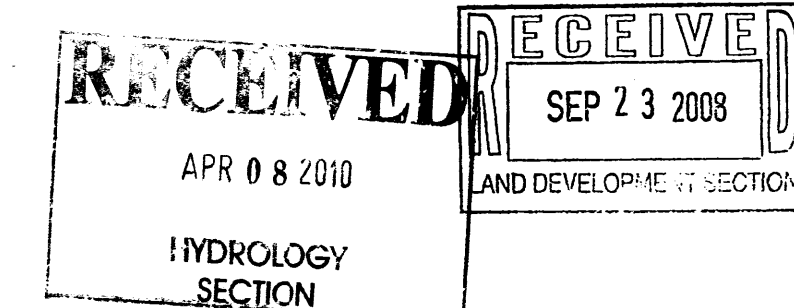
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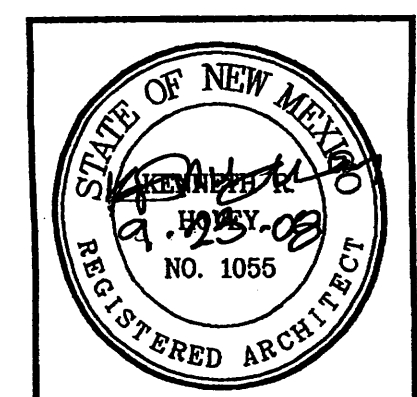


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Separate DRC/Permit approval
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Site Plan



Service Vehicle Storage Addition for Five C's

KEN HOVEY, ARCHITECT
IWS ARCHITECTURE
(505) 341-0855 • Fax (505) 343-1183 • 2420 Comanche Road NE, Suite 11-S • Albuquerque, NM • 87107

JOB NO:
DATE: 6 AUGUST 2008

REVISIONS

8 SEPTEMBER 2008

SHEET NO.
C-1