

PARKING ONLY

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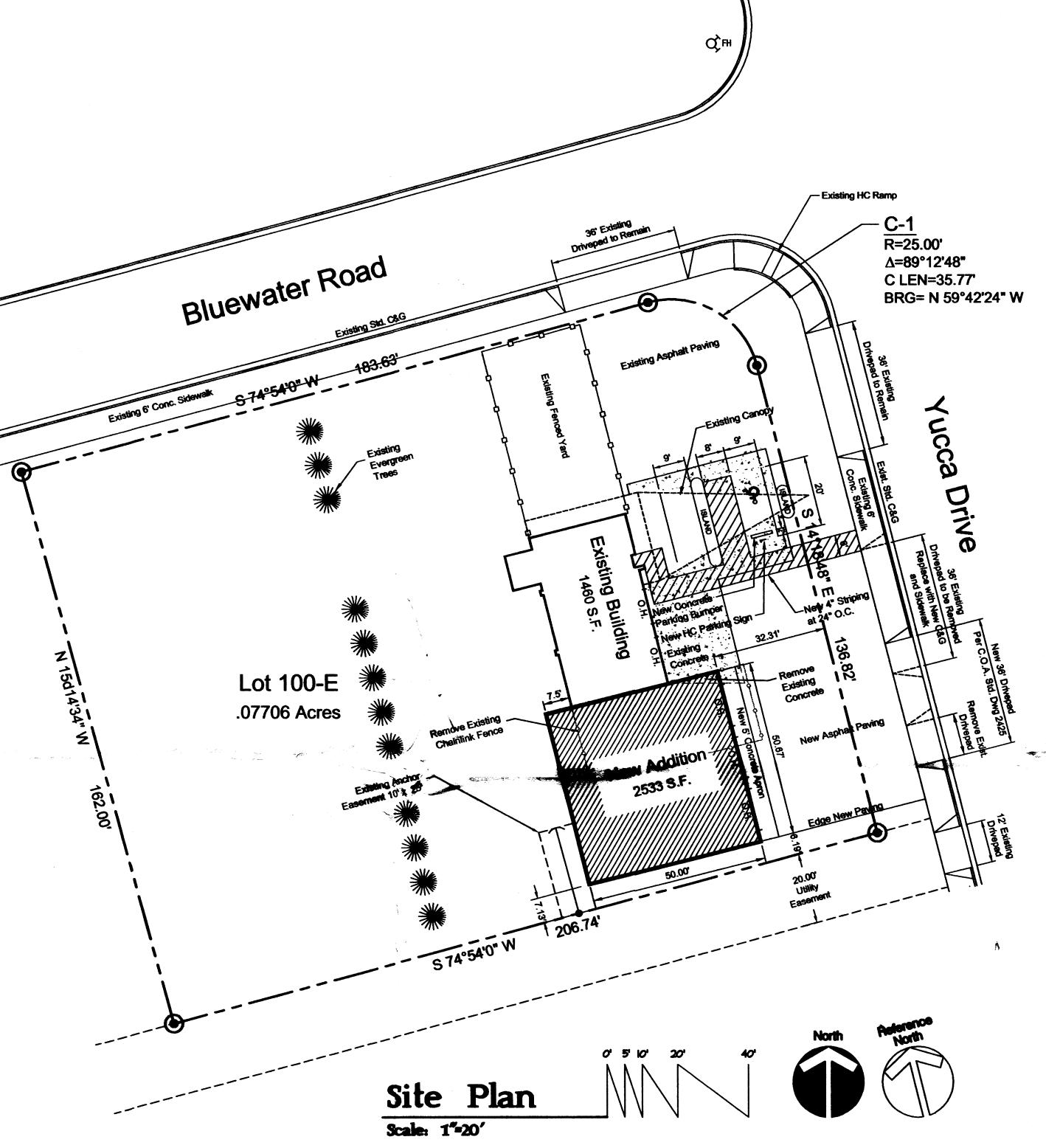
Handicap Parking Sign

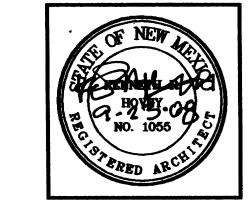
Scale 3/4"-1'-0"

