

CIVIL CONSTRUCTION PLANS
FOR
McDONALD'S - L/C: 030-0014
McDONALD'S REBUILD
1501 COORS BLVD NW
ALBUQUERQUE, BERNALILLO COUNTY, NM



OWNER: McDonald'S
511 E JOHN CARPENTER FRWY, SUITE 375
IRVING, TX 75062
CONTACT: LEE MORRIS
PHONE: (817) 487-1253

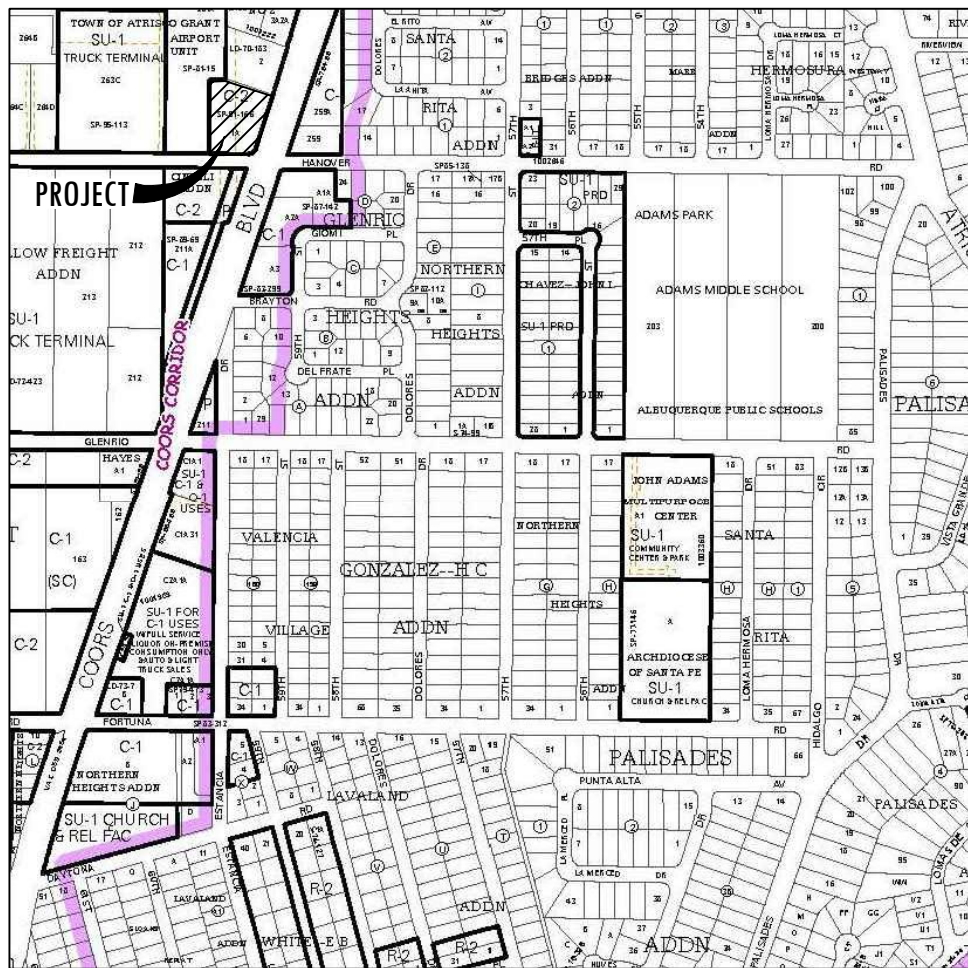
CIVIL ENGINEER: ADAMS ENGINEERING
8951 CYPRESS WATERS BLVD., SUITE 150
DALLAS, TX 75019
CONTACT: MATT KORTE, PE
PHONE: (817) 328-3200

SURVEYOR: PRECISION SURVEYS, INC.
5571 MIDWAY PARK PLACE NE
ALBUQUERQUE, NM 87109
CONTACT: LARRY W. MEDRANO, RPS
PHONE: (505) 856-5700

STRUCTURAL ENGINEER: BEC-LIN ENGINEERING. LP
10401 WESTOFFICE DR.
HOUSTON, TX 77042
CONTACT: KARL BRECKON, PE
PHONE: (281) 664-8440

PROJECT LOCATION: 1501 COORS BLVD NW
ALBUQUERQUE, NM

ADAMS ENGINEERING JOB NUMBER: 2012.299



VICINITY MAP
(ZONE ATLAS J-11-Z)
N.T.S.

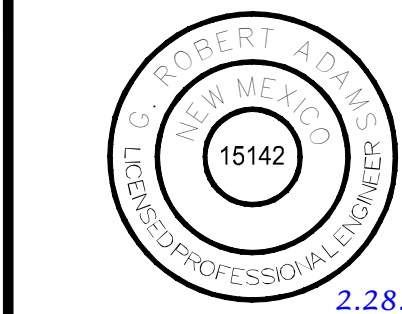
**** NOTICE TO CONTRACTOR - BIDDING ****

All questions regarding the General Contractor's preparation of his bid shall be directed to the McDonald's Construction Department. Sub-contractors must direct their questions through the General Contractor only. The Consulting Architect and/or Engineer shall not be contacted by the General Contractors, Sub-contractors, or Suppliers without direct prior authorization from McDonald's.

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McDONALD'S REBUILD
LOT 1-A, SHELL SUBDIVISION NO. 2,
CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM
PLAT BOOK 91C, FOLIO 243,
COUNTY CLERK OF BERNALILLO COUNTY, NM



G. Roldan

McDonald's USA, LLC	
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1501 COORS BLVD NW ALBUQUERQUE, NM	

DESIGNED	DATE	BY
DRAWN	JAN 2017	HJM
CHECKED	1/16/17	DWL
AS-BUILT		

COVER SHEET

C1.0



REV	DATE	DESCRIPTION	BY
01/16/2017	01/16/2017	ISSUE FOR PERMIT	HJM
02/28/2017	02/28/2017	PER CITY AND NMDOT COMMENTS	HJM
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ADAMS JOB NO.: 2012.299			
Adams			
8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200			

DEMOLITION NOTES

- Contractor is responsible for protection of all property corners and pins.
- Contractor shall remove pavement in accordance with specifications.
- Contractor is responsible for the repair of any damage to existing improvements during construction, such as, but not limited to: drainage, utilities, pavement, striping, curb, etc. Repairs shall be equal to or better than existing conditions.
- All work on this plan shall be done in strict accordance with site work specifications.
- Contractor shall comply to the fullest extent with the latest standards of OSHA directives or any other agency having jurisdiction for excavation and trenching procedure. Contractor shall use support systems, sloping, benching, or other means of protection, including but is not limited to, access and egress from all excavation and trenching. Contractor is responsible to comply with performance criteria for OSHA.
- Contractor shall be responsible for protecting the public during construction, including but not limited to: construction fencing, barricades, signage, etc.
- Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
- Contractor shall verify horizontal and vertical location of all existing utilities prior to construction.
- Contractor shall be responsible for any traffic control necessary for drive demolition/construction.

UTILITY NOTES

- All electrical/conduit runs are schematic only. Lot lights are to be wired to 2 (two) or more circuits in an alternating sequence.
- Private utility connections shown are schematic only. Contractor shall coordinate with utility companies prior to bid.
- Adjust to finished grade any access points for existing utilities remaining.
- It shall be the sign installer's responsibility to ensure the proposed sign location does not interfere with any utilities and complies with all applicable city codes. Sign installer shall also obtain approval from the appropriate entities prior to installing the sign over any existing easements.
- Refer to the building electrical and plumbing drawings for utility service entrance locations, sizes, and circuiting.
- $\frac{3}{4}$ " empty conduit to locations shown at the lot perimeter for lot lighting is by the General Contractor.

SITE NOTES

- Contractor shall refer to architectural building plans for exact location and orientation of exterior doors.
- Trash enclosure finish to match building. Refer to Building Plans for foundation design.
- Location of ID sign is approximate. It is the responsibility of the sign contractor to verify compliance with setback, size/height and related zoning requirements prior to setting.
- All dimensions shown are to face of curb unless noted otherwise.
- Due to nature of the work, all dimensions shown shall be considered approximate. Contractor shall field verify all dimensions prior to beginning construction. Shop drawings shall be submitted to the Architect and/or Engineer for approval prior to fabrication to any item. Failure to adhere to this procedure shall place full responsibility for any errors directly upon the Contractor.
- Bases, anchor bolts, conduit, and wiring for all signs are by the General Contractor.

GRADING NOTES

- The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
- Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
- Contractor shall verify horizontal and vertical location of all existing storm sewer structures, pipes, and all utilities prior to construction.
- Contractor is responsible for repairs of damage to any existing improvements during construction, such as but not limited to drainage, utilities, pavement, striping, curbs, etc. Repairs shall be equal to or better than existing conditions.
- Proposed spot grades shown are to top of pavement unless otherwise noted.
- Existing and proposed grade contour intervals shown at one foot (1').
- All un-surfaced areas disturbed by grading operation shall receive four (4) inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall grass disturbed areas in accordance with standard specifications and water until a healthy stand of grass is obtained.
- For location of all utility entrances, see architectural plans and specifications.
- Contractor shall coordinate with architectural plans, power company, telephone company & gas company for actual routing of power and services to building.
- Construction shall comply with all governing codes and be constructed to same.
- The Contractor shall maintain dust control on site at all times by watering site as often as needed.
- Contractor shall field verify elevations of adjacent properties to McDonald's site. If existing grades do not match those shown on this plan, Contractor shall notify McDonald's project manager.
- Contractor shall be responsible for any traffic control necessary for drive demolition/construction.
- All elevations shown are in reference to the benchmark and must be verified by the General Contractor at groundbreak.
- Curb elevations shall be 6" above finish pavement unless noted otherwise.
- All landscape areas shall be rough graded to 6" below to of all walks and curbs. Finished grading, landscaping, and sprinkler system are by the Owner/Operator.

PAVING NOTES

- Refer to site plan for additional dimension, radii, etc.
- The paving contractor shall not place permanent pavement until all sleeving for electric, gas, telephone, cable tv, site irrigation, etc. has been installed. It shall be the paving contractor's responsibility to insure that all sleeving is in place prior to placing of permanent pavement. Prior to starting of construction, the contractor shall make certain that all required permits and approvals from city have been obtained.
- Contractor to refer to building & structural plans for foundation design.
- Contractor shall be responsible for any traffic control necessary for drive demolition/construction.
- Sidewalks around the building shall have the same subgrade as building foundation as described in Geotech report provided by TERRACON CONSULTANTS, INC.. (Project No. 66165139)
- McDonald's reserves the right to request a compaction and/or a core sample. If tests prove correct, per the soils report, tests will be at the expense of McDonald's, otherwise G.C., will be charged.
- All offsite improvements within NMDOT ROW shall meet the most recent rendition of the NMDOT specifications.

GENERAL NOTES

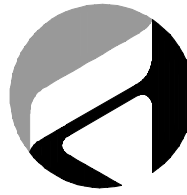
- General Contractor must provide exact "as built" information upon completion.
- It is strongly recommended that no contractual agreement of any kind be signed prior to receiving and thoroughly reviewing all approvals from all of the regulatory authorities having jurisdiction over this project.
- Contractor shall contact appropriate jurisdiction agencies prior to construction to confirm if independent testing or inspections will be required as a condition of their acceptance of work. Contractor shall make necessary arrangements to insure proper testing & inspections are documented such that work will be accepted at project completion.
- All materials and construction within easements and R.O.W. shall conform to all governing authorities' jurisdiction standard construction details and specifications.
- Topographic information taken from a Topographic Survey performed by PRECISION SURVEYS, INC.. The Contractor shall notify the Engineer immediately, in writing, of any discrepancies or omissions to the topographic information. The Contractor(s) shall be responsible for confirming the location (horizontal/vertical) of any buried cables, conduits, pipes, and structures (storm sewer, sanitary sewer, water, gas, television, telephone, etc.) which impact the construction site. The Contractor(s) shall notify the Owner and Engineer in writing if any discrepancies are found between the actual conditions versus the data contained in the construction plans. Any costs incurred as the result of not confirming the actual location (horizontal/vertical) of said cables, conduits, pipes, and structures shall be borne by the Contractor. Additionally, the Contractor(s) shall notify the Owner and Engineer in writing if any errors or discrepancies are found on the construction documents (ps&e), which negatively impact the project. The Engineer and Owner shall be indemnified of problems and/or cost which may result from the Contractor's failure to notify the Engineer and Owner.
- Flood Statement: According to Map No. 35001C0327J, Dated NOVEMBER 4, 2016, of the Federal Emergency Management Agency, National Flood Insurance Program Map, this property is within flood zone "X", areas determined to be outside the 0.2% annual chance floodplain. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of Adams Engineering.

EROSION CONTROL SEQUENCE

- Install silt fences & rock filter dams around perimeter of property and disturbed areas as shown.
- Install inlet protection for all existing grate inlets, curb inlets and at the ends of all exposed storm sewer pipes, if present.
- Construct temporary construction exit.
- Commence grubbing and removal of vegetation in area to receive cut or fill.
- Commence grading operation for building pad preparation (see Grading Plan).
- Install all underground utilities.
- Finalize pavement subgrade preparation.
- Install all proposed storm sewer pipes and inlet protection silt fences at ends of exposed pipes.
- Construct all grate inlets and drainage structures. Inlet protection silt fences may be removed temporarily for this construction.
- Remove silt fences around inlets and manholes no more than 48 hours prior to placing stabilized base course.
- Install base material as required for pavement, curb & gutter.
- Install all paving, curb & gutter.
- Complete planting and/or seeding of vegetated areas to accomplish stabilization in accordance with the landscaping plan. Throughout the project and the maintenance period for turfgrass, it is the contractor's responsibility to maintain the topsoil in place at specified grades. Topsoil and turfgrass losses due to erosion will be replaced by the contractor until establishment and acceptance is achieved.
- Remove temporary construction exit, silt fences & rock filter dams.

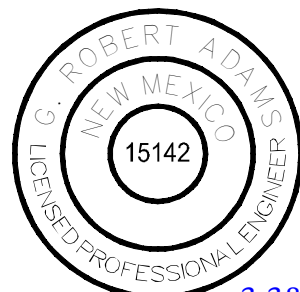
SWPPP NOTE

- Minimal best management practices for erosion control have been shown on this plan. A SWPPP shall be prepared for McDonald's by others and administered by others. Adams Engineering recognizes state requirements for storm water pollution control but assumes no responsibility for a SWPPP on this project.

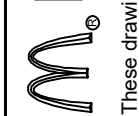
REV		DATE	DESCRIPTION		BY
----	----	01/16/2017	ISSUE FOR PERMIT		HJM
----	----	02/28/2017	PER CITY AND NMDOT COMMENTS		HJM
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ADAMS JOE NO.: 2012.239					
<div><div></div><div>Adams</div></div>					
8951 Cypress Vistas Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200					

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2.28.17



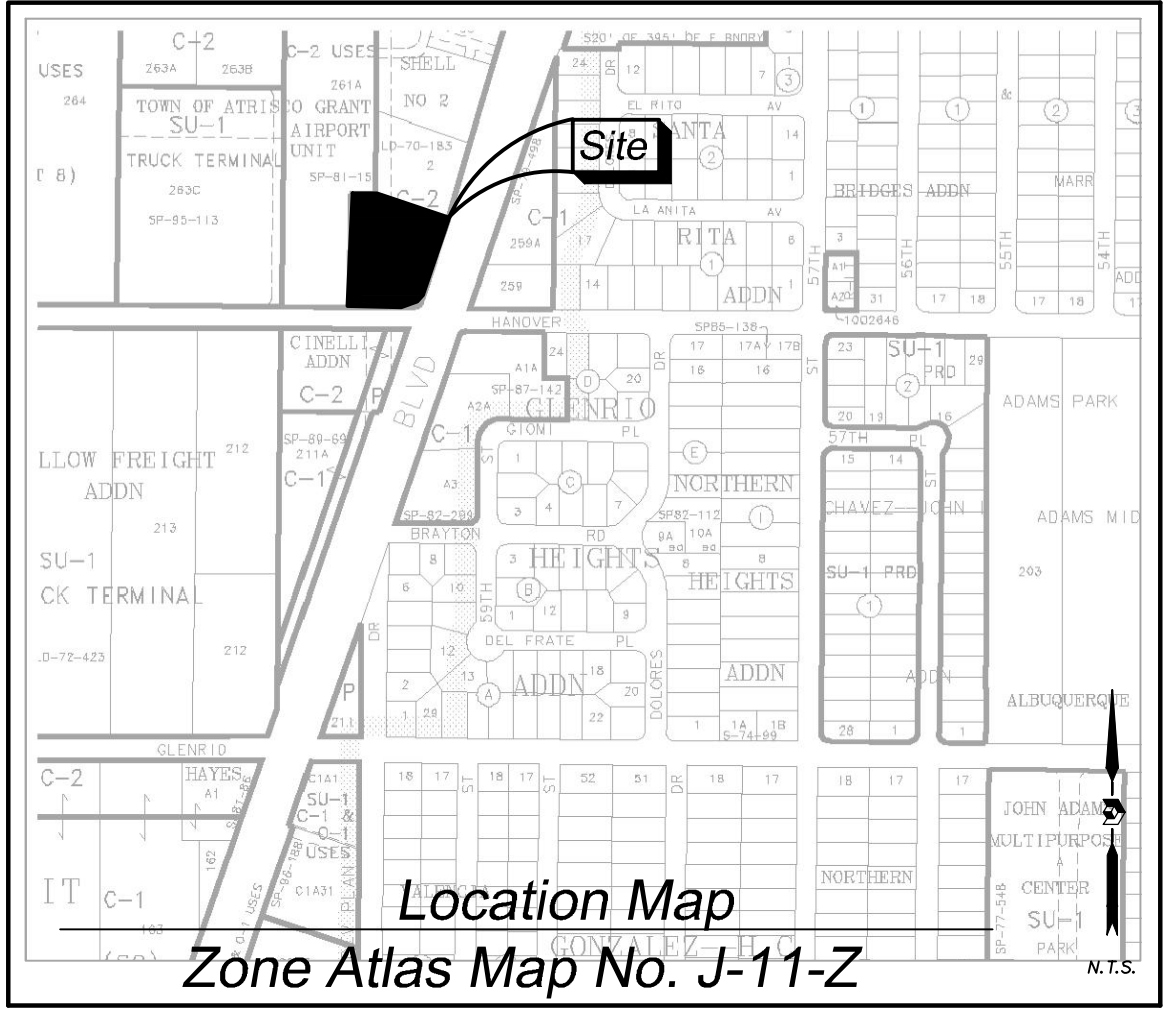
G. Robert Adams

OFFICE		MTN. SOUTHWEST FIELD EXECUTION TEAM	MCDONALD'S I/C: 030-0014
ADDRESS		KROC DRIVE - OAK BROOK, ILLINOIS 60521	
		McDonald's USA, LLC	
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CONTRACTOR		1501 COORS BLVD NW ALBUQUERQUE, NM	
OWNER			

DESIGNED		DATE	BY
DRAWN		JAN 2017	HJM
CHECKED		JAN 2017	HJM
AS-BUILT		1/16/17	DWL

GENERAL NOTES

C1.1



Subdivision Data:

ZONING:
GROSS SUBDIVISION ACREAGE: 1.3408 ACRES±
ZONE ATLAS INDEX NO.: J-11-Z
NO. OF TRACTS CREATED: 1
NO. OF LOTS CREATED: 0
MILES OF FULL-WIDTH STREETS CREATED: 0
DATE OF SURVEY: APRIL 27 THROUGH MAY 8, 2016

Purpose of Plat

THE PURPOSE OF THIS PLAT IS TO REPLAT THE EXISTING ONE LOT INTO ONE NEW LOT, TO VACATE TWO EXISTING EASEMENTS, TO GRANT TWO NEW EASEMENTS AND TO DEDICATE ADDITIONAL RIGHT OF WAY

Notes:

- BEARINGS SHOWN ARE GRID BEARINGS (NEW MEXICO STATE PLANE CENTRAL ZONE – NAD 1983).
- ALL DISTANCES ARE GROUND DISTANCES–US SURVEY FOOT.
- THIS PROPERTY LIES WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 14, TOWNSHIP 10 NORTH, RANGE 02 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- PLAT SHOWS ALL EASEMENTS OF RECORD.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED.

Public Utility Easements

- PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT ARE GRANTED FOR THE COMMON JOINT USE OF:
- PUBLIC SERVICE COMPANY OF NEW MEXICO ("PNM"), A NEW MEXICO CORPORATION, (PNM ELECTRIC) FOR INSTALLATION, MAINTENANCE AND SERVICE OF OVERHEAD AND UNDERGROUND ELECTRICAL LINES, TRANSFORMERS, AND OTHER EQUIPMENT AND RELATED FACILITIES REASONABLY NECESSARY TO PROVIDE ELECTRICAL SERVICES.
 - NEW MEXICO GAS COMPANY FOR INSTALLATION, MAINTENANCE, AND SERVICE OF NATURAL GAS LINES, VALVES AND OTHER EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE NATURAL GAS SERVICES.
 - QWEST CORPORATION D/B/A CENTURYLINK QC FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE COMMUNICATION SERVICES.
 - CABLE TV FOR THE INSTALLATION, MAINTENANCE, AND SERVICE OF SUCH LINES, CABLE, AND OTHER RELATED EQUIPMENT AND FACILITIES REASONABLY NECESSARY TO PROVIDE CABLE SERVICES.

INCLUDED IS THE RIGHT TO BUILD, REBUILD, CONSTRUCT, RECONSTRUCT, LOCATE, RELOCATE WITHIN THE EASEMENT CHANGE, REMOVE, REPLACE, MODIFY, RENEW, OPERATE AND MAINTAIN FACILITIES FOR PURPOSES DESCRIBED ABOVE, TOGETHER WITH FREE ACCESS TO, FROM AND OVER SAID EASEMENTS, WITH THE RIGHT AND PRIVILEGE OF GOING UPON, OVER AND ACROSS ADJOINING LANDS OF GRANTOR FOR THE PURPOSES SET FORTH HEREIN AND WITH THE RIGHT TO UTILIZE THE RIGHT OF WAY AND EASEMENT TO EXTEND SERVICES TO CUSTOMERS OF GRANTEE, INCLUDING SUFFICIENT WORKING AREA SPACE FOR ELECTRIC TRANSFORMERS, WITH THE RIGHT AND PRIVILEGE TO TRIM AND REMOVE TREES, SHRUBS OR BUSHES WHICH INTERFERE WITH THE PURPOSES SET FORTH HEREIN, NO BUILDING, SIGN, POOL (ABOVEGROUND OR SUBSURFACE), HOT TUB, CONCRETE OR WOOD POOL DECKING, OR OTHER STRUCTURE SHALL BE ERECTED OR CONSTRUCTED ON SAID EASEMENTS, NOR SHALL WELL BE DRILLED OR OPERATED THEREON. PROPERTY OWNERS SHALL BE SOLELY RESPONSIBLE FOR CORRECTING ANY VIOLATIONS OF NATIONAL ELECTRICAL SAFETY CODE BY CONSTRUCTION OF POOLS, DECKING, OR ANY STRUCTURES ADJACENT TO OR NEAR EASEMENTS SHOWN ON PLAT.

EASEMENTS FOR ELECTRIC TRANSFORMER/SWITCHGEARS, AS INSTALLED, SHALL EXTEND TEN (10) FEET IN FRONT OF TRANSFORMER/SWITCHGEAR DOORS AND FIVE (5) FEET ON EACH SIDE.

Disclaimer

IN APPROVING THIS PLAT, PUBLIC SERVICE COMPANY OF NEW MEXICO (PNM), QWEST CORPORATION D/B/A CENTURYLINK QC AND NEW MEXICO GAS COMPANY (NMGC) DID NOT CONDUCT A TITLE SEARCH OF THE PROPERTIES SHOWN HEREON. CONSEQUENTLY, PNM, QWEST CORPORATION D/B/A CENTURYLINK QC AND NMGC DO NOT WAIVE OR RELEASE ANY EASEMENT OR EASEMENT RIGHTS WHICH HAVE BEEN GRANTED BY PRIOR PLAT, REPLAT OR OTHER DOCUMENT AND WHICH ARE NOT SHOWN SPECIFICALLY DESCRIBED AND ON THIS PLAT.

RECORDING STAMP

Legal Description

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 14, T. 10 N., R. 2 E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT NUMBERED ONE-A (1-A) OF THE PLAT OF LOT 1-A, SHELL SUBDIVISION NO. 2, BEING SITUATE WITHIN, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 6, 1991, IN PLAT BOOK 91C, FOLIO 243, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE–NAD 1983) AND BY GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND NO. 4 REBAR WITH RED PLASTIC CAP (ILLEGIBLE) FROM WHENCE A TIE TO A.G.R.S. MONUMENT "2_H12" BEARS N 40°06'54" E, A DISTANCE OF 873.56 FEET;

THENCE FROM SAID POINT OF BEGINNING S 89°35'12" E, A DISTANCE OF 75.01 FEET TO AN ANGLE POINT, MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE S 71°02'34" E, A DISTANCE OF 186.49 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF COORS BOULEVARD, N.W., MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE ALONG SAID WEST RIGHT OF WAY LINE S 19°00'05" W, A DISTANCE OF 219.39 FEET TO A POINT OF CURVATURE, MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 37.47 FEET, A RADIUS OF 30.00 FEET, A DELTA ANGLE OF 71°33'45", A CHORD BEARING OF S 54°46'58" W, AND A CHORD LENGTH OF 35.08 FEET,.; TO A POINT LYING ON THE NORTH RIGHT OF WAY LINE OF HANOVER ROAD, N.W., MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 89°25'44" W, A DISTANCE OF 154.01 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°32'28" E, A DISTANCE OF 287.27 FEET TO THE POINT OF BEGINNING CONTAINING 1.3408 ACRES (58,406 SQUARE FEET) MORE OR LESS.

Solar Note:

NO PROPERTY WITHIN THE AREA OF REQUESTED FINAL ACTION SHALL AT ANY TIME BE SUBJECT TO A DEED RESTRICTION, COVENANT, OR BINDING AGREEMENT PROHIBITING SOLAR COLLECTORS FROM BEING INSTALLED ON BUILDINGS OR ERECTED ON THE LOTS OF PARCELS WITHIN THE AREA OF THIS PLAT.

Free Consent and Dedication

THE REPLAT SHOWN HEREON IS WITH THE FREE CONSENT AND IN ACCORDANCE WITH THE DESIRES OF THE UNDERSIGNED OWNER. EXISTING PUBLIC UTILITY EASEMENTS SHOWN HEREON FOR THE COMMON AND JOINT USE OF GAS, ELECTRICAL POWER AND COMMUNICATION SERVICES FOR BURIED AND/OR OVERHEAD DISTRIBUTION LINES, CONDUITS, AND PIPES FOR UNDERGROUND UTILITIES WHERE SHOWN OR INDICATED, AND INCLUDING THE RIGHT OF INGRESS AND EGRESS FOR CONSTRUCTION AND MAINTENANCE, AND THE RIGHT TO TRIM INTERFERING TREES AND SHRUBS. SAID OWNER DOES HEREBY CERTIFY THAT THIS SUBDIVISION IS THEIR FREE ACT AND DEED. SAID OWNERS WARRANT THAT THEY HOLD AMONG THEM COMPLETE AND INDEFEASIBLE TITLE IN FEE SIMPLE TO THE LAND SUBDIVIDED.

SAID OWNER DOES HEREBY GRANT ALL EASEMENTS AS SHOWN HEREON WITH LISTED BENEFICIARIES AND STIPULATIONS.

SAID OWNER DOES HEREBY DEDICATE ALL STREETS AND PUBLIC RIGHTS OF WAY SHOWN HEREON TO THE CITY OF ALBUQUERQUE IN FEE SIMPLE WITH WARRANTY COVENANTS.

MCDONALD'S REAL ESTATE COMPANY, SENIOR COUNSEL

DATE

Acknowledgment

STATE OF (ILLINOIS) SS
COUNTY OF)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ DAY OF _____, 2017 BY
MCDONALD'S REAL ESTATE COMPANY, SENIOR COUNSEL

BY _____ MY COMMISSION EXPIRES: _____
NOTARY PUBLIC

Plat of
Lot 1-A
Shell Subdivision No. 2
Section 14, Township 10 North, Range 2 East, N.M.P.M
City of Albuquerque, Bernalillo County, New Mexico
February 2017

Project No. _____

Application No. 17DRB-

Utility Approvals

PNM	DATE
NEW MEXICO GAS COMPANY	DATE
QWEST CORPORATION D/B/A CENTURYLINK QC	DATE
COMCAST	DATE
CITY SURVEYOR	DATE
TRAFFIC ENGINEERING, TRANSPORTATION DEPARTMENT	DATE
A.B.C.W.U.A.	DATE
PARKS AND RECREATION DEPARTMENT	DATE
AMAFCA	DATE
CITY ENGINEER	DATE
DRB CHAIRPERSON, PLANNING DEPARTMENT	

TREASURER CERTIFICATE

LARRY W. MEDRANO
N.M.P.S. No. 11993

DATE



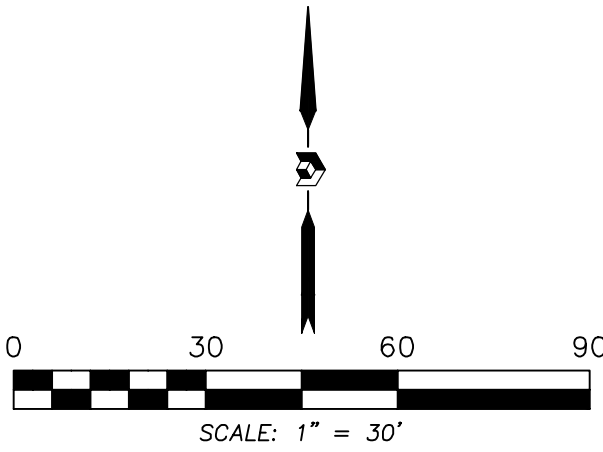
INDEXING INFORMATION FOR COUNTY CLERK
OWNER MCDONALD'S CORPORATION
SECTION 14, TOWNSHIP 10 N, RANGE 2 E,
SUBDIVISION SHELL SUBDIVISION NO. 2
UPC NO. 101-105-806-507-321-701

Sheet 1 of 2

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Plat of

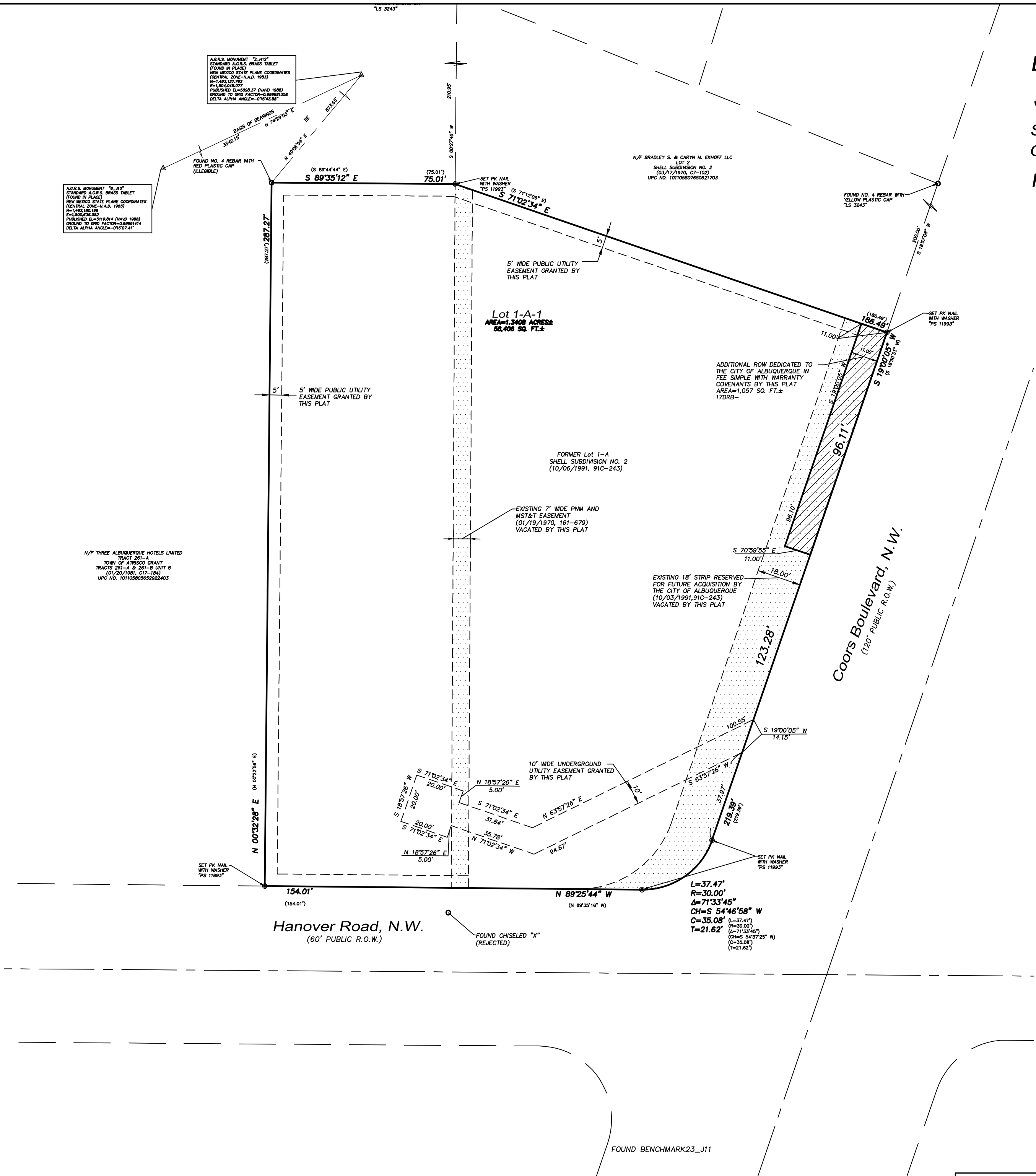
Lot 1-A
Shell Subdivision No. 2
Section 14, Township 10 North, Range 2 East, N.M.P.M
City of Albuquerque, Bernalillo County, New Mexico
February 2017



Legend

N 90°00'00" E	MEASURED BEARINGS AND DISTANCES
(N 90°00'00" E)	RECORD BEARINGS AND DISTANCES
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY
△	FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED

RECORDING STAMP



INDEXING INFORMATION FOR COUNTY CLERK
OWNER McDONALD'S CORPORATION
SECTION 14, TOWNSHIP 10 N., RANGE 2 E.
SUBDIVISION SHELL SUBDIVISION NO. 2
UPC NO. 101-105-806-507-321-701

ALTA/NSPS Land Title Survey

Tract 1-A Shell Subdivision No. 2 City of Albuquerque, Bernalillo County, New Mexico May 2016

LOT NUMBERED ONE-A (1-A) OF THE PLAT OF LOT 1-A, SHELL SUBDIVISION NO. 2, BEING SITUATE WITHIN PROJECTED SECTION 14, T. 10 N., R. 2 E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 6, 1991, IN PLAT BOOK 91C, FOLIO 243.

Legal Description Per Field Survey

A TRACT OF LAND LYING AND SITUATE WITHIN THE TOWN OF ATRISCO GRANT PROJECTED SECTION 14, T. 10 N., R. 2 E., N.M.P.M., BERNALILLO COUNTY, NEW MEXICO, COMPRISING OF LOT NUMBERED ONE-A (1-A) OF THE PLAT OF LOT 1-A, SHELL SUBDIVISION NO. 2, BEING SITUATE WITHIN, AS THE SAME IS SHOWN AND DESIGNATED ON THE PLAT THEREOF, FILED IN THE OFFICE OF THE COUNTY CLERK OF BERNALILLO COUNTY, NEW MEXICO ON OCTOBER 6, 1991, IN PLAT BOOK 91C, FOLIO 243, BEING MORE PARTICULARLY DESCRIBED BY NEW MEXICO STATE PLANE COORDINATE SYSTEM GRID BEARINGS (CENTRAL ZONE-NAD 1983) AND BY GROUND DISTANCES (US SURVEY FOOT) AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A FOUND NO. 4 REBAR WITH RED PLASTIC CAP (ILLEGIBLE) FROM WHENCE A TIE TO A.G.R.S. MONUMENT "2_H12" BEARS N 40°06'54" E, A DISTANCE OF 873.56 FEET;

THENCE FROM SAID POINT OF BEGINNING S 89°35'12" E, A DISTANCE OF 75.01 FEET TO AN ANGLE POINT, MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE S 71°02'34" E, A DISTANCE OF 186.49 FEET TO THE NORTHEAST CORNER OF DESCRIBED TRACT, LYING ON THE WEST RIGHT OF WAY LINE OF COORS BOULEVARD, N.W., MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE ALONG SAID WEST RIGHT OF WAY LINE S 19°00'05" W, A DISTANCE OF 219.39 FEET TO A POINT OF CURVATURE, MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE LEAVING SAID WEST RIGHT OF WAY LINE, ALONG A CURVE TO THE RIGHT, HAVING AN ARC LENGTH OF 37.47 FEET, A RADIUS OF 30.00 FEET, A DELTA ANGLE OF 71°33'45", A CHORD BEARING OF S 54°46'58" W, AND A CHORD LENGTH OF 35.08 FEET, TO A POINT LYING ON THE NORTH RIGHT OF WAY LINE OF HANOVER ROAD, N.W., MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE ALONG SAID NORTH RIGHT OF WAY LINE, N 89°25'44" W, A DISTANCE OF 154.01 FEET TO THE SOUTHWEST CORNER OF DESCRIBED TRACT, MARKED BY A SET PK NAIL WITH WASHER "PS 11993";

THENCE LEAVING SAID NORTH RIGHT OF WAY LINE, N 00°32'28" E, A DISTANCE OF 287.27 FEET TO THE POINT OF BEGINNING CONTAINING 1.3408 ACRES (58,406 SQUARE FEET) MORE OR LESS.

Property Information Per County Assessor

UPC # 101-105-806-507-321-701
OWNER: McDONALD'S CORPORATION
PROPERTY ADDRESS: 1501 COORS BOULEVARD, N.W.

TRACT 1-A SHELL SUBDIVISION NO. 2

Access Note

INGRESS AND EGRESS TO THE PREMISES IS PROVIDED BY COORS BOULEVARD, N.W. AND HANOVER ROAD, N.W., THE SAME BEING PAVED AND DEDICATED RIGHTS OF WAY MAINTAINED BY THE CITY OF ALBUQUERQUE.

Surveyor's Certificate

I, LARRY W. MEDRANO, A PROFESSIONAL LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, LICENSE NUMBER 11993, DO HEREBY CERTIFY TO McDONALD'S CORPORATION, McDONALD'S USA, LLC, A DELAWARE LIMITED LIABILITY COMPANY, McDONALD'S REAL ESTATE COMPANY, A DELAWARE CORPORATION, CHICAGO TITLE INSURANCE COMPANY, AS FOLLOWS:

THAT THE ALTA/NSPS LAND TITLE SURVEY ON WHICH THIS CERTIFICATE APPEARS (THE SURVEY) IS BASED UPON A FIELD SURVEY CONDUCTED BY ME OR UNDER MY SUPERVISION ON APRIL 28, 2016 AND THAT SUCH FIELD SURVEY AND THIS SURVEY WERE MADE IN ACCORDANCE WITH "THE MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS", JOINTLY ADOPTED BY ALTA AND NSPS IN 2016, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a)(b), 7(a)(b), 8, 10(a), 10(b), 11(a)(b), 12, 13, 14, 15, 16, 17, 18, 19, 20(a), 21 AND 22 OF TABLE A THEREOF. THE UNDERSIGNED FURTHER CERTIFIES THAT IN MY PROFESSIONAL OPINION, AS A LAND SURVEYOR REGISTERED IN THE STATE OF NEW MEXICO, THE RELATIVE POSITIONAL ACCURACY OF THIS SURVEY DOES NOT EXCEED THAT WHICH IS SPECIFIED THEREIN.

FOR PURPOSES OF IDENTIFYING EASEMENTS, RESERVATIONS AND PRIVATE RESTRICTIONS OF RECORD, I HAVE REVIEWED AND RELIED ON CHICAGO TITLE INSURANCE COMPANY COMMITMENT NUMBER FT000199703 DATED APRIL 16, 2016.

I FURTHER CERTIFY THAT THIS SURVEY MEETS THE MINIMUM STANDARDS REQUIREMENTS FOR LAND SURVEYS AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR ENGINEERS AND SURVEYORS.

TOPOGRAPHY BY FIELD SURVEYS USING ROBOTIC TOTAL STATION MEASUREMENTS BASED ON DIFFERENTIAL LEVELS UTILIZING AGRS CONTROL. ELEVATIONS BASED ON AGRS MONUMENT "23_J11" (NAD 83/NAVD 1988).

THIS SURVEY MEETS THE MINIMUM STANDARDS FOR TOPOGRAPHIC SURVEYING IN NEW MEXICO AS ADOPTED BY THE NEW MEXICO BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND SURVEYORS.

LARRY W. MEDRANO
NEW MEXICO
11993
REGISTERED PROFESSIONAL SURVEYOR

LARRY W. MEDRANO
N.M.P.S. No. 11993

DATE

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199
505.856.5700 PHONE
505.856.7900 FAX

Notes Corresponding to Schedule B-II

- | SCH. B-II
ITEM
NO. | DESCRIPTION |
|--------------------------|---|
| 9. | RESERVATIONS, EXCEPTIONS AND PROVISIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA, AND IN THE ACTS AUTHORIZING THE ISSUANCE THEREOF, RECORDED: IN BOOK 35, PAGE 91, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |
| 10. | EASEMENTS, AND OTHER MATTERS SHOWN ON THE RECORDED MAP OF SAID SUBDIVISION FILED MARCH 17, 1970, IN PLAT BOOK C7, FOLIO 102 AND FILED OCTOBER 30, 1991, IN PLAT BOOK 91C, FOLIO 243, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. REFERENCE IS MADE TO SAID MAP FOR FULL PARTICULARS. |
| 11. | EASEMENT DATED DECEMBER 29, 1969, BY AND BETWEEN SHELL OIL COMPANY AND PUBLIC SERVICE COMPANY OF NEW MEXICO, A NEW MEXICO CORPORATION AND THE MOUNTAIN STATES TELEPHONE AND TELEGRAPH COMPANY, A COLORADO CORPORATION, FILED JANUARY 19, 1970, IN BOOK MISC. 161, PAGE 679, RECORDS OF BERNALILLO COUNTY, NEW MEXICO. |

RIGHTS OF PARTIES IN POSSESSION AS TENANTS ONLY UNDER UNRECORDED RENTAL OR LEASE AGREEMENTS.

12. ANY POSSIBLE ASSESSMENTS FOR PAVING OR SEWER AND WATER EXTENSIONS WHICH ARE OR MIGHT BE A LIEN BY LAW, BUT HAVE NOT YET BEEN RECORDED, IN COMPLIANCE WITH SUBSECTION D OF 13.14.18.10 NMAC, THE COMPANY HEREBY WAIVES ITS RIGHT TO DEMAND ARBITRATION PURSUANT TO THE TITLE INSURANCE ARBITRATION RULES OF THE AMERICAN LAND TITLE ASSOCIATION. NOTHING HEREIN PROHIBITS THE ARBITRATION OF ALL ARBITRABLE MATTERS WHEN AGREED TO BY BOTH THE COMPANY AND THE INSURED.

Key Note Legend

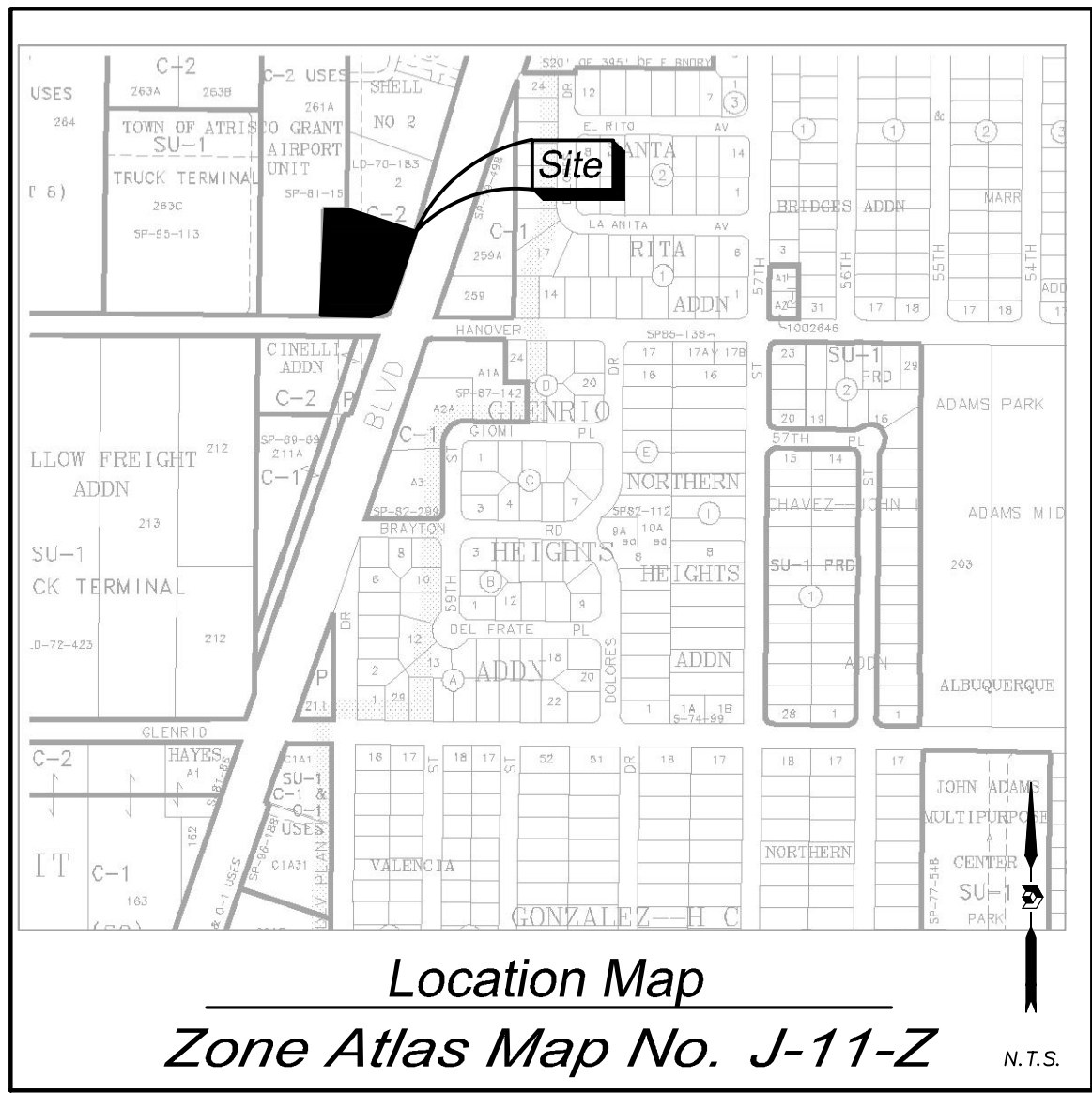
- ☐ AFFECTS SUBJECT PROPERTY: AS SHOWN
- ☐ AFFECTS SUBJECT PROPERTY: NON-SURVEY MATTER
- DOES NOT AFFECT SUBJECT PROPERTY

Notes

- FIELD SURVEY PERFORMED ON APRIL 27 THROUGH MAT 8, 2016
- ALL BEARINGS ARE GRID BEARINGS: N.M. STATE PLANE COORDINATES, CENTRAL ZONE-NAD 1983.
- ALL DISTANCES ARE GROUND DISTANCES: U.S. SURVEY FOOT.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION OF ABOVE GROUND APPURTENANCES AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
- THIS PROPERTY LIES WITHIN THE TOWN OF ATRISCO GRANT, PROJECTED SECTION 14, TOWNSHIP 10 NORTH, RANGE 02 EAST, NEW MEXICO PRINCIPAL MERIDIAN, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NEW MEXICO.
- NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS.
- NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED, AND AVAILABLE FROM THE CONTROLLING JURISDICTION. NO OBSERVABLE EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS.
- NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
- EASEMENT BEARINGS AND DISTANCES SHOWN HEREON ARE RECORD AND EASEMENTS HAVE BEEN ROTATED TO MATCH BASIS OF BEARINGS AND BOUNDARY UNLESS OTHERWISE INDICATED
- ELEVATION DATUM IS BASED ON NAVD 1988 FROM AGRS MONUMENT "23_J11", PUBLISHED ELEVATION (FEET) = 5095.705
- THIS MAP HAS BEEN PRODUCED ACCORDING TO PROCEDURES THAT HAVE BEEN DEMONSTRATED TO PRODUCE DATA THAT MEETS OR EXCEEDS THE MINIMUM STANDARDS FOR A TOPOGRAPHIC MAP COMPILED AT A SCALE OF 1"=20' WITH A CONTOUR INTERVAL OF ONE FOOT.
- GPS CALIBRATION BASED ON ACS MONUMENTS "6_J10" AND "2_H12", AVERAGE PROJECT GROUND TO GRID SCALE FACTOR= 0.999647749
- NMDOT TRAFFIC CONTROL PERMIT NO. 2016.291
- NM ONE CALL TICKET NO. 16AP220416

Statement of Encroachments

- A ENCROACHMENT OF MENU BOARD ONTO PUBLIC UTILITY EASEMENT TO AN EXTANT OF 3.8'



Zoning Data

ZONING DESIGNATION = C-2

NUMBER OF STRIPED PARKING SPACES:

REGULAR = 65
RV = 2
HANDICAPPED = 4
TOTAL = 71

Utility Company Contacts

PNM - ELECTRIC
MIKE MOYERS
4201 EDITH BOULEVARD, NE
ALBUQUERQUE, NM 87107
PHONE: (505) 241-3471
FAX: (505) 241-3415

NEW MEXICO GAS COMPANY
MARK BOUCHARD, OPERATIONS MANAGER
DESIGN & SCHEDULING, METRO SERVICE CENTER
PO BOX 97500
ALBUQUERQUE, NM 87199-7500
PHONE: (505) 679-3144
EMAIL: Mark.Bouchard@nmgeo.com

CENTURYLINK
JASON JUBERT
400 TIERRAS STA. 520
ALBUQUERQUE, NM 87102
PHONE: (505) 245-6694
FAX: (505) 245-6733

COMCAST
MIKE MORTUS
4611 MONTBEL PLACE, NE
ALBUQUERQUE, NM 87107
PHONE: (505) 271-3644

Government Agencies

CITY OF ALBUQUERQUE
DEVELOPMENT REVIEW BOARD
FOR SITE PLAN & BUILDING PERMIT
JACK CLOUD
P.O. BOX 1239
ALBUQUERQUE, NM 87102
PHONE: 505-924-3880

CITY OF ALBUQUERQUE
HYDROLOGY DRAINAGE APPROVAL
RITA HERMAN
P.O. BOX 1293
ALBUQUERQUE, NM 87102
PHONE: 505-924-3695

CITY OF ALBUQUERQUE
DEPARTMENT OF MUNICIPAL DEVELOPMENT
MELISSA LOZOYA
P.O. BOX 1293
ALBUQUERQUE, NM 87102
PHONE: 505-768-3661

CITY OF ALBUQUERQUE
BUILDING SAFETY DIVISION FOR BUILDING PERMIT
LUZ MONTOYA
P.O. BOX 1239
ALBUQUERQUE, NM 87102
PHONE: 505-924-3959

Flood Note

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONES "AE" AND "X" OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 3500100327H, WHICH BEARS AN EFFECTIVE DATE OF AUGUST 16, 2002 AND IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

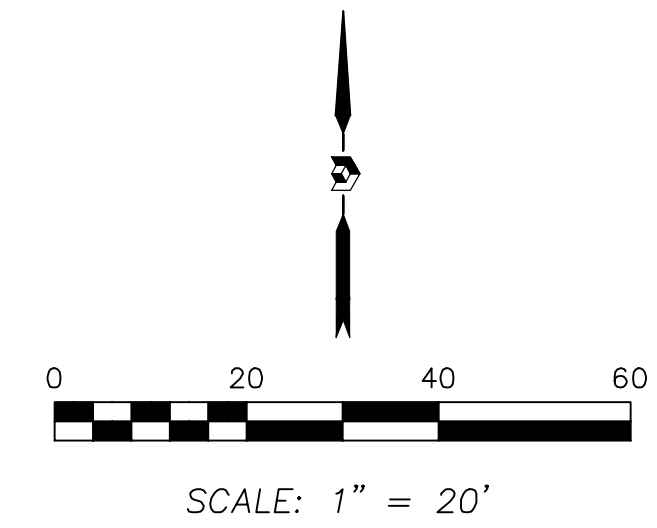
ALTA/NSPS Land Title Survey

Tract 1-A

Shell Subdivision No. 2

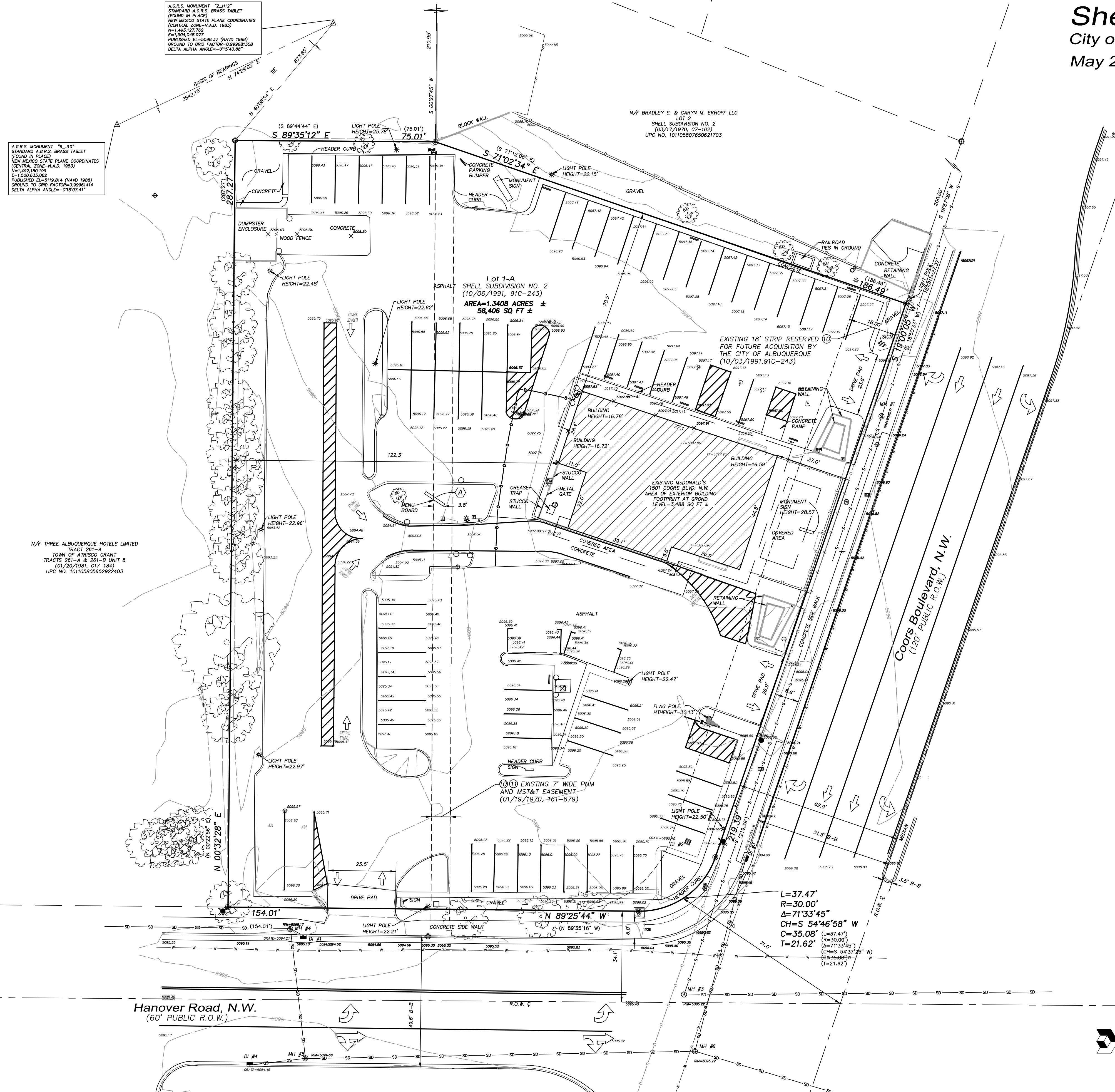
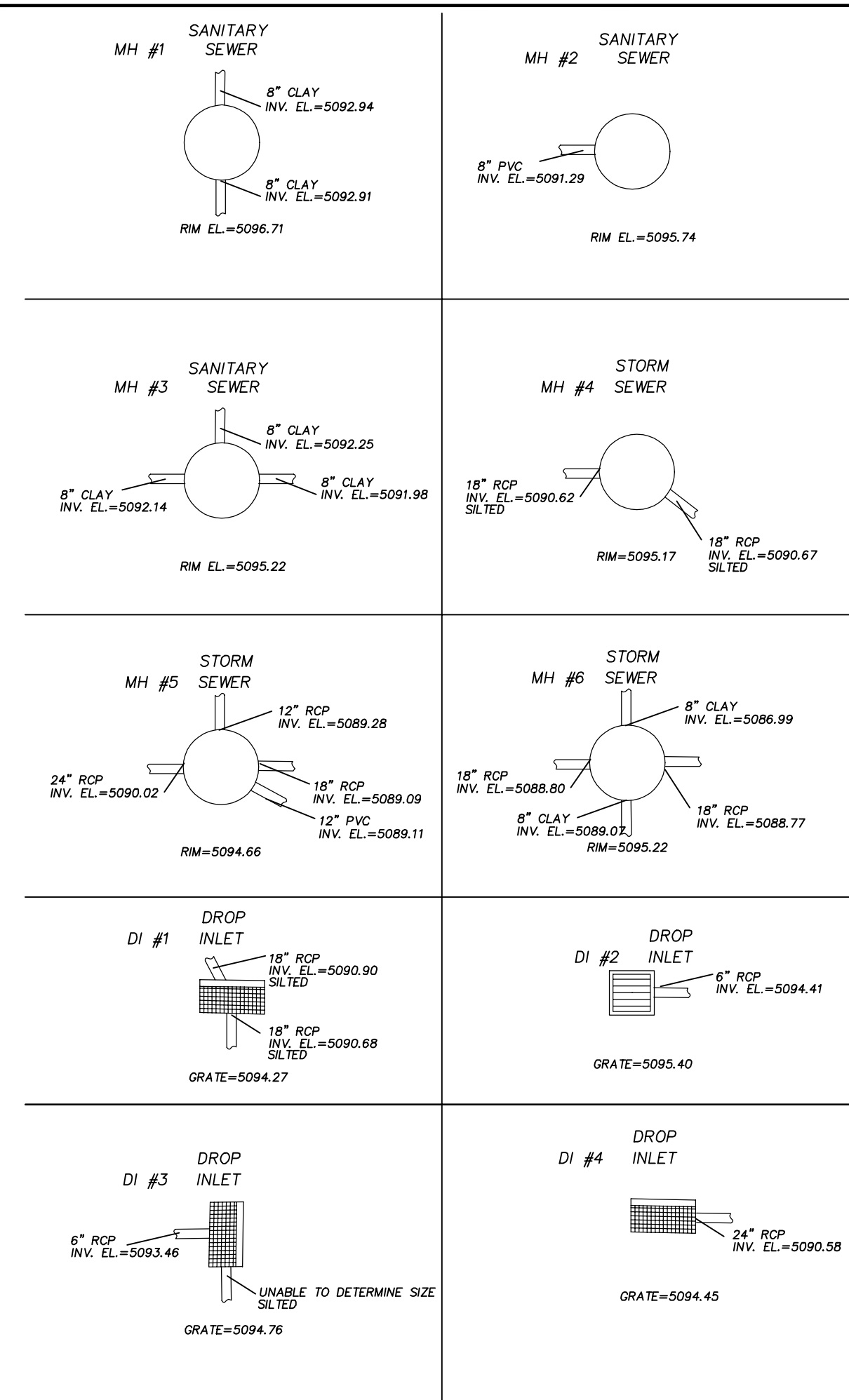
City of Albuquerque, Bernalillo County, New Mexico

May 2016



Legend

N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARING AND DISTANCES	
○	FOUND AND USED MONUMENT AS DESIGNATED
⊙	DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP "PS 11993" SET THIS SURVEY CONTROL POINT SET THIS SURVEY
△	FOUND ALUMINUM ADMS MONUMENT AS DESIGNATED
●	SERVICE/DROP POLE AS DESIGNATED
+	UTILITY POLE
—	GUY WIRE
⊞	ELECTRIC BOX
⊞	ELECTRIC METER
⊞	LIGHT POLE
⊞	TRANSFORMER
⊞	TRAFFIC SIGNAL BOX
⊞	TRAFFIC LIGHT
⊞	IRRIGATION CONTROL VALVE
⊞	WATER METER
⊞	WATER VALVE
⊞	FIRE HYDRANT
⊞	SANITARY SEWER MANHOLE
⊞	STORM SEWER MANHOLE
⊞	SIGN
⊞	GAS METER
⊞	MEDIAN INLET
⊞	CURB INLET
⊞	GUARD POST
⊞	TREE
⊞	HANDICAP PARKING SPACE
⊞	SPIGOT
⊞	PARKING CONCRETE BUMPER
⊞	CURB AND GUTTER
—	OVERHEAD UTILITY LINE
—	GAS LINE
—	WATER LINE
—	SANITARY SEWER LINE
—	STORM SEWER LINE
—	METAL FENCE
—	CHAIN LINK FENCE
—	ASPHALT
—	UTILITY PEDISTAL



N/F THREE ALBUQUERQUE HOTELS LIMITED
TRACT 261-A
TOWN OF ATRISCO GRANT
TRACTS 261-A & 261-B UNIT B
(01/20/1981, 517-194)
UPC NO. 10110580562922403

PRECISION
SURVEYS, INC.

OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90436
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX

THIS ZONE PROVIDES SUITABLE SITES FOR OFFICES, FOR MOST SERVICE AND COMMERCIAL ACTIVITIES, AND FOR CERTAIN SPECIFIED INSTITUTIONAL USES.

- (A) PERMISSIVE USES. PERMISSIVE USES, PROVIDED THERE IS NO OUTDOOR STORAGE EXCEPT PARKING AND AS SPECIFICALLY ALLOWED BELOW:
- (1) ANTENNA, UP TO 65 FEET IN HEIGHT.
 - (2) CLINIC.
 - (3) COPYING, BLUEPRINTING.
- INSTITUTION:
- (4) CLUB.
 - (5) DAY CARE CENTER.
 - (6) LIBRARY.
 - (7) MUSEUM.
 - (8) SCHOOL, INCLUDING CARETAKER'S MOBILE HOME.
 - (9) OFFICE.
 - (10) PARK-AND-RIDE TEMPORARY FACILITIES.
- (7) PUBLIC UTILITY STRUCTURE, PROVIDED ITS LOCATION IS IN ACCORD WITH AN ADOPTED FACILITY PLAN AND A SITE DEVELOPMENT PLAN FOR BUILDING PERMIT PURPOSES HAS BEEN APPROVED BY THE PLANNING COMMISSION.
- (8) RESIDENTIAL USES PERMISSIVE IN THE R-3 ZONE WITH THE FOLLOWING REQUIREMENTS AND EXCEPTIONS:
- (A) RELATIONSHIP TO SECTOR DEVELOPMENT PLANS.
- (1) WHERE SU-2 ZONES REFER TO THE C-2 ZONE AND SPECIFY REGULATIONS FOR RESIDENTIAL USES THAT IMPOSE DIFFERENT RESTRICTIONS AND/OR PROVISIONS OF THE SU-2 ZONES SHALL PREVAIL.
 - (2) WHERE SU-2 ZONES REFER TO THE C-2 ZONE BUT DO NOT SPECIFY PROVISIONS FOR THE REGULATION OF RESIDENTIAL USES, RESIDENTIAL DEVELOPMENT SHALL BE REGULATED BY SECTION (B)(6) BELOW.
- (B) SITE, OR ANY PORTION THEREOF, SHALL BE LOCATED WITHIN 660 FEET FROM THE RIGHT-OF-WAY OR OF A MAJOR OR ENHANCED TRANSIT CORRIDOR OR WITHIN A COMMUNITY OR MAJOR ACTIVITY CENTER AS DESIGNATED BY THE COMPREHENSIVE PLAN, OR BE LOCATED WITHIN A DESIGNATED METROPOLITAN REDEVELOPMENT AREA (MRA).
- (C) HOUSES ARE NOT ALLOWED.
- (D) RESIDENTIAL USES SHALL BE PART OF A VERTICAL MIX OF USES (E.G., RESIDENTIAL OVER COMMERCIAL OR RESIDENTIAL OVER OFFICE).
- (E) WHERE RESIDENTIAL USES ARE PROPOSED, THE FOLLOWING REGULATIONS SHALL APPLY:
- (1) AREA: MINIMUM OF 0.5 ACRES.
 - (2) HEIGHT: PURSUANT TO THE R-3 ZONE.
 - (3) NUMBER OF DWELLING UNITS: MAXIMUM 30 DWELLING UNITS PER ACRE; HOWEVER, RESIDENTIAL STRUCTURES CONSTRUCTED IN APPLICABLE SITES LOCATED WITHIN 660 FEET OF THE CENTERLINE OF SAN MATEO BLVD., CENTRAL AVE. AND MONTGOMERY BLVD. MAY HAVE UP TO 75 DWELLING UNITS PER ACRE.
 - (4) DENSITY: THE TOTAL SQUARE FOOTAGE OF ALL BUILDINGS SHALL ACHIEVE A MINIMUM FLOOR AREA RATIO OF 0.3.
 - (5) USABLE OPEN SPACE: PURSUANT TO THE R-3 ZONE, AT LEAST 50% OF THE REQUIRED OPEN SPACE SHALL BE PROVIDED IN THE FORM OF SHARED OR AGGREGATE OPEN SPACE.
 - (6) PARKING REQUIREMENTS AND ALLOWANCES:
 - (A) ONE SPACE/UNIT.
 - (B) SHARED PARKING: AS PROVIDED IN § 14-16-3-1(C)(6)(B) EXCEPT THAT PARKING FOR RESIDENTIAL USES IS ELIGIBLE FOR A SHARED PARKING EXCEPTION.
 - (C) ON-STREET PARKING CREDIT: ONE SPACE PER AVAILABLE, ADJACENT ON-STREET PARKING SPACE.
 - (7) APPROVAL PROCESS: SITE DEVELOPMENT PLAN FOR BUILDING PERMIT APPROVAL BY THE ENVIRONMENTAL PLANNING COMMISSION FOR SITES FIVE ACRES OR IN SIZE AND LARGER, SITE DEVELOPMENT PLAN APPROVAL BY THE PLANNING DIRECTOR OR HIS/HER DESIGNEE FOR SITES UNDER FIVE ACRES IN SIZE.
 - (8) FOR NEW RESIDENTIAL DEVELOPMENT, IN ADDITION TO THE APPLICABLE GENERAL REGULATIONS IN THE CITY ZONING CODE, THE FOLLOWING REGULATIONS MUST ALSO BE MET:
 - (A) BUILDING FRONTAGE AND ARTICULATION. THE FOLLOWING REGULATIONS SHALL APPLY TO ALL FACADES FRONTING A STREET:
 - (i) THE DESIGN STANDARDS OF § 14-16-3-318(C)(2)(A), (B), (C), (D) AND (E) SHALL APPLY.
 - (ii) THE DESIGN STANDARDS OF § 14-16-3-318 (D)(2), EXCEPT SECTION (H), SHALL APPLY.
 - (iii) A MINIMUM OF 30% OF THE GROUND FLOOR SHALL HAVE WINDOWS. FOR FACADES WITH DOORS, THE PERCENTAGE OF WINDOWS MAY BE REDUCED TO 20%.
 - (iv) UNDER FLOORS SHALL HAVE A MINIMUM OF 20% GLAZING.
 - (v) THE PRIMARY ENTRY TO THE BUILDING SHALL BE ORIENTED TOWARD THE STREET OR WITHIN 50 FEET OF A CENTRAL COURTYARD.
 - (B) ALLEYS: EXISTING ALLEYS SHOULD REMAIN IN PLACE TO PROVIDE ACCESS TO A SITE.
 - (9) BUILDING PLACEMENT:
 - (i) BUILDINGS SHALL BE SET BACK 0 TO 15 FEET FROM PROPERTY LINES ADJACENT TO A STREET.
 - (ii) SIDE AND REAR SETBACKS SHALL BE PURSUANT TO THE UNDERLYING ZONE.
 - (10) PEDESTRIAN ACCESS: RESIDENTIAL USES SHALL PROVIDE DIRECT PEDESTRIAN CONNECTIONS FROM THE RESIDENTIAL BUILDING(S) TO ALL STREET SIDEWALKS AND TO OTHER BUILDING(S) ON THE PREMISE OR PROJECT SITE. SEE § 14-16-3-1(H).
- (E) LANDSCAPING:
- (i) BUILDING SETBACKS NOT USED FOR PEDESTRIAN ACTIVITY SHALL HAVE A MINIMUM LANDSCAPING AREA. SIDE ASPHALT IS NOT A PERMITTED MATERIAL WITHIN THE SETBACK AREA.
 - (ii) LANDSCAPING ON ROOF DECKS MAY BE COUNTED TOWARD THE REQUIRED AREA.
- (F) PARKING PLACEMENT: PARKING SHALL BE LOCATED TO THE REAR OR TO THE SIDE OF A BUILDING, IN A COMMON PARKING AREA LOCATED INTERIOR TO THE BLOCK, OR IN A COMBINATION OF THE ABOVE. PARKING IS NOT PERMITTED BETWEEN A BUILDING AND THE STREET ON WHICH IT FRONTS. PARKING AREAS BETWEEN A BUILDING AND A SIDE STREET ARE LIMITED TO 64 FEET IN WIDTH AND SHALL HAVE LANDSCAPED BUFFERS FACING THE STREETS WITH A MINIMUM DEPTH OF FOUR FEET AND A SCREEN WALL WITH A MINIMUM HEIGHT OF 36 INCHES. WALL MATERIAL SHALL BE AS REGULATED BY § 14-16-3-19(C).
- (G) SIGNAGE: SIGNAGE SHALL BE AS REGULATED BY THE O-1 ZONE, WITH THE FOLLOWING EXCEPTIONS:
- (i) BUILDING-MOUNTED SIGNS SHALL BE LIMITED TO 25 SQUARE FEET.
 - (ii) NO MORE THAN ONE WALL-MOUNTED SIGN PER BUILDING FACADE.
 - (iii) FREESTANDING SIGNS ARE NOT PERMITTED ON PREMISES OF UNDER FIVE ACRES.
 - (iv) THE MAXIMUM HEIGHT OF FREESTANDING SIGNS IS EIGHT FEET.
- (9) REDEVELOPMENT OF EXISTING STRUCTURES THAT RESULTS IN A NET 25% INCREASE IN SQUARE FOOTAGE SHALL COMPLY WITH THE PRECEDING REGULATIONS AS DETERMINED BY THE PLANNING DIRECTOR OR HIS OR HER DESIGNEE.
- (9) SIGN, ON-PREMISE, AS PROVIDED IN § 14-16-3-5 OF THIS ZONING CODE, AND FURTHER PROVIDED:
- (A) LOCATION.
- (1) ONLY WALL SIGNS AND FREE-STANDING SIGNS ARE PERMITTED IN THE ESTABLISHED OR REDEVELOPING AREAS.
 - (2) ONLY WALL SIGNS ARE PERMITTED IN THE DEVELOPING OR SEMI-URBAN AREAS EXCEPT THAT FREE-STANDING SIGNS DESIGNATED TO BE READ FROM THE INTERSTATE HIGHWAY AND WITH AT LEAST ONE FACE WITHIN 150 FEET OF A MOVING THROUGH LANE OF AN INTERSTATE HIGHWAY, EXCLUDING INTERCHANGE RAMP, ARE ALSO PERMITTED.
 - (3) SEPARATION.
 - (A) NO SIGN SHALL BE NEARER THAN 300 FEET TO ANY OTHER OFF-PREMISE SIGN.
 - (B) NO SIGN WITHIN 660 FEET OF THE NEAREST EDGE OF THE PUBLIC RIGHT-OF-WAY OF AN INTERSTATE HIGHWAY SHALL BE NEARER THAN 1,000 FEET TO ANY OTHER OFF-PREMISE SIGN.
 - (4) BUT DIVISIONS A. AND B. ABOVE SHALL NOT APPLY AS TO THE DISTANCE BETWEEN TWO SIGNS SEPARATED BY A BUILDING OR OTHER OBSTRUCTION WHERE THE FACE OF ONLY ONE SIGN IS VISIBLE FROM ANY POINT ON THE PUBLIC RIGHT-OF-WAY.
 - (5) D. BUT DIVISIONS A. AND B. ABOVE SHALL NOT APPLY TO SIGNS WHICH ARE AT SOME POINT WITHIN FIVE FEET OF EACH OTHER AND ONLY ONE OF THE SIGN FACES IS DESIGNED TO BE READ FROM ANY GIVEN LANE OF TRAFFIC OR FROM THE RIGHT-OF-WAY.
 - (6) NO FREE-STANDING SIGN ERECTED AFTER JANUARY 1, 1976, SHALL BE NEARER THAN 100 FEET TO ANY PREEXISTING ON-PREMISE SIGN.
- (5) SETBACK.
- (A) NO SIGN SHALL BE NEARER THAN SEVEN FEET TO ANY PUBLIC STREET RIGHT-OF-WAY, EXCEPT A PUBLIC RIGHT-OF-WAY CONTAINING AN INTERSTATE HIGHWAY WITHOUT A FRONTAGE ROAD BETWEEN THE SIGN AND THE INTERSTATE HIGHWAY.
 - (B) NO SIGN SHALL OVERHANG A PUBLIC RIGHT-OF-WAY CONTAINING AN INTERSTATE HIGHWAY WITHOUT A FRONTAGE ROAD BETWEEN THE SIGN AND THE INTERSTATE HIGHWAY.
 - (6) NO FREE-STANDING SIGN SHALL BE NEARER THAN 150 FEET TO ANY CONFORMING RESIDENTIAL PROPERTY.
- (B) SIZE.
- (1) FREE-STANDING SIGN AREA OF ANY ONE SIGN SHALL NOT EXCEED 300 SQUARE FEET PLUS AN ADDITIONAL ADD-ON SIGN AREA OF 18 SQUARE FEET, EXCEPT THAT WITHIN 150 FEET OF A MOVING THROUGH LANE OF AN INTERSTATE HIGHWAY, EXCLUDING INTERCHANGE RAMP, THE AREA OF ANY ONE SIGN DESIGNED TO BE READ FROM THE INTERSTATE HIGHWAY MAY BE UP TO BUT SHALL NOT EXCEED 672 SQUARE FEET, PLUS AN ADDITIONAL ADD-ON SIGN AREA OF 34 SQUARE FEET. FREE-STANDING SIGN LENGTH SHALL NOT EXCEED 60 FEET.
 - (2) WALL SIGN AREA SHALL BE CONTROLLED BY THE PROVISIONS OF DIVISION (9)(C)(2) OF THIS DIVISION (A).
- (C) HEIGHT.
- (1) SIGN HEIGHT SHALL NOT EXCEED 26 FEET, EXCEPT:
 - (A) AS PROVIDED IN DIVISION 2, BELOW; AND
 - (B) THE HEIGHT OF AN ADD-ON SIGN MAY BE UP TO BUT SHALL NOT EXCEED 31 FEET.
 - (2) WITHIN 150 FEET OF A MOVING THROUGH LANE OF AN INTERSTATE HIGHWAY, EXCLUDING INTERCHANGE RAMP, THE HEIGHT OF THE HIGHEST POINT OF THE SIGN SHALL NOT EXCEED 29 FEET, MEASURED EITHER FROM GRADE OR FROM THE ELEVATION OF THE INTERSTATE HIGHWAY AT ITS CLOSEST POINT, EXCEPT THE HEIGHT OF AN ADD-ON SIGN MAY BE UP TO BUT SHALL NOT EXCEED 34 FEET, MEASURED IN THE SAME WAY.
- (D) ILLUMINATION, MOTION: NO REGULATIONS, APART FROM THE GENERAL SIGN REGULATIONS.

Zoning Information

- (10) SIGN, ON-PREMISE, AS PROVIDED IN § 14-16-3-5 OF THIS ZONING CODE, AND FURTHER PROVIDED:
- (A) LOCATION.
- (1) BUILDING-MOUNTED SIGNS EXTENDING ABOVE THE HEIGHT OF THE BUILDING SHALL BE PERMITTED ONLY IF THEY ARE:
 - (A) A CONTINUATION OF THE PLANE OF A PROJECTING SIGN OR OF THE NEAREST FACADE;
 - (2) B. COUNTED AND CONTROLLED BY ALL NUMBER, SIZE, AND HEIGHT REGULATIONS FOR FREESTANDING SIGNS, INCLUDING DIVISION (C)(2)B. BELOW.
 - (3) A SIGN SHALL NOT OVERHANG INTO THE PUBLIC RIGHT-OF-WAY MORE THAN FIVE FEET.
 - (4) PROJECTING SIGNS SHALL NOT PROJECT HORIZONTALLY MORE THAN FIVE FEET, EXCEPT MARQUEE SIGNS ARE PERMITTED TO PROJECT TEN FEET.
- (B) NUMBER.
- (1) IN THE ESTABLISHED OR REDEVELOPED AREAS, ONE FREE-STANDING OR PROJECTING SIGN SHALL BE PERMITTED FOR EACH STREET FRONTAGE OF EACH PREMISES OR JOINT SIGN PREMISES WHICH HAS AT LEAST 100 FEET OF STREET FRONTAGE, OR ONE PER 300 FEET OF TOTAL STREET FRONTAGE (E.G., UP TO TWO SIGNS ALLOWED IF 630 FEET OF FRONTAGE), WHICHEVER IS MORE PERMISSIVE. A PORTABLE SIGN MAY ALSO BE PERMITTED PURSUANT TO THE GENERAL SIGNAGE REGULATIONS.
 - (2) IN THE DEVELOPING, SEMI-URBAN, OR RURAL AND OPEN AREAS.
 - (A) NO FREE-STANDING SIGNS OF UNDER FIVE ACRES EXCEPT A PORTABLE SIGN MAY ALSO BE PERMITTED PURSUANT TO THE GENERAL SIGNAGE REGULATIONS.
 - (B) ONE FREE-STANDING SIGN PER STREET FRONTAGE SHALL BE PERMITTED ON PREMISES OF FIVE ACRES OR MORE, PROVIDED THE STREET FRONTAGE IS AT LEAST 100 FEET WIDE.
 - (C) ONE FREE-STANDING SIGN SHALL BE PERMITTED ON A PREMISES WITH 250 FEET OR MORE OF STREET FRONTAGE BUT AN AREA UNDER FIVE ACRES, PROVIDED THE MAXIMUM SIGN AREA FOR EACH OF ONE OR TWO FACES SHALL NOT EXCEED 35 SQUARE FEET PER FACE.
 - (3) ONE CANOPY SIGN PER ENTRANCE OR EXIT SHALL BE PERMITTED.
 - (4) NO LIMIT ON NUMBER OF WALL SIGNS.
- (C) SIZE.
- (1) SIZE OF FREE-STANDING AND PROJECTING SIGNS. SIGN AREA FOR A FREE-STANDING OR PROJECTING SIGN SHALL NOT EXCEED THE FOLLOWING AREA:
 - (A) SEVENTY-FIVE SQUARE FEET IF THE MOST IMPORTANT STREET ABUTTING THE LOT IS A LOCAL STREET.
 - (B) ONE HUNDRED SQUARE FEET IF THE MOST IMPORTANT STREET ABUTTING THE LOT IS A COLLECTOR STREET.
 - (C) TWO HUNDRED AND FIFTY SQUARE FEET IF THE MOST IMPORTANT STREET ABUTTING THE LOT IS AN ARTERIAL STREET OR FREEWAY (IF DIVISION D. BELOW DOES NOT APPLY).
 - (D) THREE HUNDRED SQUARE FEET IF THE SIGN IS WITHIN 200 FEET OF A MOVING LANE OF A FREEWAY AND IS VISIBLE FROM THE FREEWAY; IN ADDITION TO THE REGULAR LIMITS ON NUMBERS OF SIGNS, THERE SHALL BE NO MORE THAN ONE SIGN THIS LARGE PER BUSINESS.
 - (2) SIZE: BUILDING-MOUNTED SIGNS, EXCEPT PROJECTING SIGNS.
 - (A) A BUILDING-MOUNTED SIGN ON PREMISES OR JOINT SIGN PREMISES WHERE THERE IS NO FREE-STANDING ON- OR OFF-PREMISE SIGN SHALL NOT EXCEED THE FOLLOWING:
 - (i) TWENTY PERCENT OF THE AREA OF THE FACADE TO WHICH IT IS APPLIED, IF THE SIGN AREA IS NOT WHOLLY VISIBLE FROM AN ABUTTING COLLECTOR STREET, ARTERIAL STREET, OR FREEWAY;
 - (ii) TWENTY-FIVE PERCENT OF THE AREA TO WHICH IT IS APPLIED, IF THE SIGN AREA IS WHOLLY VISIBLE FROM AN ABUTTING COLLECTOR STREET; OR
 - (iii) THIRTY PERCENT OF THE AREA OF THE FACADE TO WHICH IT IS APPLIED, IF THE SIGN AREA IS WHOLLY VISIBLE FROM AN ABUTTING ARTERIAL STREET OR FREEWAY.
 - (B) A BUILDING-MOUNTED SIGN ON PREMISES OR JOINT SIGN PREMISES WHERE THERE IS A FREE-STANDING OR PROJECTING ON- OR OFF-PREMISE SIGN SHALL NOT EXCEED ONE HALF THE PERCENTAGE OF FACADE AREA LISTED IN DIVISION A. ABOVE.
 - (C) AN OFF-PREMISE WALL SIGN MAY BE SUBSTITUTED FOR THE AREA WHICH OTHERWISE WOULD BE PERMITTED FOR AN ON-PREMISE SIGN; SUCH SIGN SHALL BE REGULATED BY HEIGHT REGULATIONS FOR OFF-PREMISE SIGNS.
- (D) HEIGHT.
- (1) HEIGHT OF A FREE-STANDING SIGN SHALL NOT EXCEED 26 FEET, EXCEPT A SIGN WHICH IS WITHIN 200 FEET OF A MOVING THROUGH LANE OF AN INTERSTATE HIGHWAY, EXCLUDING INTERCHANGE RAMP, MAY BE UP TO BUT SHALL NOT EXCEED 26 FEET ABOVE THE FREEWAY AT ITS CLOSEST POINT.
 - (2) HEIGHT OF A BUILDING-MOUNTED SIGN SHALL NOT EXCEED FIVE FEET ABOVE THE HEIGHT OF THE BUILDING, OR IT SHALL NOT EXCEED 30 FEET, WHICHEVER IS LOWER.
 - (3) HOWEVER, HEIGHT OF EITHER A NON-ILLUMINATED WALL SIGN OR AN ILLUMINATED WALL SIGN FOR A HOTEL OR MOTEL, LETTERING, NO REGULATIONS, APART FROM GENERAL SIGN REGULATIONS.
- (E) ILLUMINATION, MOTION, LETTERING: NO REGULATIONS, APART FROM GENERAL SIGN REGULATIONS.
- (F) EXCEPTIONS.
- (1) PERMITTED BUILDING-MOUNTED SIGN AREA FROM THE FRONT AND SIDES OF THE PRINCIPAL BUILDING OF THE BUSINESS MAY BE TRANSFERRED FROM THE BUILDING TO A CUSTOMER SERVICE AREA OF THE SAME BUSINESS ON THE SAME PREMISES, PROVIDED THE HEIGHT OF SUCH SIGNS SHALL NOT EXCEED 15 FEET AND SETBACK SHALL BE AT LEAST TEN FEET; SUCH SIGNING SHALL NOT BE CONSIDERED FREE-STANDING.
 - (2) ANY EXCEPTIONS ALLOWED FOR SHOPPING CENTERS, IN ORDER TO PROVIDE ADEQUATE SIGNING IN SPECIAL SITUATIONS, SHALL BE AS PROVIDED IN § 14-16-3-2 OF THIS ZONING CODE. SUCH A SIGN EXCEPTION MUST BE SPECIFICALLY DEFINED IN THE PLANNING COMMISSION RESOLUTION. SHOPPING CENTERS APPROVED PRIOR TO THE EFFECTIVE DATE OF THIS ZONING CODE SHALL COMPLY WITH SIGN REGULATIONS IN THIS ARTICLE UNLESS AN EXCEPTION IS SPECIFICALLY DEFINED IN A PLANNING COMMISSION RESOLUTION.
- (11) RADIO OR TELEVISION STUDIO OR STATION.
- (12) RECYCLING BIN AS AN ACCESSORY USE ON THE SITE, AS PROVIDED IN § 14-16-3-15 OF THIS ZONING CODE.
- (13) RETAILING OF ANY CONSUMER PRODUCT AND PROVISION OF ANY CUSTOMER, PERSONAL, OR BUSINESS SERVICE, EXCEPT ADULT AMUSEMENT ESTABLISHMENTS AND ADULT STORES, HOSPITALS FOR HUMAN BENEFIT AND HUMANITARIAN FACILITIES, PROVIDED IT IS NOT LISTED AS A CONDITIONAL USE IN THIS ZONE, OR AS A PERMISSIVE OR CONDITIONAL USE LISTED FOR THE FIRST TIME IN THE C-3 ZONE, AND WITH THE FOLLOWING LIMITATION:
- (A) ALCOHOLIC DRINK SALES FOR CONSUMPTION OFF PREMISES; EXCEPT THE SALE OF ALCOHOLIC DRINK WITHIN 500 FEET OF A COMMUNITY RESIDENTIAL PROGRAM OR HOSPITAL FOR TREATMENT OF SUBSTANCE ABUSERS IS PROHIBITED PURSUANT TO § 14-16-3-12(A)(11) ROA 1994:
- (1) ARE LIMITED TO BUILDING AREA WHICH IS NOT WITHIN 500 FEET OF A RESIDENTIAL ZONE; AND
 - (2) SHALL NOT INCLUDE THE SALE OF BROKEN PACKAGES OR THE FOLLOWING PACKAGES WITHIN 500 FEET OF A PRE-ELEMENTARY, ELEMENTARY OR SECONDARY SCHOOL, A RELIGIOUS INSTITUTION, A RESIDENTIAL ZONE, A DESIGNATED METROPOLITAN REDEVELOPMENT AREA (AS DEFINED IN THE STATUTE OF THE STATE OF NEW MEXICO), A CITY OWNED PARK OR CITY OWNED MAJOR PUBLIC OPEN SPACE:
 - (A) DISTILLED SPIRITS, AS DEFINED IN THE NEW MEXICO LIQUOR CONTROL ACT, IN ANY PACKAGE THAT CONTAINS LESS THAN 750 MILLILITERS;
 - (B) BEER, AS DEFINED IN THE NEW MEXICO LIQUOR CONTROL ACT, IN ANY SINGLE CONTAINER LABELED AS CONTAINING 16 OR FEWER OUNCES; AND
 - (C) FORTIFIED WINES WITH A VOLUME OF ALCOHOL OF MORE THAN 13.5 PERCENT.
- (B) VEHICLE SALES, RENTAL, SERVICE, REPAIR, AND STORAGE, BOTH INDOOR AND OUTDOOR, PROVIDED:
- (1) OUTDOOR ACTIVITY AREAS (DISPLAY AND STORAGE OF STOCK IN TRADE) MEET ALL THE SPECIFICATIONS FOR A PARKING LOT, AS REGULATED IN THE O-1 ZONE.
 - (2) OUTDOOR STORAGE OF INOPERATIVE VEHICLES IS LIMITED TO TWO VEHICLES AT ANY TIME, AND A GIVEN INOPERATIVE VEHICLE SHALL NOT BE PARKED OUTDOORS OVER TWO WEEKS IN ANY 12-MONTH PERIOD.
 - (3) PAINTING AND MAJOR AUTOMOTIVE REPAIR IS CONDUCTED WITHIN A COMPLETELY ENCLOSED BUILDING AT LEAST 20 FEET FROM ANY RESIDENTIAL ZONE.
 - (4) A TRUCK TERMINAL IS NOT PERMITTED.
 - (5) OUTDOOR VEHICLE STORAGE AS A PRINCIPAL BUSINESS, WHERE VEHICLES ARE TYPICALLY NOT MOVED FOR ONE WEEK OR MORE, IS NOT A PERMISSIVE USE.
- (C) BANKING, LOANING MONEY, INCLUDING PAWN, DRIVE-IN FACILITIES INCLUDED ON THE CONDITION THE VEHICLE MOVEMENT PLAN IS APPROVED BY THE TRAFFIC ENGINEER.
- (D) BUILDING MATERIALS, PROVIDED THEY ARE IN A COMPLETELY ENCLOSED BUILDING OR WITHIN AN AREA ENCLOSED ON ALL SIDES BY A WALL OR FENCE AT LEAST SIX FEET HIGH WHICH MUST BE SOLID WHEN IT FACES OR IS CONTIGUOUS TO LAND NOT ZONED C-2, C-3, M-1 OR M-2.
- (E) CIRCUS OR CARNIVAL OPERATION OUTDOOR OR IN A TENT PROVIDED:
- (1) THE USE IS LOCATED AT LEAST 300 FEET FROM A DWELLING IN A RESIDENTIAL ZONE.
 - (2) THE USE IS PERMITTED AT ONE LOCATION FOR A PERIOD NOT TO EXCEED SEVEN DAYS IN ANY CALENDAR YEAR.
 - (3) HOURS OF OPERATION, INCLUDING ERECTION AND DISMANTLING OF EQUIPMENT ARE:
 - (A) IF THE USE IS LOCATED BETWEEN 300 FEET AND 500 FEET FROM A DWELLING, BETWEEN 7:30 A.M. AND 10:30 P.M.;
 - (B) IF THE USE IS LOCATED 500 FEET OR MORE FROM A DWELLING, BETWEEN 6:00 A.M. AND 11:30 P.M.;
 - (4) THERE IS SUFFICIENT OFF-STREET PARKING AVAILABLE ON THE PREMISES TO MEET PARKING REQUIREMENTS FOR ALL THE USES ON THE PREMISES. THE ZONING ENFORCEMENT OFFICER SHALL APPROVE A SITE PLAN WHICH SHALL DEMONSTRATE ADEQUATE PARKING AND VEHICLE CIRCULATIONS.
 - (5) THERE ARE TOILET FACILITIES ON THE PREMISES; AND
 - (6) THE CITY FIRE MARSHAL OR HIS AUTHORIZED REPRESENTATIVE GIVES PRIOR APPROVAL OF ANY TENT AS MEETING THE REQUIREMENTS OF CHAPTER 14, ARTICLE 2, FIRE CODE.
- (F) DRIVE-IN RESTAURANT, PROVIDED A SOLID WALL OR FENCE AT LEAST SIX FEET HIGH SHALL BE ERECTED ON SIDES WHICH ABUT LAND, OTHER THAN PUBLIC RIGHT-OF-WAY LAND, IN A RESIDENTIAL ZONE. HOWEVER, IF THE WALL OR FENCE PLUS RETAINING WALL WOULD HAVE AN EFFECTIVE HEIGHT OF OVER EIGHT FEET ON THE RESIDENTIAL SIDE, THE ZONING HEARER, EXAMINER SHALL DECIDE THE REQUIRED HEIGHT. SUCH DECISION SHALL BE MADE BY THE SAME PROCESS AND CRITERIA REQUIRED FOR A CONDITIONAL USE.
- (G) DRY CLEANING, LAUNDRY, CLOTHES PRESSING, PROVIDED:
- (1) ONLY CLEANING FLUID WHICH IS NOT FLAMMABLE AT TEMPERATURES BELOW 138.5° FAHRENHEIT MAY BE USED;
 - (2) THE NUMBER OF PERSONS ENGAGED IN OPERATING A LAUNDRY OR DRY CLEANING ESTABLISHMENT IS LIMITED TO FIVE, EXCLUDING PRESSERS, OFFICE, CLERICAL, OR DELIVERY PERSONNEL;
 - (3) THAT PORTION OF THE STRUCTURE IN WHICH ANY CLEANING PROCESS IS DONE IS AT LEAST 50 FEET FROM ANY RESIDENTIAL ZONE.

- (H) FLOWERS AND PLANTS, INCLUDING OUT-DOOR SALES.
- (1) GASOLINE, OIL, AND LIQUID PETROLEUM GAS RETAILING, INCLUDING OUTDOOR SALES, BUT NOT TRUCK PLAZAS.
 - (2) GOLF DRIVING RANGE, MINATURE GOLF COURSE, BASEBALL BATTING RANGE, LOCATED IN A BUILDING OR OUTDOOR, PROVIDED THE FENCING OR OTHER SUITABLE DEVICE IS EMPLOYED TO INSURE THAT BALLS ARE NOT HIT OUT OF PREMISES.
 - (3) HOSPITAL FOR ANIMALS, PROVIDED IT HAS NO OUTSIDE PENS, ONE OUTSIDE EXERCISE RUN IS PERMITTED, PROVIDED IT IS ENCLOSED WITH A SOLID WALL, OR FENCE AT LEAST SIX FEET HIGH, AND NO MORE THAN ONE ANIMAL IS PERMITTED IN THE RUN AT ANY ONE TIME.
- (L) ONE MOBILE HOME FOR A WATCHMAN OR CARETAKER ON THE SAME LOT WITH COMMERCIAL USES, PERMISSIVE OR CONDITIONAL IN THIS ZONE, WHICH DO NOT HAVE OR NORMALLY REQUIRE A PERMANENT STRUCTURE, INCLUDING BUT NOT LIMITED TO USED CAR SALES LOT; MOBILE HOME OR RECREATIONAL VEHICLES, INCLUDING RENTAL LOTS AND CIRCUS, CARNIVAL, OR SIMILAR ENTERPRISE. HOWEVER, THE MOBILE HOME SHALL NOT BE WITHIN 100 FEET OF A LOT IN A RESIDENTIAL ZONE OR A DWELLING UNIT IN ANY ZONE.
- (M) PARKING LOT, AS REGULATED IN THE O-1 ZONE.
- (N) PETS, AS REGULATED IN THE C-1 ZONE.
- (O) RESTAURANT WITH OUTDOOR SEATING.
- (P) SAMPLE DWELLING UNIT USED TO SELL SUCH UNITS, INCLUDING INCIDENTAL SALES OFFICE ACTIVITY.
- (Q) SECONDHAND STORE, INCLUDING OUTSIDE STORAGE IN THE SIDE OR REAR YARD AND IF ENCLOSED BY A SOLID WALL OR FENCE AT LEAST SIX FEET HIGH.
- (R) STAND OR VEHICLE SELLING FRUIT, VEGETABLES, OR NURSERY STOCK, PROVIDED IT IS LIMITED TO A PERIOD OF 90 DAYS IN ANY CALENDAR YEAR. HOWEVER, ONE RENEWAL FOR AN ADDITIONAL 90 DAYS MAY BE PERMITTED BY THE PLANNING DIRECTOR.
- (S) NOT PERMISSIVE AS RETAILING OR SERVICES ARE USED LISTED AS CONDITIONAL USE IN THIS SECTION AND USES THAT ARE IN SUBSTANTIAL PART INDUSTRIAL OR MANUFACTURING ACTIVITIES, E.G., AUTOMOBILE DISMANTLING, SHEET METAL WORKING, OR TIRE RECAPPING AND RETREADING.
- (14) STORAGE STRUCTURE OR YARD FOR EQUIPMENT, MATERIAL OR ACTIVITY INCIDENTAL TO A SPECIFIC CONSTRUCTION PROJECT, PROVIDED IT IS OF A TEMPORARY NATURE AND IS MOVED AFTER THE PROJECT IS COMPLETED OR WORK ON THE PROJECT HAS BEEN DORMANT FOR A PERIOD OF SIX OR MORE MONTHS, AND FURTHER PROVIDED THAT IT IS LIMITED TO A PERIOD OF ONE YEAR UNLESS THE TIME IS EXTENDED BY THE PLANNING DIRECTOR.
- (15) WHOLESALING OF JEWELRY.
- (16) USES OR ACTIVITIES IN A TENT, IF THE USES OR ACTIVITIES ARE LISTED ELSEWHERE IN THIS SUBSECTION, PROVIDED:
- (A) THE TENT MAY NOT BE ERECTED FOR MORE THAN SEVEN DAYS AT A TIME AND MAY NOT BE ERECTED MORE THAN TWO TIMES A YEAR ON A GIVEN PREMISES;
 - (B) THERE IS SUFFICIENT OFF-STREET PARKING AVAILABLE ON THE PREMISES TO MEET PARKING REQUIREMENTS FOR ALL USES ON THE PREMISES, INCLUDING THE ACTIVITY IN THE TENT. THE ZONING ENFORCEMENT OFFICER SHALL APPROVE THE SITE PLAN FOR THE TENT, WHICH SHALL DEMONSTRATE ADEQUATE PARKING AND VEHICLE CIRCULATION, PRIOR TO ERECTION OF THE TENT; AND
 - (C) THERE ARE TOILET FACILITIES ON THE PREMISES AVAILABLE TO THE USERS OF THE TENT; AND
 - (D) THE CITY FIRE MARSHAL OR HIS AUTHORIZED REPRESENTATIVE GIVES PRIOR APPROVAL OF THE TENT AS MEETING THE REQUIREMENTS OF CHAPTER 14, ARTICLE 2, FIRE CODE.
- (17) WIRELESS TELECOMMUNICATIONS FACILITY, PROVIDED THAT THE REQUIREMENTS OF § 14-16-3-17 OF THIS ZONING CODE ARE MET, AND AS SPECIFICALLY ALLOWED BELOW:
- (A) A CONCEALED WIRELESS TELECOMMUNICATIONS FACILITY, UP TO 65 FEET IN HEIGHT.
 - (B) A COLLOCATED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITY, UP TO 75 FEET IN HEIGHT.
 - (C) A FACE-MOUNTED WIRELESS TELECOMMUNICATIONS FACILITY.
 - (D) A ROOF-MOUNTED FREE-STANDING WIRELESS TELECOMMUNICATIONS FACILITY, UP TO 20 FEET ABOVE THE PARAPET OF THE BUILDING ON WHICH IT IS PLACED.
 - (E) A WIRELESS TELECOMMUNICATIONS FACILITY, THE ANTENNAS OF WHICH ARE ALL MOUNTED ON AN EXISTING VERTICAL STRUCTURE.
 - (F) CONDITIONAL USES.
 - (1) ANTENNA, OVER 65 FEET IN HEIGHT.
 - (2) APARTMENT, AS PERMITTED IN DIVISION (A)(9) ABOVE, IF THERE ARE MORE THAN 30 DWELLING UNITS PER ACRE BUT NOT MORE THAN 75 DWELLING UNITS PER ACRE. CONDITIONAL USE APPLICATIONS SHALL BE CONSIDERED ON THE BASIS OF A SITE PLAN.
 - (3) CHURCH OR OTHER PLACE OF WORSHIP, INCLUDING INCIDENTAL RECREATIONAL AND EDUCATIONAL FACILITIES. INCIDENTAL USES ALLOWED INCLUDE BUT ARE NOT LIMITED TO AN EMERGENCY SHELTER OPERATED BY THE CHURCH ON THE CHURCH'S PRINCIPAL PREMISES WHICH IS USED REGULARLY FOR PUBLIC WORSHIP, NOTWITHSTANDING SPECIAL LIMITATIONS ELSEWHERE IN THIS ZONING CODE.
 - (4) COLD STORAGE UNIT.
 - (5) COMMUNITY RESIDENTIAL PROGRAM, PROVIDED THAT THE STANDARDS OF § 14-16-3-12 OF THIS ZONING CODE ARE MET.
 - (6) DRIVE-IN THEATER.
 - (7) DWELLING UNIT (HOUSE, TOWNHOUSE, APARTMENT), FOR PROPERTIES THAT DO NOT MEET THE CRITERIA OF DIVISION (A)(9)(B) AND (A)(9)(E)1 ABOVE OR WITH SU-2 ZONING THAT REFERS TO THE C-1 ZONE BUT DOES NOT SPECIFY PROVISIONS FOR THE REGULATION OF RESIDENTIAL USES, PROVIDED:
 - (A) THERE ARE NOT OVER 30 DWELLING UNITS PER NET ACRE.
 - (B) USABLE OPEN SPACE IS PROVIDED ON SITE IN AN AMOUNT NO LESS THAN SPECIFIED IN THE R-3 ZONE, NO MORE SHALL BE REQUIRED THAN SPECIFIED IN THE R-2 ZONE EXCEPT IF LOCATED IN AN AREA DESIGNATED BY THE MASTER PLAN AS "DEVELOPING" OR "SEMI-URBAN," THE TOTAL OPEN SPACE REQUIREMENTS OF THE R-D OR RA-1 ZONE, RESPECTIVELY, SHALL APPLY.
 - (8) EMERGENCY SHELTER, PROVIDED THE STANDARDS OF § 14-16-3-13 OF THIS ZONING CODE ARE MET.
 - (9) FIRE WOOD SALES AND RELATED STORAGE, PROVIDED THE WOOD IS NOT VISIBLE FROM LAND NOT ZONED C-2, C-3, M-1, OR M-2.
 - (10) KENNEL.
 - (11) MOBILE HOME DEVELOPMENT, PROVIDED THE DEVELOPMENT CONTAINS AT LEAST THREE ACRES. APPROVAL OF A SITE DEVELOPMENT PLAN AND LANDSCAPING PLAN IS REQUIRED PRIOR TO DEVELOPMENT.
 - (12) ONE MOBILE HOME FOR A WATCHMAN OR CARETAKER ON THE SAME PREMISES WITH A COMMERCIAL USE OTHER THAN THE USES ENCLOSED IN DIVISION (A)(12)(L) OF THIS SECTION. HOWEVER, THE MOBILE HOME SHALL NOT BE WITHIN 100 FEET OF A LOT IN A RESIDENTIAL ZONE OR A DWELLING UNIT IN ANY ZONE.
 - (13) OUTDOOR STORAGE OR ACTIVITY, EXCEPT AS SPECIFICALLY LISTED AS A PERMISSIVE OR CONDITIONAL USE IN THIS SECTION, AND AS FURTHER THE STANDARDS OF § 14-16-3-12 OF THIS ZONING CODE ARE MET:
 - (A) NO OUTDOOR STORAGE OR ACTIVITY SPECIFIED AS A PRINCIPAL SPECIAL USE IN § 14-16-2-22(B) OF THE ZONING CODE, THE SU-1 ZONE, MAY BE A CONDITIONAL USE CONSIDERED UNDER THIS DIVISION (B).
 - (B) COMBINATIONS OF USES, SOME OR ALL OF WHICH ARE OUTDOOR USES, WHICH INTERACT TO CREATE A MORE INTENSE USE, OPERATING AS ONE COORDINATE USE, INTERPRESE OR ATTRACTION ARE NOT NORMALLY APPROPRIATE FOR APPROVAL AS CONDITIONAL USES UNDER THIS DIVISION (B), BEING MORE PROPERLY CONTROLLED AS SU-1 ZONE SPECIAL USES.
 - (C) OUTDOOR USES WHICH WOULD IMPACT THEIR ENVIRONS WITH APPEARANCE, LIGHT, NOISE, ODOR, OR SIMILAR ENVIRONMENTAL PROBLEMS LIKELY TO BE UNPLEASANT TO NEIGHBORING PREMISES AND USES SHALL NOT BE APPROVED.
 - (D) OUTDOOR CONDITIONAL USES OFTEN JUSTIFY SPECIAL REQUIREMENTS TO KEEP THE APPEARANCE OR OTHER ASPECTS OF THE OUTDOOR STORAGE OR ACTIVITY FROM NEGATIVELY IMPACTING ADJACENT LAND.
 - (E) OUTDOOR VEHICLE STORAGE AS A PRINCIPAL BUSINESS, WHERE VEHICLES ARE TYPICALLY NOT MOVED FOR ONE WEEK OR MORE, IS NOT APPROPRIATE IF IT WILL BE SIGNIFICANTLY VISIBLE FROM ADJACENT STREETS OR NEARBY RESIDENTIAL, OFFICE, OR COMMERCIAL USES: IF APPROVED, THIS TYPE OF STORAGE REQUIRES SPECIAL BUFFERING.
 - (14) PARKING OF MORE THAN TWO TRUCK TRACTORS AND TWO SEMITRAILERS FOR OVER TWO HOURS.
 - (15) PARK-AND-RIDE JOINT-USE FACILITIES, IF IT IS DETERMINED THAT UNDER THE CONDITIONS IMPOSED THERE WILL NOT BE A SHORTAGE OF ON-SITE PARKING FOR THE ACTIVITIES ON THE SITE; IN SUCH SITUATIONS, NO PARKING VARIANCE IS REQUIRED.
 - (16) PONY RIDING WITHOUT STALLS, PROVIDED IT IS LOCATED AT LEAST 300 FEET FROM A DWELLING WHICH IS A CONFORMING USE.
 - (17) PUBLIC UTILITY STRUCTURE WHICH IS NOT PERMISSIVE.
 - (18) RETAIL SALE OF ALCOHOLIC DRINK FOR CONSUMPTION OFF PREMISES, WHERE THE PORTION OF THE BUILDING USED FOR SUCH BUSINESS IS WITHIN 500 FEET OF A RESIDENTIAL ZONE, PROVIDED SUCH SALES SHALL NOT INCLUDE THE SALE OF BROKEN PACKAGES OR THE FOLLOWING PACKAGES WITHIN 500 FEET OF A PRE-ELEMENTARY, ELEMENTARY OR SECONDARY SCHOOL, A RELIGIOUS INSTITUTION, A RESIDENTIAL ZONE, A CITY OWNED PARK OR CITY OWNED MAJOR PUBLIC OPEN SPACE EXCEPT THE RETAILING OF ALCOHOLIC DRINK, FOR ON OR OFF PREMISE CONSUMPTION, WITHIN 500 FEET OF A COMMUNITY RESIDENTIAL PROGRAM OR HOSPITAL FOR TREATMENT OF SUBSTANCE ABUSERS, IS PROHIBITED PURSUANT TO § 14-16-3-12(A)(11) ROA 1994 AND FURTHER PROVIDED THAT SUCH SALES SHALL NOT INCLUDE:
 - (A) DISTILLED SPIRITS, AS DEFINED IN THE NEW MEXICO LIQUOR CONTROL ACT, IN ANY PACKAGE THAT CONTAINS LESS THAN 750 MILLILITERS;
 - (B) BEER, AS DEFINED IN THE NEW MEXICO LIQUOR CONTROL ACT, IN ANY SINGLE CONTAINER; AND
 - (C) FORTIFIED WINES WITH A VOLUME OF ALCOHOL OF MORE THAN 13.5 PERCENT.
 - (19) RETAIL BUSINESS IN WHICH PRODUCTS MAY BE MANUFACTURED, COMPOUNDED, PROCESSED, ASSEMBLED, OR FINISHED, INCLUDING BUT NOT LIMITED TO: CANNING, PRESERVING, PICKLING, SHEET-METAL WORKING, UPHOLSTERING, SIGN PAINTING, MAKING OF METAL STAMPS, CATERING, BAKING, CONFECTIONERY MAKING, OR JEWELRY OR CURIO MAKING, PROVIDED:
 - (A) ALL ACTIVITIES ARE CONDUCTED WITHIN A COMPLETELY ENCLOSED BUILDING.
 - (B) THE NUMBER OF PERSONS PROCESSING, MANUFACTURING, OR ASSEMBLING, OR TREATING OF PRODUCTS IS LIMITED TO TEN, EXCLUDING OFFICE, CLERICAL OR DELIVERY PERSONNEL.
 - (C) ACTIVITIES OR PRODUCTS ARE NOT OBJECTIONABLE DUE TO ODOR, DUST, SMOKE, NOISE, VIBRATION, OR OTHER CAUSE.