----2"x2" STEEL TUBE

----8\* CONCRETE POSTHOLE

FINISH GRADE





Five

**To** 

Addition

Storage

Vehicle

Service

# Design Data

LEGAL DESCRIPTION:

LOT 100-E LA VICTORIA SUBDIVISION BERNALILLO COUNTY ALBUQUERQUE, NEW MEXICO

LOT SIZE: O.TTOG ACRES APPLICABLE BUILDING CODE: IBC - 2003 ADDRESS:

351 YUCCA DRIVE NM ALBUQUERQUE, NM 87105

BUILDING AREA: EXISTING: 1,460 SQ. FT. 2,533 SQ. FT. ADDITION: NUMBER OF STORIES: ONE TYPE OF CONSTRUCTION: AUTOMATIC FIRE SPRINKLERS:

PROPOSED USE: 5-1 - OVERNIGHT PARKING OF SERVICE VEHICLES

ALLOWABLE BUILDING AREA: TABLE 503 & SEC. 506.3

OFF-STREET PARKING REQUIRED: OFFICE: 155/100 = 2 SPACES

EXISTING VEHICLE STORAGE: 1305
NEW VEHICLE STORAGE: 2533
VEHICLE STORAGE TOTAL: 3838/2000 = 2 SPACES
TOTAL: 4 SPACES OFF-STREET PARKING PROVIDED:

OVERHEAD DOORS 5: 5 PARKING SPACES UNDER CANOPY: 2 PARKING SPACES TOTAL: 7 PARKING SPACES

HANDICAP DESIGNATED PARKING REGUIRED: I SPACE (ONE VAN ACCESSIBLE)

HANDICAP DESIGNATED PARKING PROVIDED: I SPACE (VAN ACCESSIBLE)

Index to Drawings DESCRIPTION:

SITE PLAN FOUNDATION PLAN **S.**I ROOF FRAMING FLOOR PLAN AND INTERIOR ELEVATIONS A.I EXTERIOR ELEVATIONS WALL SECTIONS A3 PLUMBING AND MECHANICAL PLAN LIGHTING AND POWER PLAN, & PANEL SCHEDULE



ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

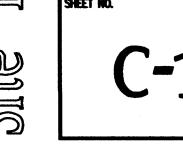
Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



SHEET NO.





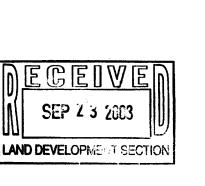


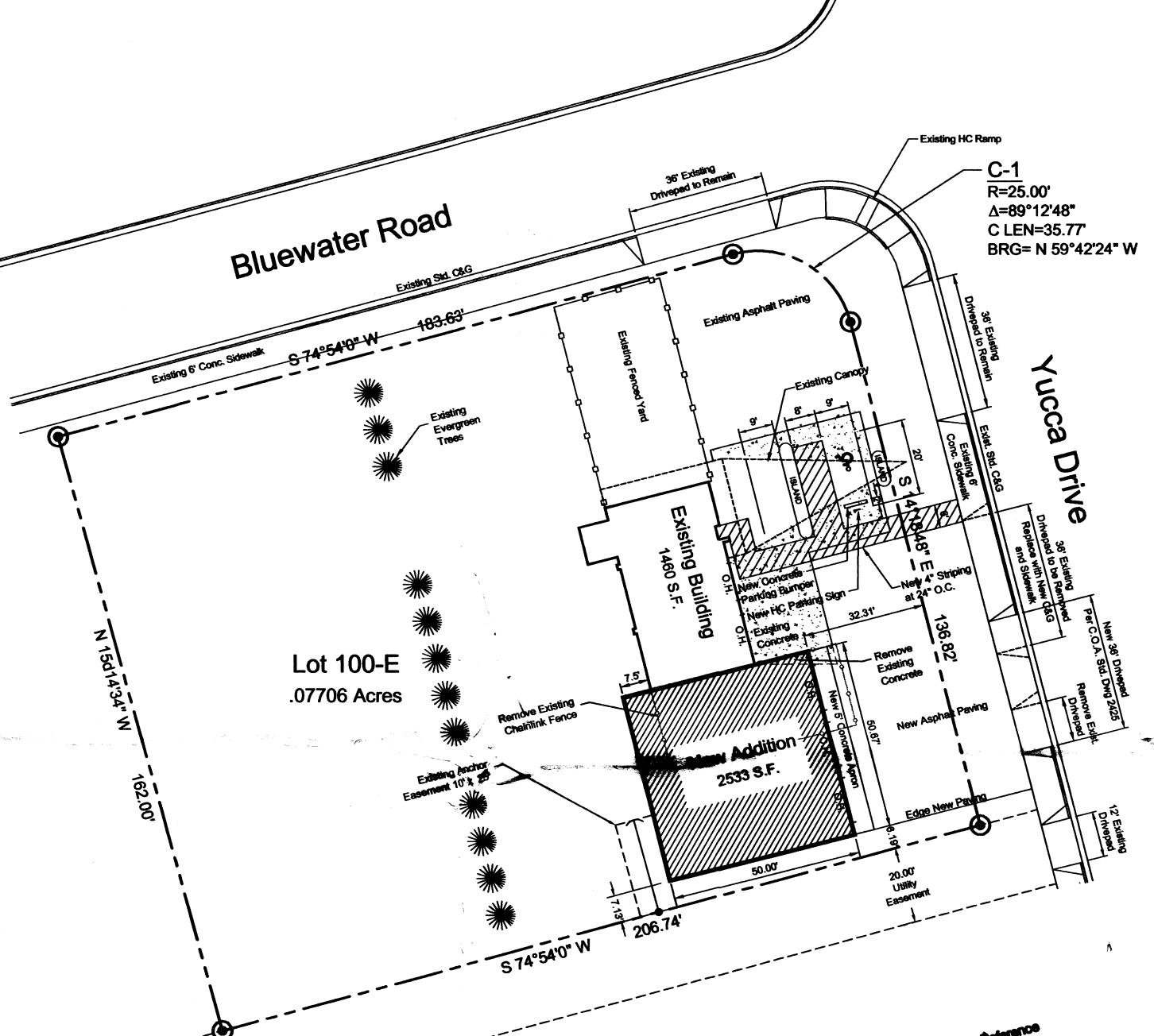
JOB NO:

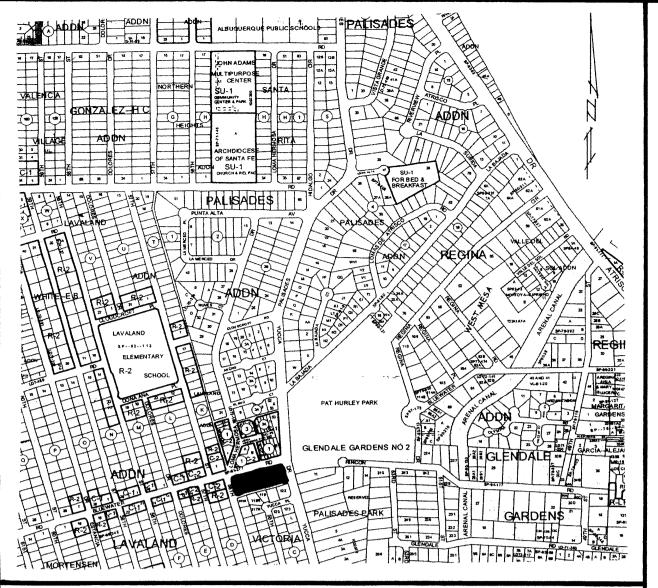
DATE: 6 AUGUST 2008

REVISIONS

8 SEPTEMBER 2008







J-11-Z

## **EROSION CONTROL MEASURES:**

THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR MANAGEMENT OF STORM RUNOFF DURING CONSTRUCTION; HE SHALL ENSURE THAT THE FOLLOWING MEASURES ARE

- 1) ADJACENT PROPERTY SHALL BE PROTECTED AT ALL TIMES BY CONSTRUCTION OF BERMS, DIKES, SWALES, PONDS, AND OTHER TEMPORARY GRADING AS REQUIRED TO PREVENT STORM RUNOFF FROM LEAVING THE SUBJECT SITE AND
- 2) ADJACENT PUBLIC RIGHT-OF-WAYS SHALL BE PROTECTED AT ALL TIMES FROM STORM WATER RUNOFF FROM THE SUBJECT SITE. NO SEDIMENT BEARING WATER SHALL BE PERMITTED TO ENTER PUBLIC STREET RIGHT-OF-WAYS.
- 3) THE CONTRACTOR SHALL IMMEDIATELY AND THOROUGHLY REMOVE ANY AND ALL SEDIMENT FROM PUBLIC STREETS THAT HAS BEEN ERODED FROM THE SUBJECT SITE AND DEPOSITED THEREON