ALTANSPPS Land Title Survey

Tract 1-A

Shell Subdivision No. 2

City of Albuquerque, Bernalillo County, New Mexico

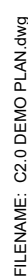
May 2016

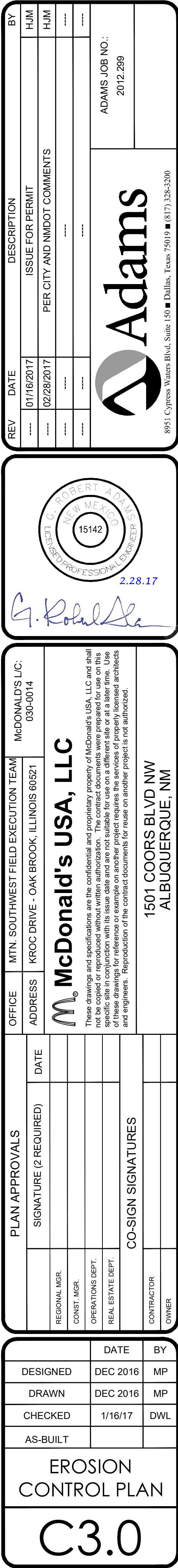
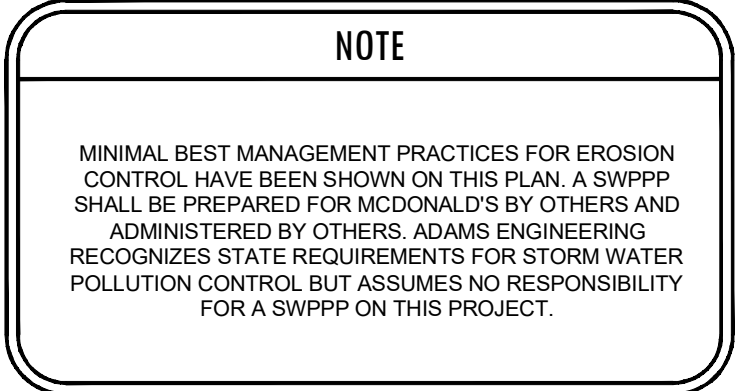
- (20) USES OR ACTIVITIES IN A TENT, IF THE USES OR ACTIVITIES ARE LISTED ELSEWHERE IN THIS SECTION, PROVIDED THERE IS SUFFICIENT PAVED OFF-STREET PARKING AVAILABLE ON THE PREMISES TO MEET PARKING REQUIREMENTS FOR ALL USES ON THE PREMISES, INCLUDING THE ACTIVITY IN THE TENT, AND PROVIDED THAT THE FIRE MARSHAL [I.E., THE CHIEF OF THE FIRE PREVENTION BUREAU] OR HIS DESIGNATED REPRESENTATIVE GIVES PRIOR APPROVAL OF THE TENT AS MEETING THE REQUIREMENTS OF CHAPTER 14, ARTICLE 2, FIRE CODE.
- (21) TIRE RECAPPING OR RETREADING, PROVIDED:
- (A) THE ACTIVITY IS INCIDENTAL TO THE MAJOR USE AND IS CONDUCTED WITHIN A COMPLETELY ENCLOSED BUILDING.
 - (B) OUTDOOR STORAGE OF TIRES IS ENCLOSED BY A SOLID WALL OR FENCE AT LEAST SIX FEET HIGH.
 - (C) TIRES STORED OUTDOORS MAY NOT BE STACKED ABOVE THE PLANE ESTABLISHED BY THE TOP OF THE REQUIRED SURROUNDING WALL.
- (22) TRANSFER OR STORAGE OF HOUSEHOLD GOODS, PROVIDED:
- (A) PARKING AND MANEUVERING OF TRUCKS IS PERMITTED ONLY OFF THE STREET IN AN OFF-STREET PARKING AREA AS REGULATED BY THIS ARTICLE.
 - (B) SERVING OF TRUCKS IS PERMITTED ONLY WITHIN A BUILDING OR AN AREA COMPLETELY ENCLOSED BY A SOLID WALL OR FENCE AT LEAST EIGHT FEET HIGH.
- (23) WIRELESS TELECOMMUNICATIONS FACILITY, ROOF-MOUNTED, UP TO 20 FEET ABOVE THE PARAPET OF THE BUILDING ON WHICH IT IS PLACED, PROVIDED THAT THE REQUIREMENTS OF § 14-16-3-17 OF THIS ZONING CODE ARE MET.
- (C) HEIGHT: HEIGHT SHALL BE AS PROVIDED IN THE O-1 ZONE, EXCEPT SIGN AND ANTENNA HEIGHT SHALL BE AS PROVIDED IN DIVISION (A) OF THIS SECTION.
- (D) LOT SIZE: NO REQUIREMENTS.
- (E) SETBACK. SETBACK SHALL BE AS PROVIDED IN THE O-1 ZONE.
- (F) OFF-STREET PARKING. OFF-STREET PARKING SHALL BE AS PROVIDED IN § 14-16-3-1 OF THIS ZONING CODE.
- (G) SHOPPING CENTER REGULATIONS. ANY SITE IN THIS ZONE CLASSIFIED AS A SHOPPING CENTER SITE, AS DEFINED IN § 14-16-1-5 OF THIS ZONING CODE, IS SUBJECT TO SPECIAL SITE DEVELOPMENT REGULATIONS. THE SHOPPING CENTER REGULATIONS ARE PROVIDED IN § 14-16-3-2 OF THIS ZONING CODE.



OFFICE LOCATION:
5571 Midway Park Place, NE
Albuquerque, NM 87109
MAILING ADDRESS:
PO Box 90636
Albuquerque, NM 87199

505.856.5700 PHONE
505.856.7900 FAX





N.T.S.

N.T.S.

CURB INLET PROTECTION

(HIGHER VOLUME TRAFFIC AREAS)

N.T.S.

N.T.S.

WIRE MESH AND GRAVEL BAG
GRATE INLET PROTECTION
N.T.S.

OUTLET PROTECTION BLOCK
& GRAVEL BAG
N.T.S.

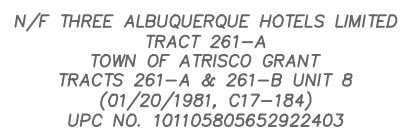
CONSTRUCTION ENTRANCE
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CONSTRUCTION ENTRANCE
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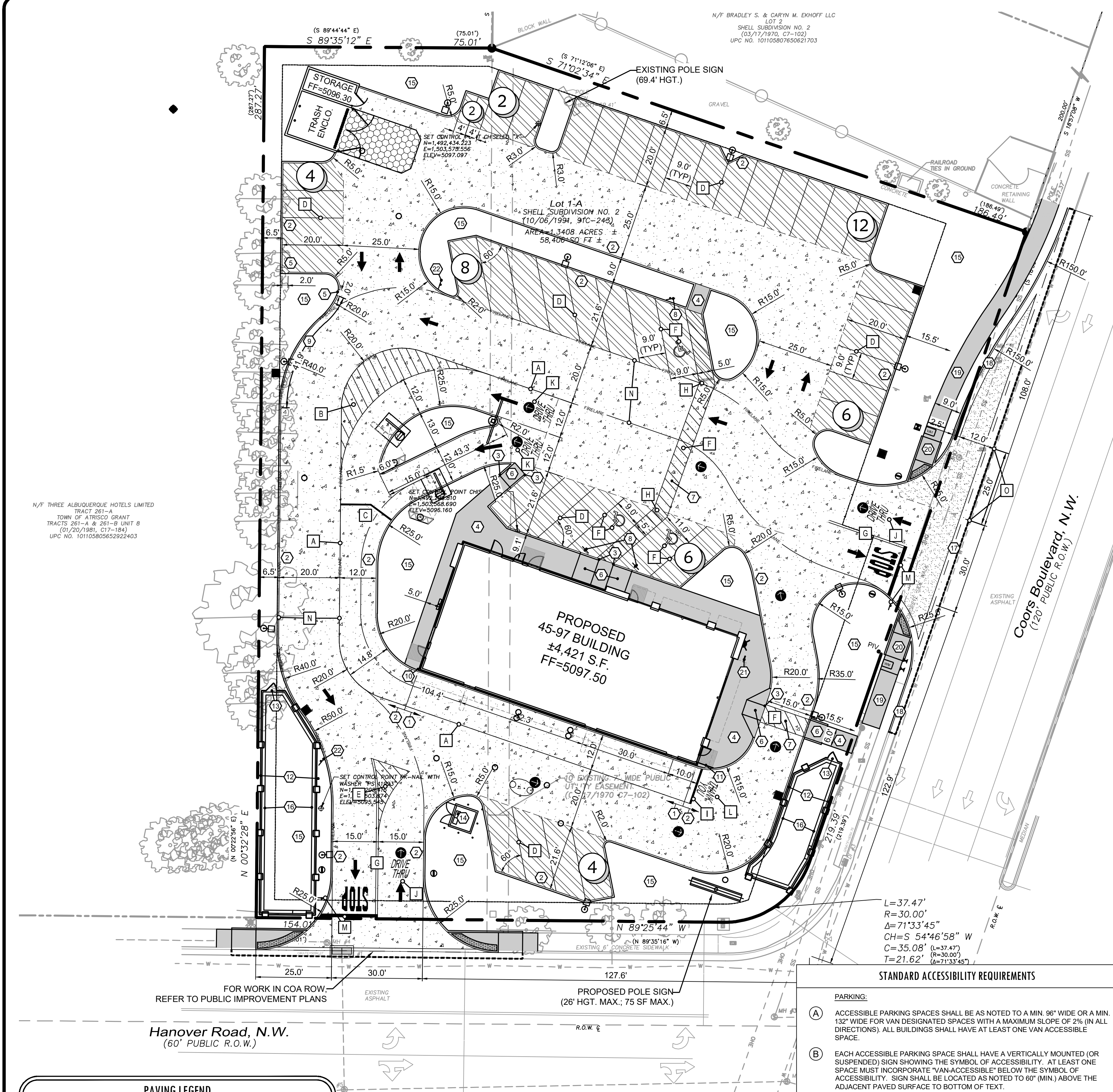
EROSION CONTROL WATTLE
N.T.S.

SEDIMENT FENCE DETAIL

C3.1



ENAME: C4 SITE PLAN.dwg
 PLOTTED BY: Heather Macomber
 PLOT DATE: Tuesday, February 28, 2017
 PLOT TIME: 11:10:34 AM
 PLOTTER: PDF-XChange For Acrobat Pro.pc3
 FULL PATH: I:\Projects\2017\228 McDonalds - Albuquerque, NM\Homer\Drawings\03-Production-MCD\Project\Drawings\03-Production-MCD\CA\0 SITE PLAN



PAVING LEGEND

	REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH
	HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU *
	LIGHT DUTY REINFORCED CONCRETE*
	REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 6" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH*
	HEAVY DUTY ASPHALT IN NMDOT ROW. MINIMUM 3" THICK ASPHALT CONCRETE SURFACE COURSE (MAX. 1.5" LIFTS), OVER 9" CRUSHED AGGREGATE BASE COURSE.*
	LANDSCAPE AREA
	SAWCUT LINE

BENCHMARK

- AGRS MONUMENT "2_H12" STANDARD AGRS BRASS TABLET (FOUND IN PLACE)
NM STATE PLANE COORDINATES (CENTRAL ZONE - NAD 1983)
N = 1,492,180.199 E = 1,500,635.082
PUBLISHED EL = 5119.814 (NAVD 1988)
GROUND TO GRID FACTOR = 0.99961414
DELTA ALPHA ANGLE = -0°16'07.41"
- AGRS MONUMENT "6_J10" STANDARD AGRS BRASS TABLET (FOUND IN PLACE)
NM STATE PLANE COORDINATES (CENTRAL ZONE - NAD 1983)
N = 1,493,127.762 E = 1,504,048.072
PUBLISHED EL = 5098.37 (NAVD 1988)
GROUND TO GRID FACTOR = 0.999681358
DELTA ALPHA ANGLE = -0°15'43.88"

STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

- A ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.
- B EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE VAN ACCESSIBILITY BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.
- C ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.
- D RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38". AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.
- E IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE, AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).
- F LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).
- G RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" VERTICAL RISE.
- H RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:

- I SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).
- J LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).

KEY NOTE LEGEND	
MARK	MARK DESCRIPTION
1	CONCRETE VERTICAL CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS)
2	CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)
3	TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)
4	REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)
5	CURB CUT
6	HANDICAP ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)
7	HANDICAP ACCESSIBLE ROUTE
8	HANDICAP ACCESSIBLE SIGN (BUILDING OR POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)
9	DEEP CURB (RE: C10.2 STANDARD DETAILS)
10	BOLLARD (RE: C10.1 STANDARD DETAILS)
11	GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)
12	4" TALL METAL FENCE (RE: C10.4 STANDARD DETAILS AND RW-3 RETAINING WALL DETAILS)
13	4" TALL METAL GATE (RE: C10.4 STANDARD DETAILS AND RW-3 RETAINING WALL DETAILS)
14	PAD MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)
15	LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS
16	RETAINING WALL (RE: RW-1 THROUGH RW-3)
17	VALLEY GUTTER (RE: C10.7 NMDOT STANDARD DETAILS)
18	26" CONCRETE BARRIER CURB AND GUTTER TYPE "B" (RE: C10.7 NMDOT STANDARD DETAILS)
19	REINFORCED CONCRETE SIDEWALK (RE: C10.7 NMDOT STANDARD DETAILS)
20	HANDICAP ACCESS RAMP @1:12 MAX SLOPE (RE: C10.7 NMDOT STANDARD DETAILS)
21	BIKE RACK (RE: C10.6 STANDARD DETAILS)
22	"DO NOT ENTER" SIGN (MUTCD R5-1)

PAVEMENT MARKING LEGEND	
MARK	MARK DESCRIPTION
A	6" DRIVE-THRU STRIPING - COLOR : YELLOW
B	4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR : YELLOW
C	6" MERGE POINT - COLOR : YELLOW
D	4" PARKING STALL STRIPING - COLOR : WHITE (TYP)
E	4" DIAGONAL PAINTED ISLANDS IN PARKING AREA - COLOR : WHITE
F	HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR : (PER STATE/CITY REQUIREMENTS)
G	4" DOUBLE LANE DIVIDER STRIPING - COLOR : YELLOW (TYP)
H	"NO PARKING" IN CAPITAL LETTERS, EACH OF WHICH SHALL BE AT LEAST 1" HIGH AND AT LEAST 2" WIDE - COLOR : (PER STATE/CITY REQUIREMENTS)
I	8" OOSP STRIPING - COLOR : YELLOW
J	"DRIVE THRU" WITH "CIRCLE/ARROW" - COLOR : YELLOW
K	DOUBLE DRIVE-THRU "ARROW" MARKING - COLOR : YELLOW
L	"THANK YOU" AT END PATH - COLOR : YELLOW
M	PAINTED "STOP" AND 24" STOP BAR WITH 36"x36" "STOP" SIGN - COLOR : WHITE
N	FIRE LANE STRIPING PER CITY OF ALBUQUERQUE FIRE CODE STANDARDS
O	6" SINGLE WIDE SOLID STRIPE - COLOR : WHITE (PER NMDOT STANDARDS)

DESIGNED	DATE	BY
TJR	NOV 2016	TJR
DRAWN	DATE	BY
TJR	NOV 2016	TJR
CHECKED	DATE	BY
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AS-BUILT	DATE	BY
----	----	----

TRAFFIC CIRCULATION PLAN

C4.1

EXISTING LEGEND

N 90°00'00" E MEASURED BEARING AND DISTANCES MATCH RECORD BEARING AND DISTANCES

- FOUND AND USED MONUMENT AS DESIGNATED
- DENOTES NO. 4 REBAR WITH YELLOW PLASTIC CAP ±5.11993 SET THIS SURVEY
- CONTROL POINT SET THIS SURVEY
- △ FOUND ALUMINUM AGRS MONUMENT AS DESIGNATED
- SERVICE/DROP POLE AS DESIGNATED
- UTILITY POLE
- GUY WIRE
- ELECTRIC BOX
- ELECTRIC METER
- LIGHT POLE
- TRANSFORMER
- TRAFFIC SIGNAL BOX
- TRAFFIC LIGHT
- IRRIGATION CONTROL VALVE
- WATER METER
- WATER VALVE
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- STORM SEWER MANHOLE
- SIGN
- GAS METER
- MEDIAN INLET
- CURB INLET
- GUARD POST
- TREE
- HANDICAP PARKING SPACE
- SPIGOT
- PARKING CONCRETE BUMPER
- CURB AND GUTTER
- OVERHEAD UTILITY LINE
- GAS LINE
- WATER LINE
- SANITARY SEWER LINE
- STORM SEWER LINE
- METAL FENCE
- CHAIN LINK FENCE
- ASPHALT
- UTILITY PEDISTAL

SITE INFORMATION

LEGAL DESCRIPTION: LOT 1-A, SHELL SUBDIVISION NO. 2, CITY OF ALBUQUERQUE, BERNALILLO COUNTY, NM PLAT BOOK 91C, FOLIO 243, COUNTY CLERK OF BERNALILLO COUNTY, NM

LAND AREA: 4,490 SF
CURRENT ZONING: C-2
EXISTING USE: DRIVE-THRU RESTAURANT
PROPOSED USE: DRIVE-THRU RESTAURANT

BUILDING AREA (APPROXIMATE): 4,490 SF
BUILDING LOT COVERAGE: 1 SPACE PER 4 SEATS
PARKING REQUIRED: 64 SEATS/4 = 16 SPACES
PARKING PROVIDED: 42

HANDICAP PARKING REQUIRED: 3
HANDICAP PARKING PROVIDED: 3

MOTORCYCLE PARKING REQUIRED: 1
MOTORCYCLE PARKING PROVIDED: 2
BICYCLE PARKING REQUIRED: 2
BICYCLE PARKING PROVIDED: 2

LEGEND

CONCRETE WHEEL STOP (RE: C10.3 STANDARD DETAILS)

FLAG POLE (26' MAX. HEIGHT)

LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24' CLEAR FROM BACK OF CURB)

ROAD SIGN (POLE)

POWER POLE

DOMESTIC WATER METER

IRRIGATION WATER METER

BACK FLOW PREVENTION DEVICE (RE: C9.0 UTILITY PLAN)

FIRE HYDRANT (EXISTING)

GREASE INTERCEPTOR (RE: C9.0 UTILITY PLAN)

SANITARY SEWER CLEANOUT (RE: C9.0 UTILITY PLAN)

McDONALD'S DIRECTIONAL SIGN

DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)

"CIRCLE / ARROW" - COLOR : YELLOW

ARROW PATH DIRECTION - COLOR : WHITE

DRAINAGE STRUCTURE (RE: C8.1 POST DRAINAGE PLAN)

811

Know what's below.
Call before you dig.

McDonald's

SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

VICINITY MAP (ZONE ATLAS J-11-Z) N.T.S.

PROJECT LOCATION

REV	DATE	DESCRIPTION
01/16/2017	01/16/2017	ISSUE FOR PERMIT
02/28/2017	02/28/2017	PER CITY AND NMDOT COMMENTS

ADAMS JOB NO.: 2012.299

REGISTERED PROFESSIONAL ENGINEER

15142

G. R. Adams

McDonald's USA, LLC

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1501 COOPS BLVD NW
ALBUQUERQUE, NM

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

DESIGNED	DATE	BY
TJR	NOV 2016	TJR
DRAWN	DATE	BY
TJR	NOV 2016	TJR
CHECKED	DATE	BY
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AS-BUILT	DATE	BY
----	----	----

TRAFFIC CIRCULATION PLAN

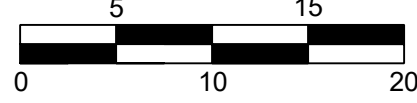
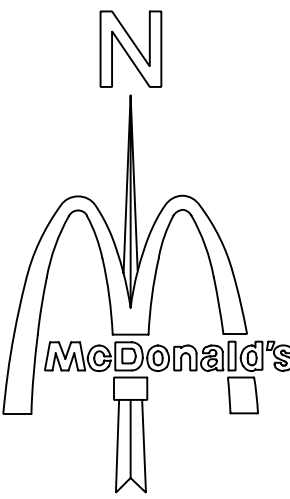
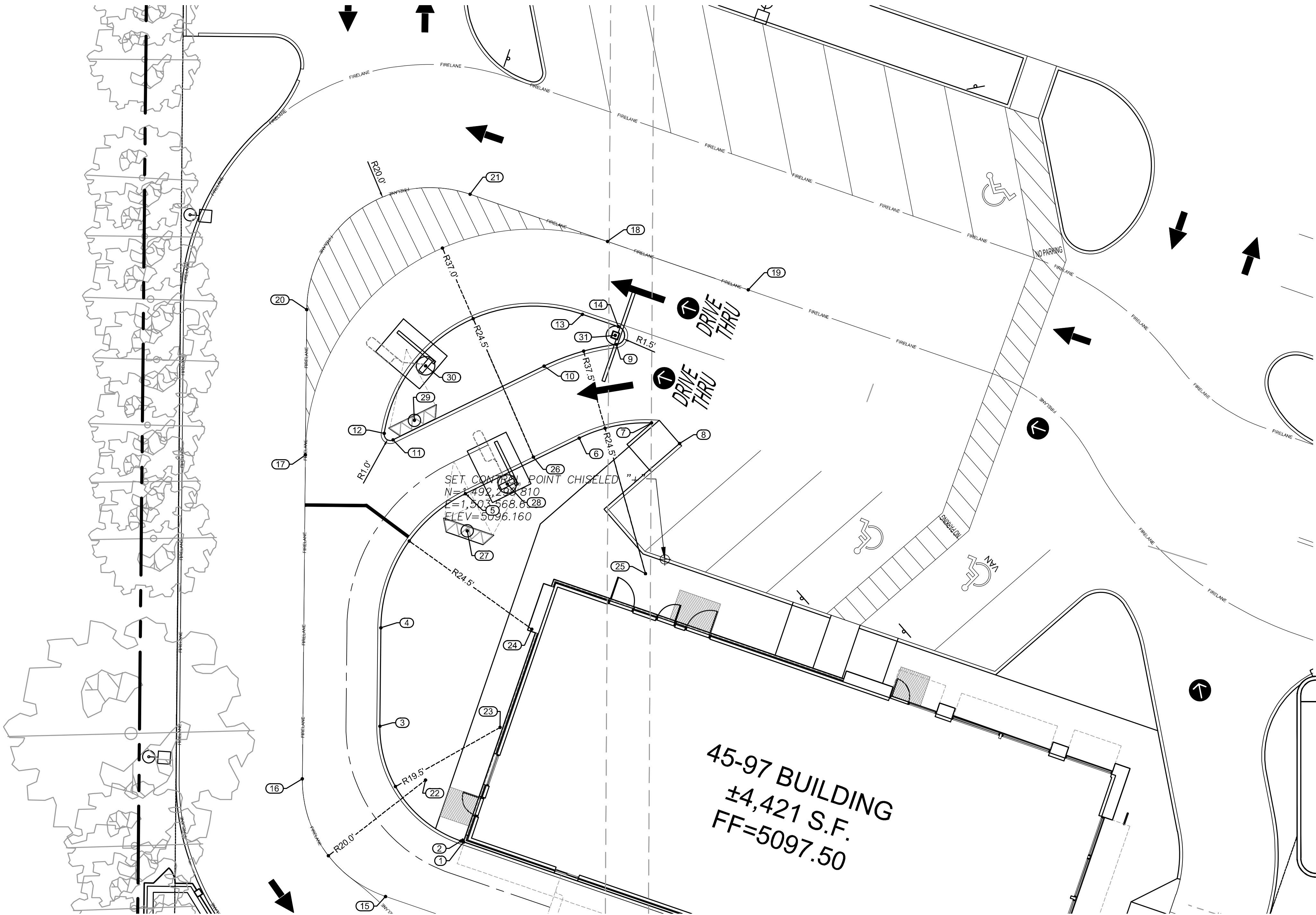
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ALBUQUERQUE HOTELS LIMITED
TRACT 261-A
WN OF ATRISCO GRANT
S 261-A & 261-B UNIT 8
1/20/1981, C17-184)
JO. 101105805652922403

COORDINATE CONTROL TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
1	1492253.95	1503536.05	BUILDING CORNER
2	1492254.09	1503535.63	POINT OF CURVATURE
3	1492272.72	1503522.47	POINT OF TANGENCY
4	1492288.70	1503522.62	POINT OF CURVATURE
5	1492310.48	1503536.36	POINT OF TANGENCY
6	1492319.50	1503554.81	POINT OF CURVATURE
7	1492321.96	1503566.56	POINT OF TANGENCY
8	1492318.61	1503571.09	BACK OF CURB
9	1492334.69	1503560.86	POINT OF REVERSE CURVATURE
10	1492331.18	1503549.11	POINT OF TANGENCY
11	1492319.20	1503524.61	POINT OF CURVATURE
12	1492320.26	1503523.18	POINT OF COMPOUND CURVATURE
13	1492339.59	1503555.34	POINT OF TANGENCY
14	1492337.59	1503561.16	POINT OF CURVATURE
15	1492245.08	1503523.39	STRIPE POINT OF CURVATURE

COORDINATE CONTROL TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
16	1492264.18	1503509.88	STRIPE POINT OF TANGENCY
17	1492316.77	1503510.38	STRIPE POINT OF CURVATURE
18	1492351.41	1503559.40	STRIPE POINT OF TANGENCY
19	1492343.57	1503582.24	STRIPE POINT
20	1492340.35	1503510.60	STRIPE POINT OF CURVATURE
21	1492359.07	1503537.10	STRIPE POINT OF TANGENCY
22	1492263.99	1503529.88	RADIUS POINT
23	1492272.53	1503541.96	RADIUS POINT
24	1492288.46	1503547.12	RADIUS POINT
25	1492297.48	1503565.57	RADIUS POINT
26	1492316.42	1503547.38	RADIUS POINT
27	1492304.44	1503536.63	PRIMARY MENU BOARD
28	1492312.04	1503543.14	PRIMARY C.O.D.
29	1492322.38	1503528.07	SECONDARY MENU BOARD
30	1492331.23	1503529.87	SECONDARY C.O.D.

COORDINATE CONTROL TABLE			
POINT #	NORTHING	EASTING	DESCRIPTION
31	1492336.17	1503560.67	DOUBLE GATEWAY



SCALE: 1" = 10'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS



Know what's below.
Call before you dig.

BENCHMARK

- AGRS MONUMENT "2_H12" STANDARD AGRS BRASS TABLET (FOUND IN PLACE)
NM STATE PLANE COORDINATES (CENTRAL ZONE - NAD 1983)
N = 1,492,180.199 E = 1,500,635.082
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GROUND TO GRID FACTOR = 0.99961414
DELTA ALPHA ANGLE = -0°16'07.41"
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N = 1,493,127.762 E = 1,504,048.077
PUBLISHED EL = 5098.37 (NAVD 1988)
GROUND TO GRID FACTOR = 0.999681358
DELTA ALPHA ANGLE = -0°15'43.88"

NOTICE TO CONTRACTOR

- COORDINATES SHOWN ARE AT BACK OF CURB OR CENTERLINE OF FOUNDATION OR STRIPE.
- VERIFY LOCATION OF CODS AND MENU BOARDS WITH ACM PRIOR TO POURING FOUNDATIONS.
- COORDINATES BASED OFF OF GEODETIC NORTH AS PROVIDED BY SURVEYOR.
- IT IS REQUIRED BY MCDONALD'S THAT ALL DRIVE THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS IN THE DRIVE THRU AREA BE FIELD LOCATED AND STAKED BY A PROFESSIONAL SURVEYOR.

BY HJM	DESCRIPTION ISSUE FOR PERMIT	DATE 01/16/2017	REV ----
HJM	PER CITY AND NMDOT COMMENTS	02/28/2017	----
----	----	----	----
ADAMS JOB NO.: 2012.299			
8951 Cypress Vistas Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200			

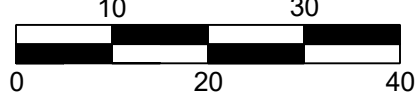
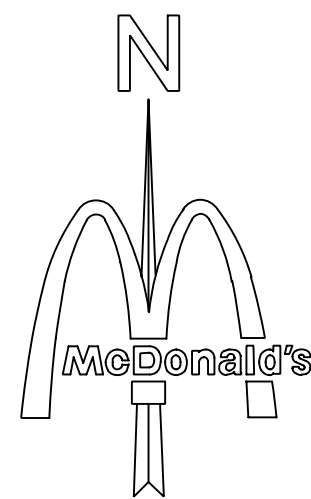
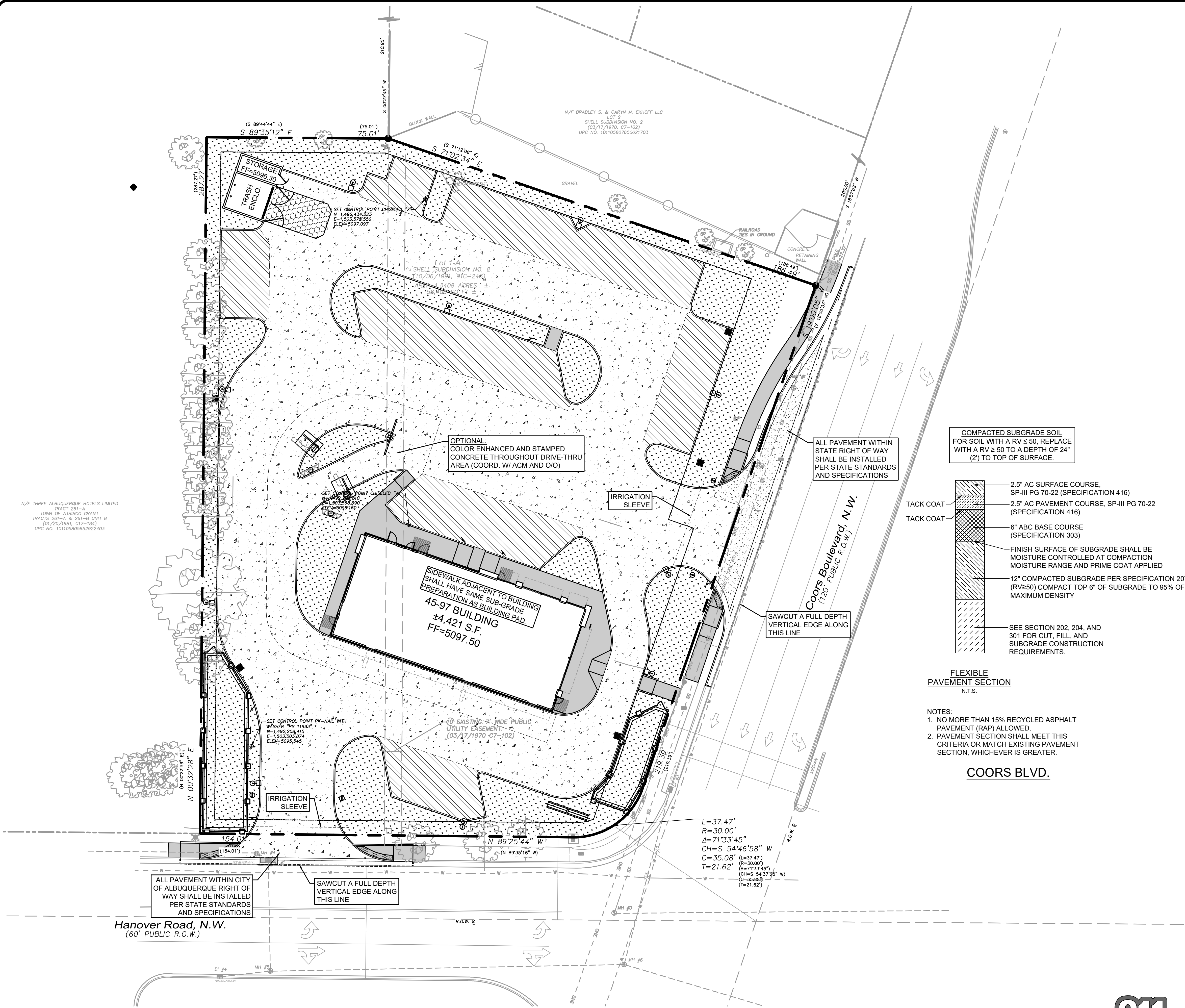
2.28.17	
G. R. Adams	

OFFICE MTN. SOUTHWEST FIELD EXECUTION TEAM	ADDRESS KROC DRIVE - OAK BROOK, ILLINOIS 60521	MC DONALD'S LLC 030-0014
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1501 COOPS BLVD NW ALBUQUERQUE, NM		

PLAN APPROVALS		DATE	BY
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

DESIGNED	DEC 2016	MP
DRAWN	DEC 2016	MP
CHECKED	01/16/17	DWL
AS-BUILT		
DRIVE-THRU COORDINATE PLAN		
C5.0		

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PLOT TIME: 11:21:50 AM
PLOT DATE: Tuesday, February 28, 2017
PLOTED BY: Heather Moenber
FILENAME: C06 PAVING PLAN.dwg



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

PAVING SPECIFICATION

VERIFY W/ MCDONALD'S: ASPHALT: ☐ CONCRETE: ☒
CONTRACTOR TO BID: ASPHALT: ☐ CONCRETE: ☒

CONCRETE PAVEMENT RECOMMENDATIONS - BASE BID

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
PORTLAND CEMENT CONCRETE PAVEMENT	5"	5.5"

ASPHALT PAVEMENT RECOMMENDATIONS - ALTERNATE BID

PAVEMENT MATERIALS	LIGHT DUTY	HEAVY DUTY
ASPHALT SURFACE COURSE	3" OR 4.5"	4.5" OR 6"
AGGREGATE BASE COURSE	6" OR 6"	6" OR 6"

PAVEMENT NOTES:

- PAVEMENT AND SUBGRADE SHALL BE PREPARED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY TERRACON CONSULTANTS, INC. DATED OCTOBER 5, 2016. (66165139)
- SUBGRADE SHOULD BE SCARIFIED AND COMPACTED TO AT LEAST 98 PERCENT OF THE STANDARD PROCTOR (ASTM D 698) MAXIMUM DRY DENSITY FOR A DEPTH OF AT LEAST 10 INCHES BELOW THE SURFACE. SEE SECTION 4.2 OF GEOTECH REPORT.
- PAVEMENT MAY BE PLACED AFTER THE SUBGRADE HAS BEEN PROPERLY COMPACTED, FINE-GRADED AND PROOF ROLLED AS SPECIFIED IN THE SOILS REPORT.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE NEW MEXICO DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND CITY OF ALBUQUERQUE SPECIFICATIONS.
- WATER SHOULD NOT BE ALLOWED TO POND BEHIND CURBS AND SATURATE THE BASE MATERIALS. GRANULAR BASE MATERIAL SHOULD EXTEND THROUGH THE SLOPE PROVIDING UNDERGROUND DRAINAGE AN EXIT PATH. REFER TO C10.2 FOR CONCRETE JOINT SPECIFICATIONS UNLESS NOTED OTHERWISE IN THE SOILS REPORT.
- ALL CONCRETE PAVEMENT SHALL BE 4,000 PSI @ 28 DAYS AND REINFORCED WITH #3 BARS @ 18" O.C.E.W.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

THE INFORMATION ABOVE IS BEING PROVIDED FOR REFERENCE ONLY AND SHALL NOT BE RELIED ON AS ACCURATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REFERRING TO THE GEOTECHNICAL REPORT REFERENCED ABOVE FOR ALL PAVEMENT/GEOTECH REQUIREMENTS.

COMPACTED SUBGRADE SOIL FOR SOIL WITH A RV \leq 50, REPLACE WITH A RV \geq 50 TO A DEPTH OF 24" (2') TO TOP OF SURFACE.

2.5" AC SURFACE COURSE, SP-III PG 70-22 (SPECIFICATION 416)
2.5" AC PAVEMENT COURSE, SP-III PG 70-22 (SPECIFICATION 416)
6" ABC BASE COURSE (SPECIFICATION 303)
FINISH SURFACE OF SUBGRADE SHALL BE MOISTURE CONTROLLED AT COMPACTION MOISTURE RANGE AND PRIME COAT APPLIED
12" COMPACTED SUBGRADE PER SPECIFICATION 207 (RV \geq 50) COMPACT TOP 6" OF SUBGRADE TO 95% OF MAXIMUM DENSITY
SEE SECTION 202, 204, AND 301 FOR CUT, FILL, AND SUBGRADE CONSTRUCTION REQUIREMENTS.

FLEXIBLE PAVEMENT SECTION
N.T.S.

NOTES:
1. NO MORE THAN 15% RECYCLED ASPHALT PAVEMENT (RAP) ALLOWED.
2. PAVEMENT SECTION SHALL MEET THIS CRITERIA OR MATCH EXISTING PAVEMENT SECTION, WHICHEVER IS GREATER.

COORS BLVD.

LEGEND

REINFORCED CONCRETE SIDEWALK. MINIMUM 4" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH

HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & DRIVE-THRU.

LIGHT DUTY REINFORCED CONCRETE*

REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 6" THICK REINFORCED WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 4000 PSI 28-DAY STRENGTH*

HEAVY DUTY ASPHALT IN NMDOT ROW. MINIMUM 3" THICK ASPHALT CONCRETE SURFACE COURSE (MAX. 1.5" LIFTS), OVER 9" CRUSHED AGGREGATE BASE COURSE.*

LANDSCAPE AREA

SAWCUT LINE

2.5" IRRIGATION SLEEVES

*REFER TO GEOTECH REPORT PROVIDED BY TERRACON CONSULTANTS, INC. IN REPORT NO. 66165139 FOR ALL PAVING SPECIFICATIONS.

811

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ADAMS ENGINEERING

15142

2.28.17

G. Roldan

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1501 COORS BLVD NW
ALBUQUERQUE, NM

REV	DATE	DESCRIPTION
01/16/2017	02/28/2017	ISSUE FOR PERMIT PER CITY AND NMDOT COMMENTS

ADAMS JOB NO.:
2012.209

DESIGNED
DRAWN
CHECKED
AS-BUILT

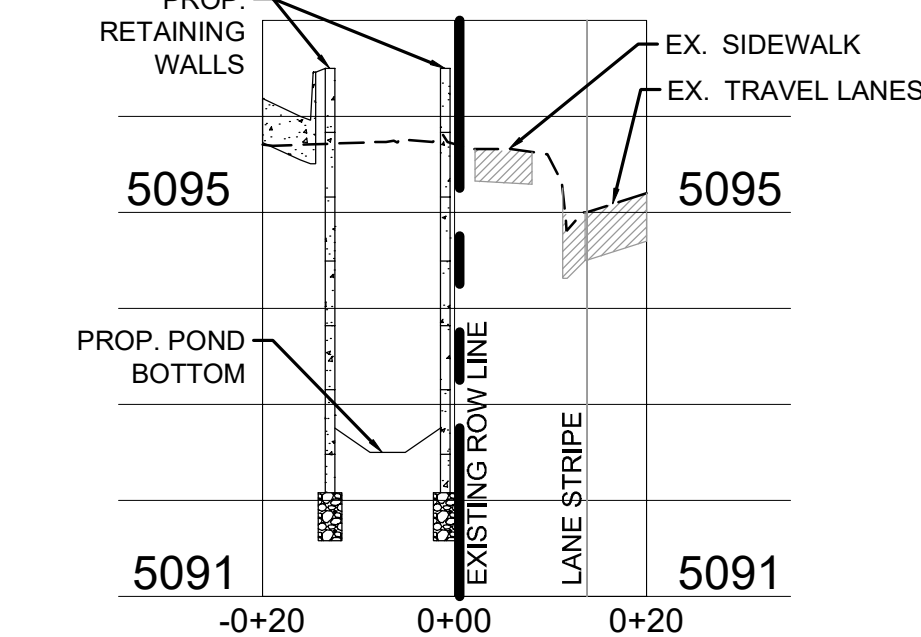
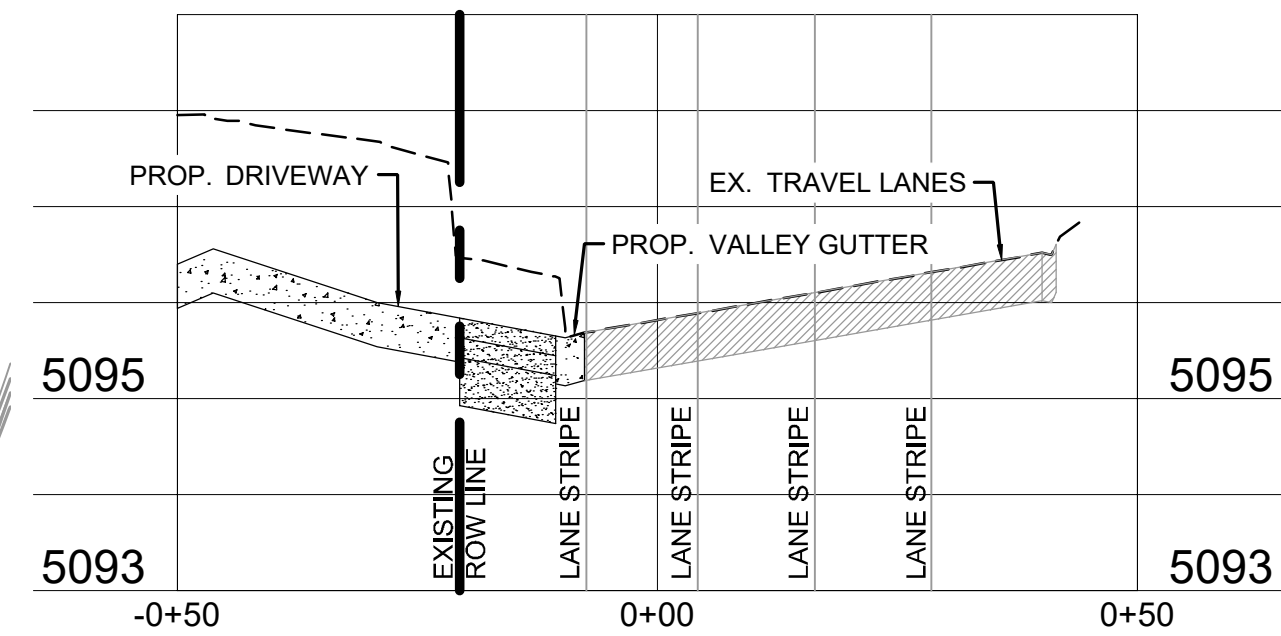
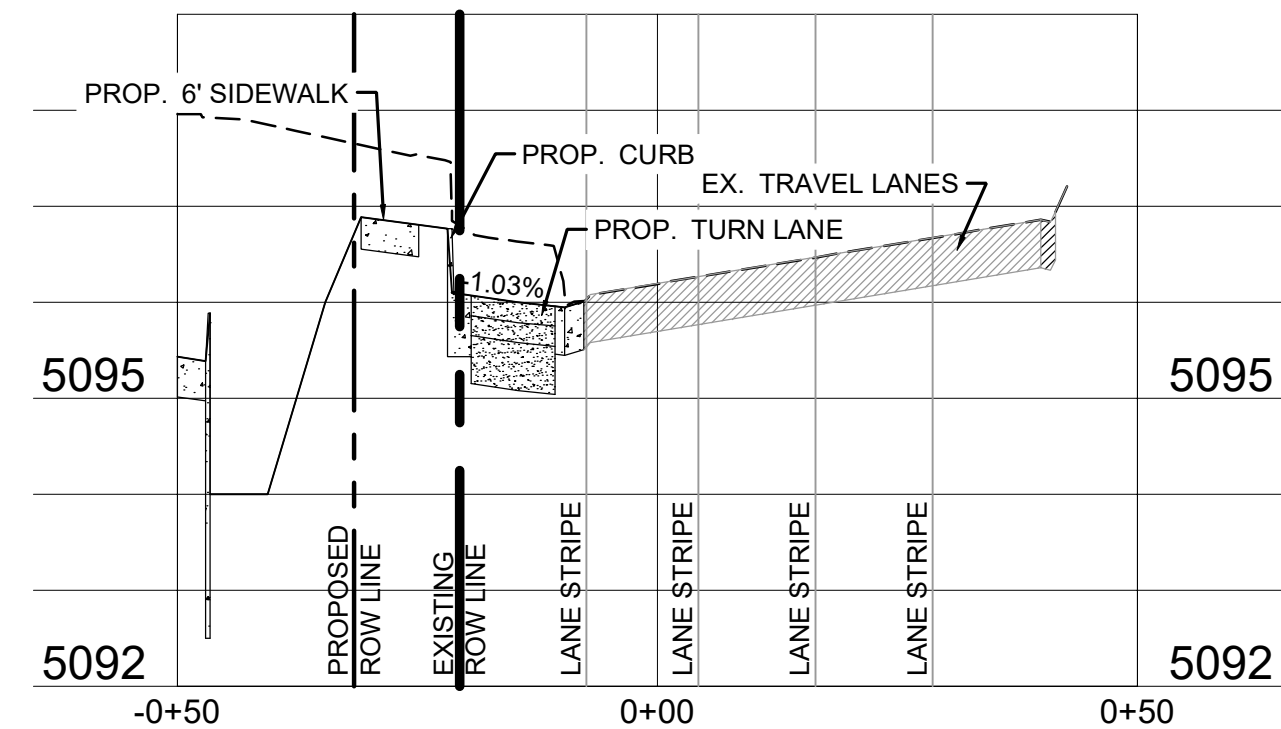
DATE
DEC 2016
DEC 2016
01/16/17

BY
MP
MP
DWL

PAVING PLAN

C6.0

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STANDARD ACCESSIBILITY REQUIREMENTS

PARKING:

(A) ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A MIN. 96" WIDE OR A MIN. 132" WIDE FOR VAN DESIGNATED SPACES WITH A MAXIMUM SLOPE OF 2% (IN ALL DIRECTIONS). ALL BUILDINGS SHALL HAVE AT LEAST ONE VAN ACCESSIBLE SPACE.

(B) EACH ACCESSIBLE PARKING SPACE SHALL HAVE A VERTICALLY MOUNTED (OR SUSPENDED) SIGN SHOWING THE SYMBOL OF ACCESSIBILITY. AT LEAST ONE SPACE MUST INCORPORATE "VAN-ACCESSIBLE" BELOW THE SYMBOL OF ACCESSIBILITY. SIGN SHALL BE LOCATED AS NOTED TO 60" (MIN.) ABOVE THE ADJACENT PAVED SURFACE TO BOTTOM OF TEXT.

(C) ALL ACCESS AISLES SERVING ACCESSIBLE PARKING SPACES SHALL BE AS NOTED TO A 60" WIDE MINIMUM.

RAMPS:

(D) RAMPS EXCEEDING 6" IN RISE (EXCLUDING CURB RAMPS) SHALL HAVE APPROPRIATE EDGE PROTECTION WITH HANDRAILS ON EACH SIDE AT BETWEEN 34" AND 38", AND EXTEND 12" BEYOND THE TOP AND BOTTOM OF RAMP. HANDRAIL SHALL NOT DIMINISH THE CLEAR AREA REQUIRED FOR TOP AND BOTTOM LANDINGS SERVING THE RAMPS.

(E) IF REQUIRED BY LOCAL OR STATE JURISDICTION, RAMPS SHALL CONTAIN A TRUNCATED DOME SURFACE ARRANGED SO THAT WATER WILL NOT ACCUMULATE. COLOR OF RAMP FINISH MATERIAL (INCLUDING CONCRETE) SHALL HAVE A LIGHT AND REFLECTIVE VALUE AND MUST CONTRAST SIGNIFICANTLY TO DISTINGUISH IT FROM ADJACENT SURFACES - (OR PAINT STRIPE).

(F) LANDINGS FOR RAMPS SHALL BE AS WIDE AS THE RAMP AND 60" LONG MINIMUM (36" MINIMUM FOR CURB RAMPS).

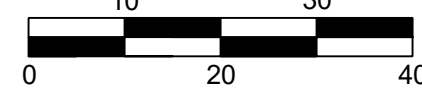
(G) RAMPS SHALL NOT EXCEED A 1:12 RUNNING SLOPE OR 30" VERTICAL RISE.

(H) RAMPS AND LANDING SHALL NOT EXCEED 1:48 (2% CROSS SLOPE).

SIDEWALKS AND ACCESSIBLE ROUTES:

(I) SIDEWALKS MUST BE AT LEAST 36" WIDE WITH A CROSS SLOPE THAT SHALL NOT EXCEED 1:48 (2%).

(J) LONGITUDINAL SLOPE OF ANY SIDEWALK (ACCESSIBLE ROUTE) SHALL NOT EXCEED 1:20 (5%).