## CONSTRUCTION NOTES:

- 1) TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION, CONTRACTOR MUST CONTACT LINE LOCATING SERVICE AT 260-1990 FOR THE ACTUAL FIELD LOCATION OF THE EXISTING SURFACE OF SUB-SURFACE UTILITIES.
- 2) PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE AND VERIFY THE HORIZONTAL AND VERTICAL LOCATION(S) OF ALL POTENTIAL OBSTRUCTIONS; SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT CAN BE RESOLVED WITH A MINIMUM OF
- 3) ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS, RULES AND REGULATIONS CONCERNING CONSTRUCTION SAFETY AND HEALTH
- 4) ALL CONSTRUCTION WITHIN PUBLIC STREET RIGHT-OF-WAY(S) SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY OF ALBUQUERQUE/BERNALILLO COUNTY STANDARDS AND PROCEDURES.

## **GENERAL NOTES:**

1) NO PERIMETER BOUNDARY CORNERS HAVE BEEN FIELD ESTABLISHED PER

2) NO SEARCH HAS BEEN MADE FOR EASEMENTS OF RECORD OTHER THAN

TOP OF CURB ELEVATION = 72 = 58 G4 CURB FLOWLINE ELEVATION = # = 5727 EXISTING SPOT ELEVATION = ---57\_ EXISTING CONTOUR ELEVATION = \_\_\_ 5059 - \_\_ \_ PROPOSED SPOT ELEVATION = 5085 PROPOSED CONTOUR ELEVATION = PROPOSED OR EXISTING CONCRETE SURFACE = EXISTING FENCE LINE =

B PROVIDE G'HIGH C.M.U. BLOCK WILL OR CEDAR WOOD FENCE WITH MINIMUM 1-TIER C.M.U. BLOCK BASE @ TIME OF "INDIVIDUAL" LOT BUILDING PERMIT.

- (1) + 4" P.V.C. SAS SYC @ 30' EAST OF WEST PROPERTY LINE, EXTEND 10' INTO PROPERTY, C.O.A. STD. DET. 2125.
- 2) + 3/4" DBL WATER SVC W/METER BOX, C.O.A. STD. DET. 23G2 AND 23GG.
- (3)+3/4" SGL WATER SVC W/ METER BOX, C.O.A. STD. DET. 23G2 AND 23GG.

Legal Description: Lots 100-A, 100-B, 100-C, 100-D, and 100-E, of the replat of Lot 100, La VICTORIA SUBDIVISION, Albuquerque, New Mexico.

Benchmark Reference: ACS Station "5-K11", Elevation = 5090.69; Project T.B.M. as shown on plan

FEMA FIRM MAP 329

GENERAL NOTES:

TO BE + 2.0%

COMPACTED.

PLACE NO. 4's IN EACH CELL.

2. ALL CONCRETE IS TO BE 3000 PSI.

FILL ALL CELLS WITH CONCRETE.

1. ALL WALLS ARE TO HAVE 12" CMU PILASTERS • 12'-0" O.C.

MINIMUM COMPACTION UNDER FOOTINGS IS TO BE 95% PER ASTM D 1557 FOR A DEPTH OF 12". MOISTURE CONTENT IS

4. BACK FILL AGAINST WALLS IS TO BE HAND-PLACED AND

5. ALL BARS ARE TO BE GRADE 60, ASTM 615.

City of Albuquerque

RINCON RD NW

LOMA HERMOSA

ZONE X

8" CMU, ALL CELLS GROUTED-

drainage aspects of this project. Those relying on this record document are advised to obtain independent verification of its accuracy before using it for any other purpose.

FINAL PLAT APPROVAL

- 1 CU. FT/FT CONT.

GRAVEL DRAIN W/2" PVC

WEEP HOLES ● 10' O.C. MOTE: GRADES SHOWN THUS (582) ARE HEN GRADES.

NOTE: ACTUAL CONSTRUCTED RETAINING WALL IS SOLID PORE CONCRETE.

3'-0" RETAINING WALL DETAIL (A)

2'-4"

GRADING AND DRAINAGE PLAN

### A.1 PRECIPITATION ZONES

Bernalillo County's four precipitation zones are indicated in TABLE A-1 and on FIGURE A-1.

TABLE A-1. PRECIPITATION ZONES				
ZONE	LOCATION			
(1)	West of the Rio Grande			
2	Between the Rio Grande and San Mateo			
3	Between San Mateo and Eubank, North of Interstate 40; and between San Mateo and the East boundary of Range 4 East; South of Interstate 40			
4	East of Eubank, North of Interstate 40; and East of the East boundary of Range 4 East, South of Interstate 40			

TABLE A-10. PEAK INTESITY (IN/HR at t = 0.2 hour					
Zone	Intensity	100-YR (2-YR, 10-YR)			
1	4.70 (1.84, 3.14)				
2	5.05 (2.04, 3.41)				
3	5.38 (2.21, 3.65)				
4	5.61 (2.34, 3.83)				

Treatment	Land Condition			
A	Soil uncompacted by human activity with 0 to 10 percent slopes. Native grasses, weeds and shrubs in typical densities with minimal disturbance to grading, groundcover and infiltration capacity. Croplands. Unlined Arroyos.			
В	Irrigated lawns, parks and golf courses with 0 to 10 percent slopes. Native grasses, weeds and shrubs, and soil uncompacted by human activity with slopes greater than 10 percent and less than 20 percent.			
C	Soil uncompacted by human activity. Minimal vegetation. Unpaved parking, roads, trails. Most vacant lots. Gravel or rock on plastic (desert landscaping). Irrigated lawns and parks with slopes greater than 10 percent. Native grasses, weeds, and shrubs, and soil uncompacted by human activity with slopes at 20 percent or greater. Native grass, weed and shrub areas with clay or clay loam soils and other soils of very low permeability as classified by SCS Hydrologic Soil Group D.			

Zone	Treatment 100-YR (2-YR, 10-TR)			
	A	В	C	D
1	1.29	2.03	2.87	4.37
	(0.00, 0.24)	(0.33, 0.76)	(0.47, 1.49)	(1.69, 2.89
2	1.56	2.28	3.14	4.70
	(0.00, 0.38)	(0.08, 0.95)	(0.60, 1.71)	1.86, 3.14)
3	1.87	2.60	3.45	5.02
	(0.00, 0.58)	(0.21, 1.19)	(0.78, 2.009)	(2.04, 3.39)
4	2.20	2.92	3.73	5.25
	(0.05, 0.87)	(0.38, 1.45)	(1.00, 2.26)	(2.17, 3.57)

atment D, the areal percentages in TABLE A-5 may be employed

# **Drainage Comments:**

As shown on the Vicinity Map hereon, the subject site is located on the South side of Bluewater Road N.W., between 56th Street N.W. and Yucca Drive N.W., in the City of Albuquerque, Bernalillo County, New Mexico, (City Zone Atlas "J-11-Z").

The subject site is a partial vacant infill property; the proposed plan is to construct three (3) single family houses, landscaped area's and associated improvements thereon. The subject site, 1.) Does not lie within a designated floodplain nor does it have downstream flooding conditions, 2.) Does not accept offsite flows from adjacent properties, 3.) Does not contribute offsite flows to adjacent properties, 4.) Does not lie adjacent to a natural or artificial water course, 5.) is allowed free discharge of developed flows from said property; said free discharge of flows do not and will not have an adverse impact to downstream properties.

Per Section 22.2, Hydrology of the Development Process Manual, Volume 2., Design Criteria for the City of Albuquerque, Bernalillo County, New Mexico.

Site Area: 1.53 acre

Precipitation Zone: One (1)

Peak Intensity: In./Hr. at Tc = Twelve (12) minutes, 100-Yr.-6Hr. = 4.70

Land Treatment Method for Calculations of "Qp", Tables A-8 & A-9.

Land Treatment Factors, Table 4-A.

PROJECT AREA = 1.53 ac.

ZONE: ONE (1) PRECIPITATION: 360 = 2.20 in.

1440 = 2.66 in. 10 DAY = 3.67 in.

**EXCESS PRECIPITATION:** PEAK DISCHARGE: TREATMENT A 0.44 in. 1.29 cfs/ac. TREATMENT B 0.67 in. 2.03 cfs/ac. TREATMENT C 0.99 in. 2.87 cfs/ac. TREATMENT D 1.97 in. 4.37 cfs/ac.