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY
JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
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(972) 869-5346
CONTACT: LEE MORRIS







BENCHMARK

1. AGRS MONUMENT "2_H12" STANDARD AGRS BRASS TABLET
(FOUND IN PLACE)
NM STATE PLANE COORDINATES (CENTRAL ZONE - NAD 1983)
N = 1,492,180.199 E = 1,500,635.082
PUBLISHED EL = 5719.814 (NAD 1988)
GROUND TO GRID FACTOR = 0.99981414
DELTA ALPHA ANGLE = "0°16'07.41"
2. AGRS MONUMENT "6_J10" STANDARD AGRS BRASS TABLET
(FOUND IN PLACE)
NM STATE PLANE COORDINATES (CENTRAL ZONE - NAD 1983)
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PUBLISHED EL = 5098.37 (NAD 1988)
GROUND TO GRID FACTOR = 0.9998631358
DELTA ALPHA ANGLE = "0°15'43.88"


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LEGEND

TC = PROPOSED TOP OF CURB
TP = PROPOSED TOP OF PAVEMENT
FG = PROPOSED FINISHED GRADE
FF = PROPOSED FINISHED FLOOR
TW = PROPOSED TOP OF WALL
TS = PROPOSED TOP OF SIDEWALK

 SWALE
 GRADE BREAK
 RIDGE LINE
 EXISTING CONTOUR
 PROPOSED CONTOUR
 LEVEL LANDING @ 2% MAX SLOPE IN ANY DIRECTION

REV	DATE	DESCRIPTION	BY
01/16/2017		ISSUE FOR PERMIT	HJM
02/28/2017		PER CITY AND NMDOT COMMENTS	HJM
ADAMS JOB NO.:			
2012.299			



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8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200

2.28.17

G. Robert Adams

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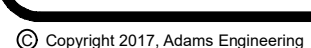
1501 COORS BLVD NW
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PLAN APPROVALS		
	SIGNATURE (2 REQUIRED)	DATE
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		





	DATE	BY
DESIGNED	JAN 2017	HJM
DRAWN	JAN 2017	HJM
CHECKED	01/16/17	DWL
AS-BUILT		

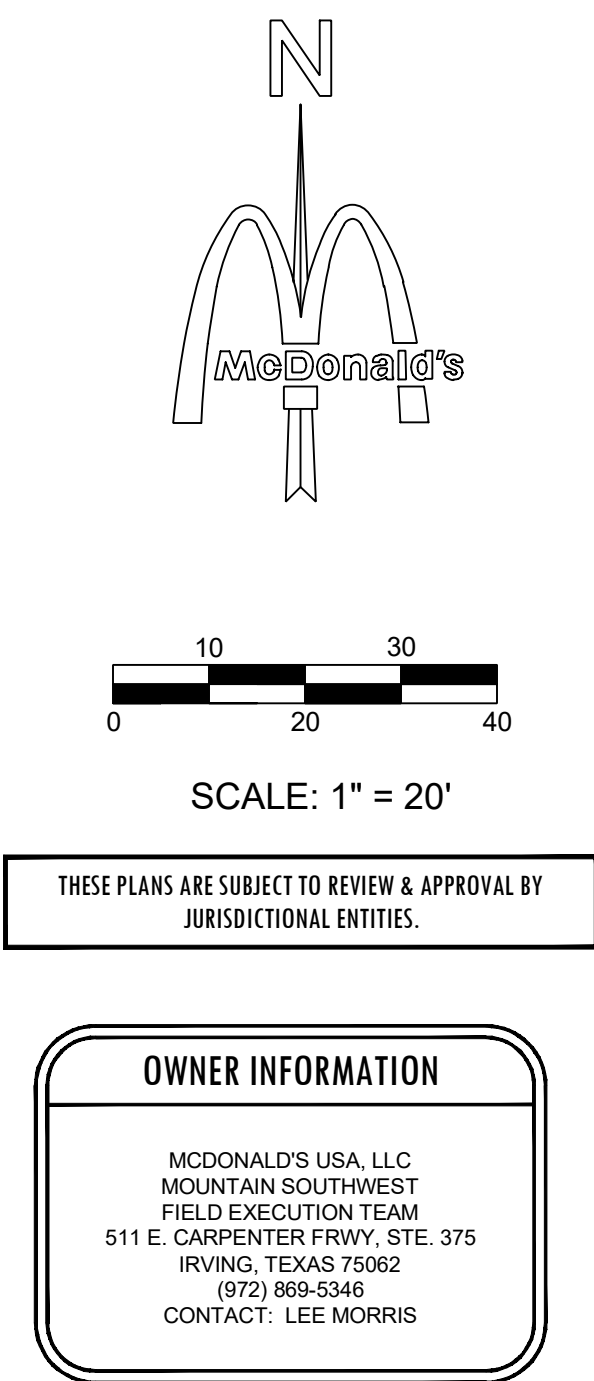
GRADING
PLAN

C7.0



LEGEND

	DRAINAGE AREA LINE
	EXISTING CONTOUR
	DRAINAGE AREA NUMBER DRAINAGE AREA (ACRES)
	EXISTING DRAINAGE DIRECTION



Pond #	Drainage Areas	Impervious Area (Ac)	FF Required Volume (cf)	FF Provided Volume (cf)	Total Provided Volume (cf)
1	A-1	0.196	242	286	518
2	A-2, OS-1	0.329	406	1609	2259
3	A-3	0.072	89	680	1767
4	A-4, A-5	0.297	367	619	4495
Off-site Flow	B-1, B-2	0.062	77	n/a	n/a
Total	All	0.956	1180	3296	9039

Site Location – The site is located on approximately 1.34 acres at the northwest corner of Coors Blvd. and Hanover Rd. It is bordered to the north by an automobile dealership and to the West by currently vacant land held by "Three Albuquerque Hotels Limited". Proposed construction will include a McDonald's restaurant and associated paving, grading, landscaping, utility, and storm water management infrastructure.

Methodology – The proposed storm water management system was evaluated in accordance with Chapter 22 of the City of Albuquerque Development Process Manual. The site is located in Bernalillo County Precipitation Zone 1. The 100-year, 6-hour frequency rainfall event was used to calculate peak discharge rates and runoff volumes under undeveloped, existing, and proposed conditions.

Existing Conditions – Refer to Sheet C8.0 for the Pre-Developed Drainage Plan. Four drainage basins are identified for the site under existing conditions. Area OS-1 consists of 0.051 acres flowing onto the site from the North. Area X-1 contains 0.226 acres at the Southeast corner of the site, and drains through a grate inlet on-site into the Coors Blvd. ROW storm drain system. Area X-2 contains 1.096 acres, and drains to the Western side of the site where water is allowed to infiltrate through a landscape strip. Area X-3 contains 0.019 acres at the Southern edge of the site, and drains to the Hanover Rd. ROW. To accommodate new design standards, the original, undeveloped state of the on- and off-site 1.392 acre site has been analyzed as sheet flow from the North to the South and West, ultimately draining into Hanover Rd. ROW. Peak discharge rate and runoff volume calculations for existing and undeveloped conditions are provided on Sheet C8.0.

Proposed Conditions – Refer to Sheet C8.1 for the Post-Developed Drainage Plan. Nine drainage basins are identified for the site under proposed conditions. Area OS-1 (0.051 acres) flows onto the site from the North into Area A-2 (0.469 acres) which both drain through an inlet grate into Bio-Retention Basin 2. Bio-Retention Basin 2 captures the first flush for these areas, then overflows to Bio-Retention Basin 3. Area A-1 (0.288 acres) drains into Bio-Retention Basin 1, from a combination of sheet and channel (swale) flow, which captures the first flush for the area, then overflows to Bio-Retention Basin 4. Area A-3 (0.088 acres) sheet flows to Bio-Retention Basin 3 through a grate inlet where the first flush for A-3 is captured. Roof Area A-4 (0.102) drains through a downspout along with Area A-5 (0.266 acres) through a grate inlet into Bio-Retention Basin 4 where the first flush is retained. The outflow pipes for Bio-Retention Basins 3 and 4 have been sized to limit flow to undeveloped conditions during a 100-year storm event (Undeveloped=1.80CFS, Proposed=1.66CFS). Total bio-retention (0.34", first flush") is 3.296 cubic feet with an overall total storage of 9.039 cubic feet to accommodate limited flow rates out of Bio-Retention Basins 3 and 4.

Conclusions – The overall amount of impervious area at this site will be similar under the proposed conditions as the existing site; however, rather than a large portion of flow draining directly into the storm system, all areas meet the required bio-retention volume. Additionally, the proposed site will reduce the detention/infiltration burden on the adjacent site to the West. Under more frequent storm events, nearly all flow is retained and infiltrated on-site while even the 100-year storm flows off the site are kept below the undeveloped volumetric flow rate. As a result of the improvements, quality and quantity of flow should be improved when compared to the existing site.

C8.1





OWNER INFORMATION

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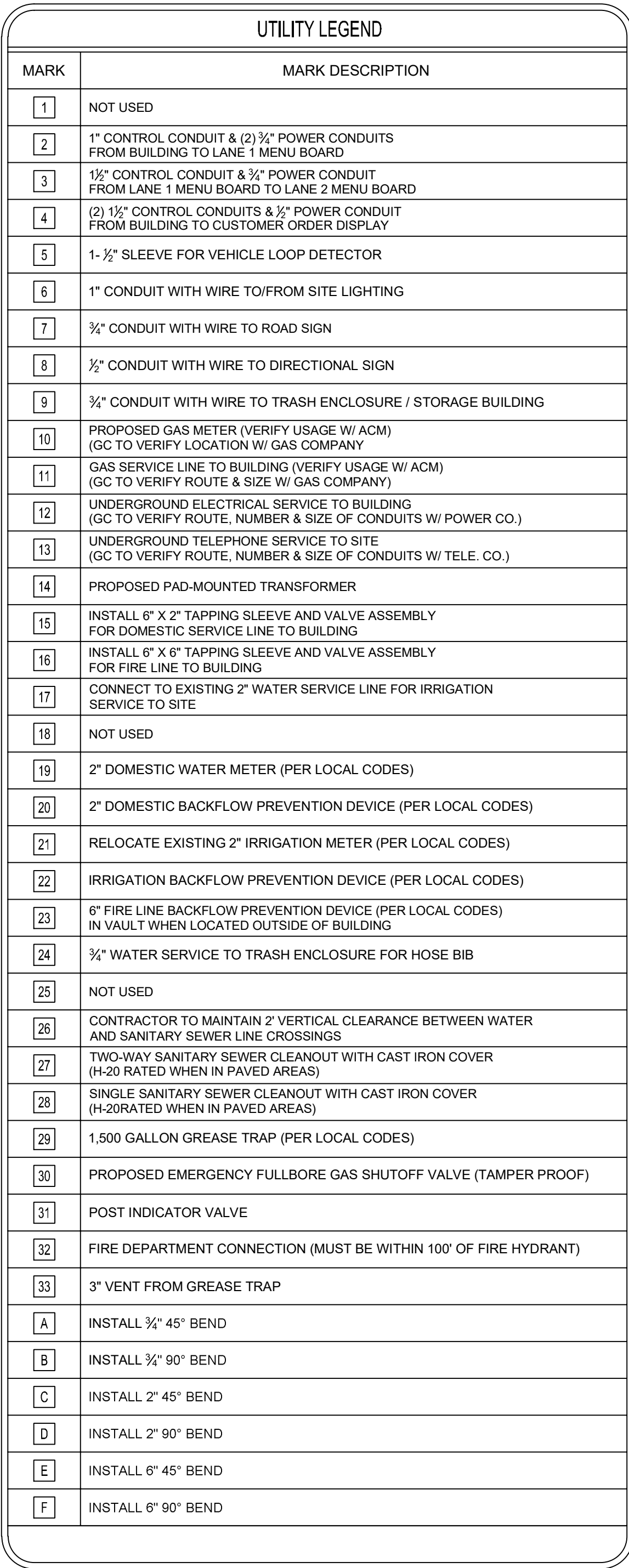
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POND PROFILES & CALCULATIONS

C8.2

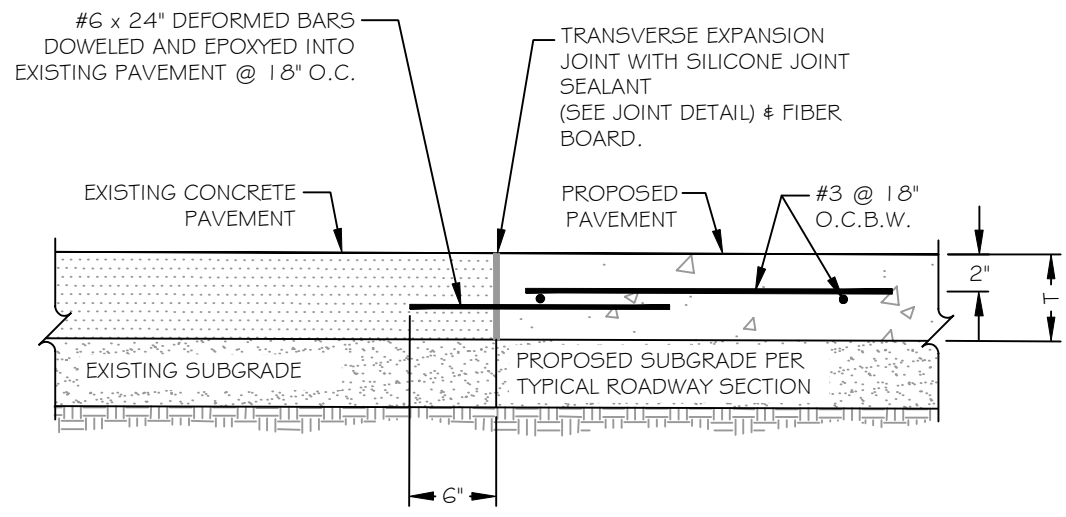
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HANDRAIL DETAIL @ ACCESSIBLE RAMP

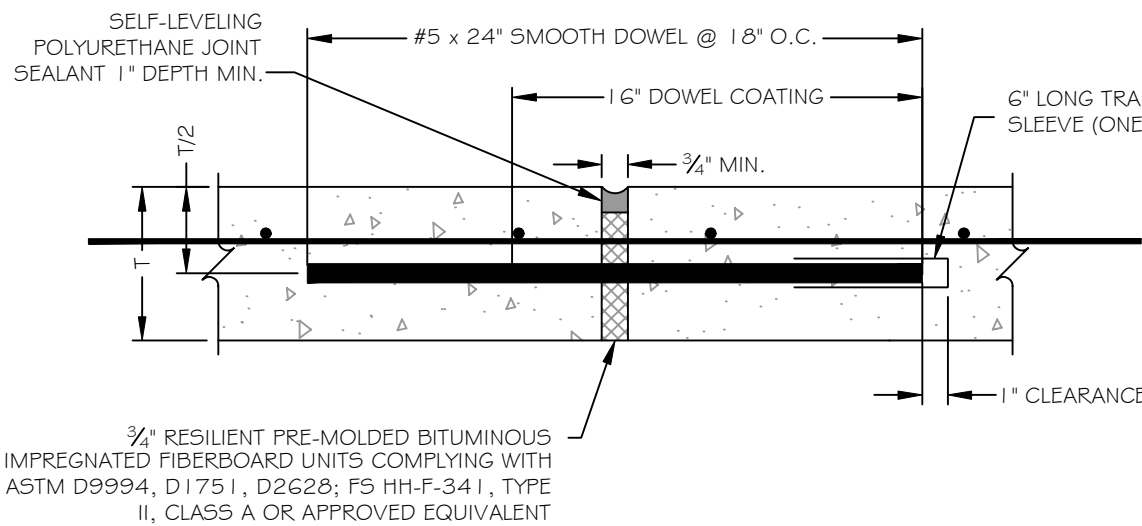
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STANDARD
DETAILS
C10.1



TRANSVERSE EXPANSION JOINT

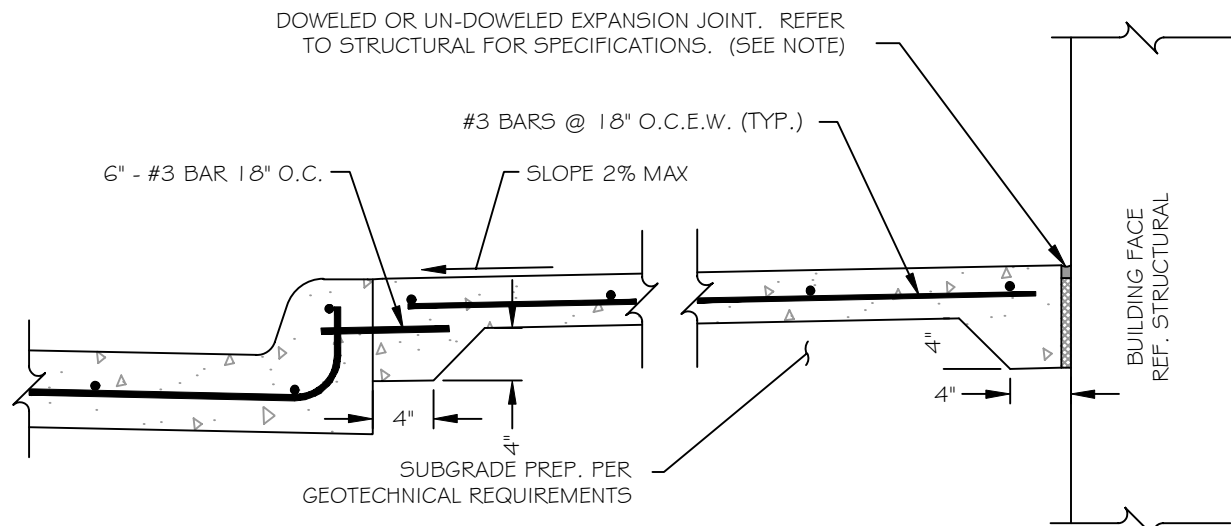
NOT TO SCALE



- NOTES:
1. SLEEVES FOR DOWELS SHALL HAVE AN INSIDE DIAMETER OF $\frac{1}{8}$ " GREATER THAN THE DIAMETER OF THE DOWELS.
 2. EXPANSION JOINTS SHALL BE CONSTRUCTED A MAXIMUM OF 500' APART ON STRAIGHT PAVING, AND WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA ISOG 1.01P (LATEST VERSION).
 3. DOWELS SHALL NOT BE TIED TO OTHER REINFORCEMENT.
 4. REFER TO SIDEWALK DETAILS THIS SHEET FOR EXPANSION JOINTS IN SIDEWALK AREAS.
 5. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 6. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED $\frac{1}{8}$ ".

EXPANSION JOINT (ISOLATION)

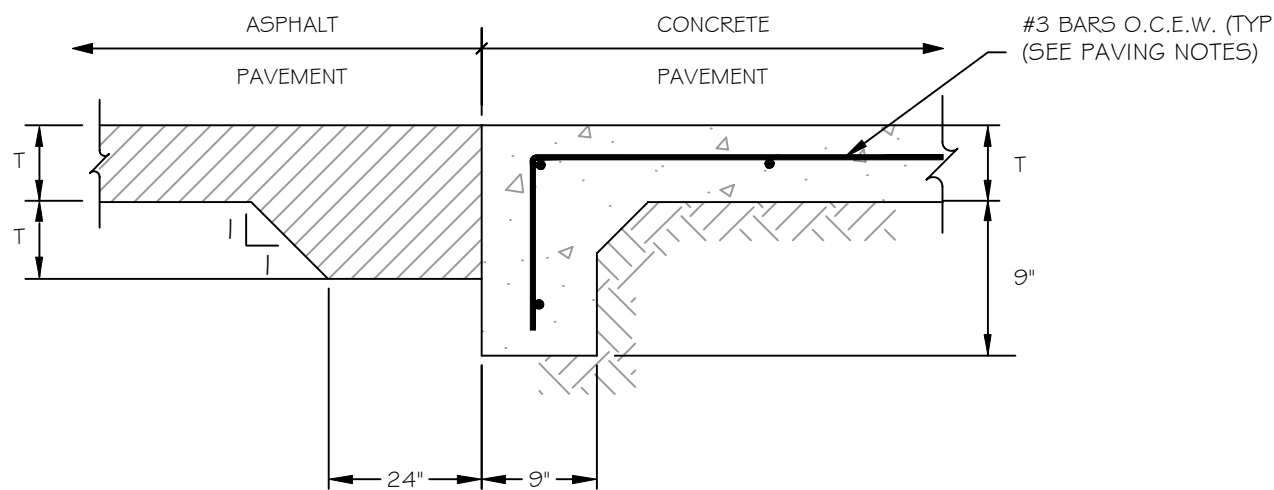
NOT TO SCALE



- NOTES:
1. ALL SIDEWALK JOINTS LOCATED WITHIN 25' OF A BUILDING FACE OR ADJACENT TO ANY STRUCTURE SHALL BE SEALED.
 2. REFER TO STRUCTURAL PLANS/DETAILS FOR DOWEL/HINGE JOINT AT ALL CONNECTIONS BETWEEN FOUNDATIONS/SLOOPS AND FLATWORK.
 3. THE SUBGRADE PREPARATION FOR ANY FLATWORK OR SIDEWALK PAVEMENT WITHIN 25' FROM ANY BUILDING FACE OR ADJACENT TO ANY STRUCTURE SHALL AS SPECIFIED BY THE GEOTECHNICAL REPORT. IN THE EVENT THAT THE GEOTECHNICAL REPORT DOES NOT CONTAIN A RECOMMENDATION THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 4. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 5. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED $\frac{1}{8}$ ".

SIDEWALK/BUILDING INTERFACE

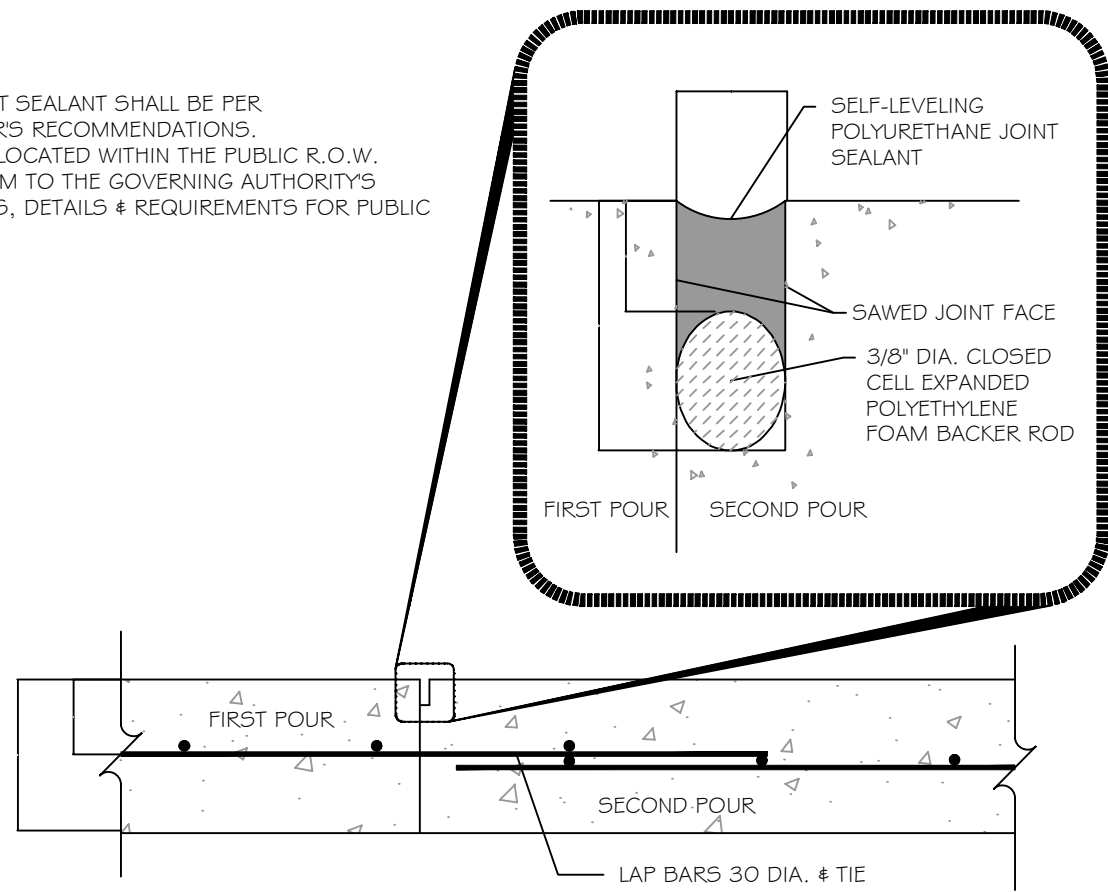
NOT TO SCALE



- NOTES:
1. PAVEMENT BARS SHALL BE BENT DOWN INTO HEADER.
 2. HEADER AND PAVEMENT SHALL BE MONOLITHIC.
 3. REINFORCEMENT STEEL SHALL BE PER PAVEMENT SECTION SPECIFICATIONS.
 4. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 5. FINISHED SURFACES SHALL BE INSTALLED FLUSH WITH A DIFFERENTIAL ELEVATION NOT TO EXCEED $\frac{1}{8}$ ".
 6. SUBGRADE PREPARATION SHALL BE PER GEOTECHNICAL REPORT SPECIFICATIONS.

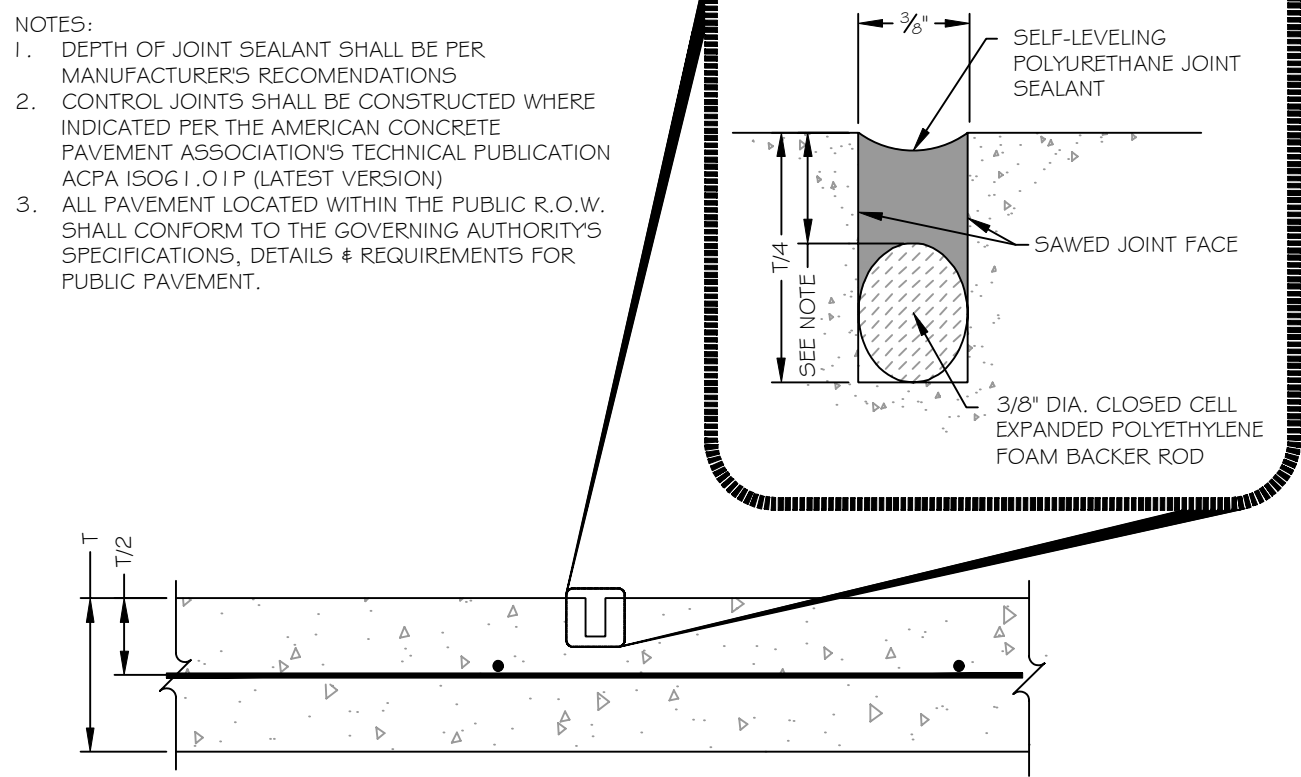
ASPHALT TO CONCRETE HEADER

NOT TO SCALE



CONSTRUCTION BUTT JOINT

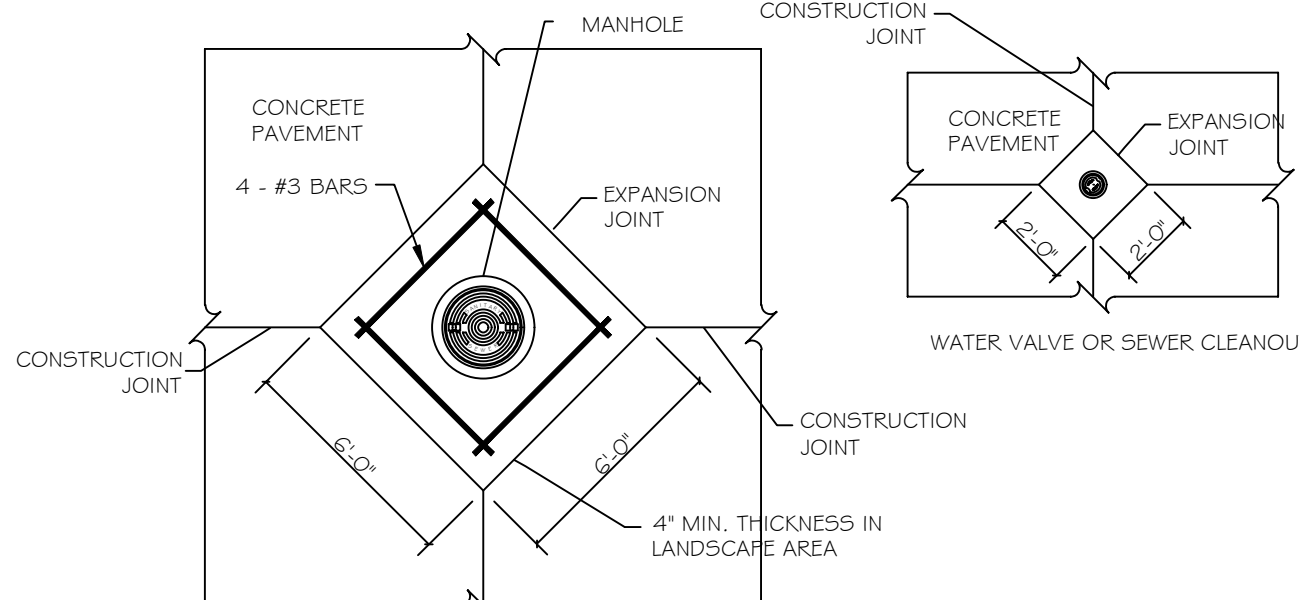
NOT TO SCALE



- NOTES:
1. DEPTH OF JOINT SEALANT SHALL BE PER MANUFACTURER'S RECOMMENDATIONS.
 2. CONTROL JOINTS SHALL BE CONSTRUCTED WHERE INDICATED PER THE AMERICAN CONCRETE PAVEMENT ASSOCIATION'S TECHNICAL PUBLICATION ACPA ISOG 1.01P (LATEST VERSION).
 3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

CONTROL JOINT (CONTRACTION)

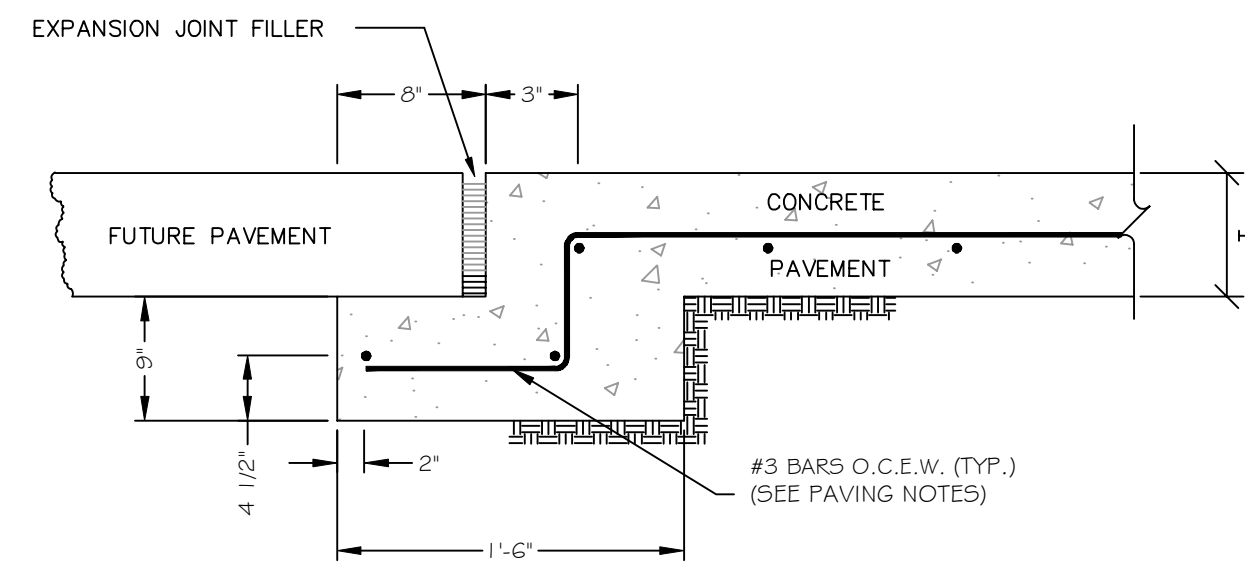
NOT TO SCALE



- NOTES:
1. ALL ASPHALT PAVEMENT SHALL BE REMOVED ALONG NEAT SAW CUT LINES.
 2. BOXOUT REQUIRED FOR ALL MANHOLES (STORM AND SANITARY) AND CLEANOUTS LOCATED IN PCC PAVEMENT.
 3. MANHOLE BOXOUT SHALL BE 6'x6' SQUARE AND ALIGNED WITH PAVEMENT JOINTING.
 4. WATER VALVE & SANITARY CLEANOUTS SHALL BE PLACED IN BOXOUTS 2'x2' SQUARE ALIGNED WITH PAVEMENT JOINTING.
 5. MANHOLES OR VALVES LOCATED IN LANDSCAPE AREAS SHALL INCLUDE 4" MIN. CONCRETE COLLAR TO THE DIMENSIONS INDICATED ABOVE AND SHALL BE INSTALLED FLUSH WITH FINISHED GRADE.
 6. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.

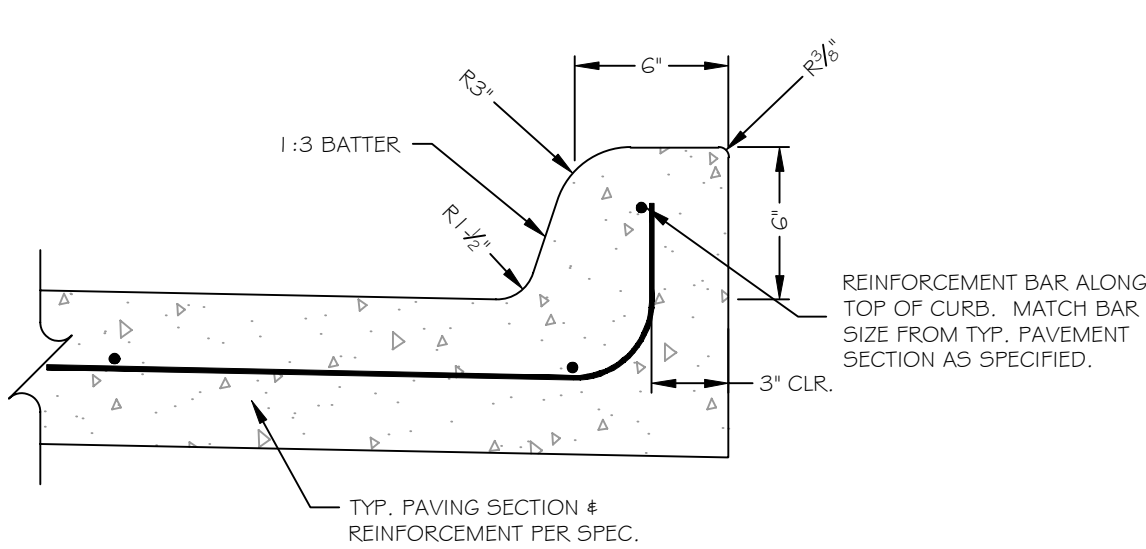
MANHOLE/VALVE/CLEANOUT JOINTING

NOT TO SCALE



STREET HEADER FOR FUTURE PAVEMENT

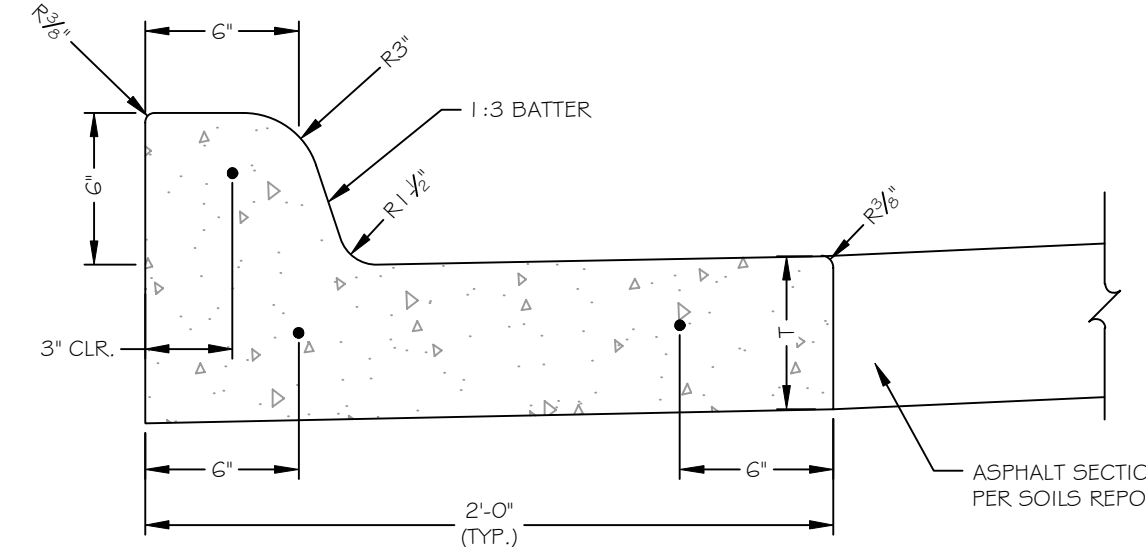
NOT TO SCALE



- NOTES:
1. ALL CURBS ARE CONSTRUCTED OF PORTLAND CEMENT CONCRETE UNLESS OTHERWISE SHOWN.
 2. GRADES SHALL BE MEASURED AT BACK OF CURB UNLESS OTHERWISE SPECIFIED.
 3. ALL PAVEMENT LOCATED WITHIN THE PUBLIC R.O.W. SHALL CONFORM TO THE GOVERNING AUTHORITY'S SPECIFICATIONS, DETAILS & REQUIREMENTS FOR PUBLIC PAVEMENT.
 4. CONTROL JOINTS THROUGH CURB SHALL BE SEALED IN THE PAVEMENT AND TERMINATE AT THE GUTTER.

MONOLITHIC CURB

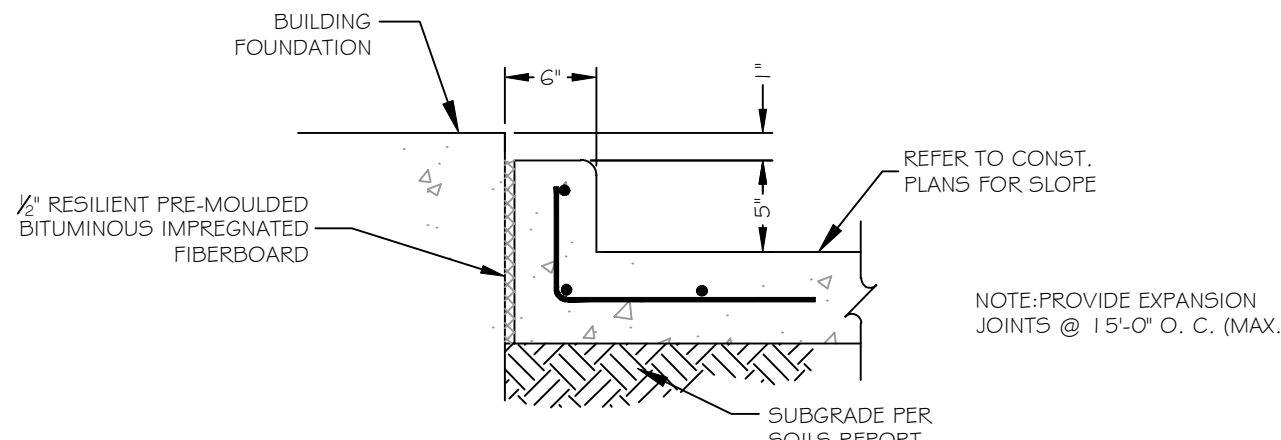
NOT TO SCALE



- NOTES:
1. REINFORCEMENT SHALL BE NO. 4 BARS.
 2. CONCRETE SHALL BE 3,500 PSI.

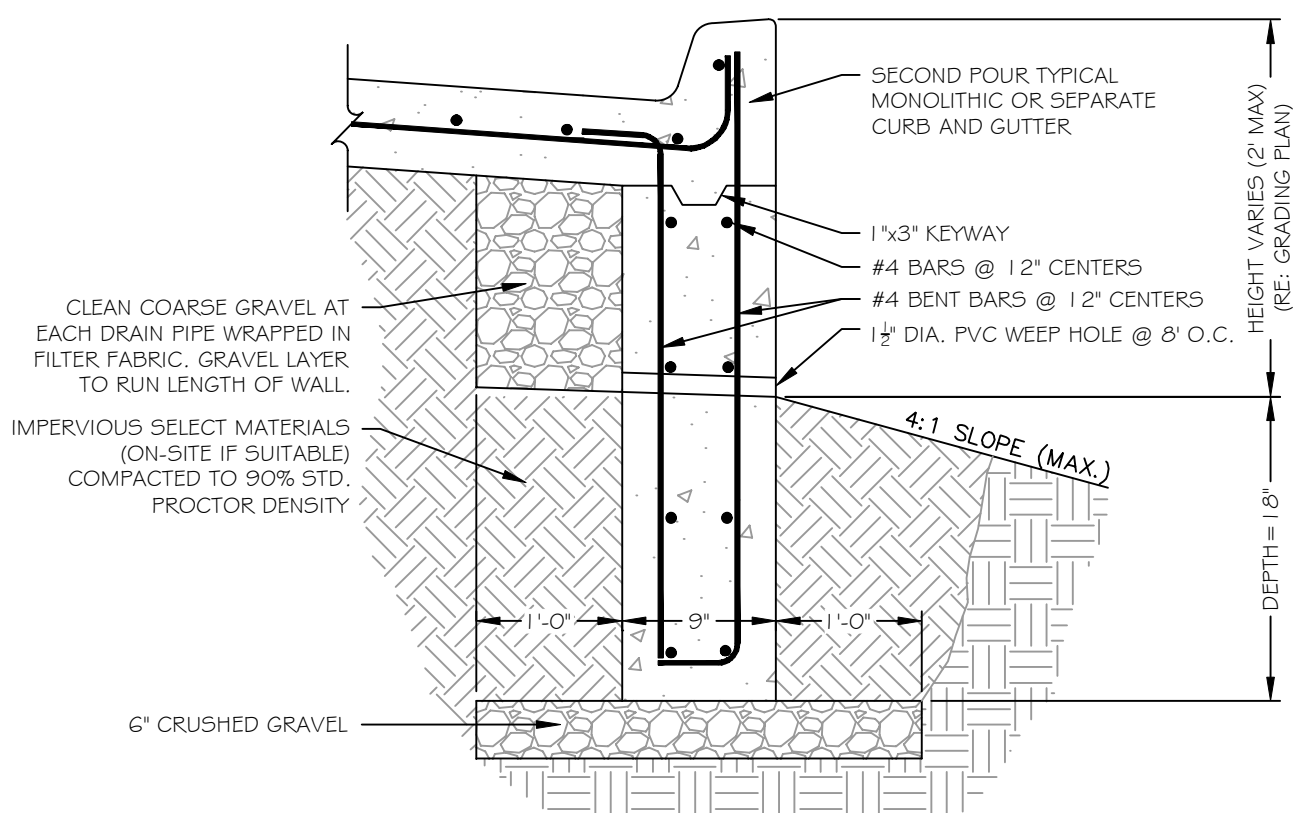
SEPARATE CURB & GUTTER

NOT TO SCALE



VERTICAL CURB @ DRIVE THRU

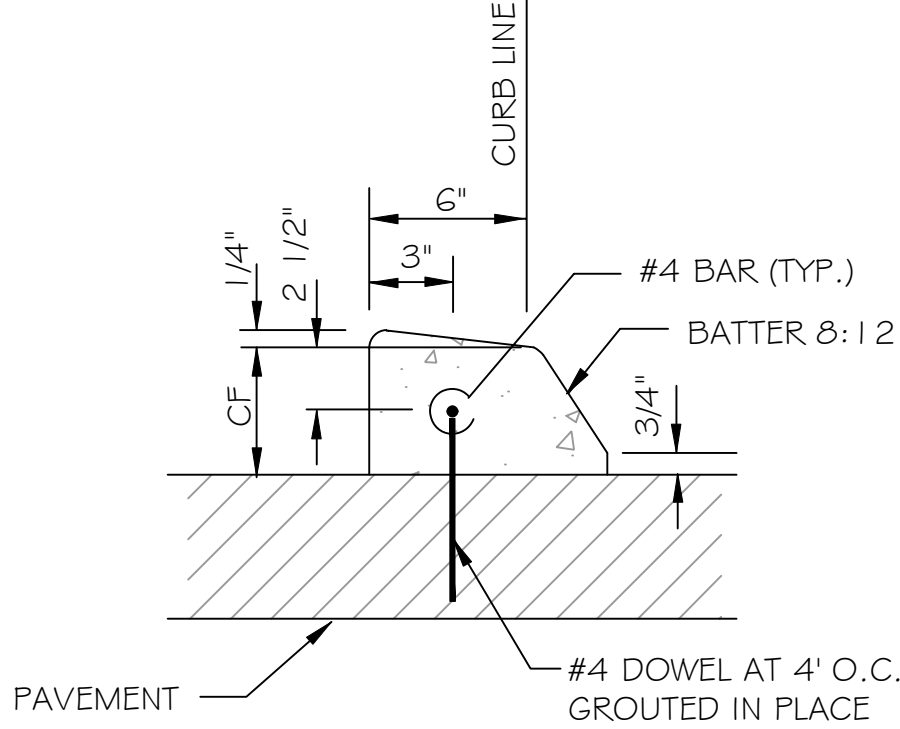
NOT TO SCALE



1. THE MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS SHALL BE 3,500 PSI AND SHALL COMPLY WITH ACI 318.
2. REINFORCING STEEL SHALL COMPLY WITH ASTM A615, GRADE 60.
3. BACKFILLING AGAINST REINFORCED DEEPENED CURB SHALL NOT BE PERMITTED UNTIL CONCRETE HAS REACHED ITS 28 DAY STRENGTH. CARE SHALL BE TAKEN TO AVOID EXERTING LARGE IMPACT FORCES ON THE DEEPENED CURB.

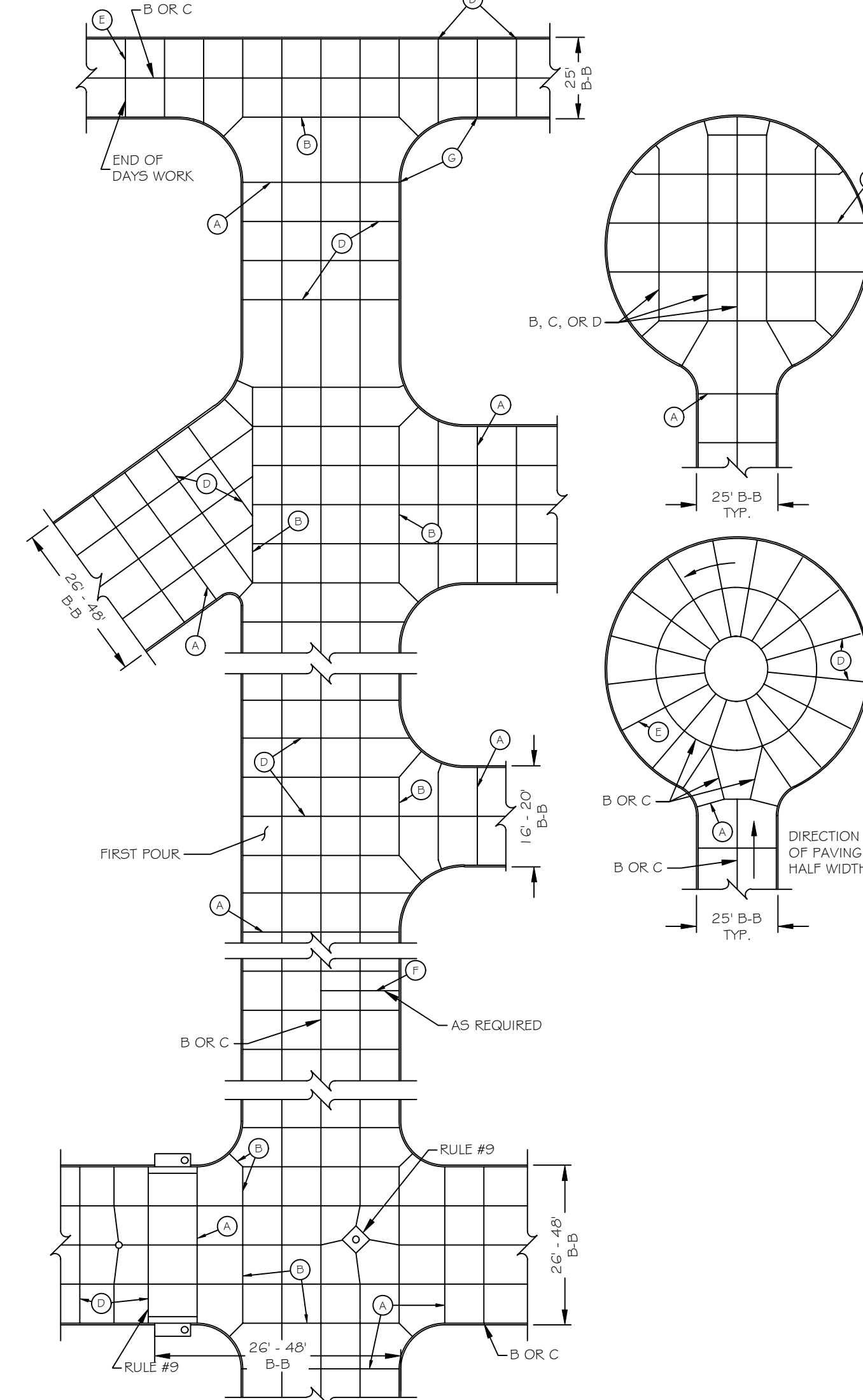
DEEPENED CURB

NOT TO SCALE



DOWELED CURB

NOT TO SCALE



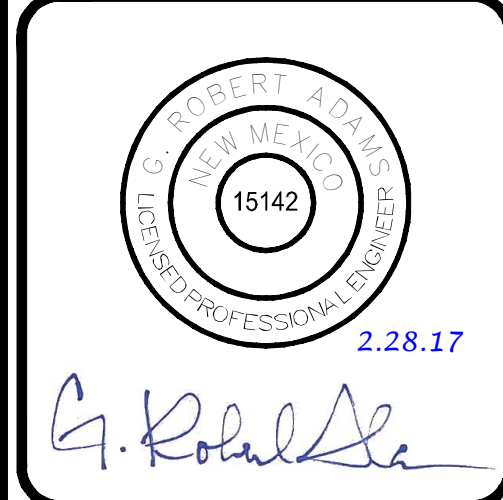
- KEY NOTES:
- A. EXPANSION JOINT (ISOLATION)
 - B. LONGITUDINAL CONSTRUCTION JOINT
 - C. LONGITUDINAL CONTROL JOINT (CONTRACTION)
 - D. TRANSVERSE CONTROL JOINT (CONTRACTION)
 - E. PLANNED TRANSVERSE CONSTRUCTION JOINT
 - F. EMERGENCY TRANSVERSE CONSTRUCTION JOINT
 - G. PLACE $\frac{1}{2}$ " EXPANSION JOINT FILLER IN TOP OF CURB ONLY AT ALL RADIUS POINTS

- RULES:
1. AVOID ODD-SHAPED SLABS.
 2. MAXIMUM TRANSVERSE JOINT SPACING FOR PAVEMENT SHOULD EITHER BE 24 TO 30 TIMES THE SLAB THICKNESS OR 15ft.
 3. LONGITUDINAL JOINT SPACING SHOULD NOT EXCEED 12.5ft.
 4. KEEP SLABS AS SQUARE AS POSSIBLE. LONG NARROW SLABS TEND TO CRACK MORE THAN SQUARE ONES.
 5. ALL TRANSVERSE CONTRACTION JOINTS MUST BE CONTINUOUS THROUGH THE CURB AND HAVE A DEPTH EQUAL TO $\frac{1}{4}$ THE PAVEMENT THICKNESS.
 6. IN ISOLATION JOINTS, THE FILLER MUST BE FULL DEPTH AND EXTEND THROUGH THE CURB.
 7. IF THERE IS NO CURB, LONGITUDINAL JOINTS SHOULD BE TIED WITH DEFORMED BARS.
 8. OFFSETS AT RADIUS POINTS SHOULD BE AT LEAST 1.5ft WIDE. JOINT INTERSECTION ANGLES LESS THAN 60° SHOULD BE AVOIDED.
 9. MINOR ADJUSTMENTS IN JOINT LOCATION MADE BY SHIFTING OF SKEWING TO MEET INLETS AND MANHOLES WILL IMPROVE PAVEMENT PERFORMANCE.
 10. WHEN THE PAVEMENT AREA HAS DRAINAGE STRUCTURES, PLACE JOINTS TO MEET THE STRUCTURES IF POSSIBLE.

TYPICAL JOINTING LAYOUT

NOT TO SCALE

BY	DATE	DESCRIPTION
HJM	01/16/2017	ISSUE FOR PERMIT
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ADAMS JOE NO.: 2012.299		



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CONTRACTOR		
OWNER		

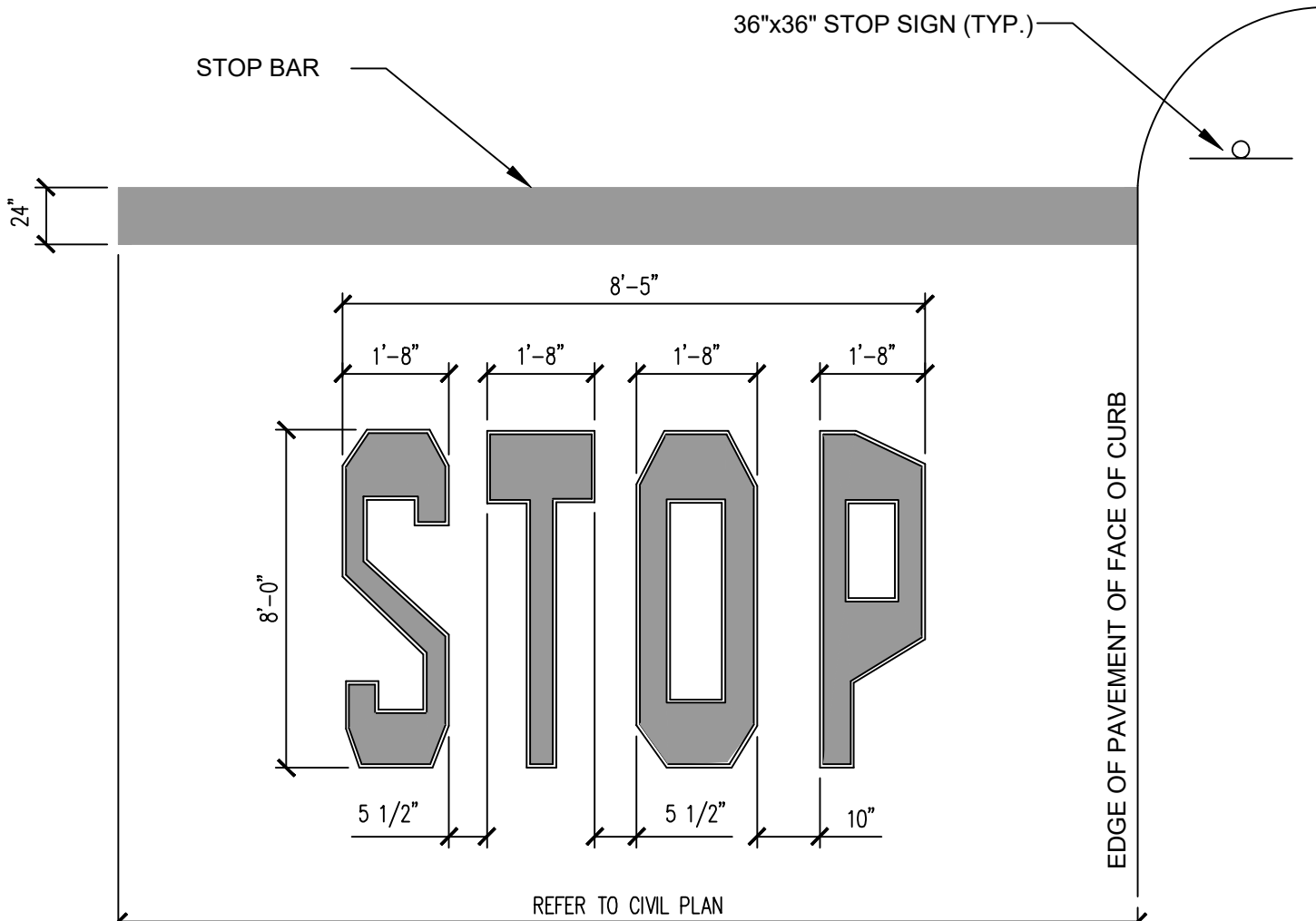
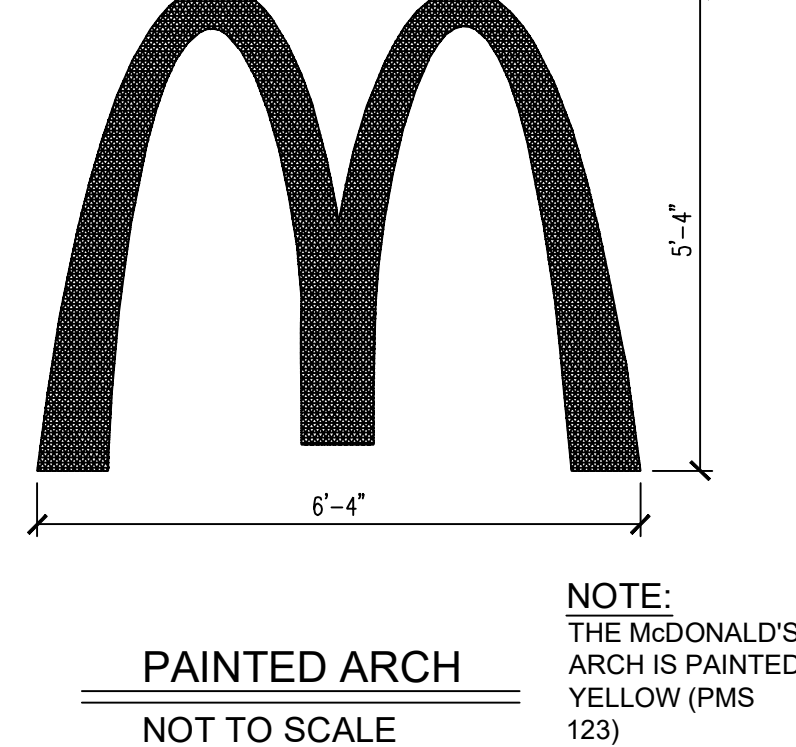
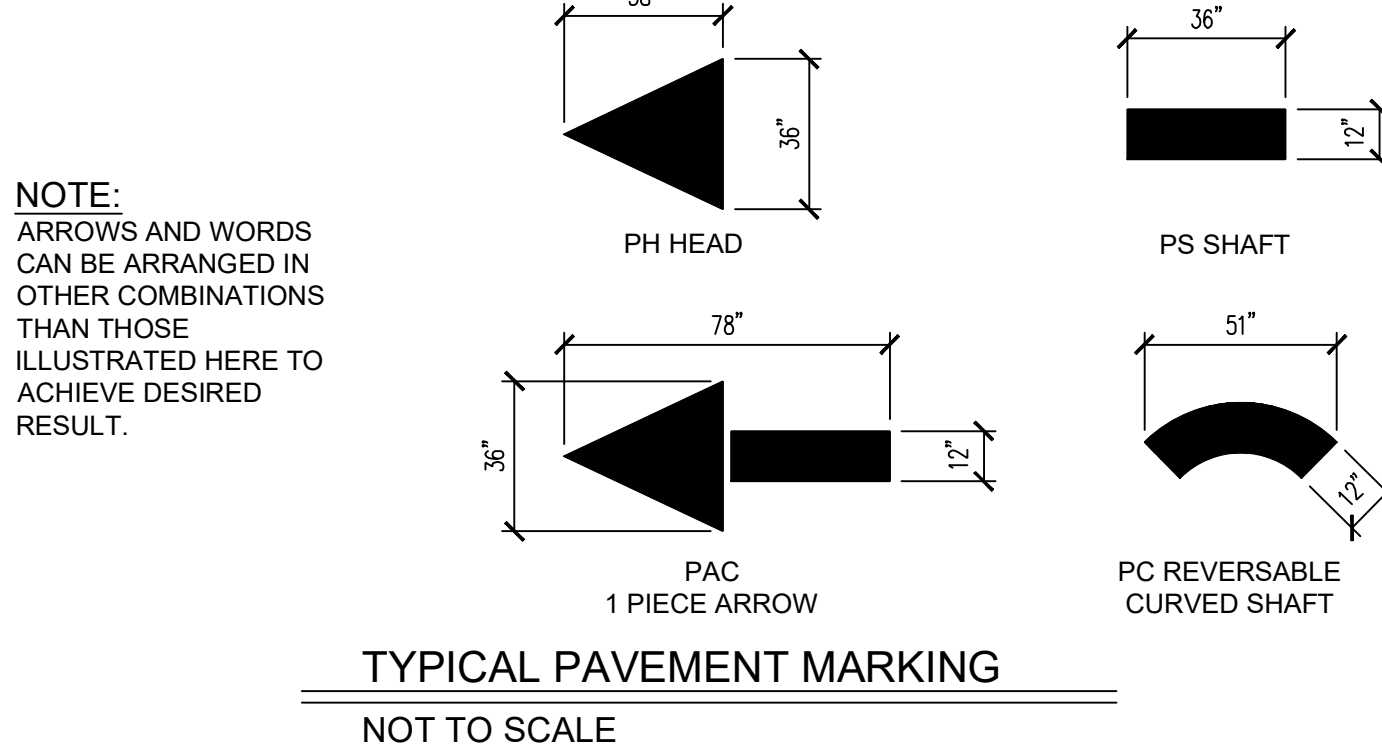
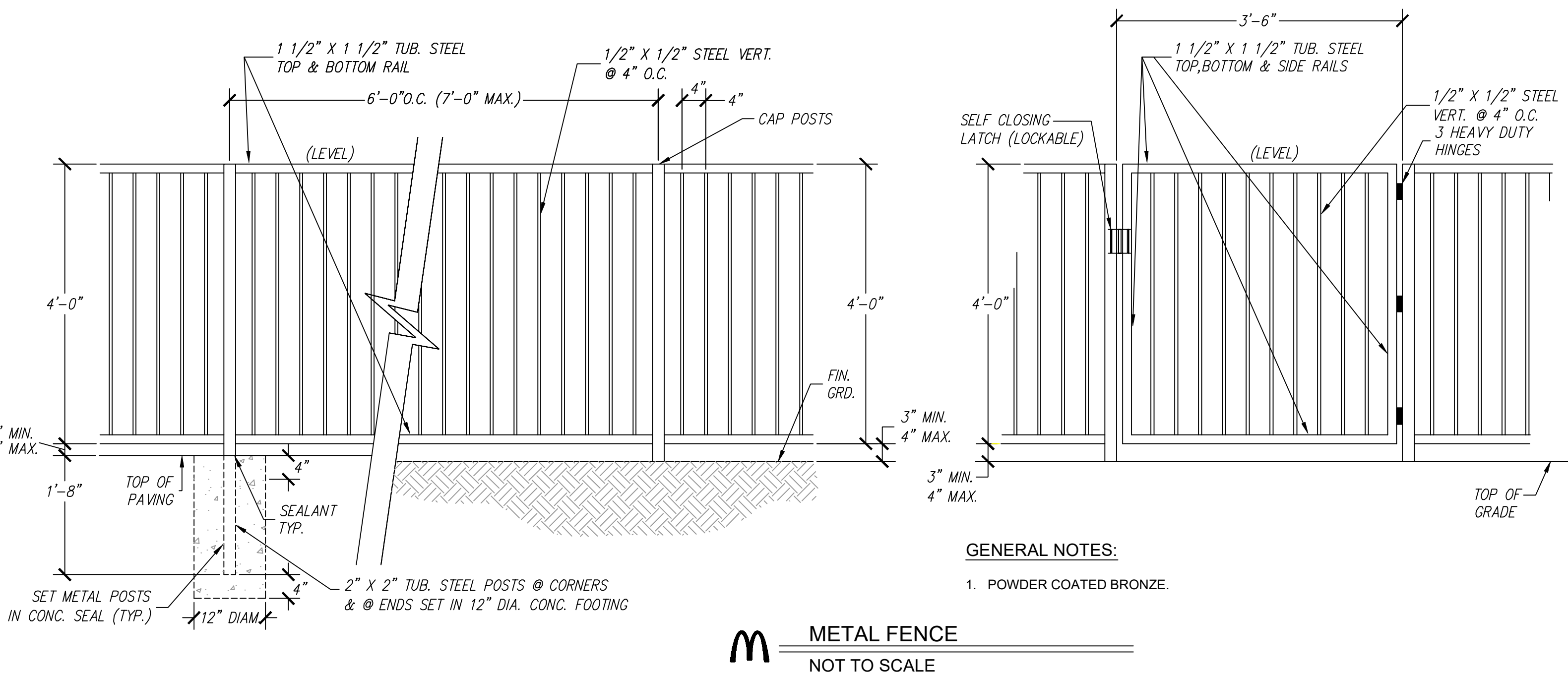
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AS-BUILT		
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STANDARD
DETAILS
C10.2

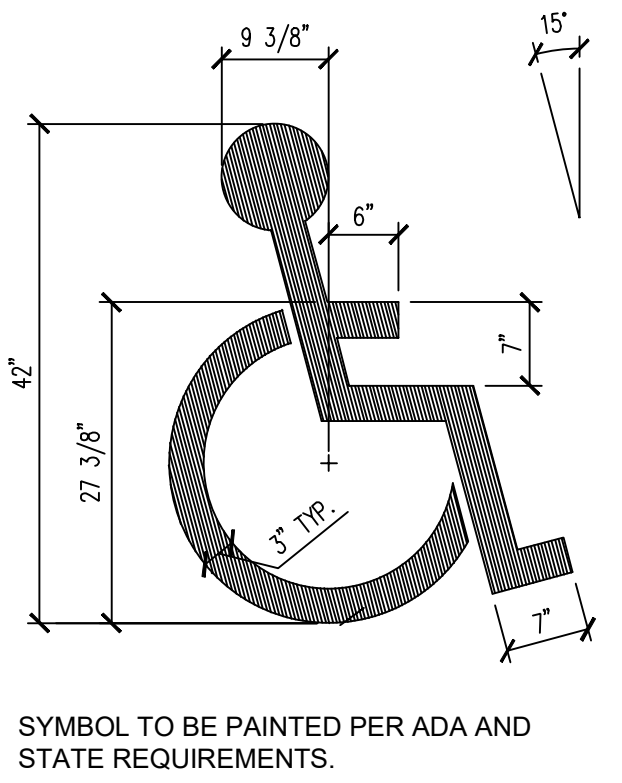
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DRAWN	----	----
CHECKED	----	----
AS-BUILT		

STANDARD
DETAILS

C10.3



NOTE:
1. WORDS AND ARROWS FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS
2. THESE WORDS AND BAR ARE TO BE PAINTED REFLECTIVE WHITE.



OBJECTIVE OF STANDARDIZATION:
McDONALD'S OBJECTIVE IS TO STANDARDIZE OPTIMUM MARKINGS IN THE UNITED STATES TO ASSIST CUSTOMERS IN EASILY FINDING THE DRIVE-THRU LANES. THE MARKING POSITIONS ARE TO GUIDE THEM FROM ANY ENTRANCE ON THE PARKING LOT TO THE DRIVE-THRU LANE USING THE OPTIMUM ROUTE. THIS IS TYPICALLY AWAY FROM THE PRIMARY DRIVE AISLE, MOST COMMON ENTRANCE OR AROUND THE BUILDING TO INCREASE STACKING IN THE LANE. THE STANDARDIZATION FROM REGION TO REGION ASSISTS GUESTS WITH CONVENIENTLY FINDING THE DRIVE-THRU'S.

STANDARD LOT STRIPING STENCILS AND PAINT COLOR:
THESE ARE AVAILABLE FROM BETH BELL AT PAVEMENT STENCIL COMPANY, 4347-A AEROSPACE ROAD SE, ROANOKE, VA, 24014, 1-800-250-5547. THE FOLLOWING DESCRIPTION IS WHAT YOU WOULD SAY AS YOU ORDER. SHE HAS NO PART NUMBERS ASSOCIATED WITH THESE:

LOT STRIPING STENCILS DESCRIPTION
DRIVE THRU

ROUND CIRCLE (DIRECTIONAL ARROW)
THANK YOU

DOUBLE HEADED ARROW FOR A DOUBLE DRIVE-THRU IS MADE UP OF THREE COMPONENTS.
PC SHAFT 12"W X 36"L, A PC REVERSIBLE CURVED SHAFT 12"W X 51"L
PH ARROW HEAD 38"L X 36"W
LANE STRIPE IS A 6" WIDE STRIPE DONE BY THE LOT STRIPING COMPANY.
39" ADA HANDICAP TEMPLATE
PAINT COLOR: THIS IS FOR ALL DRIVE-THRU DIRECTIONAL STRIPING INCLUDING THE PAINTED STRIPE FOR THE LANE. THE PAINT COLOR SHOULD MATCH PMS 123 YELLOW.
PROVIDE YELLOW PAINT ON ALL DRIVE-THRU MARKINGS UNLESS NOTED OTHERWISE.

GUIDING PRINCIPLES ALL ENTRANCES TO THE LOT

- THE WORD DRIVE THRU IS PLACED AT ALL ENTRANCES TO THE LOT APPROXIMATELY 25'-30' FROM THE CURB OR SIDEWALK. THEY SHOULD BE CENTERED IN THE DRIVEWAY (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC). RATIONALE: THIS ALLOWS THE CUSTOMER TO MOVE SAFELY ONTO THE LOT AND SEE THE DRIVE-THRU DIRECTIONAL ARROW WHEN THEY ARE SAFELY OFF THE STREET.
- ROUND CIRCLE (DIRECTIONAL ARROW): THE CIRCLE ARROW SHOULD BE CENTERED ABOVE THE WORD "DRIVE" APPROXIMATELY 5 FEET FURTHER INTO THE PARKING LOT. RATIONALE: THE STANDARD YELLOW COLOR WITH THE WORD DRIVE-THRU SEEN FIRST AND THE ROUND ARROW BEGINS TO BRAND THE MARKINGS.

LOT DIRECTIONAL MARKINGS:

- ROUND CIRCLE (DIRECTIONAL ARROW): THE ARROWS SHOULD BE SPACED EVERY 40 TO 60 FEET. THIS ALLOWS EVENLY POSITIONED ARROWS THROUGHOUT THE LOT. RATIONALE: THE STRATEGIC POSITIONING ALLOWS THE CAR TO REACH AN ARROW AND OFF IN THE DISTANCE SEE THE NEXT DIRECTIONAL ARROW. THIS LEADS THEM IN THE DESIRE DIRECTION.
- IF THERE ARE 5 OR MORE ARROWS ROUTING SOMEONE TO THE DRIVE-THRU THEN PLAN THE CORRECT PLACEMENT TO ADD THE WORD DRIVE-THRU AND POSITION THE ARROW CENTERED ABOVE THE WORD "DRIVE" SIMILAR TO THE ENTRANCE. THIS IS TO BE CENTERED BETWEEN THE ARROWS ON THE PARKING LOT. AN EXAMPLE IS IT TAKES EIGHT ARROWS TO GUIDE SOMEONE FROM THE ENTRANCE TO THE DRIVE-THRU ENTRANCE. YOU MIGHT DECIDE TO PLACE THE WORD DRIVE-THRU AT THE 4TH ARROW POSITION. RATIONALE: THE LONGER THE RUN TO THE DRIVE-THRU THIS REAFFIRMS THE COLOR AND DIRECTIONAL ARROWS ARE STEERING THEM IN THE RIGHT DIRECTION FOR THE DRIVE-THRU ENTRANCE.

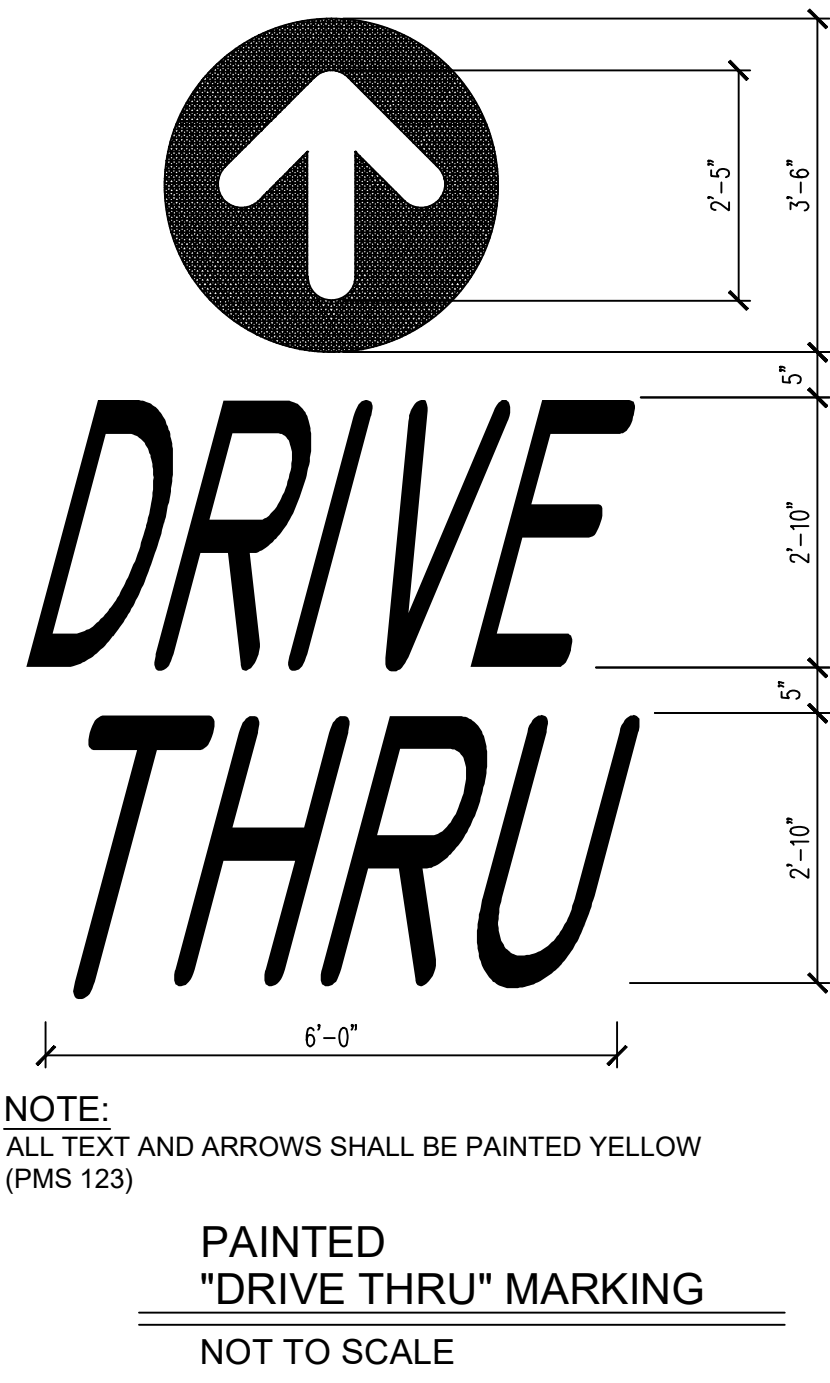
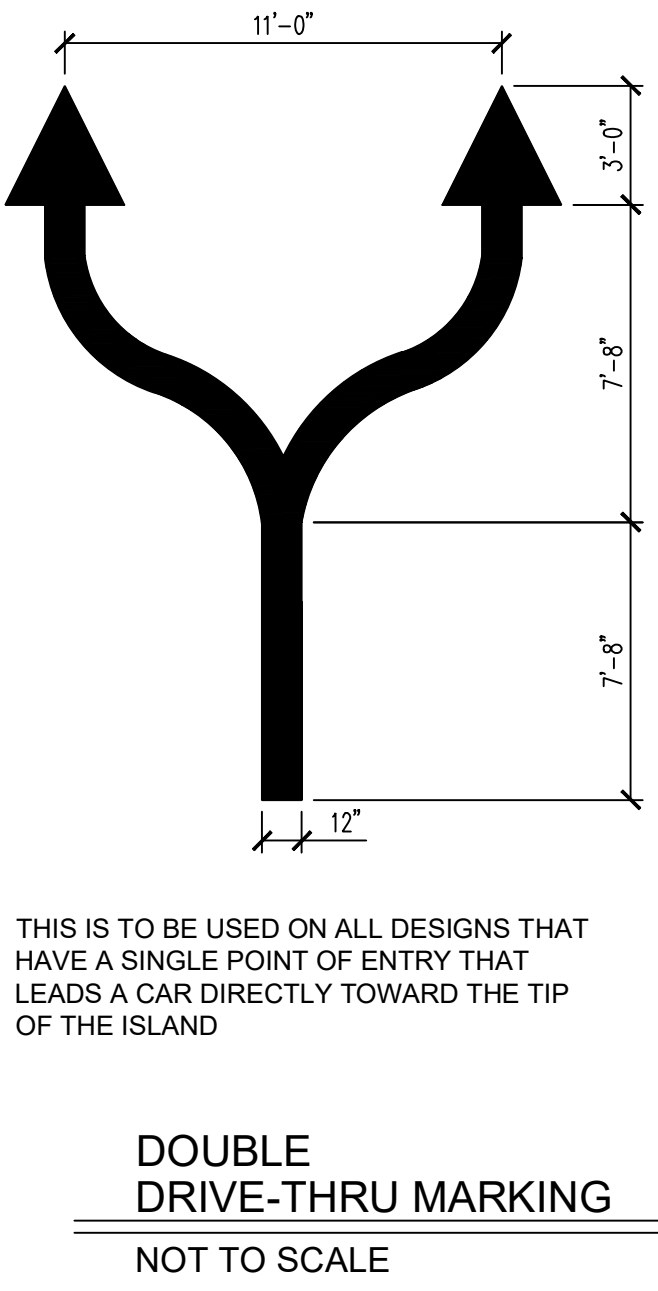
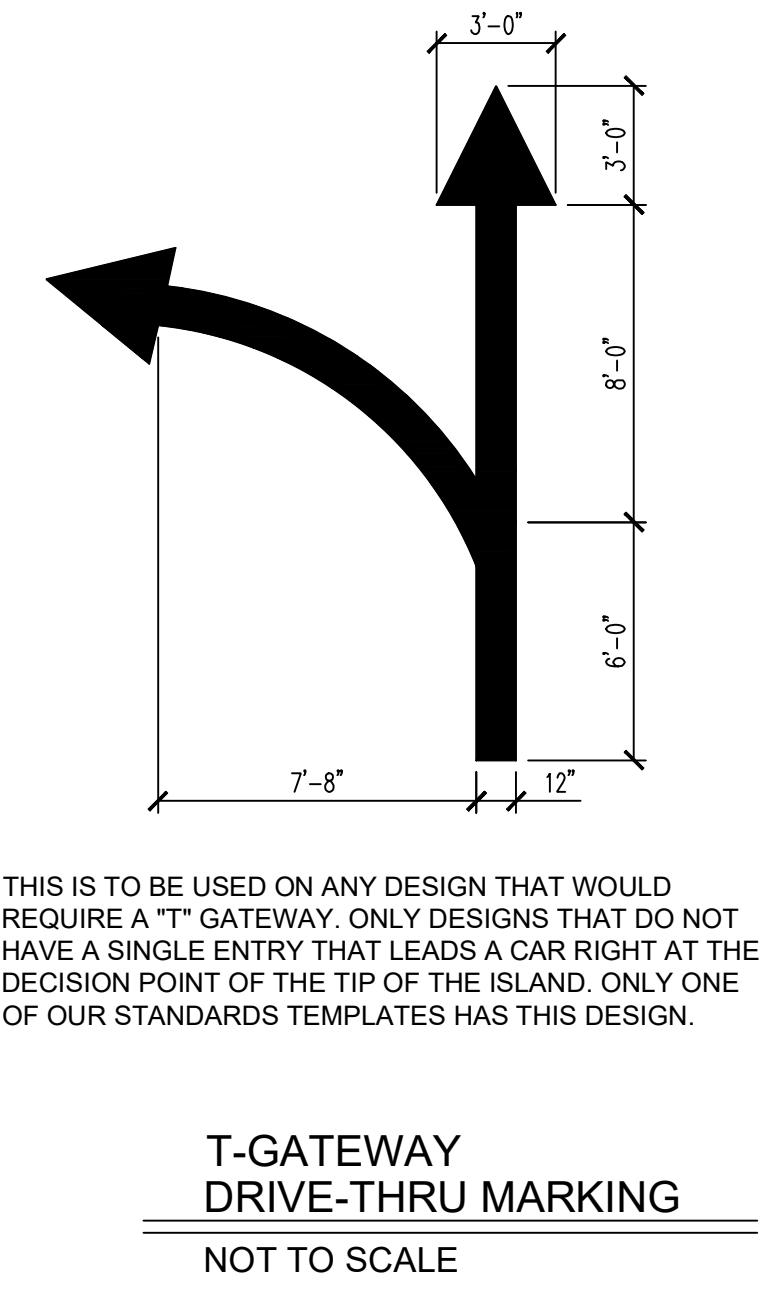
DRIVE-THRU ENTRANCE:

- THE DOUBLE HEADED ARROW FOR DOUBLE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC APPROPRIATELY TO EITHER LANE AS THEY APPROACH TO THE ISLAND. EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION. RATIONALE: EACH CUSTOMER READS FROM DIFFERENT LEVELS SOME BY LOT MARKINGS, SOME AT EYE LEVEL AND OTHERS LOOK ABOVE THE VEHICLES. BY ADDRESSING ALL OF THESE METHODS IN BRANDING, THE USE IS SIMPLIFIED FOR THE MAJORITY OF THE GUESTS. THE DOUBLE ARROW INCREASES THE USAGE OF THE OUTSIDE LANE IN OFF PEAK TIMES HELPING THE RESTAURANT MAXIMIZE THE CAPACITY.

PARKING LOT STRIPING NOT IN THE DRIVE-THRU:

- ANY LOT STRIPING OTHER THAN THE DRIVE-THRU SHOULD BE WHITE. IF THE CITY CODE REQUIRES BLUE WITH THE HANDICAP PARKING STALLS THAT IS AN ACCEPTABLE DEVIATION. RATIONALE: THIS HELPS SUBTLY IDENTIFY WHAT IS A DRIVE-THRU MARKING FROM THE PARKING LOT MARKING AND CREATES A RUNWAY PATH TO THE LANE ENTRANCE.
- THE ENTRANCES WILL ALL HAVE A WHITE INGRESS/ EGRESS ARROW FOR THE CUSTOMER TO EASILY IDENTIFY IF IT IS A ONE WAY OR TWO-WAY ENTRANCE. THESE ARE WITHIN 10FT FROM INGRESS POINT AND IS DESIGNED TO BE SEEN CLEARLY BEFORE A CAR MAKES A TURNING COMMITMENT. RATIONALE: THE CONSISTENCY HERE WILL HELP CUSTOMERS IDENTIFY THE FLOW OF TRAFFIC ON ALL ENTRANCES FOR THE CONSUMER WHEN THEY ARE AT A DECISION POINT.
- ANY ADDITIONAL WHITE ARROWS NEEDED SHOULD BE POSITIONED IN BETWEEN THE DRIVE-THRU DIRECTIONAL MARKINGS.
- ANY WORDING NEEDED OTHER THAN FOR THE DRIVE-THRU AREA SHOULD BE IN WHITE AND POSITIONED SO IT DOES NOT INTERFERE WITH THE DRIVE-THRU MARKINGS.

SHOULD YOU HAVE ADDITIONAL QUESTIONS FEEL FREE TO CONTACT THE McDONALD'S RESTAURANT DESIGN GROUP AT THE HOME OFFICE FOR FURTHER CLARIFICATIONS.



REV	DATE	DESCRIPTION	BY
01/16/2017	01/16/2017	ISSUE FOR PERMIT	HJM
02/28/2017	02/28/2017	PER CITY AND NINDOT COMMENTS	HJM
ADAMS JOE NO.:	2012.209		

Adams
1501 COOPS BLVD NW
ALBUQUERQUE, NM 8951
8951 Cypress Waters Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200

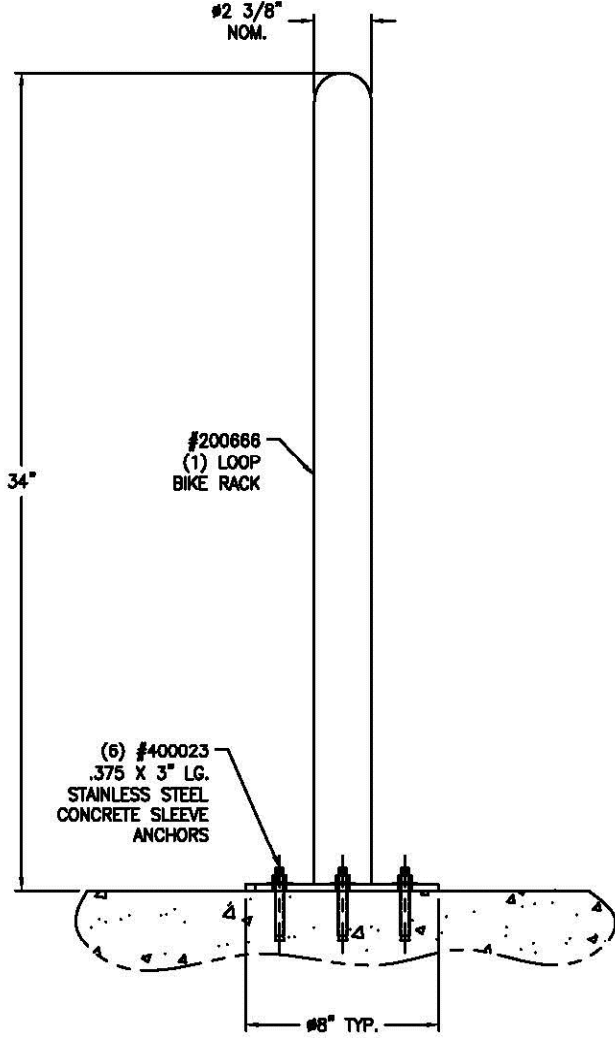
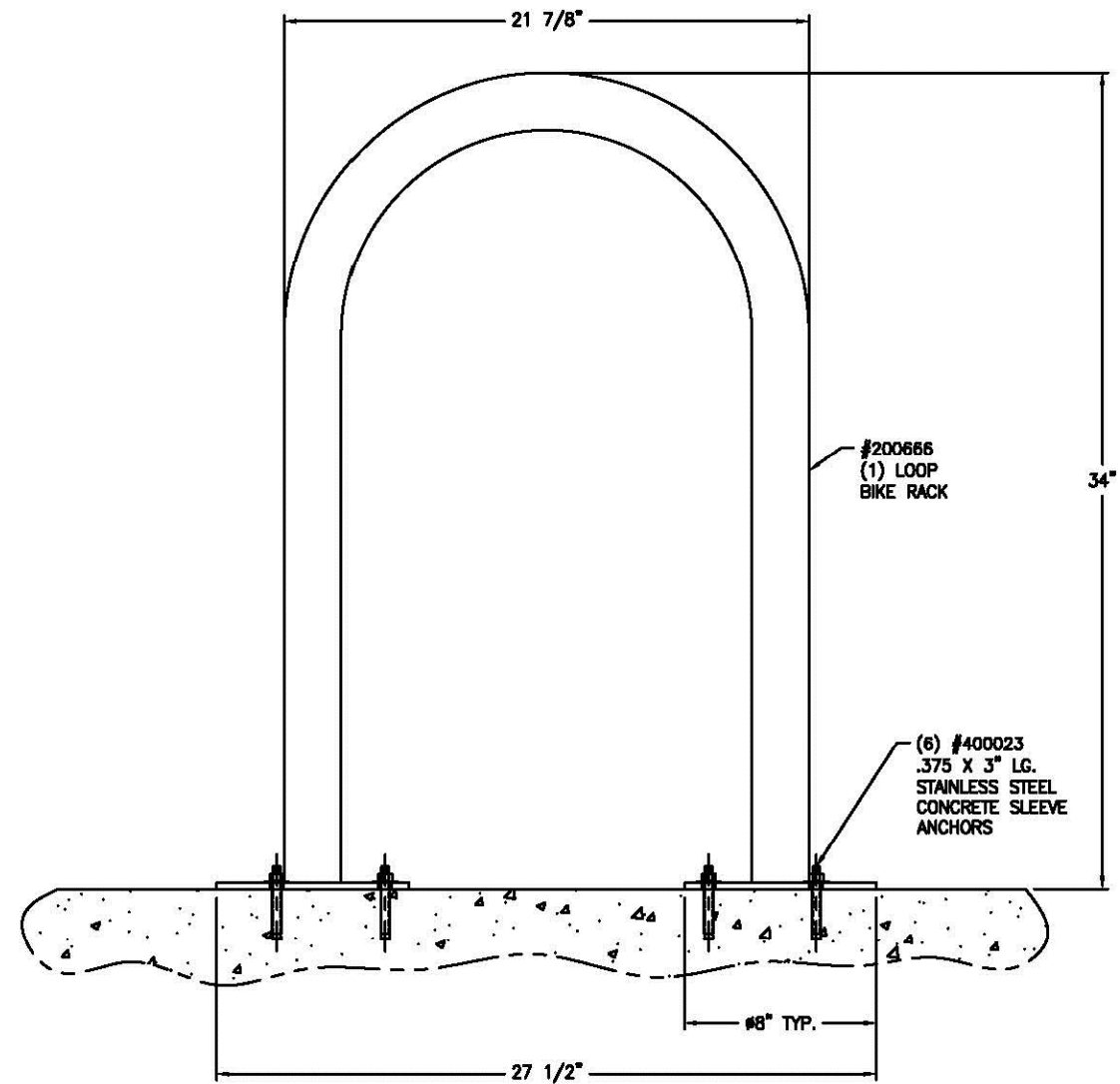
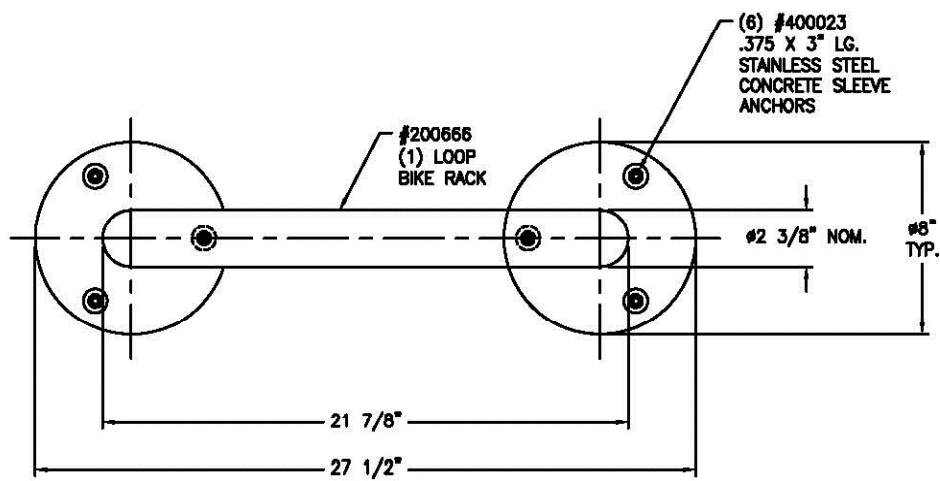
2.28.17
G. Robert Adams

PLAN APPROVALS	DATE	BY
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

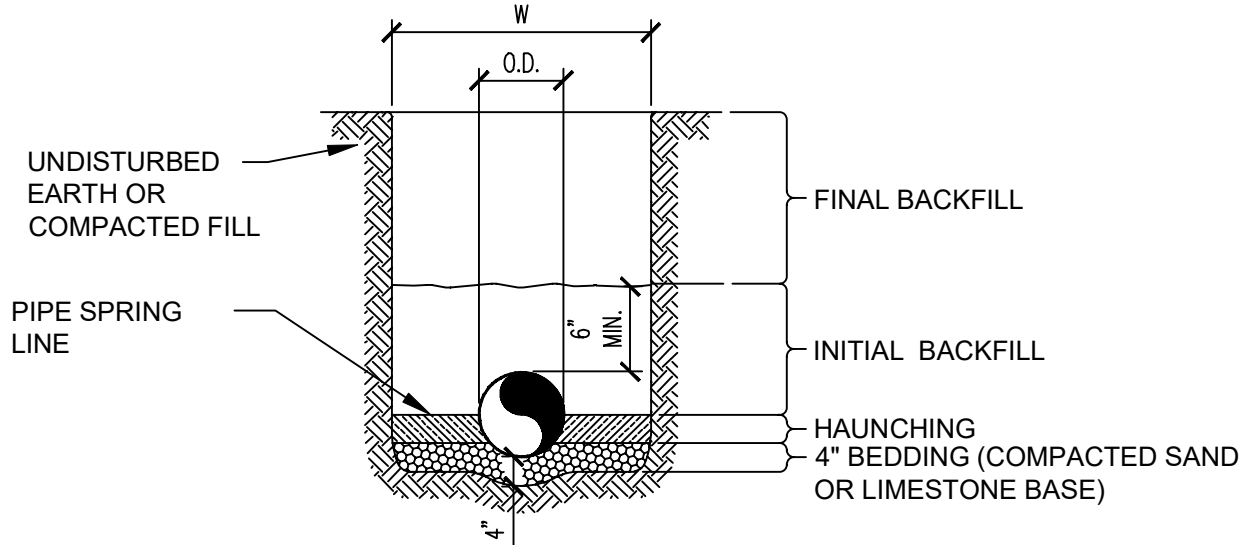
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STANDARD DETAILS

C10.4



WALSAU TILE									
TOWN OF N. JOHNSON TEL (71) 102 806 5000 FAX (71) 102 806 5000									
2017 1/4\"/>									
DATE 5/10/11									
BY: 8006									

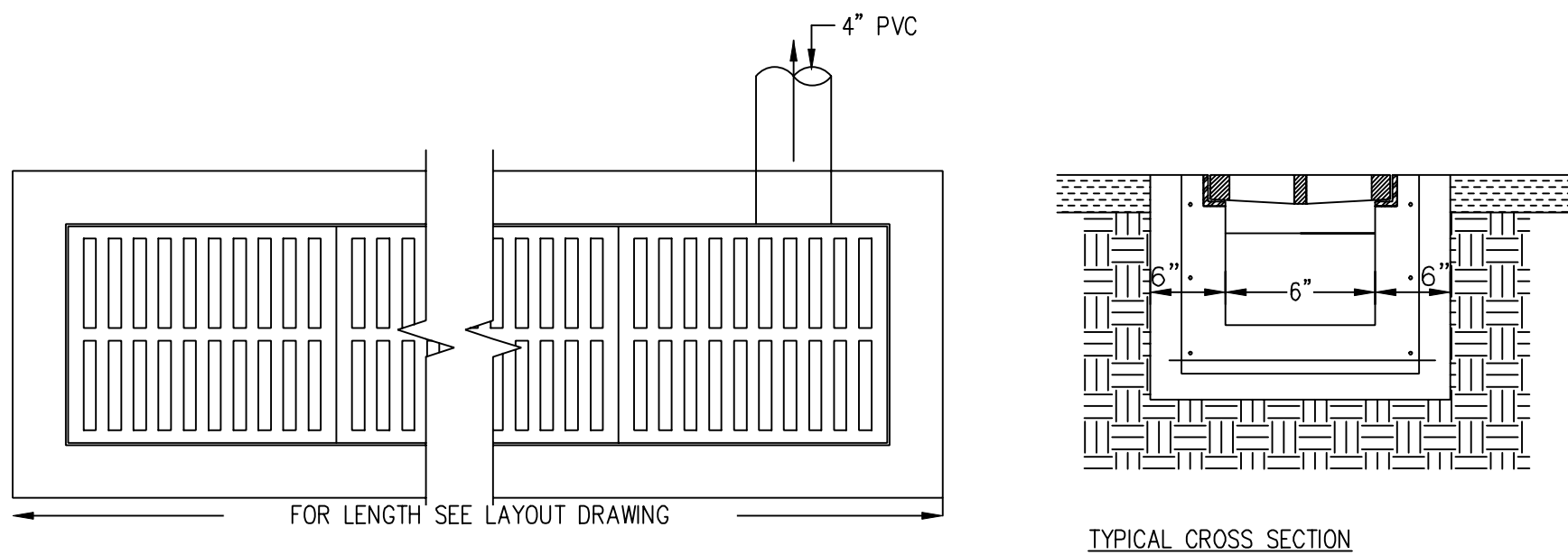


PIPE DIA.	W
≤12"	O.D. OF PIPE + (12" TO 18")
>12"	> O.D. OF PIPE + 18"

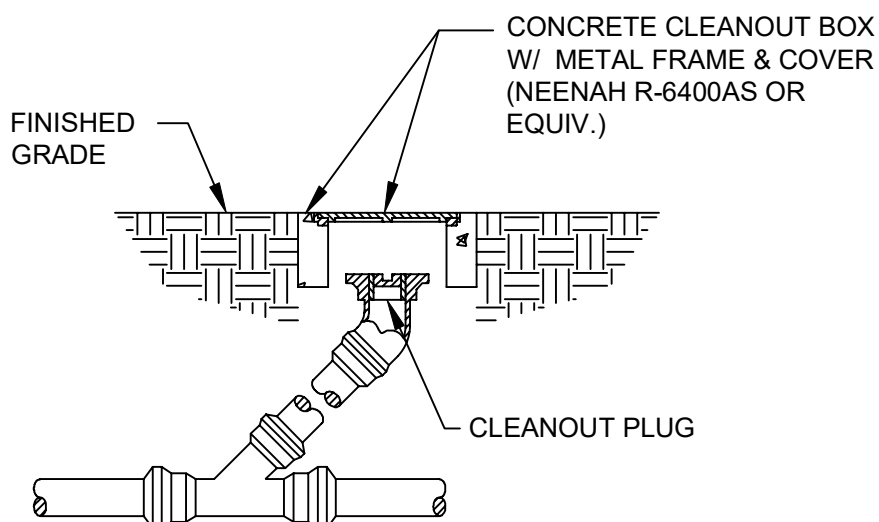
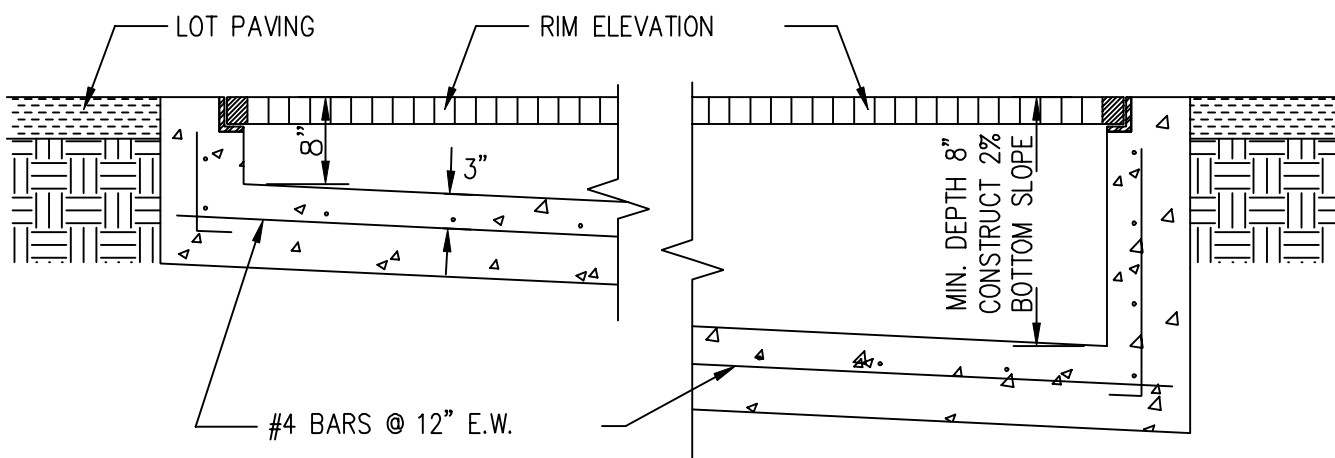
UTILITY TRENCHING & BEDDING

NOT TO SCALE

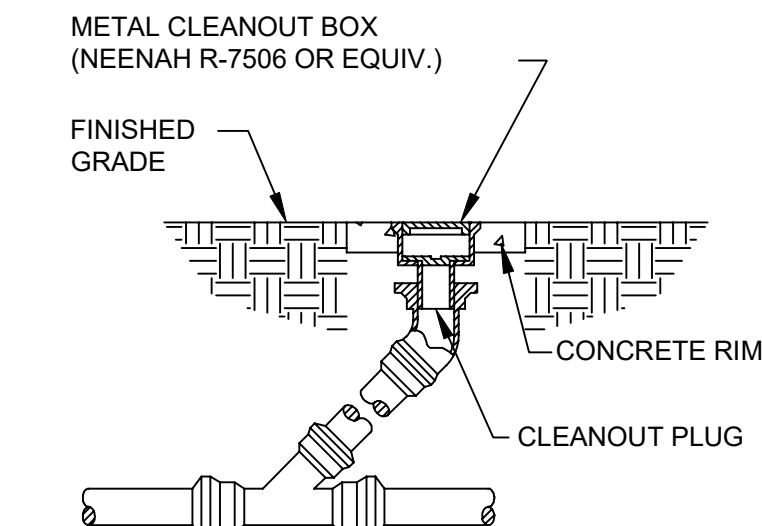
- GENERAL NOTES:
- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 85% STANDARD PROCTOR.
 - HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 85% PROCTOR.
 - INITIAL BACKFILL SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 85% STANDARD PROCTOR.
 - INITIAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS III COMPACTED TO 90% STANDARD PROCTOR.
 - FINAL BACKFILL SHALL BE CLASS I, II, OR III COMPACTED AS NOTED IN NOTES 3 AND 4.
 - FINAL BACKFILL NOT UNDER PAVED AREAS CAN BE CLASS IV-A COMPACTED TO 95% STANDARD PROCTOR.
 - ALL MATERIALS ARE CLASSIFIED IN ACCORDANCE WITH ASTM D 2321-89.
 - ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
 - FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
 - ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHEETED, BRACED, OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES. (SEE SPECIFICATIONS)



NOTE: GRATING TO BE EQUAL TO NEENAH R-4993-AB WITH "C" TYPE OF GRATING.



CLEANOUT IN PAVED AREAS

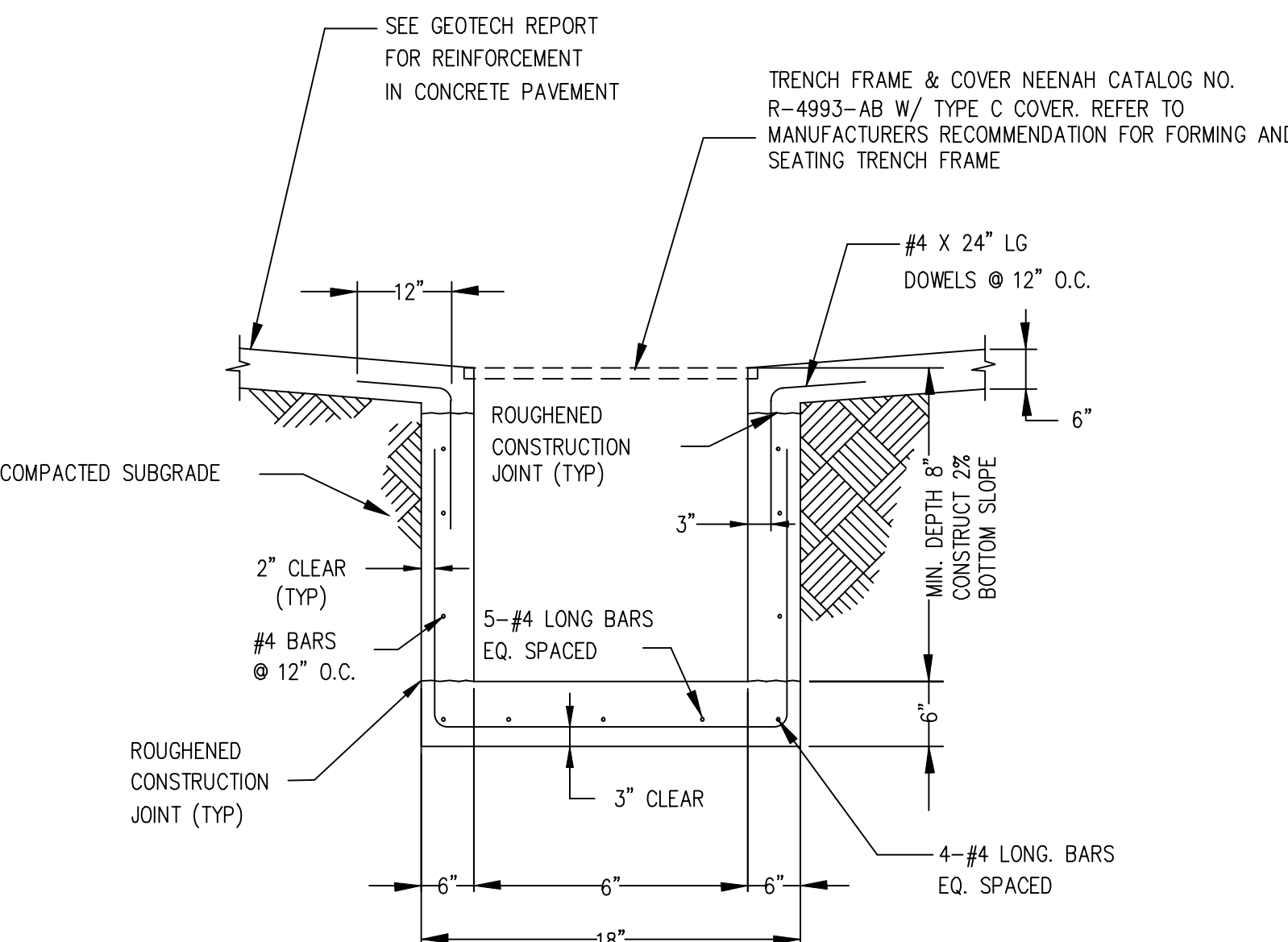


CLEANOUT IN UNPAVED AREAS

NOTE:
G.C. IS TO INSTALL CLEANOUT AT ANY PIPING ANGLE CHANGES AND AT EVERY 50' IN PIPING RUNS GREATER THAN 100' IN LENGTH.