**EXISTING CONDITIONS:** PROPOSED CONDITIONS:

TREATMENT A 0.00 ac. 0.00 ac. TREATMENT B 0.00 ac. 0.00 ac. TREATMENT C 1.29 ac. 1.02 ac. TREATMENT D 0.24 ac.

RECEIVED JUN 02 2009

HYDROLOGY

SECTION

0.51 ac.

# **EXISTING EXCESS PRECIPITATION:**

Weighted E =  $(0.44) \times (0.00) + (0.67) \times (0.00) + (0.99) \times (1.29) + (1.97) \times (0.24) / 1.53$ 

 $V100-360 = (1.14) \times (1.53)/12 = 0.14535 \text{ ac-ft} = 6.331.4 \text{ cf}$ 

# **EXISTING PEAK DISCHARGE:**

Q100 =  $(1.29) \times (0.00) + (2.03) \times (0.00) + (2.87) \times (1.29) + (4.37) \times (0.24) = 4.75$ 

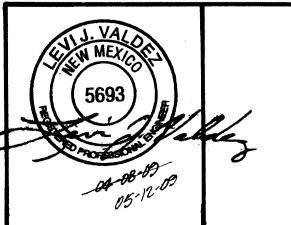
# PROPOSED EXCESS PRECIPITATION:

Weighted E =  $(0.44) \times (0.00) + (0.67) \times (0.00) + (0.99) \times (1.02) + (1.97) \times (0.51) / 1.53$ 

V100-360 =  $(1.31) \times (1.53)/12.0 = 0.16703$  ac-ft =7,275.8 cf V100-1440 =  $(0.17) + (0.51) \times (2.66 - 2.20)/12 = 0.18955$  ac-ft =8,256.8 cf V100-10day =  $(0.17) + (0.51) \times (3.67 - 2.20)/12 = 0.23248$  ac-ft =10,126.8 cf

# PROPOSED PEAK DISCHARGE:

 $Q100 = (1.29) \times (0.00) + (2.03) \times (0.00) + (2.87) \times (1.02) + (4.37) \times (0.51) = 5.16$ INCREASE = 5.16 - 4.75 = 0.41 cfs



**ENGINEER'S SEAL** 

DRAINAGE CERTIFICATION

I, <u>LEVI J. VALDEZ</u>, NMPE <u>M. 5693</u> of the firm \_\_\_\_\_\_ hereby certify that this project has been

graded and will drain in substantial compliance with and in accordance with the design intent of the approved plan dated 04-08-03

The record information edited onto the original design document has been obtained by ANTHANY HARD! NMPS 11463, of the firm HARRIS SURVEYING. I further certify that I have personally visited

the project site on 05-12-09 and have determined by visual inspection that the survey data provided is representative of actual site

conditions and is true and correct to the best of my knowledge and

belief. This certification is submitted in support of a request for

The record information presented hereon is not necessarily complete

and intended only to verify substantial compliance of the grading and

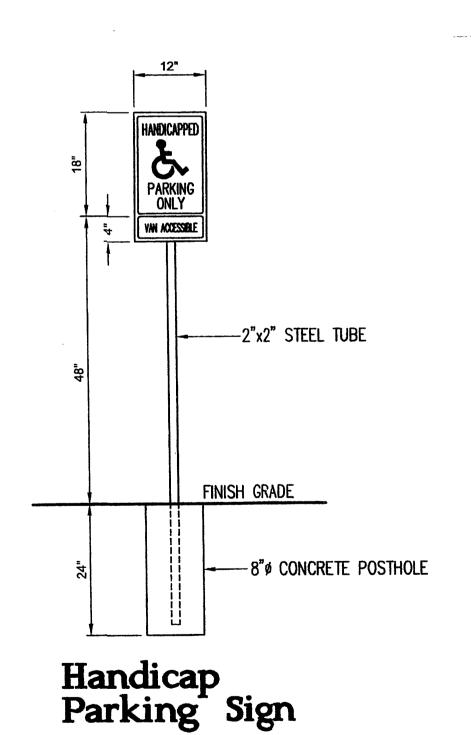
-GRADING PLAN CERTIFICATION-A PROPOSED PLAN

SINGLE FAMILY RESIDENCES

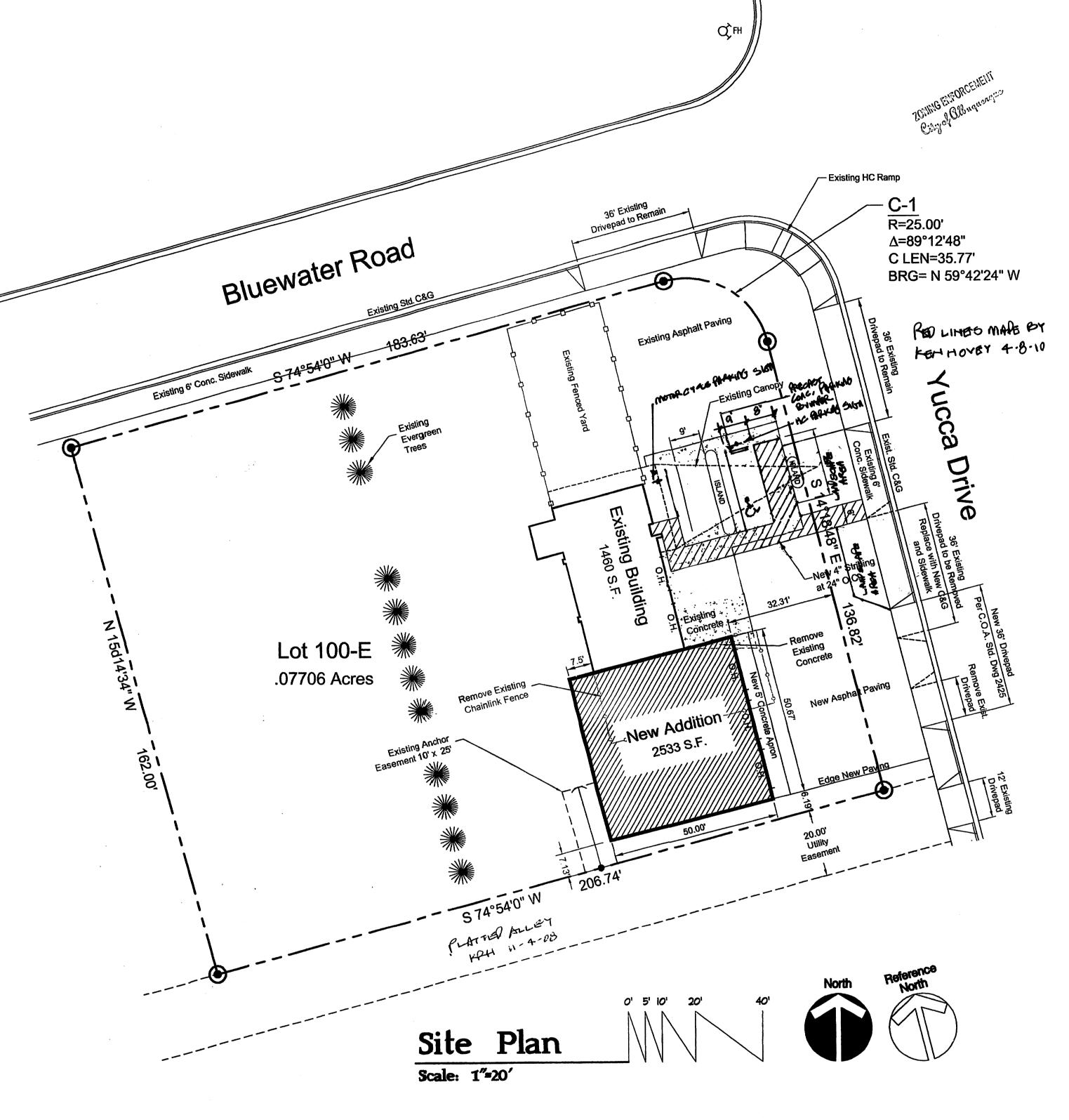
LOTS 100-A, 100-B, 100-C, 100-D La VICTORIA SUBDIVISION ALBUQUERQUE, NEW MEXICO FEBRUARY, 2009 MAY-2009

(J11/D035)

Vicinity Map



Scale 3/4"=1'-0"