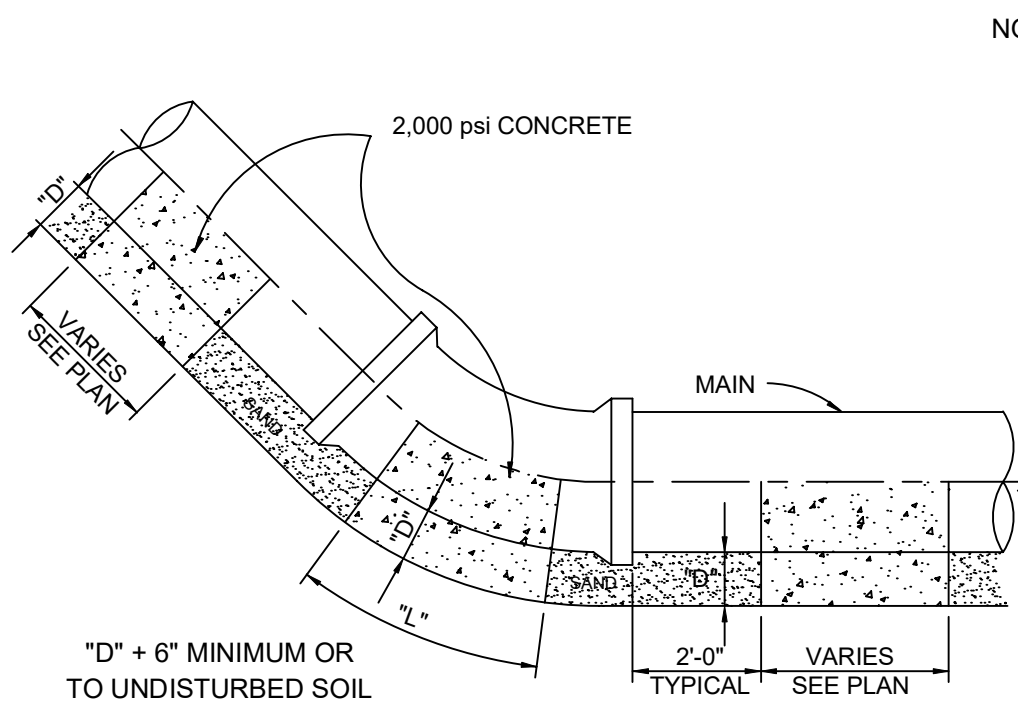
EXTERIOR CLEANOUT

NOT TO SCALE



TRENCH DRAIN @ TRASH ENCLOSURE

NOT TO SCALE



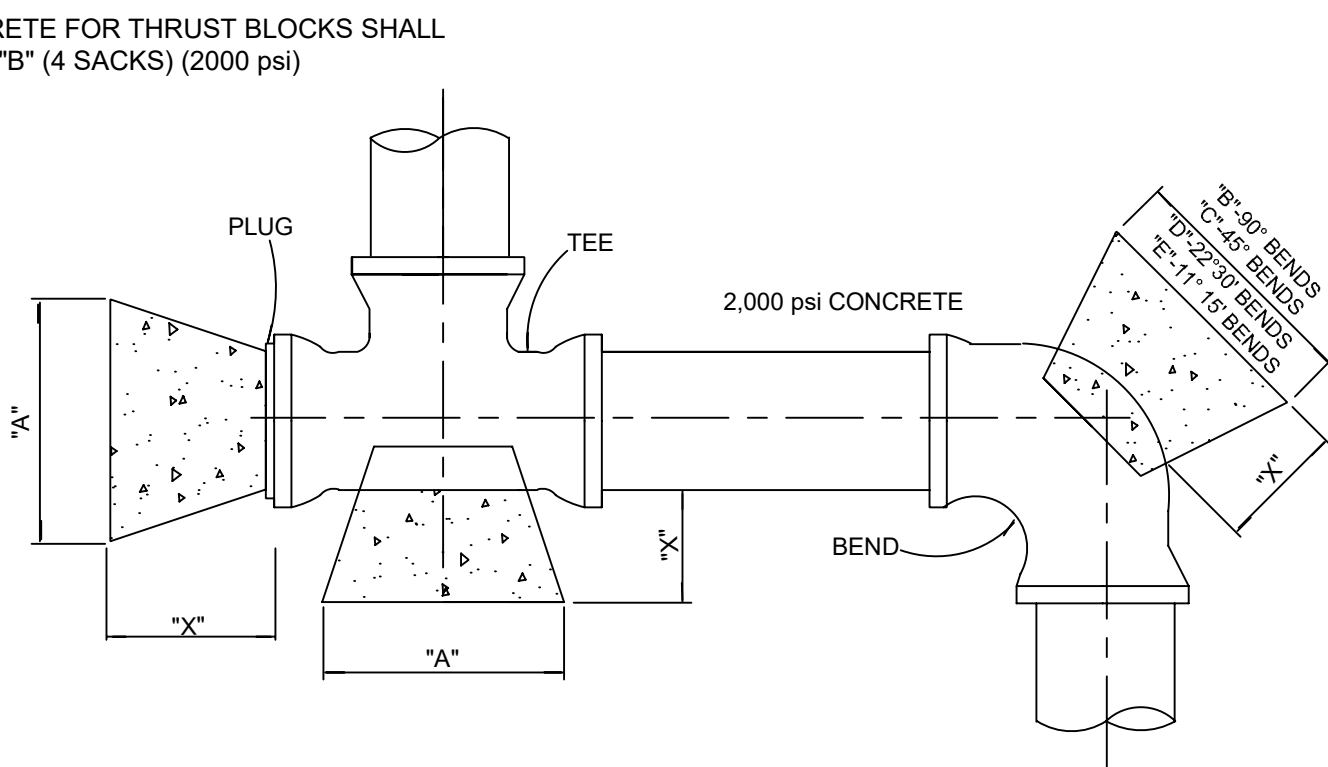
PIPE SIZE	11\"/>		22\"/>		45\"/>		90\"/>	
	L	MAX. VOL.	L	MAX. VOL.	L	MAX. VOL.	L	MAX. VOL.
6"	0.42	0.02	0.45	0.02	0.50	0.02	1.00	0.04
8"	0.42	0.02	0.45	0.02	0.80	0.04	1.40	0.06
10"	0.42	0.03	0.58	0.03	1.15	0.06	2.03	0.11
12"	0.42	0.04	0.73	0.05	1.43	0.09	2.53	0.17
16"	0.42	0.08	0.74	0.14	1.48	0.27	2.61	0.48
18"	0.66	0.14	1.30	0.28				
20"	0.77	0.18	1.53	0.36				
18"	0.88	0.18	1.74	0.37				
20"	1.03	0.24	2.04	0.38				
18"	1.05	0.22	2.03	0.43				
20"	1.20	0.28	2.38	0.56				

CONCRETE CRADLE AT VERTICAL BENDS

NOTE: MEGA LUG RETAINER GLANDS SHALL BE USED ON ALL FITTINGS AND BENDS

THRUST BLOCKING

NOT TO SCALE



BLOCKING TABLE									
DIMENSION "X" TO BE A MINIMUM OF 1', BUT IS TO BE INCREASED WHERE NECESSARY TO PROVIDE BEARING AGAINST UNDISTURBED TRENCH WALL.									
PIPE SIZE	PIPE DIA.	PLUGS & TEES		90° BENDS		45° BENDS		22°-30° BENDS	
		"A"	MIN. AREA	"B"	MIN. AREA	"C"	MIN. AREA	"D"	MIN. AREA
4"	1.0"	1.0"	0.83	0.95	1.0"	0.83	0.95	1.0"	0.83
6"	1.0"	1.0"	1.06	0.99	1.0"	0.83	0.95	1.0"	0.83
8"	1.0"	1.0"	1.89	0.11	1.0"	0.83	0.95	1.0"	0.83
10"	1.0"	1.0"	2.95	0.17	2.0"	4.17	0.24	1.0"	0.83
12"	1.0"	2.0"	4.25	0.24	2.0"	6.95	0.34	1.0"	0.83
16"	1.0"	2.7"	7.34	0.56	3.0"	10.85	0.79	2.0"	0.83
18"	2.0"	2.11"	7.70	0.57	3.6"	10.89	0.82	2.0"	0.83
20"	2.0"	3.0"	3.70	0.59	3.6"	11.12	0.59	2.0"	0.83
24"	2.0"	3.8"	11.33	0.84	4.3"	16.00	1.20	3.0"	0.83

NOTE: CALCULATIONS IN MINIMUM AREA COLUMN ARE IN SQUARE FEET. CALCULATIONS IN MAXIMUM VOLUME COLUMN ARE IN CUBIC YARDS.

CONCRETE THRUST BLOCKING

BY
HJM

DATE
01/16/2017

REV
01/16/2017

DESCRIPTION
ISSUE FOR PERMIT

PER CITY AND NMDOT COMMENTS

ADAMS JOB NO.:
2012.299

15142

2.28.17

G. Robal

MTN. SOUTHWEST FIELD EXECUTION TEAM

OFFICE

ADDRESS

McDonald's USA, LLC

1501 COOPS BLVD NW
ALBUQUERQUE, NM

DATE

SIGNATURE (2 REQUIRED)

REGIONAL MGR.

CONST. MGR.

OPERATIONS DEPT.

REAL ESTATE DEPT.

CONTRACTOR

OWNER

DATE

BY

DESIGNED

DRAWN

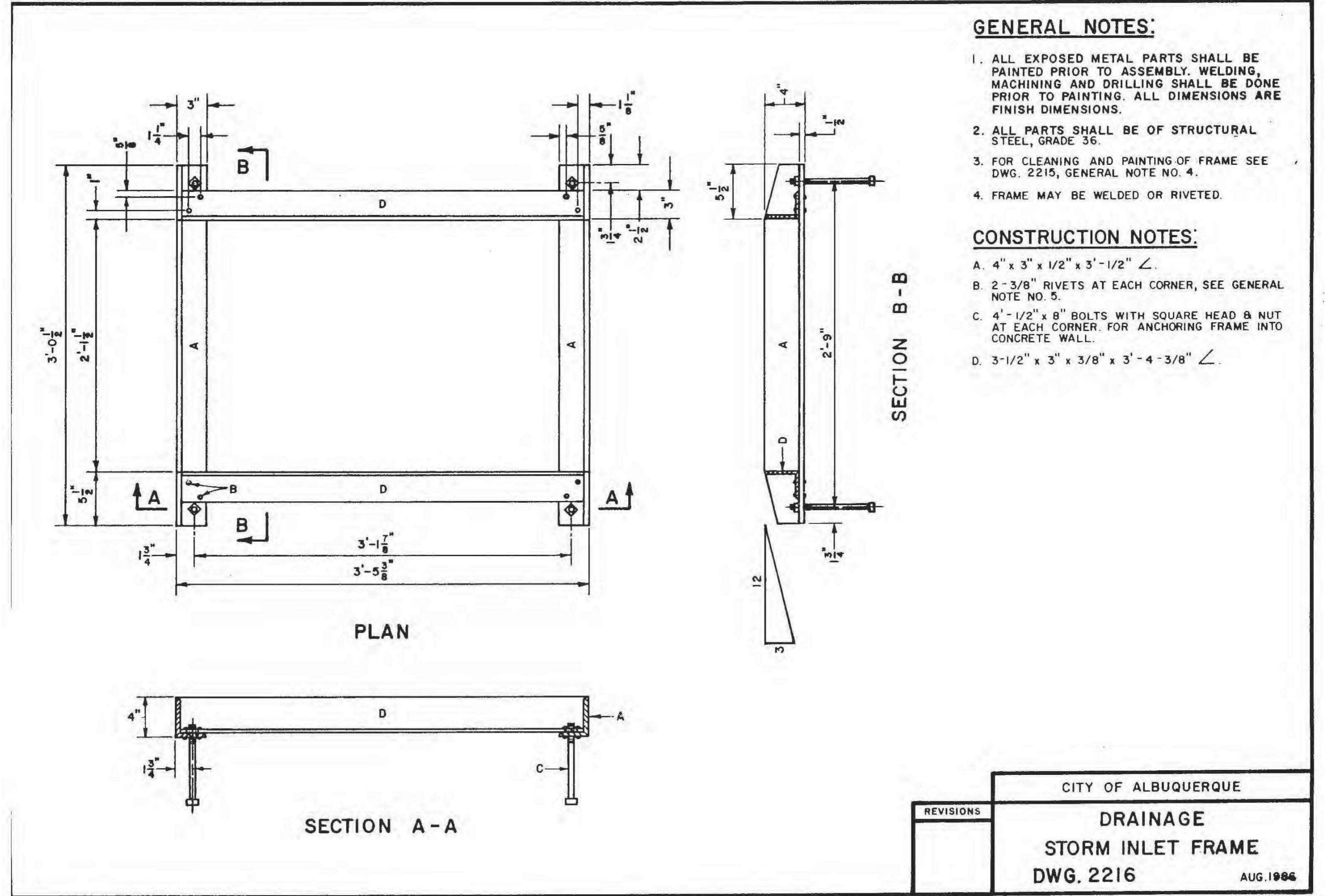
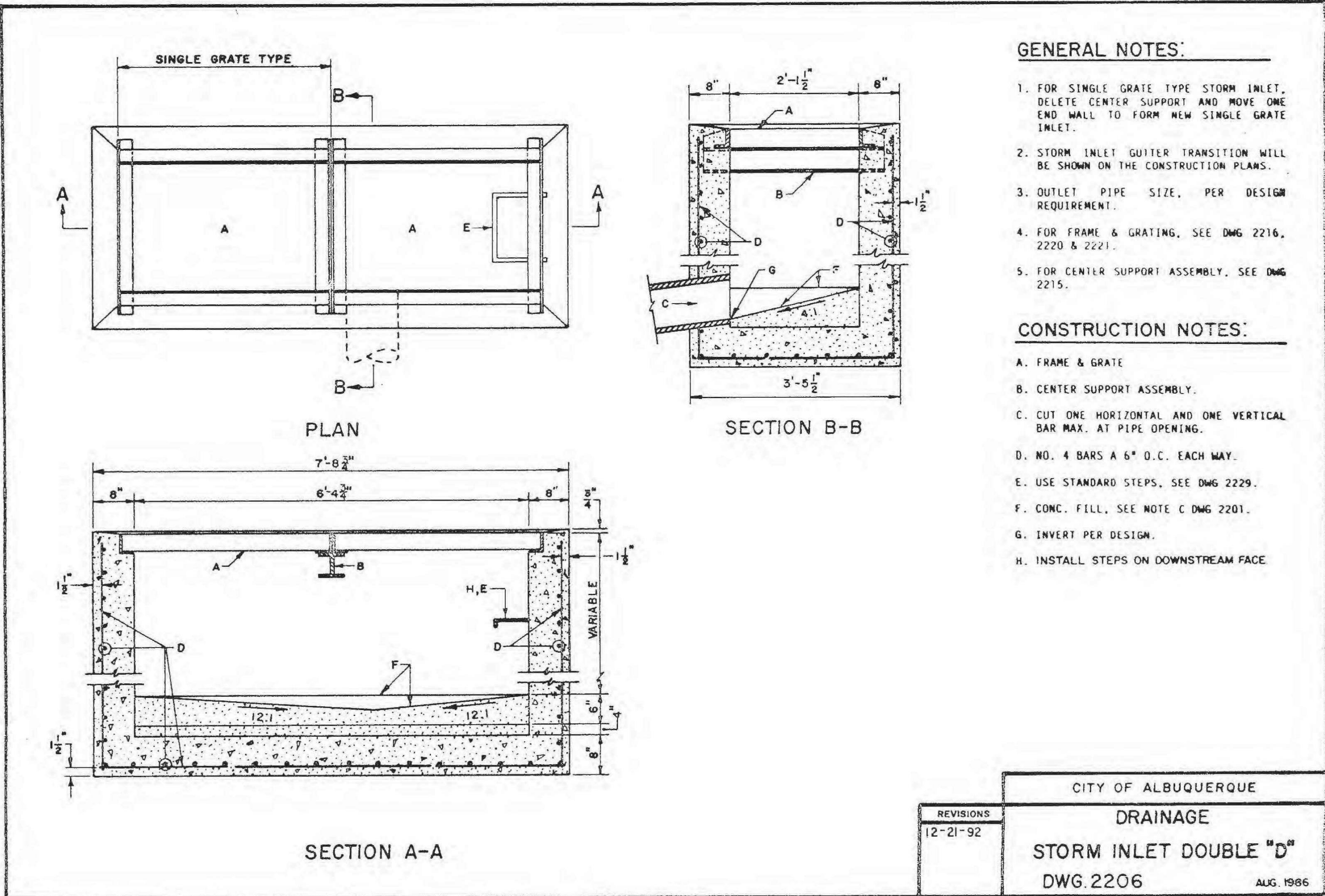
CHECKED

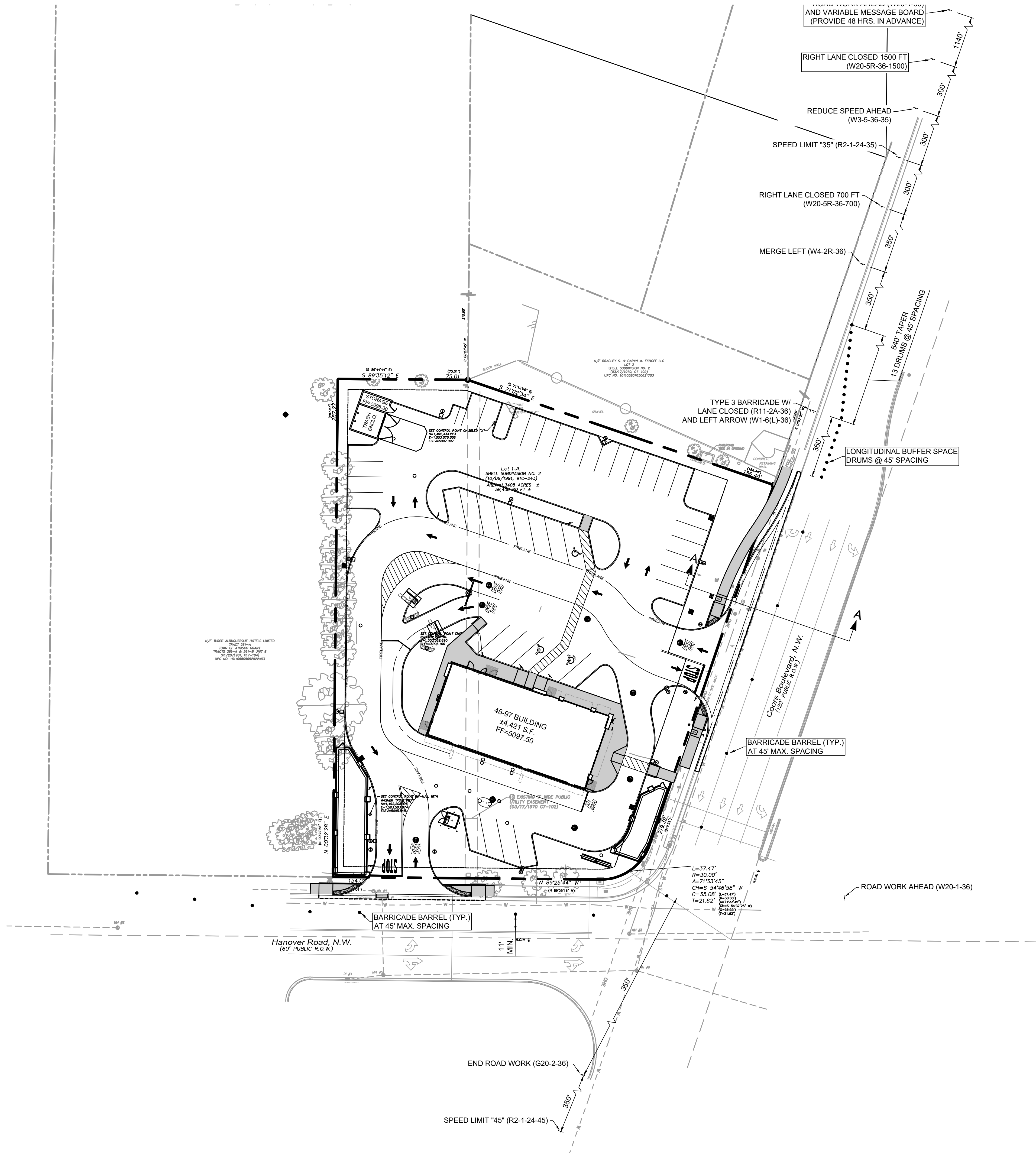
AS-BUILT

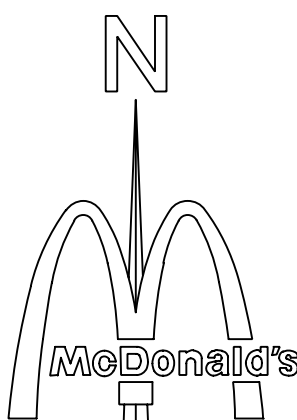
STANDARD DETAILS


C10.5

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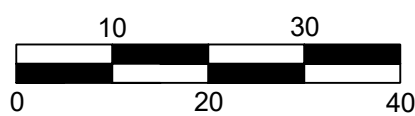








Know what's below.
Call before you dig.



SCALE: 1" = 20'

THESE PLANS ARE SUBJECT TO REVIEW & APPROVAL BY JURISDICTIONAL ENTITIES.

OWNER INFORMATION

MCDONALD'S USA, LLC
MOUNTAIN SOUTHWEST
FIELD EXECUTION TEAM
511 E. CARPENTER FRWY, STE. 375
IRVING, TEXAS 75062
(972) 869-5346
CONTACT: LEE MORRIS

HERE WE GROW AGAIN SIGN

THE GENERAL CONTRACTOR SHALL DISPLAY A "HERE WE GROW AGAIN" BANNER DURING CONSTRUCTION. THESE BANNERS ARE AVAILABLE THROUGH ALTRUA GLOBAL SOLUTIONS. CONTACT: KRISTY FIALLO - PH#: 1-800-443-6939

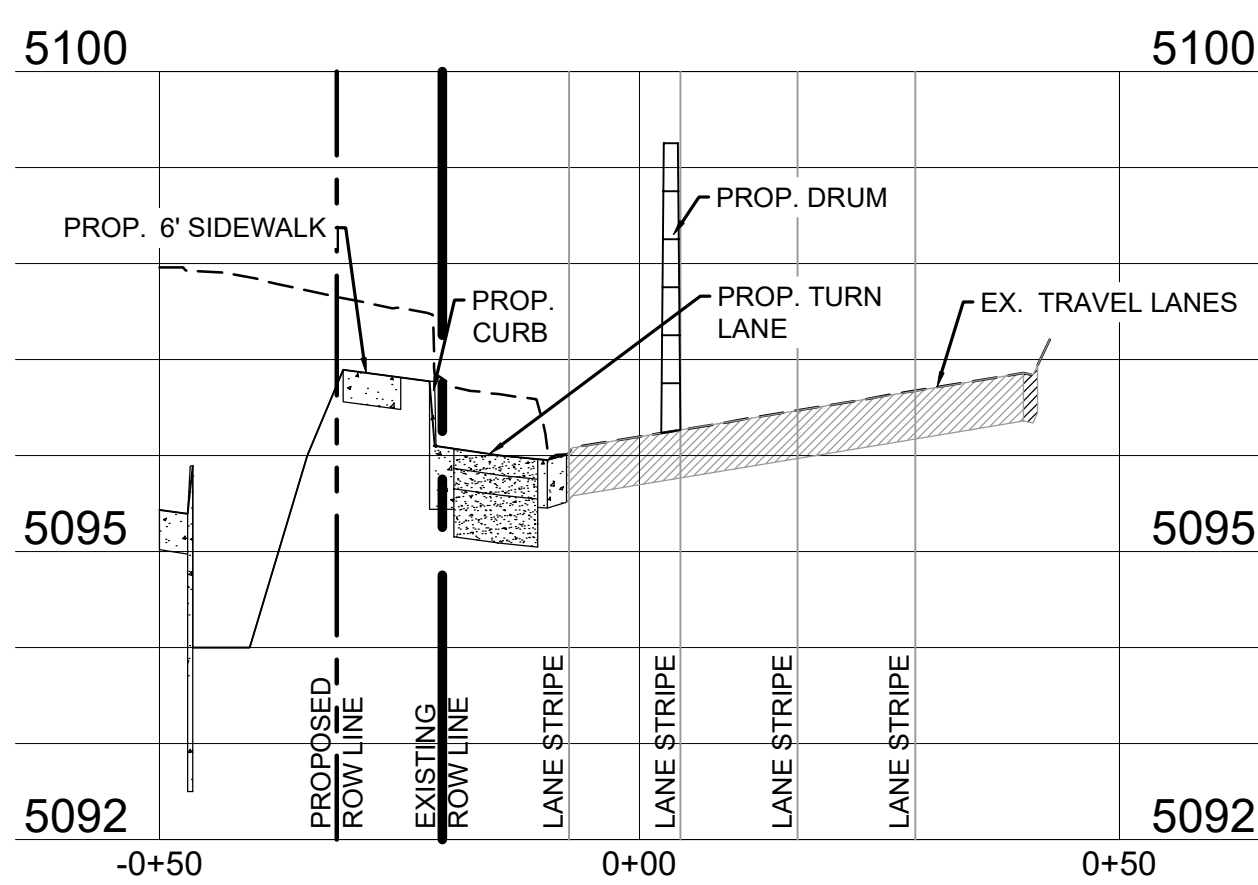
LEGEND

BARRICADE - BARREL •

BARRICADE - TYPE III †


WARNING SIGN †

A-A STA -0+50.00 TO STA 0+50.00




REV	DATE	DESCRIPTION	BY
01/16/2017	02/28/2017	ISSUE FOR PERMIT	HJM
02/28/2017		PER CITY AND NMDOT COMMENTS	HJM

ADAMS JOB NO.: 2012.299



8951 Cypress Valley Blvd, Suite 150 ■ Dallas, Texas 75019 ■ (817) 338-3200



G. Robert Adams

PLAN APPROVALS	DATE	BY
DESIGNED	JAN 2017	HJM
DRAWN	JAN 2017	HJM
CHECKED	----	----
AS-BUILT		

TRAFFIC CONTROL PLAN

C11.0

REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.	CONTRACTOR	OWNER

CO-SIGN SIGNATURES

OFFICE: MTN. SOUTHWEST FIELD EXECUTION TEAM
ADDRESS: KROC DRIVE - OAK BROOK, ILLINOIS 60521

McDonald's USA, LLC

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1501 COORS BLVD NW
ALBUQUERQUE, NM

FULL PATH: I:\Projects\2012\229 McDonalds - Albuquerque, NM\Drawings\Production\CD\1.L1.LANDSCAPE PLAN
 PLOTTER: DWG To PDF.pc3
 PLOT DATE: 11/26/12 AM
 PLOT DATE: Thursday, March 02, 2017
 PLOTTED BY: J. Rogers
 FILENAME: L1.0 LANDSCAPE PLAN.dwg

LANDSCAPE PROJECT NOTES

Refer to Sitework Specifications for all information needed for landscape work.
 Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.
 Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (tiled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All landscaped areas will be irrigated with an underground automatic system.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

Trees shall be planted at least five feet (5') from any utility line or sidewalk, and to the outside of utility easements with a clear ten feet (10') around fire hydrants. Furthermore, planting within areas of turf shall give priority of location to irrigation. Trees, shall not be planted within five feet (5') of a spray head or ten feet (10') of a rotor. Remaining irrigation components shall respect the location of the illustrated landscape design. Shrubs, regardless of type, shall not be planted within thirty inches (30") of bed perimeters.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to decomposed granite beds shall have a 1/2" min. thickness. Terminate edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

All areas of decomposed granite shall be over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier of locally available material, installed to a compacted depth of three inches (3") to be flush with the top of curb, paved surface, and/or the top of steel edge.

All areas of river rock as designated shall be locally available and of an average diameter of one and one-half inches (1 1/2") minimum to three inches (3") maximum. Contractor shall install to a depth of three inches (3"). Rock should be compacted and stable under foot when applied in a pedestrian area.

Boulders labeled on plan shall vary in size according to symbol size. Smaller boulders shall have a minimum exposed height of eighteen inches (18"), minimum width of thirty-six inches (36") and a minimum depth of twenty-four inches (24"). Larger boulders shall have a minimum exposed height of twenty-four inches (24"), minimum width of forty-eight (48") and a minimum depth of thirty-six (36"). Boulders shall be recessed into the grade and shall be oriented so that its longest side is parallel to the ground plane to achieve a natural look.

LANDSCAPE REQUIREMENTS for the City of Albuquerque, NM

§ 14-16-3-10 LANDSCAPING REGULATIONS.

(E) Landscaping Area Requirements.

- (1) The total landscaped area required for each development shall equal not less than 15% of the net lot area. For the purposes of this section, NET LOT AREA means the total area of the lot minus:
 (a) The area of the lot covered by buildings;
 (b) The portions of the lot that are not required for off-street parking or a parking lot and which are fully screened from view from any adjacent lot or public right-of-way by an opaque wall or fence at least six feet high, in which no landscaping will be required except required buffer landscaping; chain link fence with slats does not constitute acceptable full screening; and
 (c) The area of any approved landscaping that the property owner installs and maintains in the adjacent public right-of-way, exclusive of the area of any existing or planned public sidewalk.

(G) Special Landscaping Standards.

- (1) Off-Street Parking Area Landscaping
 (a) One tree is required per ten parking spaces;
 (b) No parking space may be more than 100 feet from a tree trunk;
 (c) The minimum size of tree planters within off-street parking areas shall be 36 square feet per tree;
 (d) At least 75% of the required parking area trees shall be deciduous canopy-type shade trees, capable of achieving a mature canopy diameter of at least 25 feet.
 (2) Street Trees. Street trees meeting the requirements of §§ 6-6-2-1 et seq., Street Trees, are required along all arterial and collector street frontages.
 (3) Required Vegetative Ground Cover. All required landscape areas 36 square feet in size or larger shall be covered with living, vegetative materials, such as grasses, vines, spreading shrubs, or flowers, over at least 75% of the required landscape area. Coverage will be calculated from the mature spread of the plants.

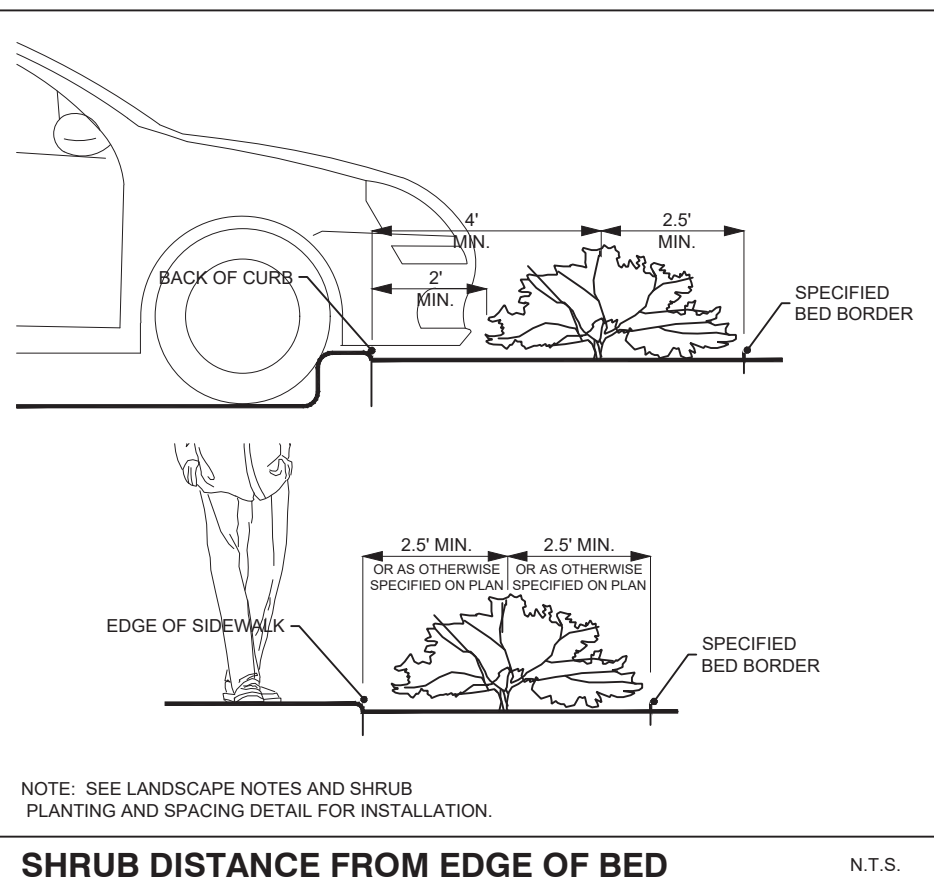
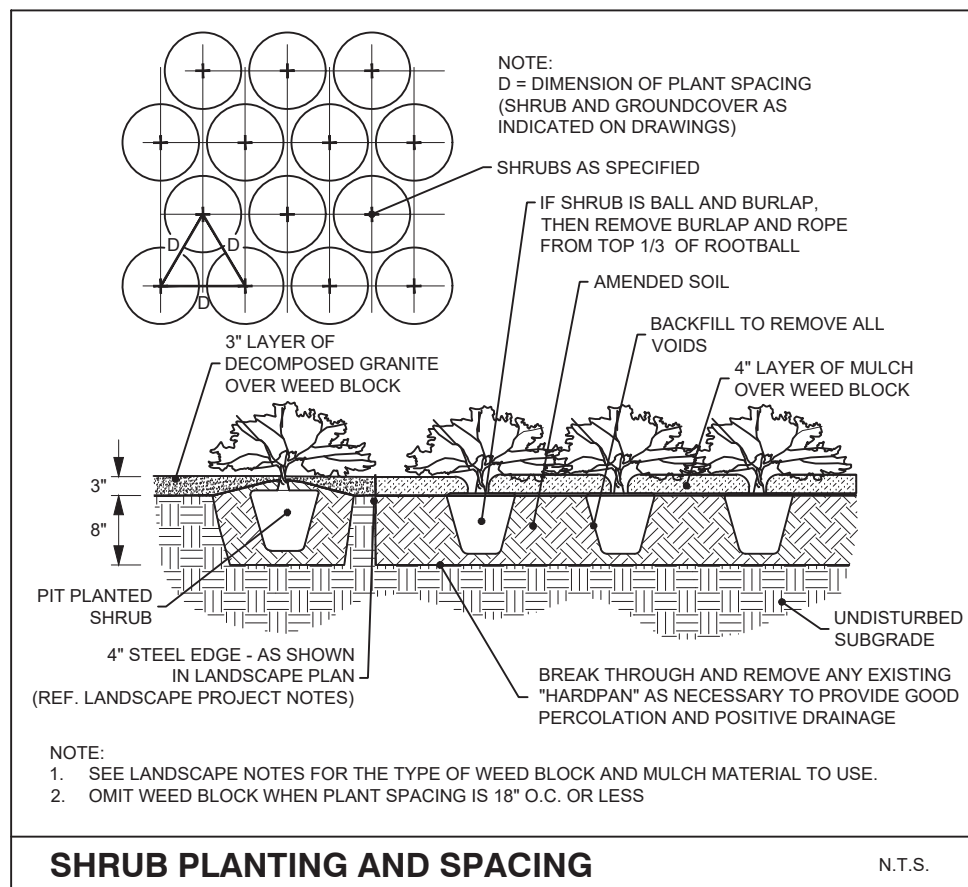
6-6-2-5. Street Trees.

The following city policies govern the placement of all street trees which are planted on public right-of-way or which are required to be planted near streets pursuant to city plans, policies and ordinances; the policies are recommended for all street trees:
 (A) Size of the trees at maturity should be in proportion to the planting space provided for them. Spacing between evenly spaced street trees should be no greater than the diameter of the tree canopy at maturity. For most typical street trees, the spacing should be about 30 feet.

LANDSCAPE CALCULATIONS for the City of Albuquerque, NM

	REQUIRED	PROVIDED
Total Landscape Area (15% Net Lot Area) @ 57,349 sf	8,602.35 SF (15%)	14,523 SF (25.32%)
Parking Lot Trees (1 Per 10 Parking Spaces @ 42 spaces)	4.2 Trees	5 Trees
Street Trees: 1 per 30 If Coors Blvd, N.W. @ 256.86 lf	8.6 Trees	9 Trees
Street Trees: 1 per 30 If Hanover Road, N.W. @ 154.01 lf	5.1 Trees	3 Trees (Existing)
Total Vegetation sf (75% of Landscape Area) @ 8,602.35 sf	6,451.76 SF (75%)	6,453 SF (75%)

Hanover Road, N.W.
 (60' PUBLIC R.O.W.)



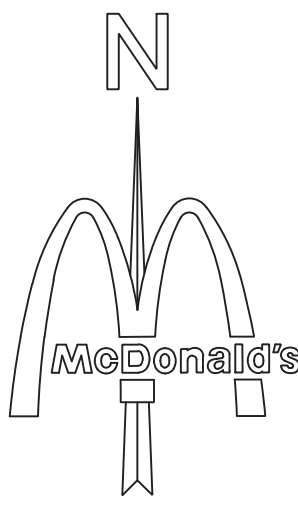
Plant Material List

SYM.	KEY	QTY.	COMMON NAME SCIENTIFIC NAME	O.C.	ROOT	SIZE	HEIGHT	SPREAD	COMMENT
AP	6		Afghan Pine Pinus Eklardica	N/A	B&B	3' cal	12' min.	6' min.	Full Canopy, Healthy, Good Form Strong Central Leader
CC	4		Chitalpa Chilopsis x catalpa	N/A	B&B	2' cal	10' min.	5' min.	Full Canopy, Healthy, Good Form
CP	5		Chinese Pistachio Pistacia chinensis	N/A	B&B	2' cal	12' min.	6' min.	Full Canopy, Healthy, Good Form
DW	12		Desert Willow Chilopsis linearis	N/A	Cont.	5 gal	8' min.	4' min.	Full Canopy, Good Branching Form 225 SF X 12 = 2,700 SF
TB	26		Turpentine Bush Eriogonum fasciculatum	24"	Cont.	1 gal	30" min.	24" min.	Full, Healthy 16 SF X 26 = 416 SF
IH	55		Indian Hawthorn 'Snow' Raphiolepis indica	36"	Cont.	5 gal	24" min.	24" min.	Full, Healthy 36 SF X 55 = 1,980 SF
RM	30		Muhly Grass 'Regal Mist' Muhlenbergia capillaris 'Regal Mist'	36"	Cont.	5 gal	30" min.	24" min.	Full, Healthy 9 SF X 30 = 270 SF
PC	37		Powis Castle Sage Artemisia x Powis Castle	36"	Cont.	1 gal	24" min.	24" min.	Full, Healthy 16 SF X 37 = 592 SF
AS	28		Autumn Sage Salvia greggii	36"	Cont.	1 gal	24" min.	24" min.	Full, Healthy 9 SF X 28 = 252 SF
RY	27		Red Yucca Hesperaloe parviflora	24"	Cont.	5 gal	18" min.	24" min.	Full, Healthy, No broken spines 9 SF X 27 = 243 SF
RR	13,520		Santa Fe Brown Gravel 2" min. - 3" max.						Locally Available

In Accordance to the Current Edition of The American Standard for Nursery Stock



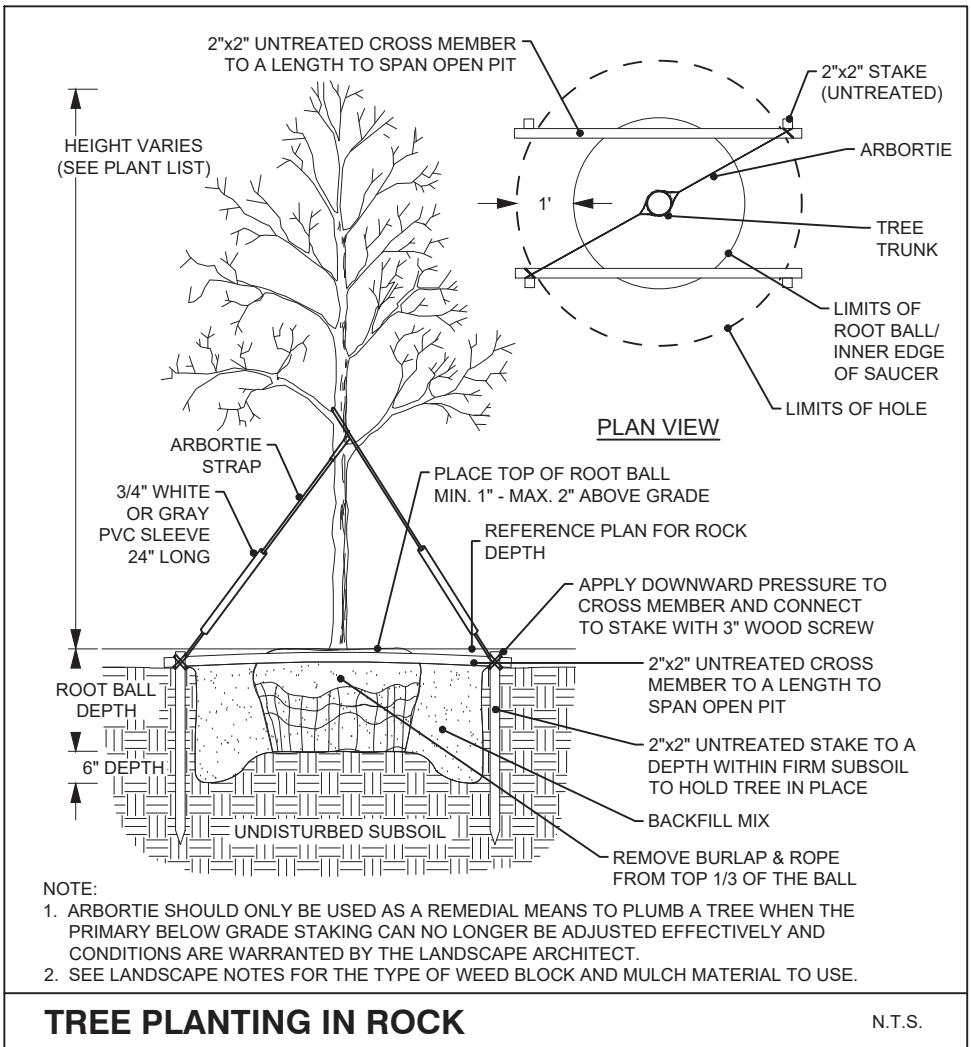
Know what's below.
Call before you dig.



SCALE: 1" = 20'

CITY NOTE

Landscape rock shall not take away or cut into the pond volume for all 4 proposed ponds.



REV	DATE	DESCRIPTION
01/16/2017	03/02/2017	ISSUE FOR PERMIT
03/02/2017		PER CITY AND NMDOT COMMENTS

ADAMS JOB NO.: 2012.299



8951 Cypress Waters Blvd, Suite 150 • Dallas, Texas 75019 • (817) 336-3200



03.02.2017

OFFICE	MTN. SOUTHWEST FIELD EXECUTION TEAM	MCDONALD'S LLC	030-0014
ADDRESS	KROC DRIVE - OAK BROOK, ILLINOIS 60521		
DATE			
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.	CONST. MGR.	OPERATIONS DEPT.	REAL ESTATE DEPT.
CO-SIGN SIGNATURES			
CONTRACTOR	OWNER		

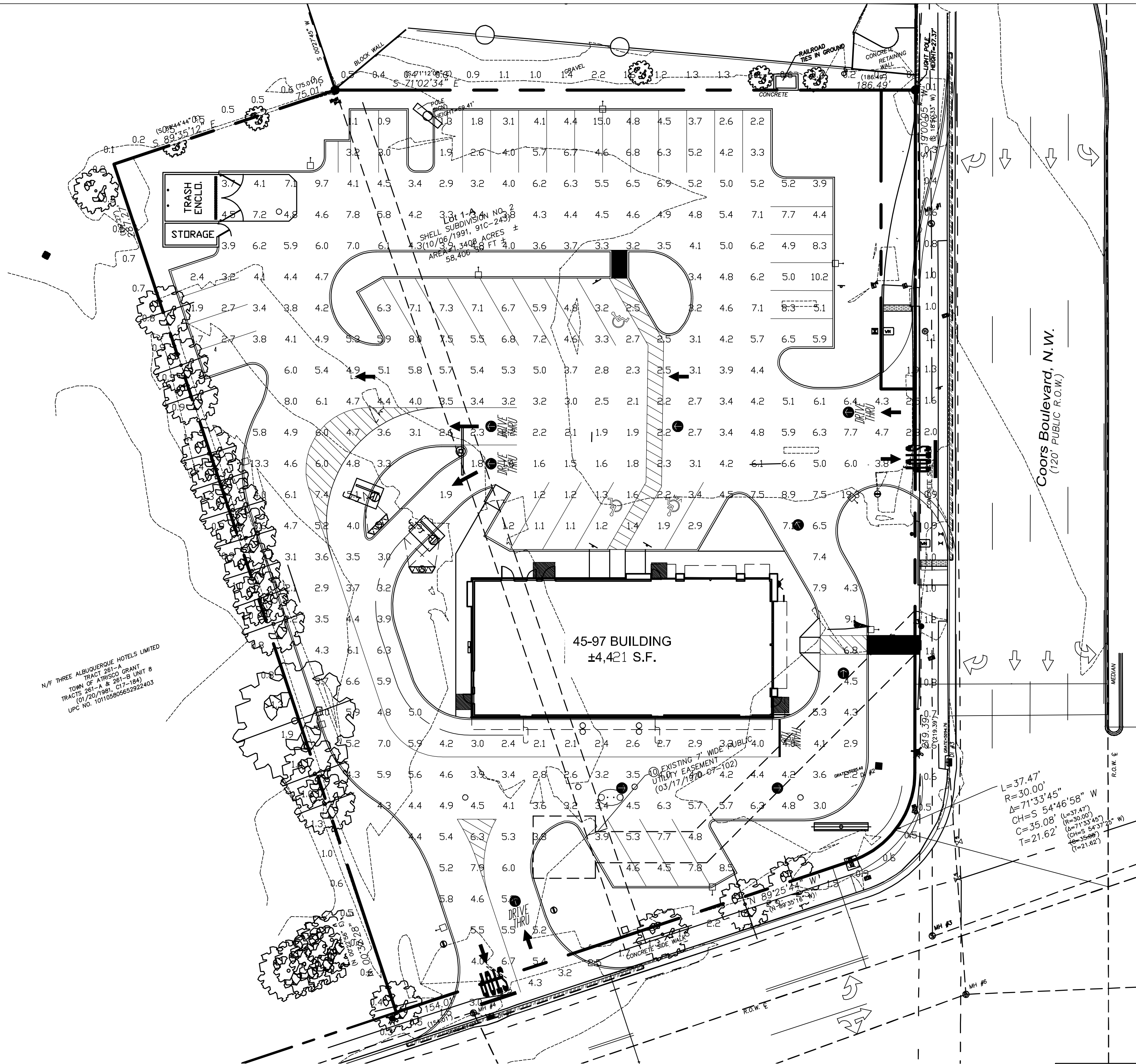
DESIGNED	DATE	BY
DRAWN	DEC. 2016	MJR
CHECKED	DEC. 2016	BRH
AS-BUILT		

LANDSCAPE PLAN

L1.0

- NOTES:
1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA: ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
 3. DISTANCE BETWEEN READINGS 10'
 4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

DRWG. NO. 1PCP34317



PAVED SURFACE READINGS

Average 4.5
Maximum 19.3
Minimum 0.9
Avg/Min 5.05
Max/Min 21.44

PROPERTY LINE READINGS

Average 1.0
Maximum 4.3
Minimum 0.1
Avg/Min 10.46
Max/Min 43.00

** - SPECIFY COLOR

FIXTURE TYPE	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	TENDON TOP FITTERS	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE	QUANTITY	WIND LOAD	ALLOWED EPA
VP-L-96NB-280-5K-T4-UNV-RA-**-	+	10	SGL	10	TTFVIPER	10	1.00	21'	0.87	SSP-4118-GL-**-TT (4')	10	90mph	7.2

* PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODOLOGY. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

NOTES:

SCALE 1" = 20' 0"

DRAWN BY MW DATE 11/18/16

CHECKED BY

APPROVED BY

APPROVED BY

APPROVED BY

SHIP ORDER

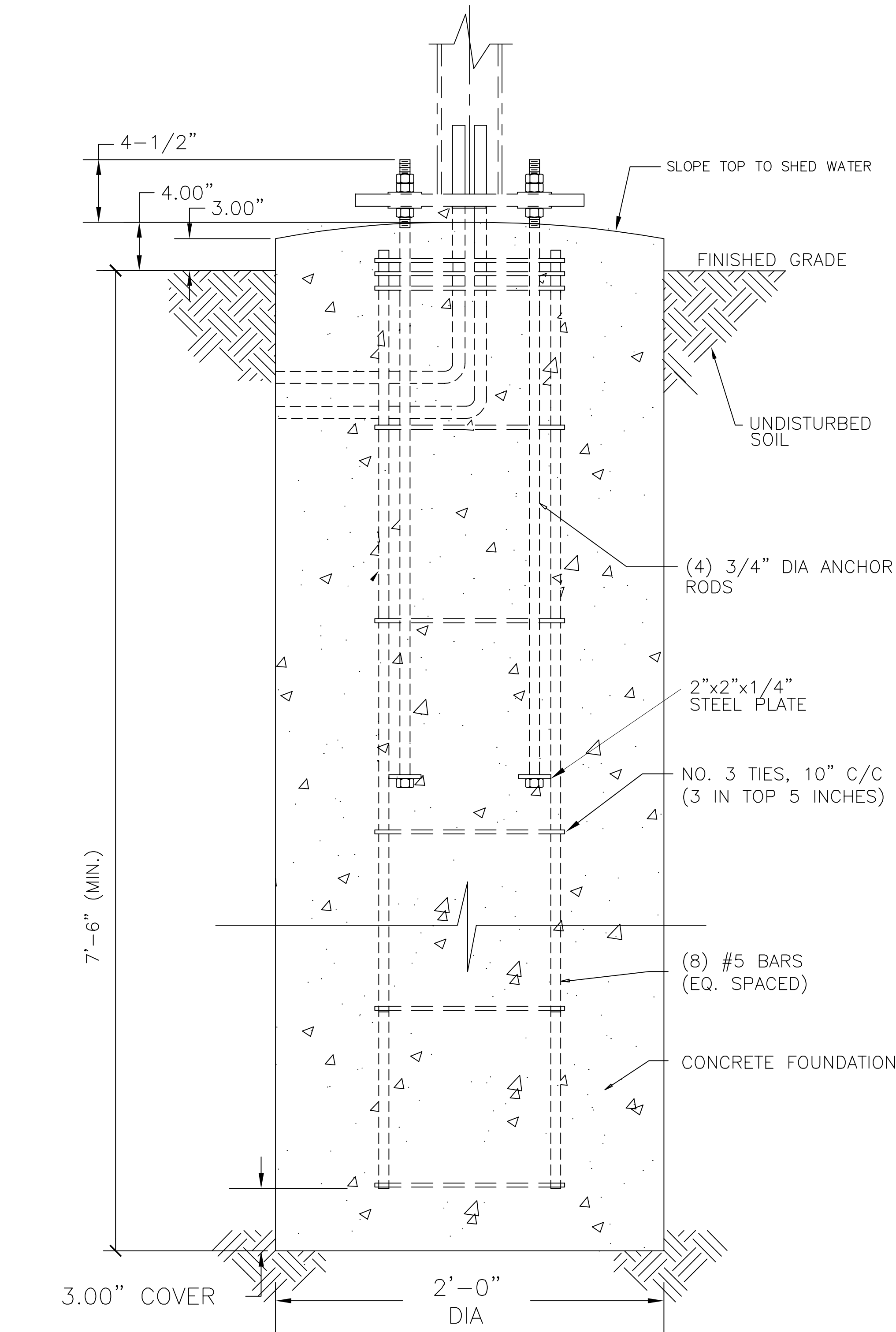
PROJECT NO.