PROPOSED USE: 2 30 OCTOBER 2008

S-I - OVERNIGHT PARKING OF SERVICE VEHICLES

OCCUPANT LOAD:

EXISTING OFFICE: 155 S.F./100 = 2 EXISTING VEHICLE STORAGE: 1305 S.F./500 = 3 PROPOSED VEHICLE STORAGE: 2533 S.F./500 = 6 TOTAL OCCUPANT LOAD: 11

PLUMBING FIXTURES REQUIRED: TABLE A-29-A

TOTAL OCCUPANT LOAD: II

RESTROOMS REQUIRED S-I OCCUPANCY= 1:100

ONE PROVIDED: YES

RESTROOMS REQUIRED S-I OCCUPANCY= 1:100 ONE PROVIDED: YES ONE PROVIDED: YES DEVIATION ONE LAVATORY AND WATER CLOSET: YES ONE LAVATORY AND WATER CLOSET: YES

Design Data

LEGAL DESCRIPTION: LOT 100 LA VICTORIA SUBDIVISION BERNALILLO COUNTY ALBUQUERQUE, NEW MEXICO LOT SIZE: 0.7706 ACRES APPLICABLE BUILDING CODE: IBC - 2003 ADDRESS: 351 YUCCA DRIVE NW ALBUQUERQUE, NM 87105 BUILDING AREA: 1,460 SQ. FT. EXISTING: 2,533 SQ. FT. ADDITION: NUMBER OF STORIES: ONE TYPE OF CONSTRUCTION: II-B AUTOMATIC FIRE SPRINKLERS: PROPOSED USE: 5-1 - OVERNIGHT PARKING OF SERVICE VEHICLES
NON-SEPARATED 1985 PER SEC. 508, 3, 2
KAH 11-4-08 ALLOWABLE BUILDING AREA: TABLE 503 \$ SEC. 506.3 9,000 SQ.FT. OFF-STREET PARKING REQUIRED: OFFICE: 155/100 = 2 SPACES EXISTING VEHICLE STORAGE: 1305
NEW VEHICLE STORAGE: 2533
VEHICLE STORAGE TOTAL: 3838/2000 = 2 SPACES TOTAL: 4 SPACES OFF-STREET PARKING PROVIDED: OVERHEAD DOORS 5: 5 PARKING SPACES UNDER CANOPY: 2 PARKING SPACES TOTAL: 7 PARKING SPACES

HANDICAP DESIGNATED PARKING REQUIRED:

I SPACE (ONE VAN ACCESSIBLE

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HANDICAP DESIGNATED PARKING PROVIDED:

I SPACE (VAN ACCESSIBLE)

Index to Drawings

DESCRIPTION:

SITE PLAN

FOUNDATION PLAN

ROOF FRAMING

FLOOR PLAN AND INTERIOR ELEVATIONS

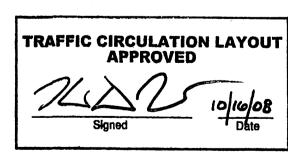
EXTERIOR ELEVATIONS

WALL SECTIONS

PLUMBING AND MECHANICAL PLAN

LIGHTING AND POWER PLAN, \$ E.I

PANEL SCHEDULE



ALBUQUERQUE BUILDING & SAFETY NOV 0 4 2008

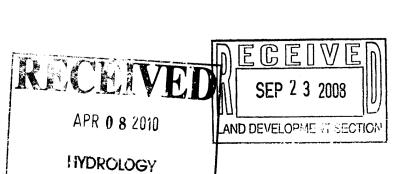
U.B.C. PLAN CHECK SECTION

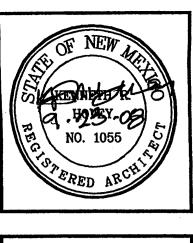
ALL WHEELCHAIR RAMPS LOCATED WITHIN THE PUBLIC RIGHT OF WAY MUST HAVE TRUNCATED DOMES.

Public Infrastructure shown on these plans for information only and not part of approval. Separate DRC/Permit approval and Work Order required.



Sife





Service Vehicle Storage Addition for Five G's

(505) 341-0655 \* Fox (505) 343-1183 \* 2420 Commonche Road NE, Suite H-6 \* Albuquerque, NM \* 87107

JOB NO:

DATE: 6 AUGUST 2008

REVISIONS

8 SEPTEMBER 2008