2100 Golf Road, Suite 460, Rolling Meadows, IL 60008
1-800-544-6646

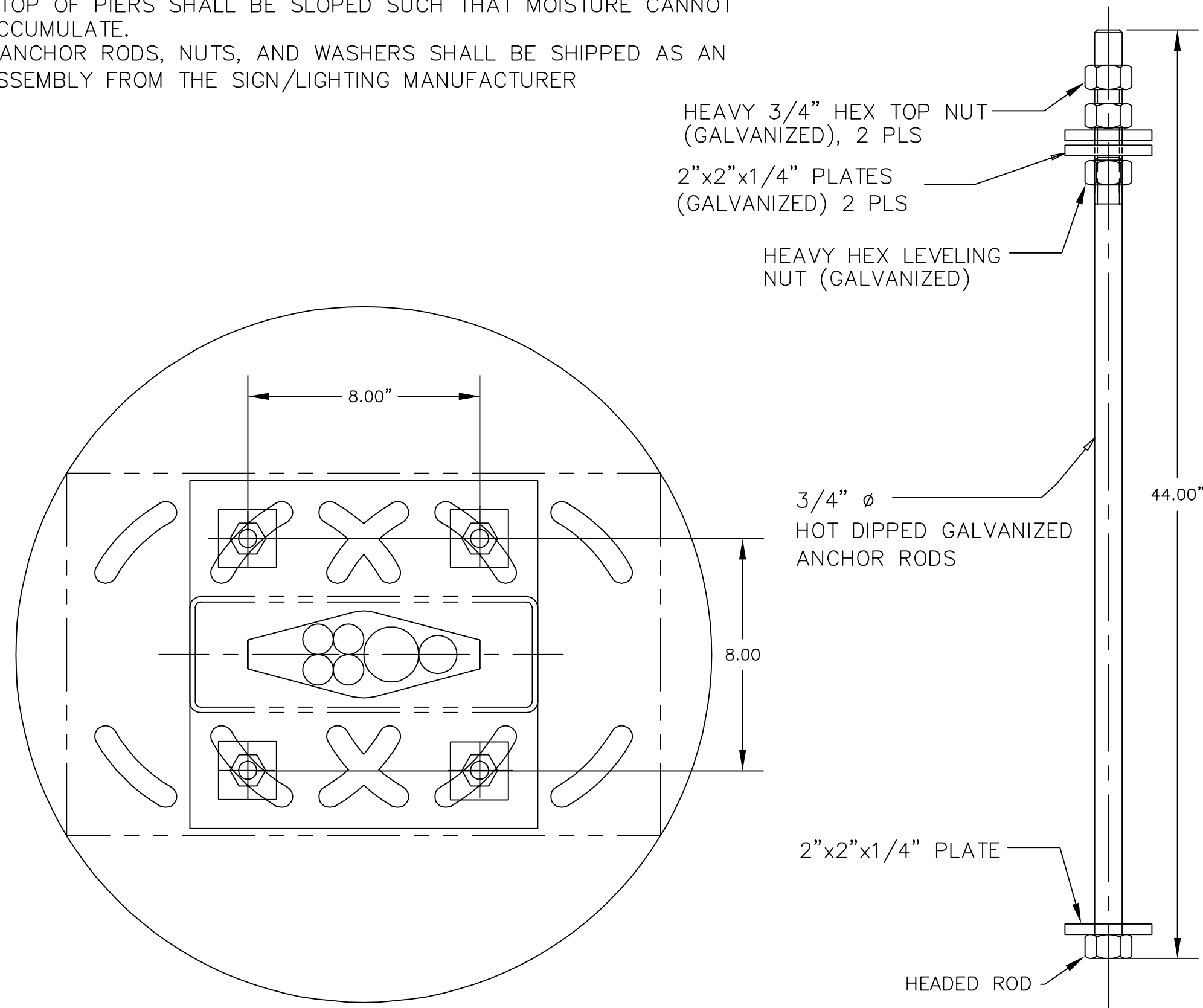
POINT-BY-POINT FOOTCANDLE PLOT FOR
- McDONALD'S -
1501 COORS BLVD NW
ALBUQUERQUE, NM

DRAWING NUMBER
1PCP34317



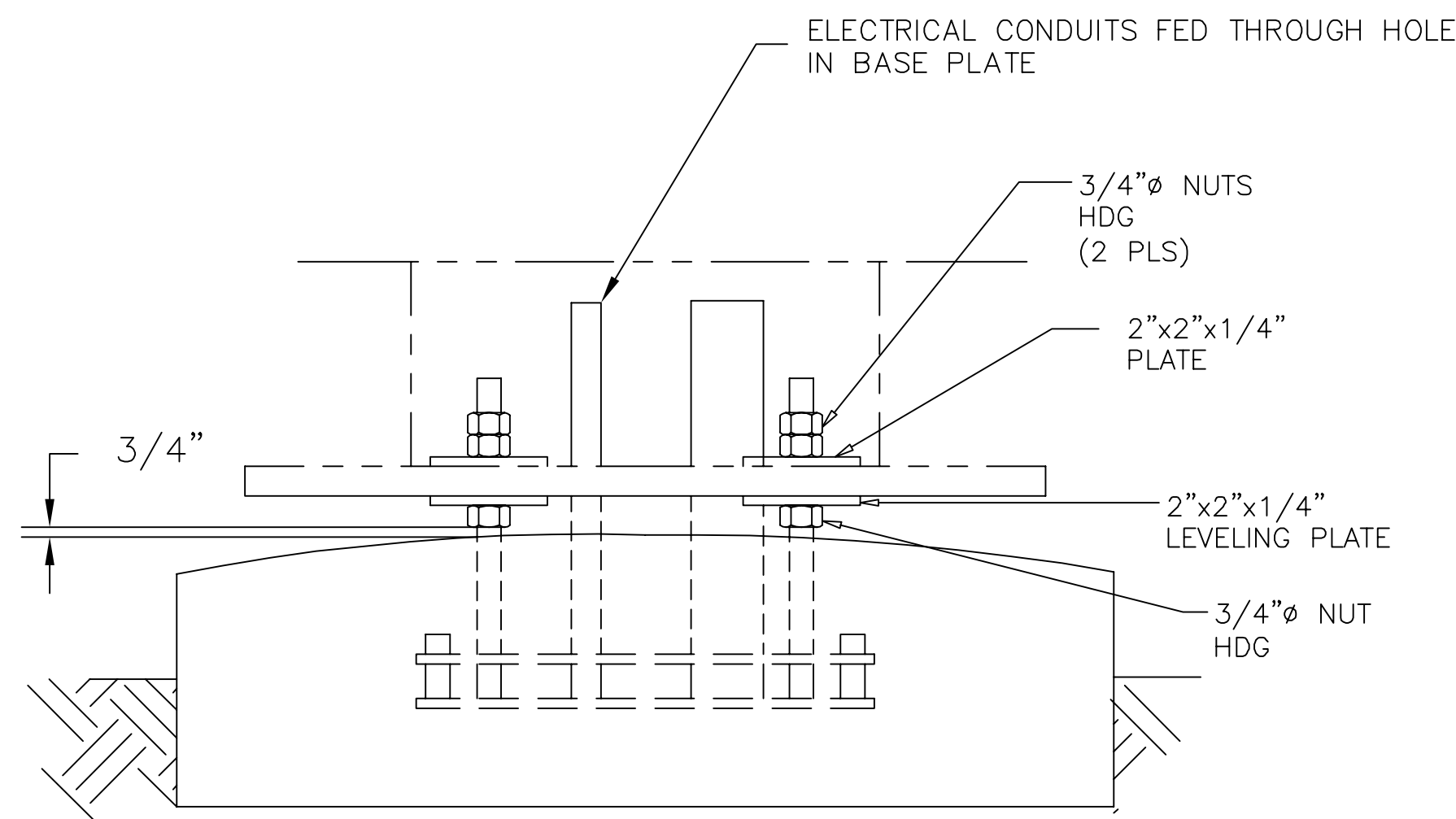
A FOUNDATION NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



B ANCHOR BOLT PATTERN NTS

NOTES:
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-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



C CONNECTION DETAILS NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2009
-ASCE 7-05
-ACI 318-08
-AISC 13th EDITION
-AWS D1.1
-WIND SPEED 90 MPH (MPH 3-SEC GUST)
-EXPOSURE C

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH ($f'_c=3,000$ PSI) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
-ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ($F_y=35$ ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B ($F_y=42$ ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ($F_y=46$ ksi)
-HEADED ANCHOR RODS ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: ASTM A615 GRADE 60
-NUTS: ASTM A563A, HEAVY HEX
-WASHERS: ASTM F844 A36
-USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

THIS FOUNDATION TO BE USED ONLY WITH FLORIDA PLASTICS INTERNATIONAL INC. STANDARD OPO-4/ FP43 MENU BOARD WITH TOPPER

SOIL REPORT: 66165139
BY: TERRACON CONSULTANTS, INC.
DATED: OCTOBER 5, 2016

MENU BOARD FOUNDATION



ISSUES AND REVISIONS

DATE

NO

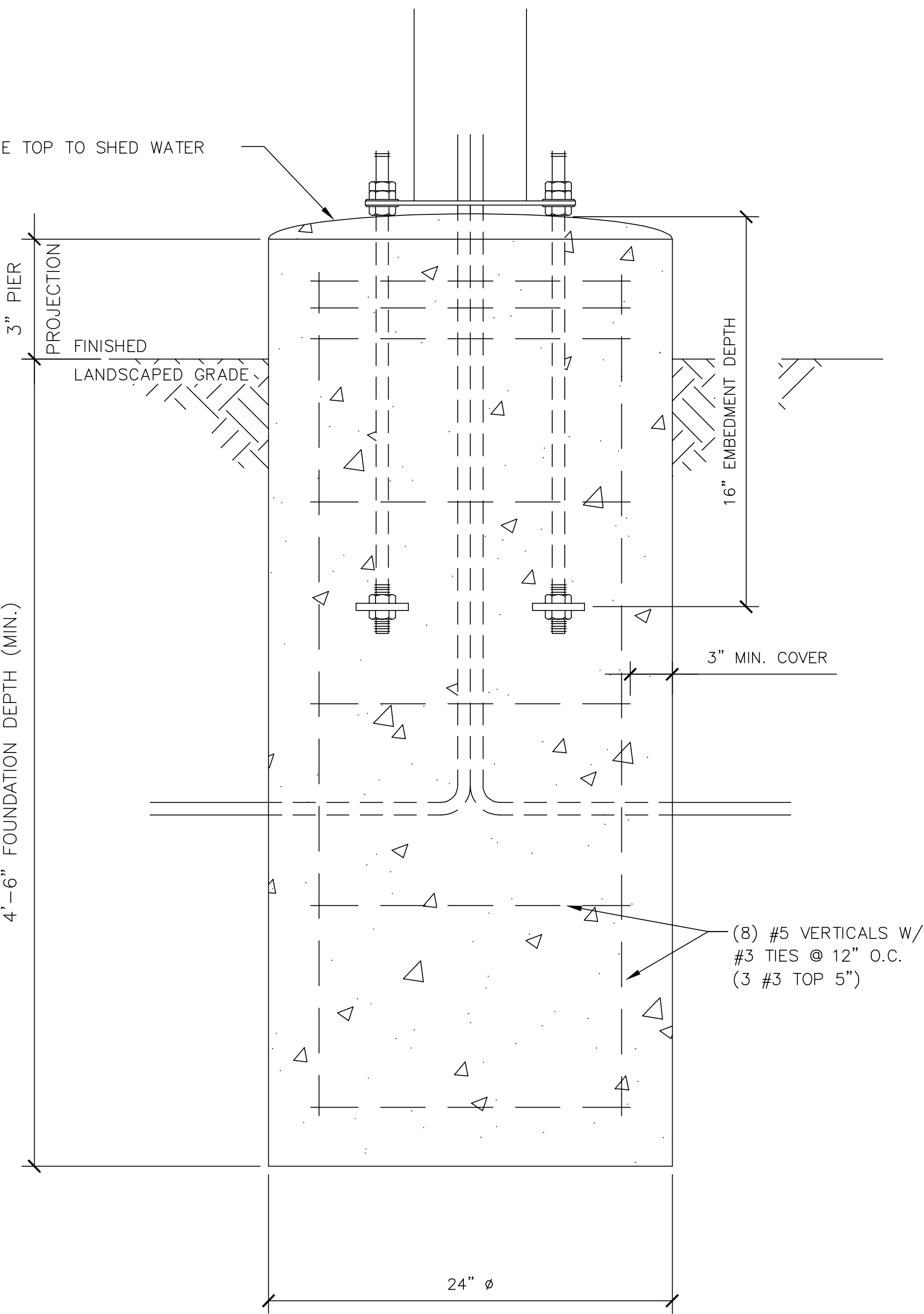
Mcdonald's - 4257 34th Street
Lubbock, Texas

BEC-h
ENGINEERING, LP
10401 Westoffice Dr.
Houston, Texas 77042
Ph: 281-664-8470
Fax: 281-664-8457
Texas Eng.
Firm #F-13056

SHEET

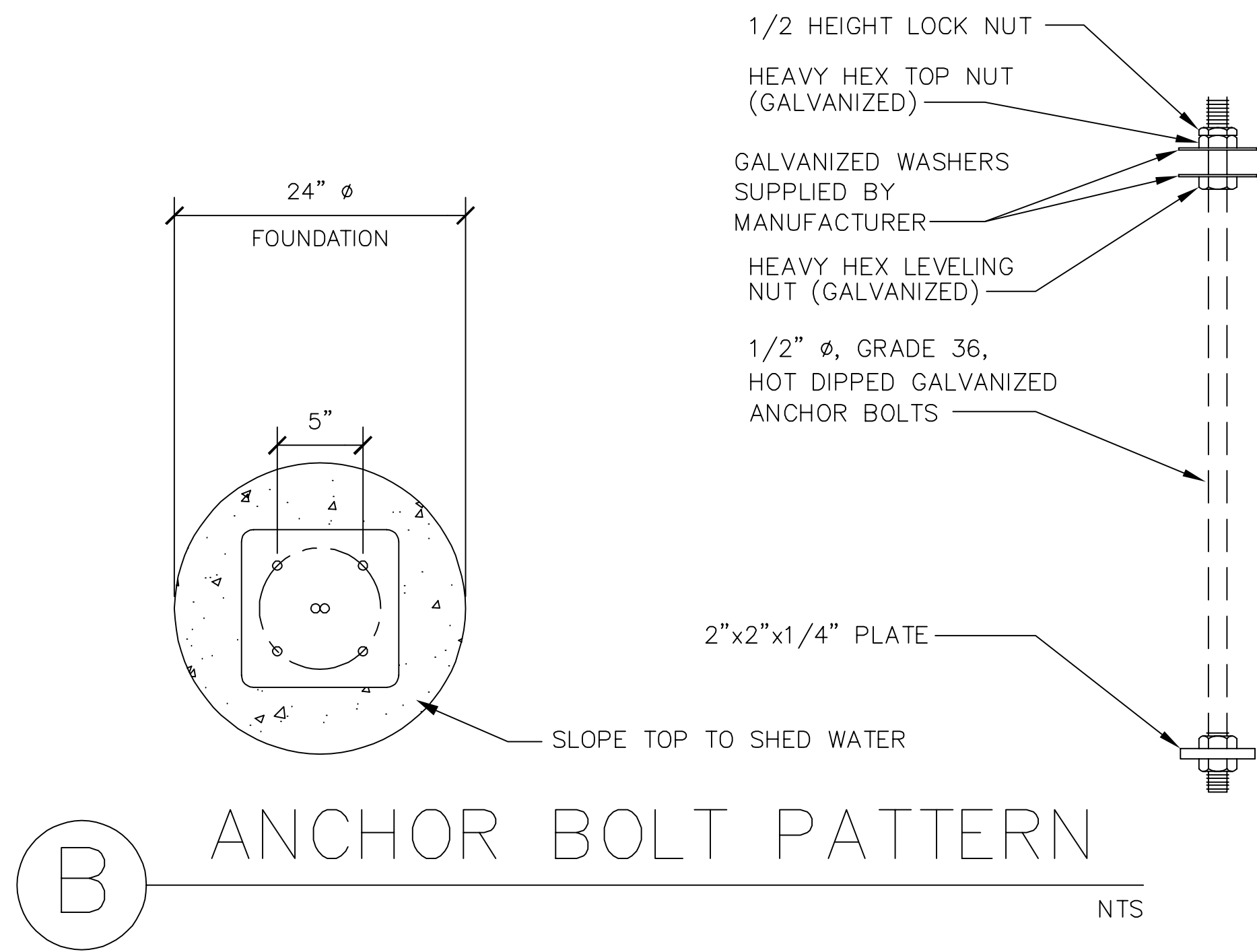
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PROJ. NO.: 17-1055-0007



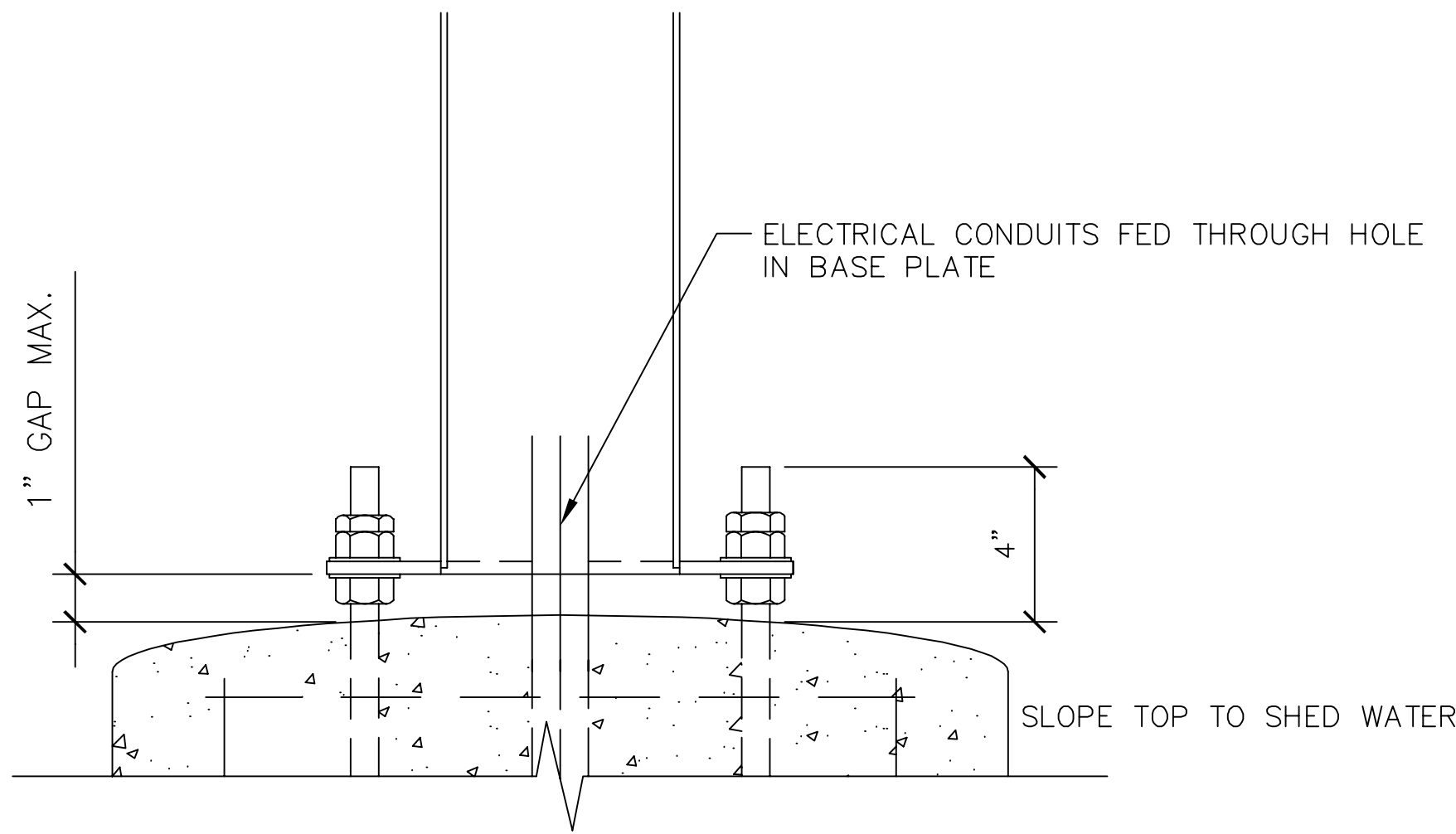
A FOUNDATION NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-USE F1554 GRADE 36 BOLTS MINIMUM
-USE HOT DIPPED GALVANIZED BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
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-ACI 318-08
-AISC 13th EDITION
-AWS D1.1
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-EXPOSURE C

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
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STEEL:
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-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ($F_y = 46$ ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60
-NUTS: A563DH OR A194-2H
-WASHERS: ASTM F-436
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SOIL REPORT: 66165139
BY: TERRACON CONSULTANTS, INC.
DATED: OCTOBER 5, 2016

DIRECTIONAL SIGN



ISSUES AND REVISIONS		ISSUED FOR PERMIT									
NO	DATE	0									
	2-6-17										

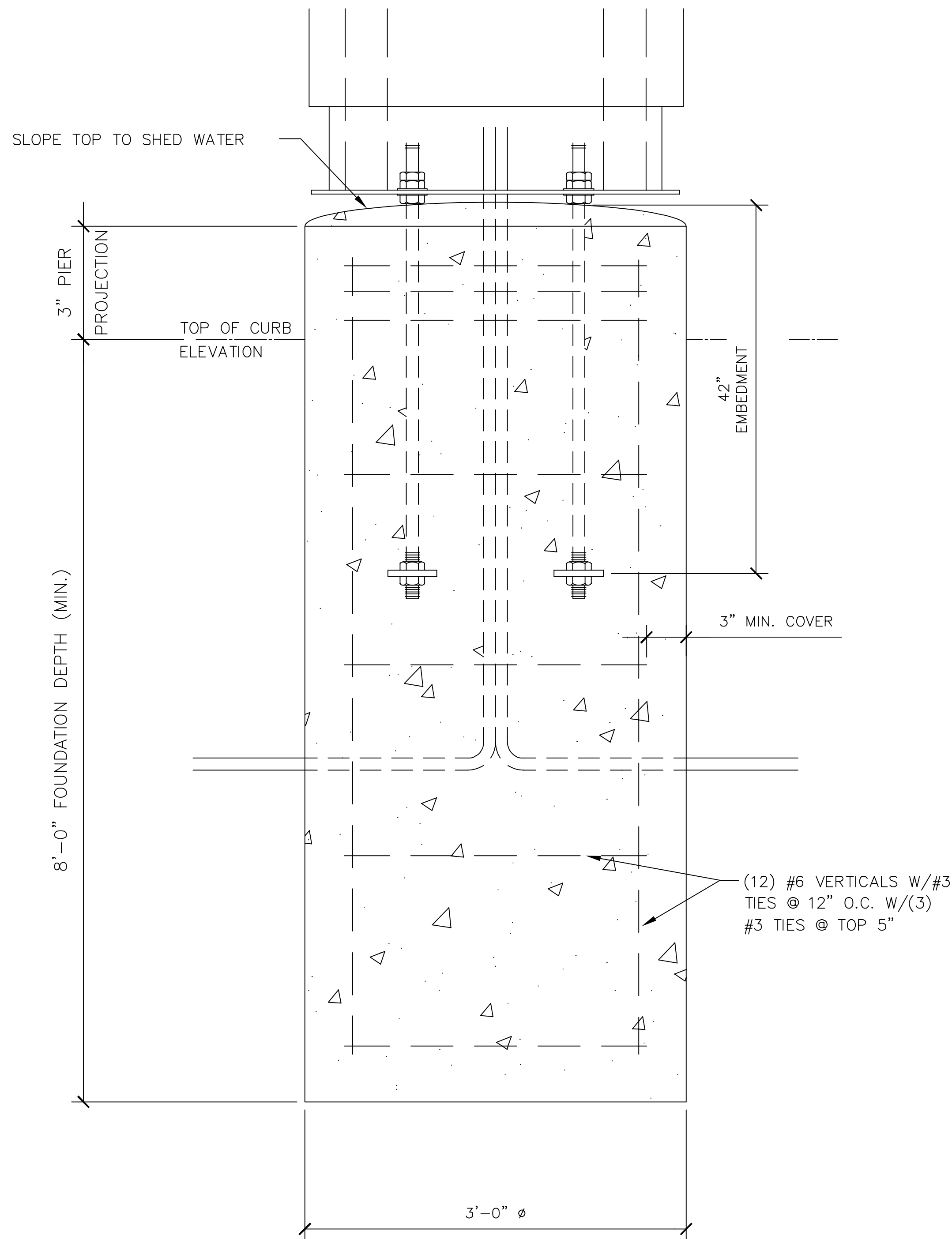
McDonald's - 4257 34th Street
Lubbock, Texas

BEC-h
ENGINEERING, LP
10401 Westoffice Dr.
Houston, Texas 77042
Ph: 281-664-8470
Fax: 281-664-8457
Texas Eng.
Firm #F-13056

SHEET

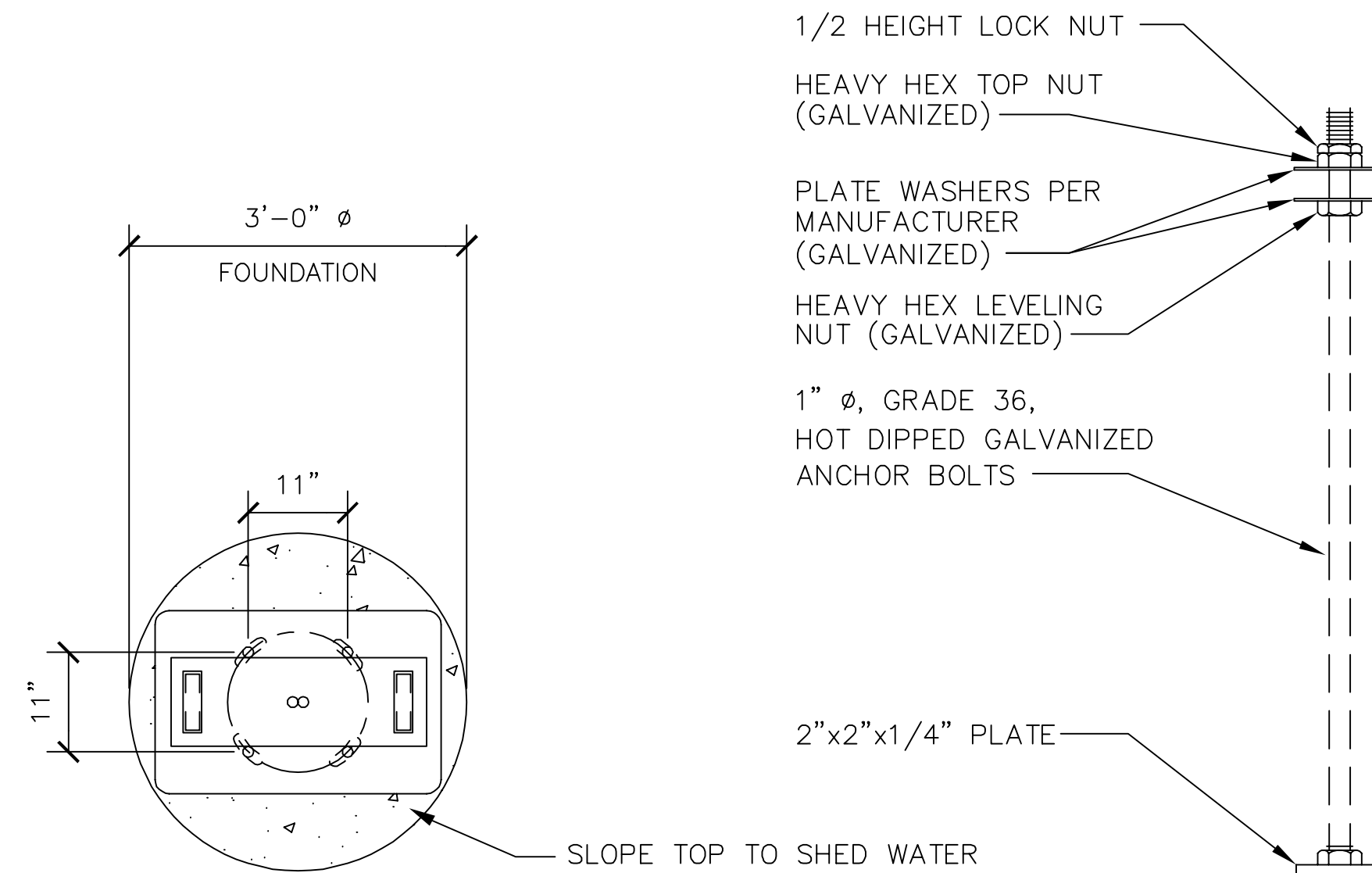
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PROJ. NO. : 17-1056-0007



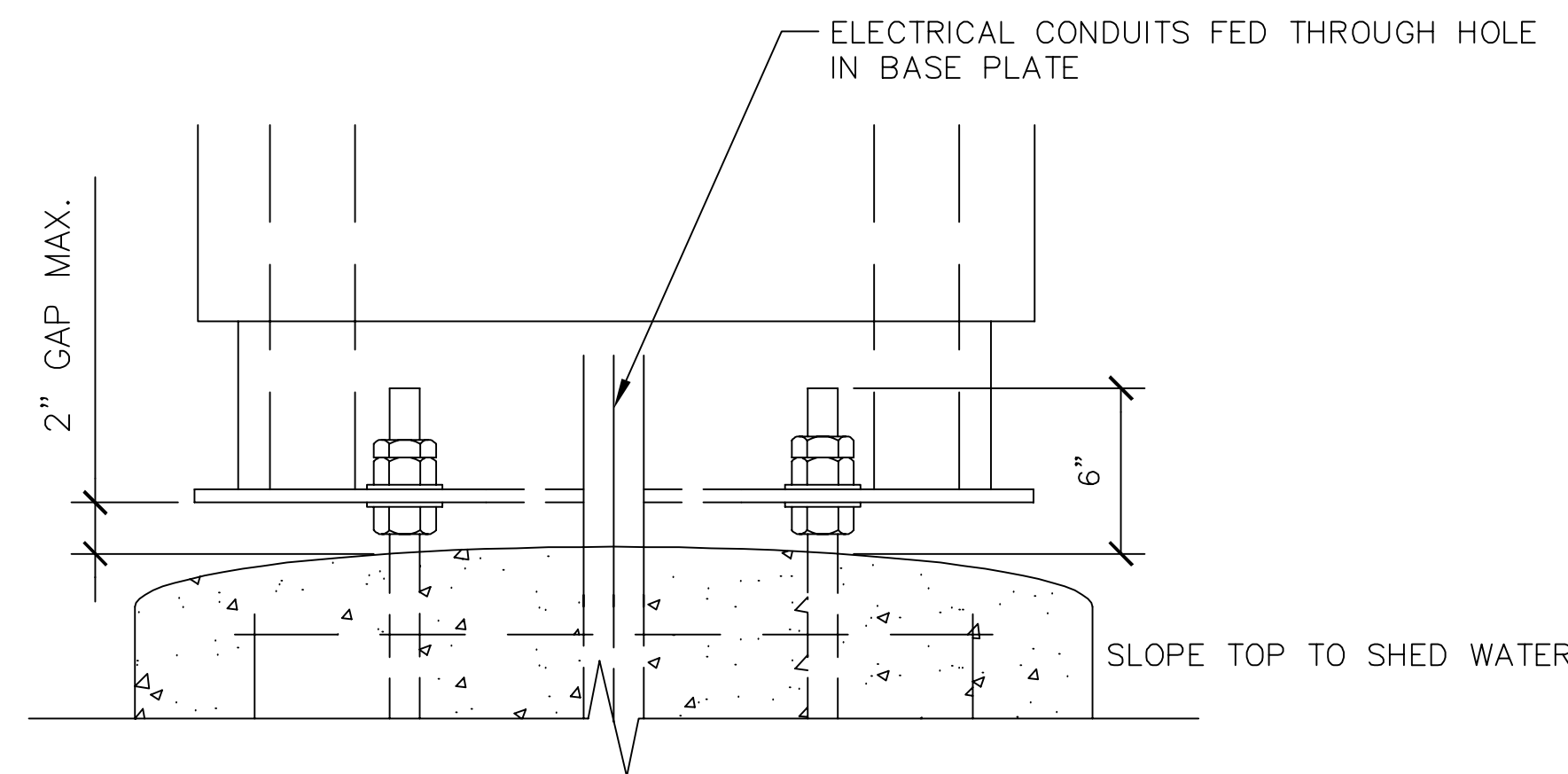
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GENERAL NOTES

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- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
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- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- FOUNDATIONS ARE DESIGNED FOR SINGLE OR DOUBLE POLE COLUMNS
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT: 66165139
BY: TERRACON CONSULTANTS, INC.
DATED: OCTOBER 5, 2016

ORDER HERE CANOPY FOUNDATION



ISSUES AND REVISIONS

ISSUED FOR PERMIT

DATE

2-6-17

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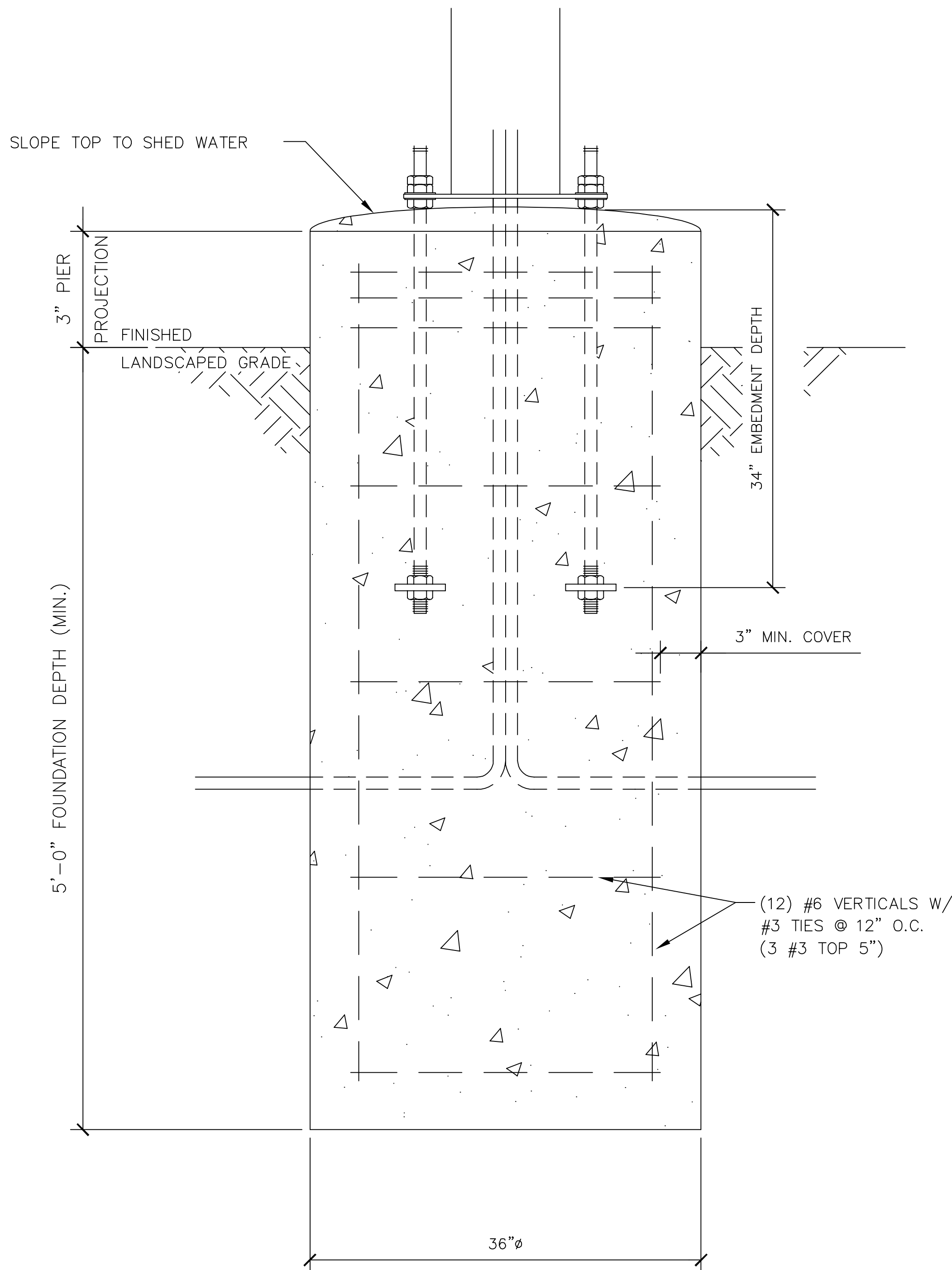
McDonald's - 4257 34th Street
Lubbock, Texas

BEC-h
ENGINEERING, LP
10401 Westoffice Dr.
Houston, Texas 77042
Ph: 281-664-8470
Fax: 281-664-8457
Texas Eng.
Firm #F-13056

SHEET

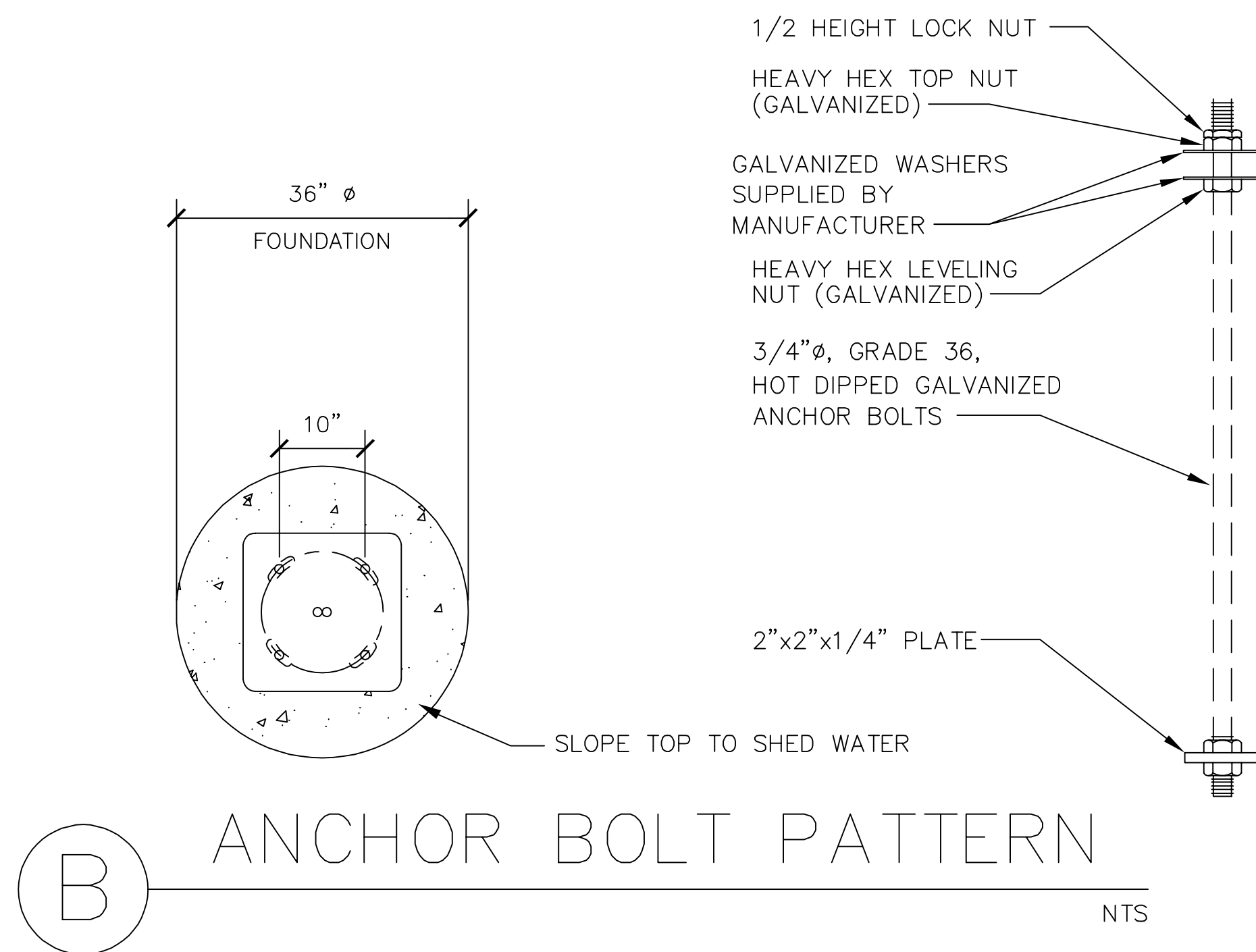
SD-3

PROJ. NO. : 17-1055-0007



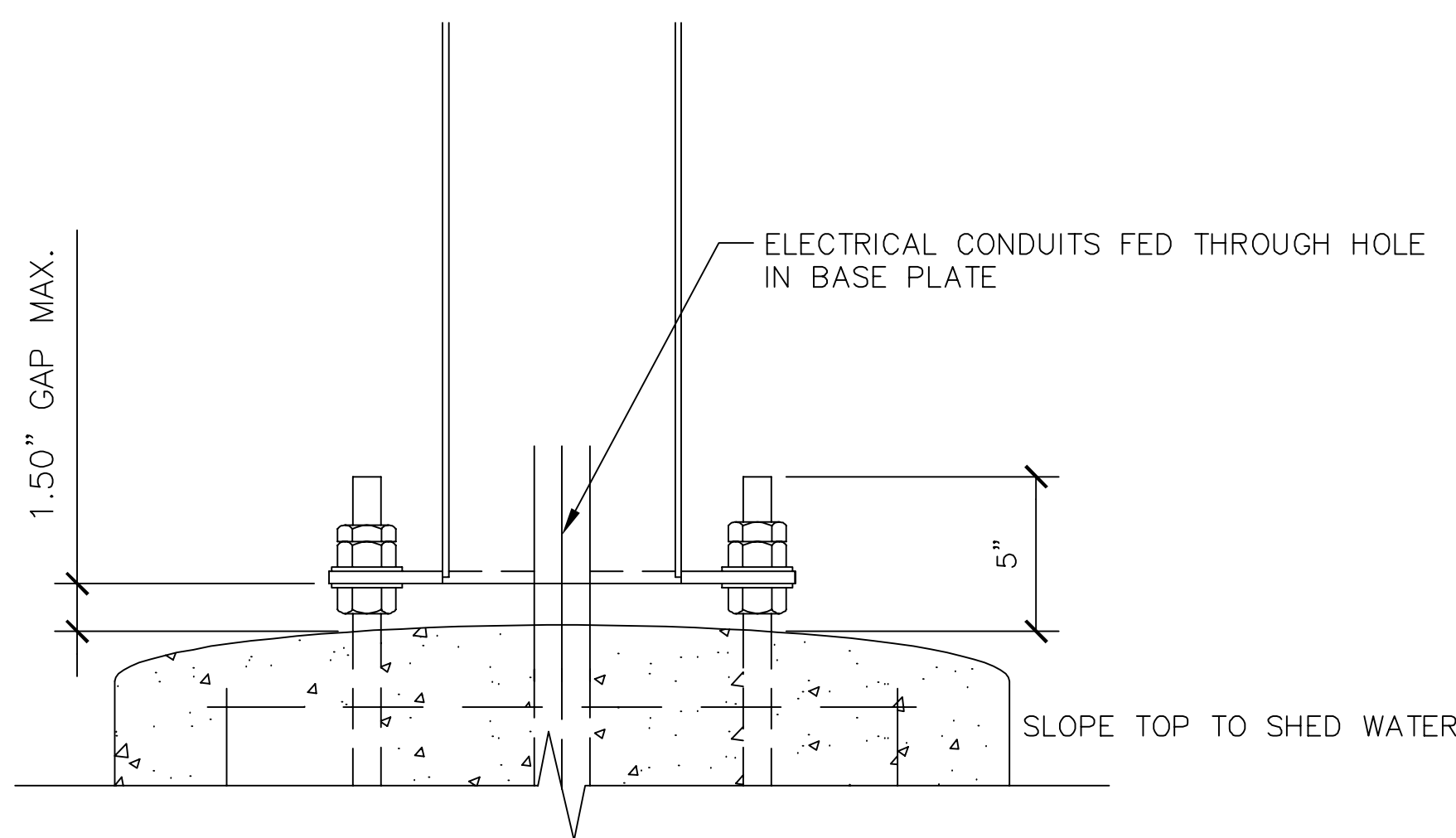
A FOUNDATION NTS

- NOTES:
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - USE F1554 GRADE 36 BOLTS MINIMUM
 - USE HOT DIPPED GALVANIZED BOLTS
 - ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



B ANCHOR BOLT PATTERN NTS

- NOTES:
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
 - ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
 - DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



C CONNECTION DETAILS NTS

GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
- IBC 2009
 - ASCE 7-05
 - ACI 318-08
 - AISC 13th EDITION
 - AWS D1.1
- WIND SPEED 90 MPH (MPH 3-SEC GUST)
- EXPOSURE C

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)

- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH ($f'c=3000$ PSI) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
- ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ($F_y = 35$ ksi)
- HSS ROUND SECTION: ASTM A500 GRADE B ($F_y = 42$ ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ($F_y = 46$ ksi)
- CONNECTION BOLTS A325
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: GRADE 60
- NUTS: A563DH OR A194-2H
- WASHERS: F436
- USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT: 66165139
BY: TERRACON CONSULTANTS, INC.
DATED: OCTOBER 5, 2016

DOUBLE ARM GATEWAY FOUNDATION



ISSUES AND REVISIONS

ISSUED FOR PERMIT

DATE
2-6-17

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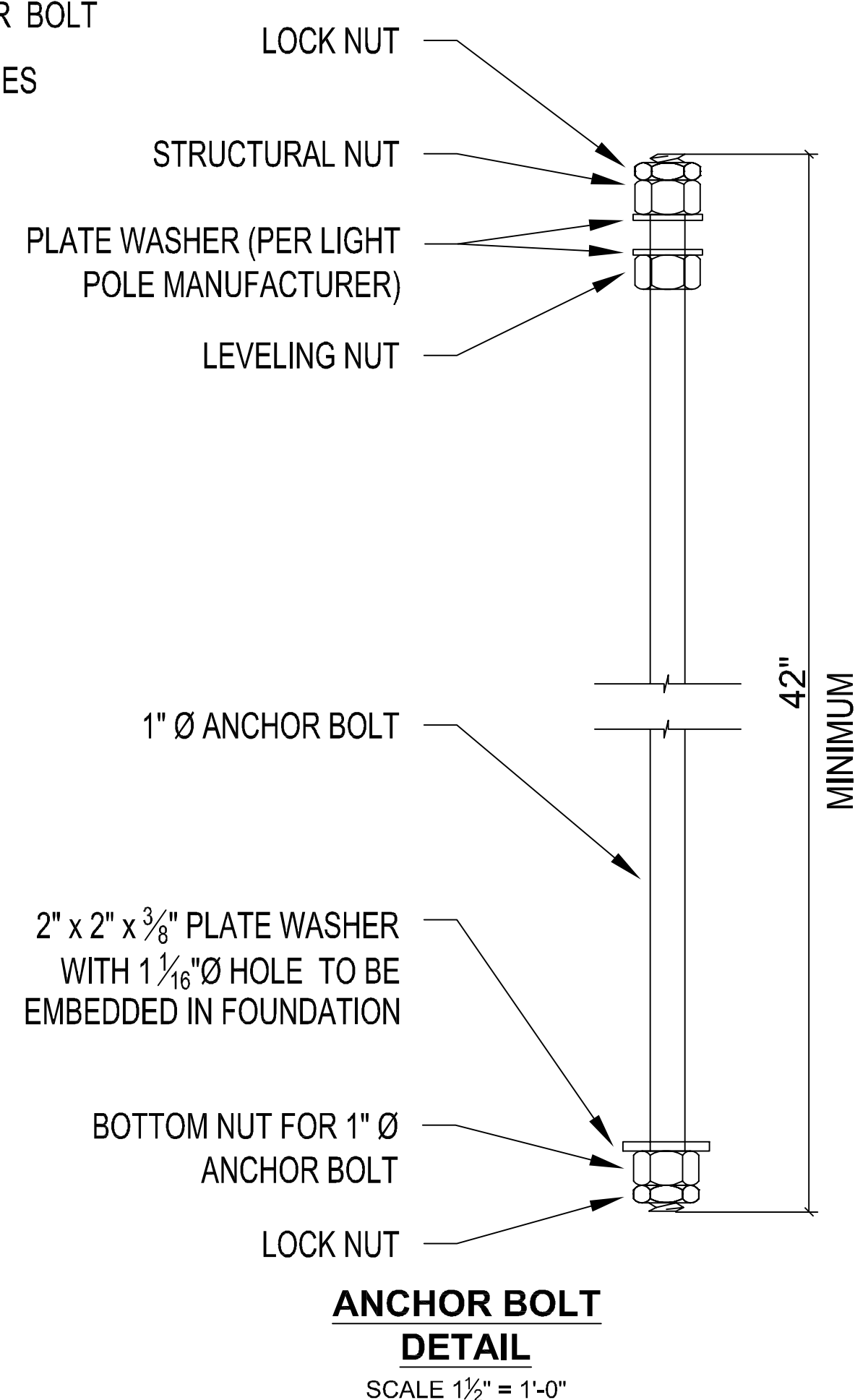
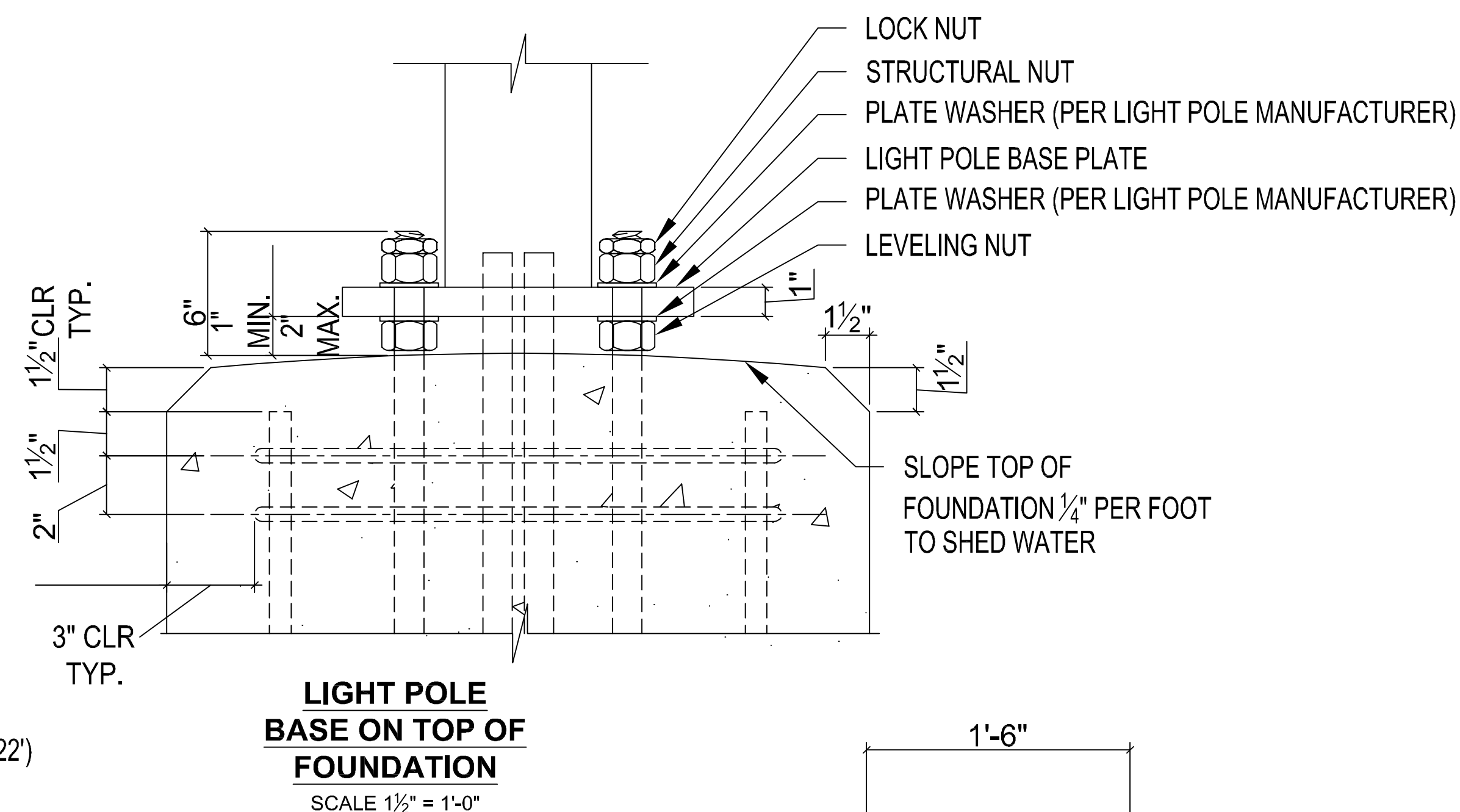
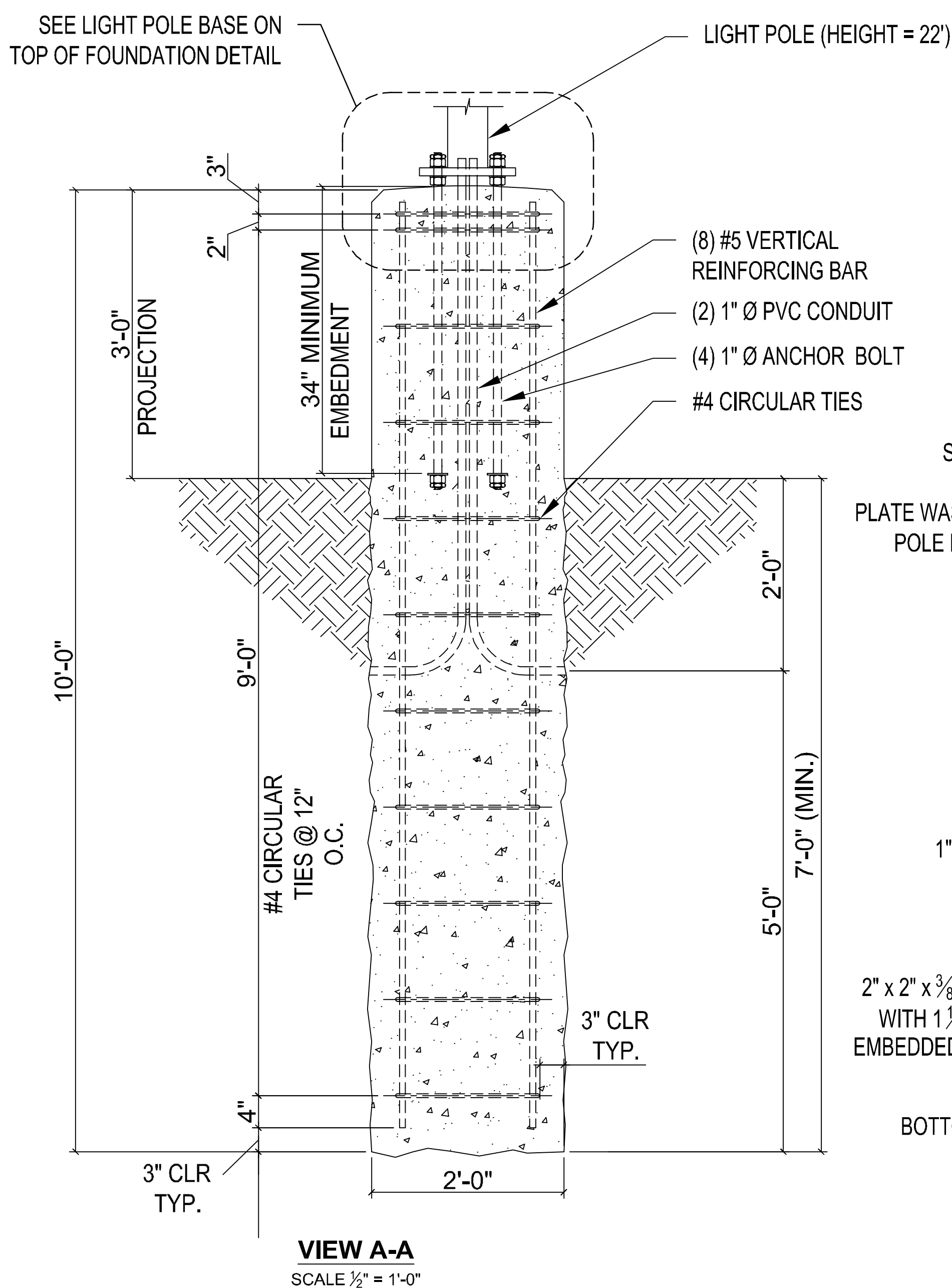
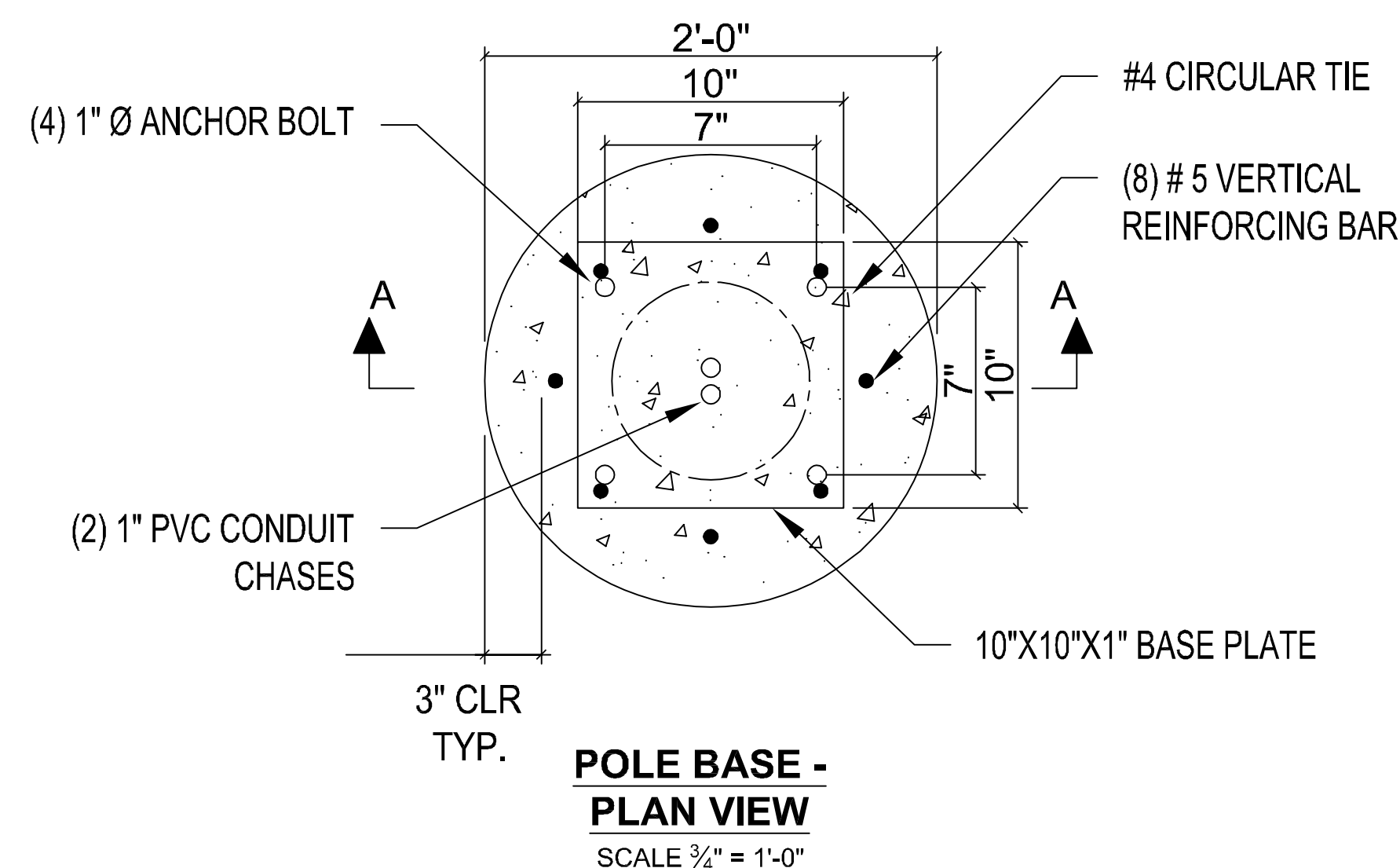
McDonald's - 4257 34th Street
Lubbock, Texas

BEC-h
ENGINEERING, LP
10401 Westoffice Dr.
Houston, Texas 77042
Ph: 281-664-8470
Fax: 281-664-8457
Texas Eng.
Firm #F-13056

SHEET

SD-4

PROJ. NO. : 17-1056-0007



GENERAL NOTES

DESIGN CRITERIA:

FOUNDATION DESIGN PARAMETERS:

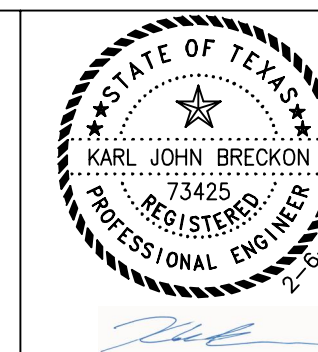
- IBC 2009
- MAXIMUM WIND SPEED (3 SECOND GUST) = 90MPH
- MINIMUM REQUIRED SOIL PARAMETERS:
 - COHESIVE SOILS:
 - SHEAR STRENGTH = 750 lbs/ft²
 - 6" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
 - COHESIONLESS SOILS:
 - ANGLE OF INTERNAL FRICTION = 27 DEGREES
 - WATER TABLE SHALL BE LOCATED BELOW THE BOTTOM OF THE FOUNDATION
 - 6" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
- THIS FOUNDATION DESIGN SHALL NOT BE USED IN LOCATIONS WHICH ARE CLOSER THAN 8ft FROM A RETAINING WALL.
- THIS FOUNDATION DESIGN SHALL NOT BE USED AT LOCATIONS WHERE THE GROUND SLOPE EXCEEDS 4 inches per foot.

GENERAL NOTES:

- CONCRETE COMPRESSIVE STRENGTH (f_c) SHALL BE A MINIMUM OF 3000psi
- ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 55, HOT DIP GALVANIZED PER ASTM F2329
- REINFORCING STEEL SHALL BE ASTM A615 GRADE 60
- NUTS SHALL BE HEAVY HEX ASTM A563 GRADE DH, HOT DIP GALVANIZED PER ASTM A153
- PLATE SHALL BE ASTM A572 GRADE 50, HOT DIP GALVANIZED PER ASTM A153
- LOCK NUT SHALL BE HOT DIP GALVANIZED PER ASTM A153

SOIL REPORT NO: 66165139
 BY: TERRACON CONSULTANTS, INC.
 DATED: OCTOBER 5, 2016

LIGHT POLE FOUNDATION



NO	DATE	ISSUES AND REVISIONS ISSUED FOR PERMIT
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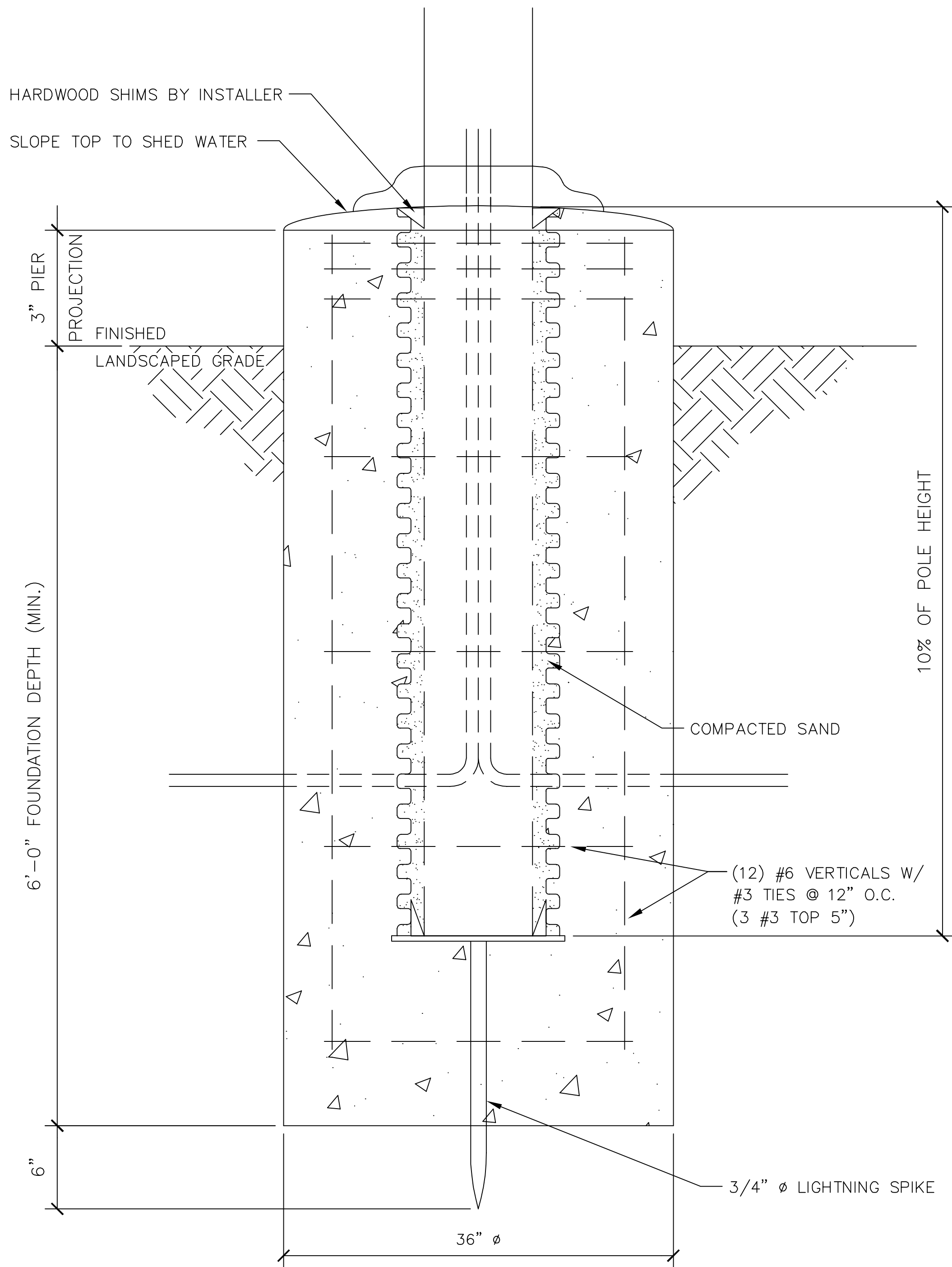
McDonald's - 4257 34th Street
 Lubbock, Texas

BEC-h
 ENGINEERING, LP
 10401 Westoffice Dr.
 Houston, Texas 77042
 Ph: 281-664-8470
 Fax: 281-664-8457
 Texas Eng.
 Firm #F-13056

SHEET

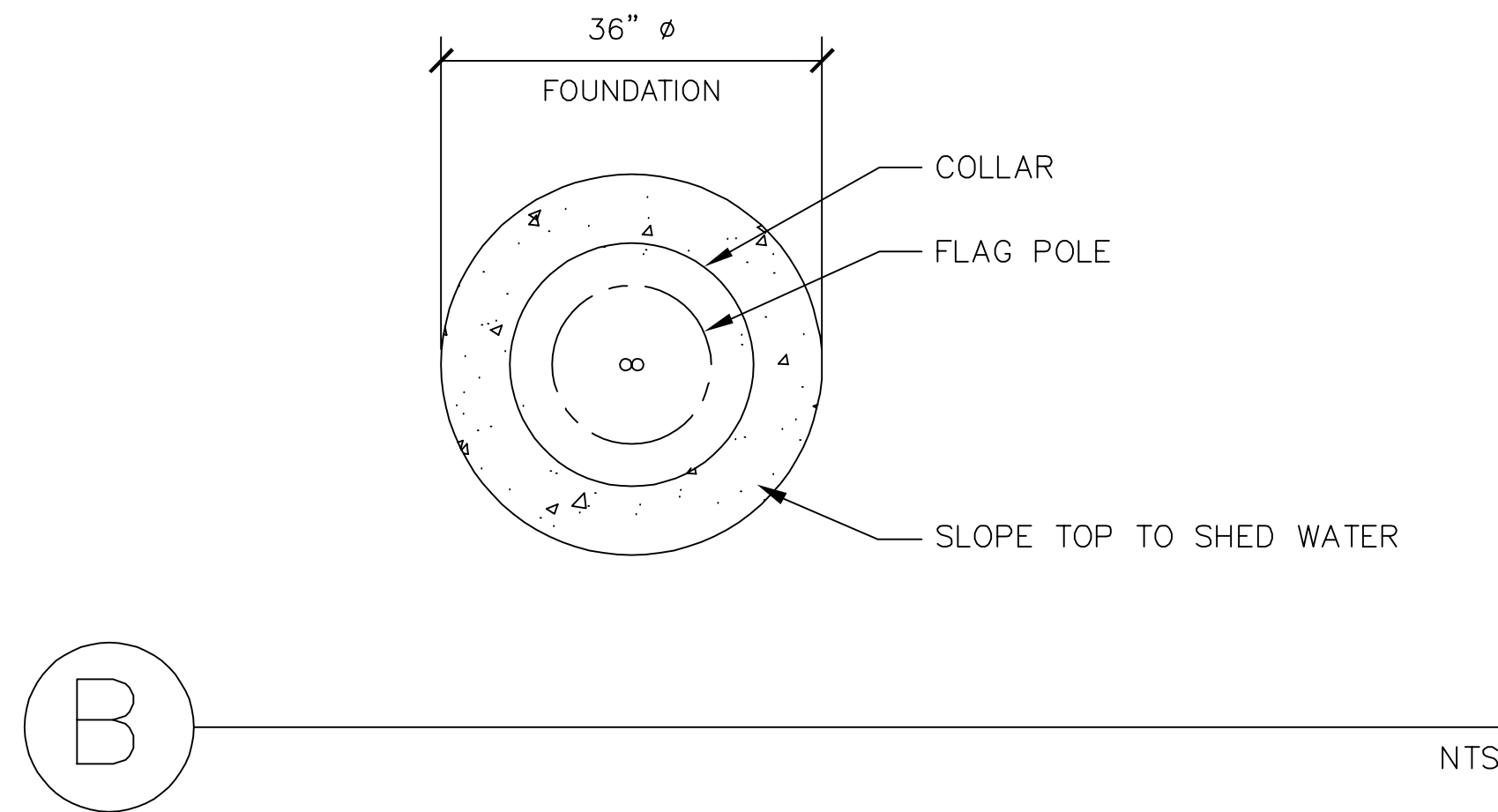
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PROJ. NO. : 17-1055-0007

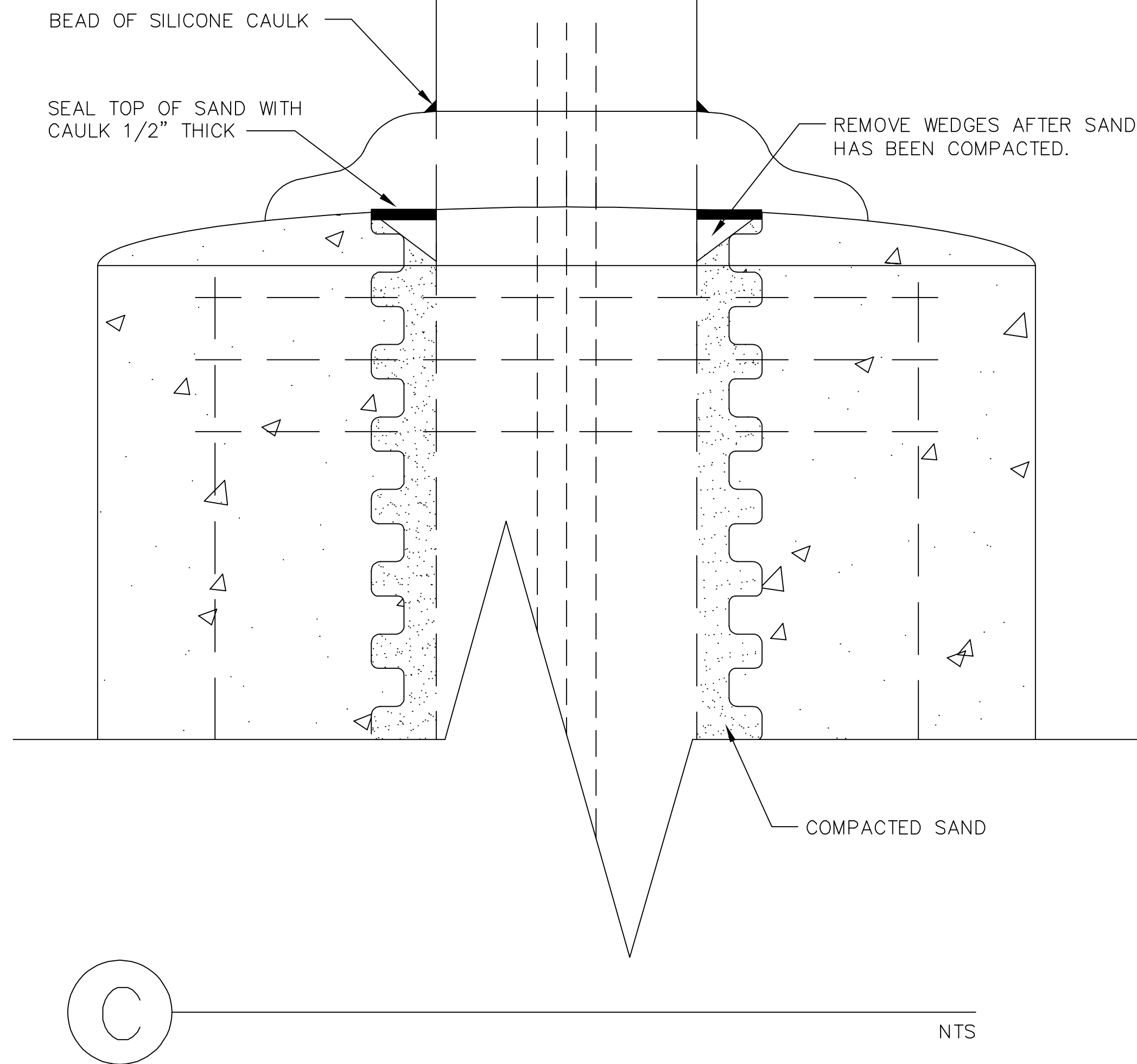


A FOUNDATION NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.



NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.



GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
-IBC 2009
-ASCE 7-05
-ACI 318-08
-AISC 13th EDITION
-AWS D1.1
-NAAMM 1001-07

-DESIGN LOADS ARE BASED ON 90 MPH, 3-SEC GUST (EXPOSURE C) ACTING ON POLE ONLY

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH ($f'_c=3000$ PSI) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

-FLAG SIZES SHALL NOT EXCEED THE FOLLOWING AREA LIMITATIONS:

-25'-0" POLE --> 5'-0" x 8'-0" FLAG
-30'-0" POLE --> 6'-0" x 10'-0" FLAG
-40'-0" POLE --> 8'-0" x 12'-0" FLAG
-50'-0" POLE --> 10'-0" x 15'-0" FLAG

-REFER TO FLAG MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION INCLUDING INSTALLATION INSTRUCTIONS.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

SOIL REPORT: 66165139
BY: TERRACON CONSULTANTS, INC.
DATED: OCTOBER 5, 2016

25' & 30' FLAG POLE FOUNDATION



ISSUES AND REVISIONS

ISSUED FOR PERMIT

DATE

2-6-17

NO

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McDonald's - 4257 34th Street
Lubbock, Texas

BEC-h
ENGINEERING, LP
10401 Westoffice Dr.
Houston, Texas 77042
Ph: 281-664-8470
Fax: 281-664-8457
Texas Eng.
Firm #F-13056

SHEET

SD-6

PROJ. NO. : 17-1055-0007

AGRS MONUMENT "E-10"
STANDARD AGRS BRASS TABLET
(FOUND IN PLACE)
NEW MEXICO STATE PLANE COORDINATES
(CENTRAL ZONE-N.A.D. 1983)
N=492.80789
E=1200.03502
SUBSIDED E=319.814 (NAVD 1985)
GROUND TO GRID FACTOR=0.9998144
DELTA ALPHA ANGLE=-0°10'07.4"

BIORETENTION AREA 1
TOP = 5095.50
100-YR WSEL = 5095.13
FIRST FLUSH WSEL = 5094.88
BOTTOM = 5093.50
FIRST FLUSH VOLUME = 286 CF
TOTAL VOLUME = 518 CF

STA 1+06.22 ~ STRM-1
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 12" OUT = 5092.81

STA 0+45.88 ~ STRM-3
SAN / STORM CROSSING
ST INVERT 6" = 5094.37
SS TOP 6" = 5093.97
SS INVERT 6" = 5093.44

STA 0+14.41 ~ STRM-3
CONSTRUCT 45" BE GRATE INLET
INVERT 6" = 5092.79

STA 0+00.00 ~ STRM-1
CONSTRUCT OUTLET
REF TYP. OUTLET DETAIL
INVERT 12" = 5091.75

STA 0+04.00 ~ STRM-3
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.30
INVERT 6" IN = 5092.27
INVERT 12" OUT = 5091.77

BIORETENTION AREA 4
TOP = 5096.00
100-YR WSEL = 5094.90
FIRST FLUSH WSEL = 5091.95
BOTTOM = 5091.50
FIRST FLUSH VOLUME = 619 CF
TOTAL VOLUME = 4,495
SPILLWAY=5095.33
FG=5091.75
MAXIMUM OUTFLOW =

STA 0+14.35 ~ STRM-4
CONSTR 45" BEND
INVERT 6" = 5091.75

STA 0+17.55 ~ STRM-4
CONSTR 45" BEND
INVERT 6" = 5091.75

STA 0+00.00 ~ STRM-4
CONNECT TO
EXISTING MANHOLE
INVERT 6" = 5090.67

REMOVE EXISTING TYPE "C" CURB INLET
AND REPLACE WITH TYPE "D" GRATE INLET.
MAINTAIN EXISTING PIPE INVERTS.

BIORETENTION AREA 2
TOP = 5095.50
100-YR WSEL = 5095.4
FIRST FLUSH WSEL = 5095.25
BOTTOM = 5093.50
FIRST FLUSH VOLUME = 2,259 CF
TOTAL VOLUME = 5,187 CF

PARKING LOT AREA TO BE UTILIZED FOR
TEMPORARY STORAGE DURING LESS
EVENT RAINFALL EVENTS
(MAX DEPTH (AT INLET GRATE) = 0.44')

BUILDING
44,421 S.F.
FF=5097.50

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

STA 0+54.31 ~ STRM-3
CONSTRUCT 45" BEND
INVERT 6" = 5091.75

BIORETENTION AREA 3
TOP = 5096.50
100-YR WSEL = 5095.18
FIRST FLUSH WSEL = 5092.80
BOTTOM = 5092.50
FIRST FLUSH VOLUME = 680 CF
TOTAL VOLUME = 1,767 CF
MAXIMUM OUTFLOW = 0.857 CFS

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

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TI = 5095.00
INVERT 6" OUT = 5094.01

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STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
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TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

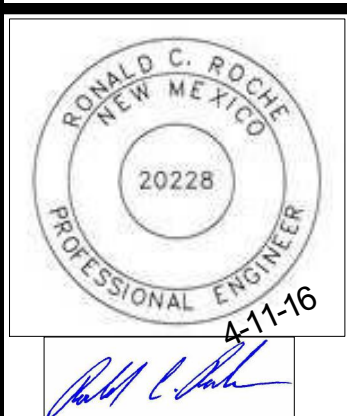
STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

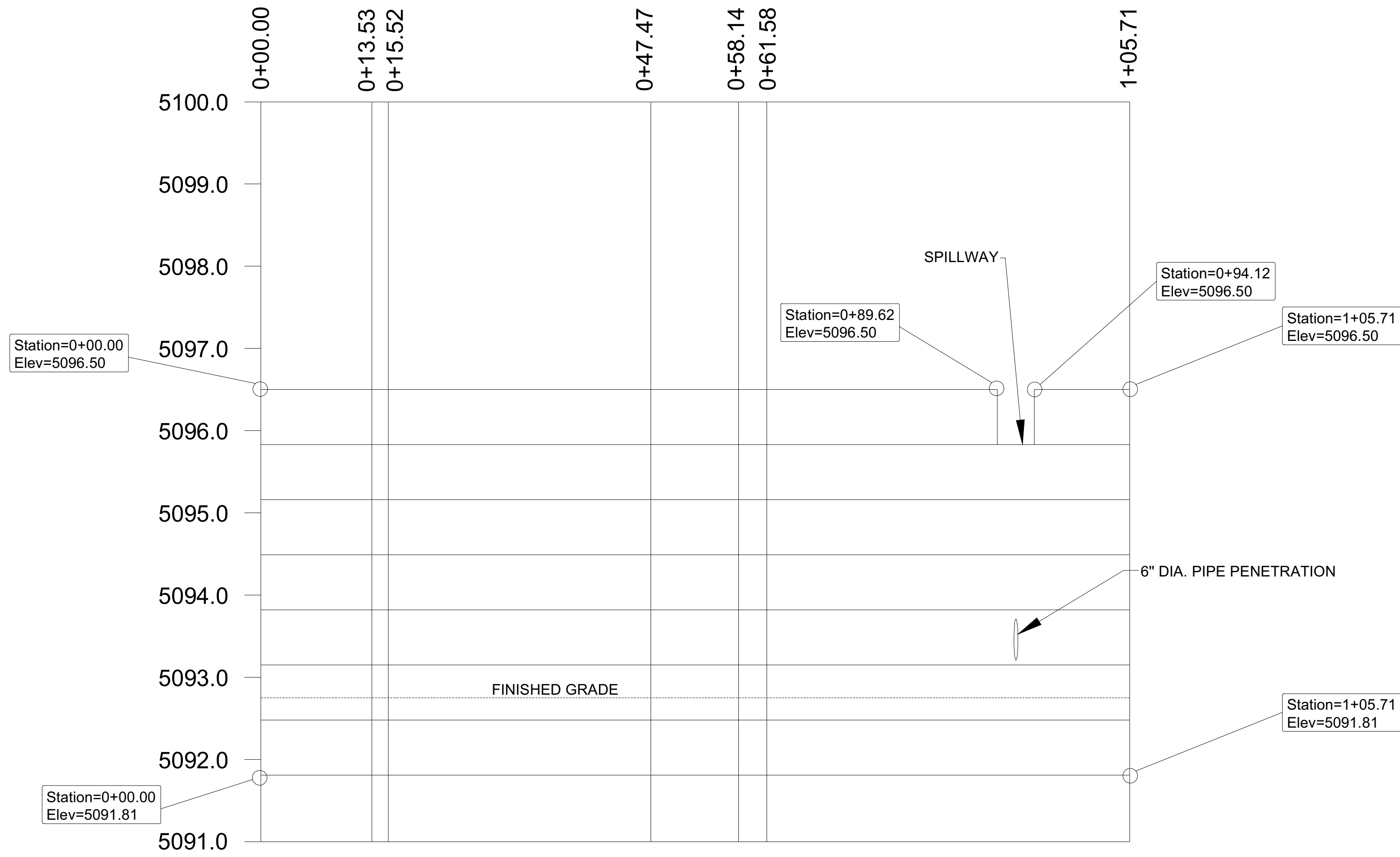
STA 0+01.83 ~ STRM-7
CONSTRUCT 2' x 2' GRATE INLET
TI = 5095.00
INVERT 6" OUT = 5094.01

ISSUES/REVISIONS		
NO	DATE	ISSUED FOR PERMIT REVISED PER CLIENT COMMENTS
0	1-31-17	
1	2-17-17	
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RETAINING WALL
MCDONALDS
1501 COORS BLVD.
ALBUQUERQUE, NEW MEXICO



PROJECT NUMBER: 17-1055-000
DRAWN BY: JJH
DATE: 2-17-17
SCALE: 1"= 20'
SHEET:
RW-1
RETAINING WALL



RETAINING WALL (RW-1)
(SEE SHEET RW-4 AND RW-5 FOR DETAILS AND NOTES)

(H) 1"=10'
(V) 1"=1'

NO	DATE	ISSUES/REVISIONS
0	1-31-17	ISSUED FOR PERMIT
1	2-17-17	REVISED PER CLIENT COMMENTS
2		
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Station=0+00.00
Elev=5096.50

RETAINING WALL
MCDONALDS
1501 COORS BLVD.
ALBUQUERQUE, NEW MEXICO

Station=1+05.71
Elev=5096.50

Station=0+00.00
Elev=5091.81

RONALD C. ROCHE
NEW MEXICO
20228
PROFESSIONAL ENGINEER

4-11-16

PROJECT NUMBER: 17-1055-000

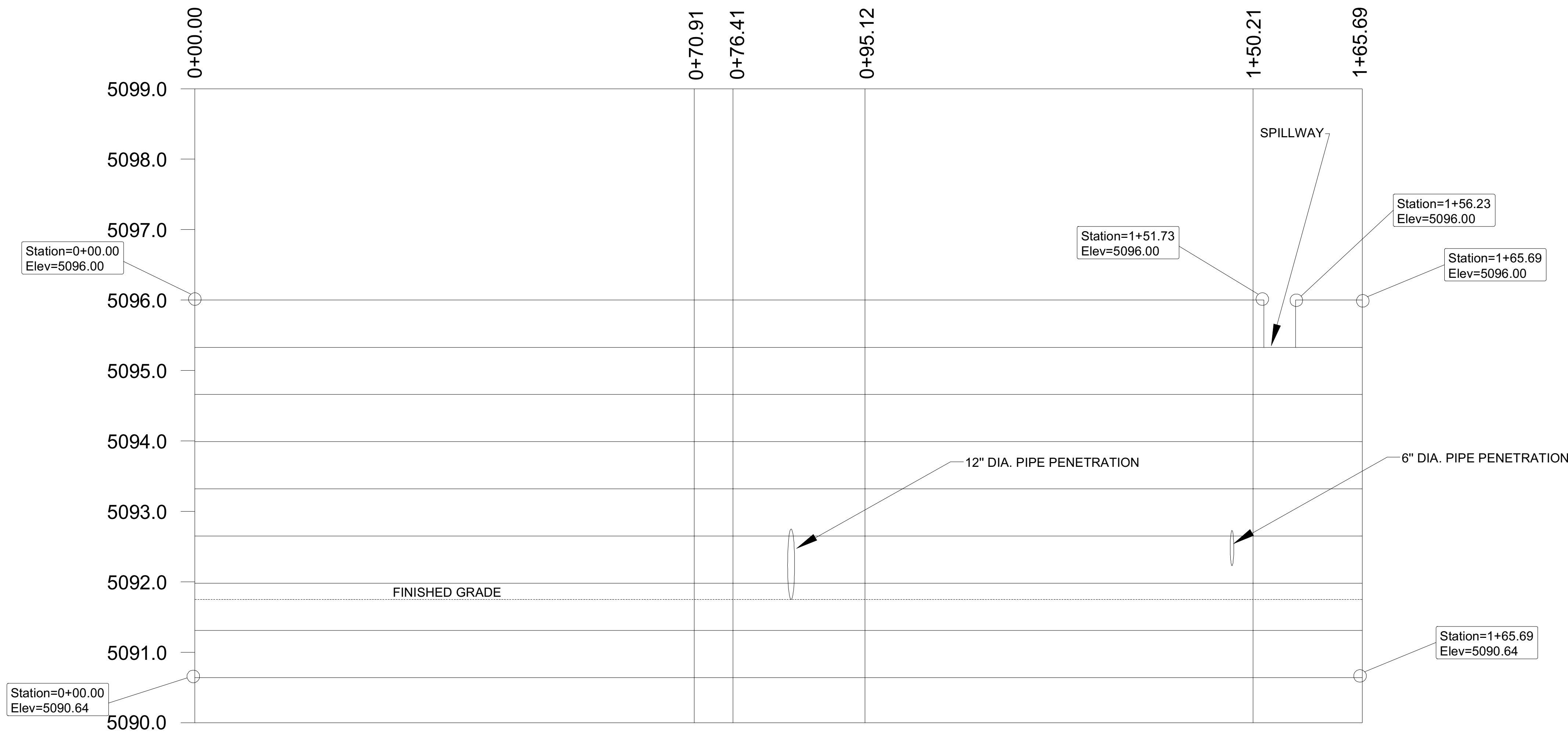
DRAWN BY: JJH

DATE: 2-17-17

SCALE: 1"= 20'

SHEET:

RW-2
RETAINING WALL



RETAINING WALL (RW-2)
(SEE SHEET RW-4 AND RW-5 FOR DETAILS AND NOTES)

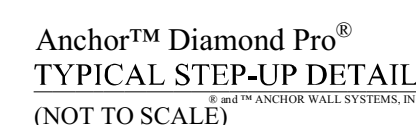
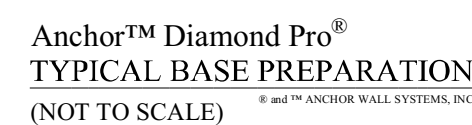
(H) 1"=10'
(V) 1"=1'

NO		DATE	ISSUES/REVISIONS
0		1-31-17	ISSUED FOR PERMIT
1		2-17-17	REVISED PER CLIENT COMMENTS
2			
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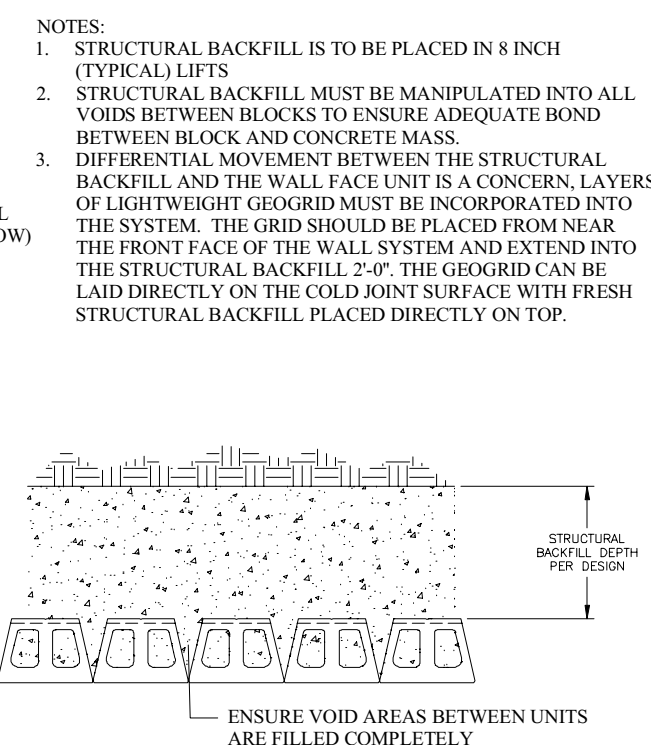
RETAINING WALL
MCDONALDS
1501 COORS BLVD.
ALBUQUERQUE, NEW MEXICO

RONALD C. ROCHE
NEW MEXICO
20228
PROFESSIONAL ENGINEER

4-11-16

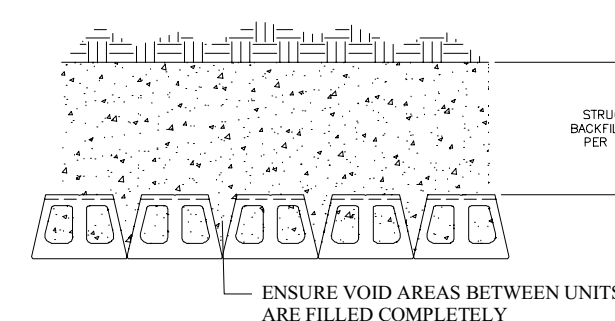


NOTE:
HANDRAIL & GUARDRAILS SHOULD BE DESIGNED TO RESIST A LOAD OF 50 PLF
APPLIED IN ANY DIRECTION AT TOP AND TO TRANSFER THIS LOAD THROUGH THE
SUPPORTS TO THE STRUCTURE AND TO RESIST A SINGLE CONCENTRATED LOAD
OF 200 LBS APPLIED IN ANY DIRECTION, (TYP.)



NOTES:

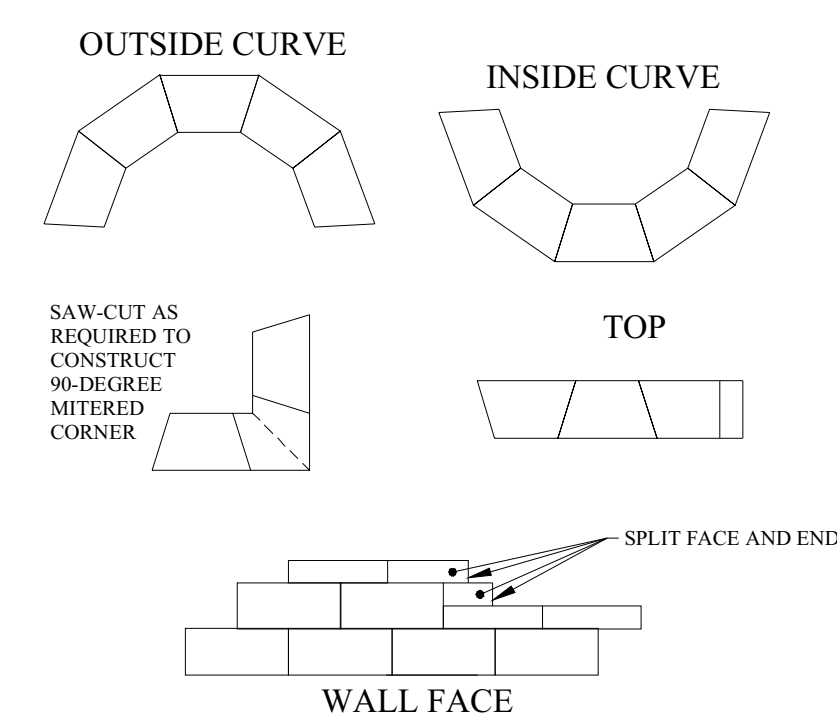
1. STRUCTURAL BACKFILL IS TO BE PLACED IN 8 INCH (TYPICAL) LIFTS
2. STRUCTURAL BACKFILL MUST BE MANIPULATED INTO ALL VOIDS BETWEEN BLOCKS TO ENSURE ADEQUATE BOND BETWEEN BLOCK AND CONCRETE MASS.
3. DIFFERENTIAL MOVEMENT BETWEEN THE STRUCTURAL BACKFILL AND THE WALL FACE UNIT IS A CONCERN. LAYERS OF LIGHTWEIGHT GEGRID MUST BE INCORPORATED INTO THE SYSTEM. THE GRID SHOULD BE PLACED FROM NEAR THE FRONT FACE OF THE WALL SYSTEM AND EXTEND INTO THE STRUCTURAL BACKFILL 2'-0". THE GEGRID CAN BE PLACED DIRECTLY ON THE OLD JOINT SURFACE WITH FRESH STRUCTURAL BACKFILL PLACED DIRECTLY ON TOP.



CLAY AND SILT SOIL	CLAY/CLAYEY SAND SOIL	CLEAN SAND AND GRAVEL SOIL
<p>H $\phi = 26^\circ$ $q = 120 \text{ psf (19 kN/m}^2\text{)}$</p> <p>4 Courses 2'-8" (800 mm)</p> <p>STRUCTURAL BACKFILL NOT REQUIRED</p>	<p>H $\phi = 30^\circ$ $\gamma = 120 \text{ psf (19 kN/m}^2\text{)}$</p> <p>4 Courses 2'-8" (800 mm)</p> <p>STRUCTURAL BACKFILL NOT REQUIRED</p>	<p>H $\phi = 34^\circ$ $\gamma = 120 \text{ psf (19 kN/m}^2\text{)}$</p> <p>4 Courses 2'-8" (800 mm)</p> <p>STRUCTURAL BACKFILL NOT REQUIRED</p>
<p>6 Courses 4'-0" (1200 mm)</p> <p>0.22 x Wall Length = CY of Structural Backfill</p>	<p>6 Courses 4'-0" (1200 mm)</p> <p>0.22 x Wall Length = CY of Structural Backfill</p>	<p>6 Courses 4'-0" (1200 mm)</p> <p>0.22 x Wall Length = CY of Structural Backfill</p>
<p>8 Courses 5'-4" (1600 mm)</p> <p>0.29 x Wall Length = CY of Structural Backfill</p>	<p>8 Courses 5'-4" (1600 mm)</p> <p>0.29 x Wall Length = CY of Structural Backfill</p>	<p>8 Courses 5'-4" (1600 mm)</p> <p>0.29 x Wall Length = CY of Structural Backfill</p>
<p>10 Courses 6'-8" (2000 mm)</p> <p>0.53 x Wall Length = CY of Structural Backfill</p>	<p>10 Courses 6'-8" (2000 mm)</p> <p>0.45 x Wall Length = CY of Structural Backfill</p>	<p>10 Courses 6'-8" (2000 mm)</p> <p>0.37 x Wall Length = CY of Structural Backfill</p>
<p>12 Courses 8'-0" (2400 mm)</p> <p>0.73 x Wall Length = CY of Structural Backfill</p>	<p>12 Courses 8'-0" (2400 mm)</p> <p>0.64 x Wall Length = CY of Structural Backfill</p>	<p>12 Courses 8'-0" (2400 mm)</p> <p>0.54 x Wall Length = CY of Structural Backfill</p>

STRUCTURAL TECHNICAL DATA			
Guideline Specifications			
Target Values	Design In-Place Unit Weight	112 lbs./ft ³ (Min)	
	Water-Cement Ratio (W/C)	0.3-0.5	
	Aggregate-Cement Ratio (A/C)	4.5: -6:1	
Cement	Percent Air Voids	15-25%	
	Percent Type I Portland Cement*	50% (Min)	
	Percent Fly Ash	50% (Max)	
Aggregate	Nominal Aggregate Size	3/8"-3/4"	
Admixture	As Needed		

* For sulfate resistance, use Type II or Type V Portland Cement



1. ALWAYS START CAPPING WALL FROM THE LOWEST ELEVATION.
2. LAY OUT CAPS PRIOR TO USING ADHESIVE.
3. CUT CAPS TO FIT. VARIOUS COMBINATIONS OF LONG- AND SHORT-CAP FACES WILL BE NECESSARY FOR RADII GREATER THAN THE MINIMUM.
4. ALTERNATE SHORT- AND LONG-CAP FACES EVERY OTHER CAP TO ACHIEVE A STRAIGHT ROW OF CAPS.
5. USE EXTERIOR-GRADE CONSTRUCTION ADHESIVE TO SECURE CAPS.

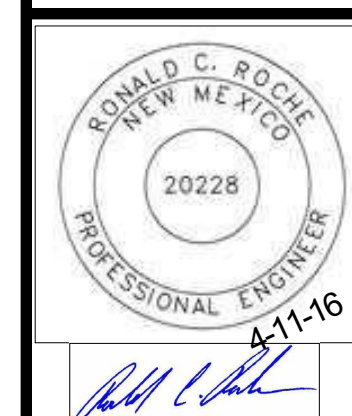
Anchor™ Diamond Pro Stone Cut™ Retaining Wall
X CAP BLOCK DETAILS
WX (SCALE: NONE)

GENERAL NOTES:

1. THE FOLLOWING SPECIFICATIONS ARE AN OUTLINE OF MINIMUM MATERIAL REQUIREMENTS AND THEIR APPLICATION. MANUFACTURER SPECIFICATION AND LOCAL CODE REQUIREMENTS, WHEN IN EXCESS OF MINIMUM SPECIFICATION, SHALL CONTROL. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW AND SUBMIT ALL SHOP DRAWINGS AND REPORT ALL DOCUMENT DISCREPANCIES TO THE STRUCTURAL ENGINEER PRIOR TO FABRICATION OR ERECTION.
2. AT CONSTRUCTION ISSUE, THESE DRAWINGS REPRESENT STRUCTURAL COMPONENTS IN THEIR FINAL AND FINISHED STATE. CONSTRUCTION PROCEDURES, METHODS, SAFETY PRECAUTIONS OR MECHANICAL REQUIREMENTS USED TO ERECT THEM ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR OR SUBCONTRACTOR DOING THE WORK.
3. FOR SOILS INFORMATION SEE TERRACON GEOTECHNICAL REPORT DATED 10/5/16
REPORT 66165139. CONTRACTOR SHALL PREPARE SITE IN STRICT ACCORDANCE WITH THE SOILS REPORT

NO	DATE	ISSUES/REVISIONS
0	1-31-17	ISSUED FOR PERMIT
1	2-17-17	REVISED PER CLIENT COMMENTS
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**RETAINING WALL
MCDONALDS
1501 COORS BLVD.
ALBUQUERQUE, NEW MEXICO**



PROJECT NUMBER: 17-1055-000

DRAWN BY: JH

DATE: 2-17-17

SCALE:

SHEET:

RW-4

RETAINING WALL DETAILS

1.01DESCRIPTION

1.02DEFINITIONS

B.Reinforced Fill: Soil which is used as fill behind the SRW unit and within the reinforced soil mass (if applicable).

D. Geotextile Separation Fabric: Material used for separation and filtration of dissimilar soil types.

H. Geosynthetic Reinforcement: Polymeric material designed specifically to reinforce the soil mass.

M. Project Geotechnical Engineer: A registered engineer who provides site observations, recommendations for foundation support/global stability, and verifies soil shear strength parameters.

D.Geosynthetics (including geosynthetic reinforcement, geotextile filter, pre-fabricated drainage composite) shall be delivered, stored, and handled in accordance with ASTM D4873.

2.01 MATERIALS

a. Base Thickness: 6 inches (minimum compacted thickness).
2. Concrete Base: Non-reinforced lean concrete base.
a. Compressive Strength: 3,000 psi (maximum).
b. Base Thickness: At least 2 inches.

PART 3 – EXECUTION

C. Verify the location of existing structures and utilities prior to excavation.

A.Ensure surrounding structures are protected from the effects of wall excavation.

3.03 EXCAVATION

3.04 FOUNDATION PREPARATION

D.Fill over-excavated areas with suitable compacted backfill, as recommended by the Project geotechnical engineer.

C.Prepare base materials to ensure complete contact with SRW units. Gaps are not allowed.

C.Ensure that foundation units are in full contact with the leveling pad.

F. Install drainage pipe at the lowest elevation possible to maintain gravity flow of water to outside of the reinforced zone. Slope the main collection drainage pipe 2 percent (minimum) to provide gravity flow to the daylighted areas. Daylight the main collection drainage pipe through the face of the wall, and/or to an appropriate location away from the wall system at each low point or at 8 foot (maximum) intervals along the wall. Alternately, the drainage pipe can be connected to a storm sewer system.

3.07BACKFILL PLACEMENT

B. Place fill within the reinforced zone and compact in lifts not exceeding 6 inches (loose thickness) where hand-operated compaction equipment is used, and not exceeding 12 inches (loose thickness) where heavy, self-propelled compaction equipment is used.

1. Only lightweight hand-operated compaction equipment is allowed within 3 feet of the back of the retaining wall units. If the specified compaction cannot be achieved within 3 feet of the back of the retaining wall units, replace the reinforced soil in this zone with drainage aggregate material.

C. Compaction testing shall be done in accordance with ASTM D1556 or ASTM D2922.

D. Minimum Compaction Requirements for Fill Placed in the Reinforced and Retained Zone.

1. The minimum compaction requirement shall be determined by the project geotechnical engineer testing the compaction. At no time shall the soil compaction requirements be less than 95 percent of the soil's standard Proctor maximum dry density (ASTM D698) for the entire wall height.
2. Utility Trench Backfill: Compact utility trench backfill in or below the reinforced soil zone to 98 percent of the soil's standard Proctor maximum dry density (ASTM D698, or as recommended by the Project geotechnical engineer. If the height from the utility to finish grade is higher than 30 feet, increase compaction to 100 percent of the standard Proctor density.
 - a. Utilities must be properly designed (by others) to withstand all forces from the retaining wall units, reinforced soil mass, and surcharge loads, if any.
3. Moisture Content: Within 2 percentage points of the optimum moisture content for all wall heights.
4. These specifications may be changed based on recommendations by the Project geotechnical engineer.

E. At the end of each day's operation, slope the last level of compacted backfill away from the interior (concealed) face of the wall to direct surface water runoff away from the wall face.

1.The Contractor is responsible for ensuring that the finished site drainage is directed away from the retaining wall system.

2.In addition, the Contractor is responsible for ensuring that surface water runoff from adjacent construction areas is not allowed to enter the retaining wall area of the construction site.

F.Refer to Article 3.10 for compaction testing.

3.08CAP UNIT INSTALLATION

A. Apply adhesive to the top surface of the SRW unit below and place the cap unit into desired position.

B. Cut cap SRW units as necessary to obtain the proper fit.

C.Backfill and compact to top of SRW unit.

3.09 SITE CONSTRUCTION TOLERANCES

A. Site Construction Tolerances

1. **Vertical Prol Alignment:** Plus or minus 1-1/2 inches over any 10-foot distance, with a maximum differential of 3 inches over the length of the wall.
2. **Horizontal Location Control from Grading Plan**
 - a. **Straight Lines:** Plus or minus 1-1/2 inches over any 10-foot distance.
 - b. **Corner and Radius Locations:** Plus or minus 12 inches.
 - c. **Curves and Serpentine Radii:** Plus or minus 2 feet.
3. **Immediate Post Construction Wall Batter:** Within 2 degrees of the design batter of the concrete retaining wall units.
4. **Bulging:** Plus or minus 1-1/4 inches over any 10-foot distance.

3.10 FIELD QUALITY CONTROL

A. Installer is responsible for quality control of installation of system components.

B. Perform compaction testing of the reinforced backfill placed and compacted in the reinforced backfill zone.

1. Testing Frequency

a. One test for every 1 foot of fill placed and compacted, for every 50 lineal feet of retaining wall.

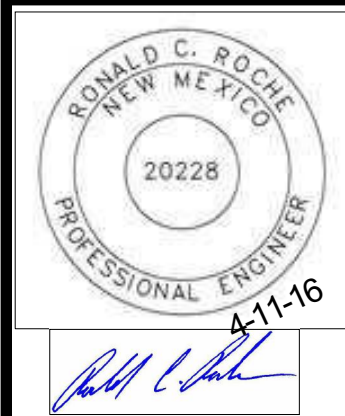
b. Vary compaction test locations to cover the entire area of the reinforced soil zone, including the area compacted by the hand-operated compaction equipment.

3.11ADJUSTING AND CLEANING

A. Replace damaged SRW units with new units as the work progresses.

B.Remove debris caused by wall construction and leave adjacent paved areas broom clean.

**RETAINING WALL
MCDONALDS**
1501 COORS BLVD.
ALBUQUERQUE, NEW MEXICO



PROJECT NUMBER: 17-1055-0005

DRAWN BY: JJH

DATE: 2-17-17

SCALE:

SHEET:

RW-5

RETAINING WALL NOTES