CITY OF ALBUQUERQUE

Planning Department David Campbell, Director



Mayor Timothy M. Keller

September 25, 2018

Jackie McDowell McDowell Engineering, Inc. 7820 Beverly Hills Ave. NE Albuquerque, NM 87122

5046 Valle Del Sol Rd. NW RE:

Grading and Drainage Plan Engineer's Stamp Date: 09/07/18

Hydrology File: J11D038

Dear Ms. McDowell:

Based upon the information provided in your submittal received 09/10/2018, the Grading Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

Albuquerque

PO Box1293

NM 87103

www.cabq.gov

- 1. Currently the design does not follow the Flat Grading Scheme outlined in the DPM. Please follow Chapter 22 Section 5.G (Flat Grading Scheme). The following conditions must be applied to the site:
 - a. The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
 - b. Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day storm water surface elevation.
 - c. The flow between the front yard and back yard cannot be obstructed. The storm water must be allowed to equalize to the same level between the front yard and back yard.
 - d. A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.
 - e. The high point of the street should be four inches above the 100 year 10-day storm water surface elevation.
- 2. Also a retention pond is required. The required volume = (3.67 in. X impervious area / (12in/ft)). The location with elevation of pond and the calculation of both the required and actual volume needs to be shown on the Grading Plan.

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3. Please place gravel and slope the hammer head on this project's property at least. Transportation may want the entire hammer head built. This is for the Fire Department. The area of this graveled hammer head needs to be included in the Type C soil in the calculations.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette, P.E. CFM Senior Engineer, Hydrology

Renée C. Brissette

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Planning Department

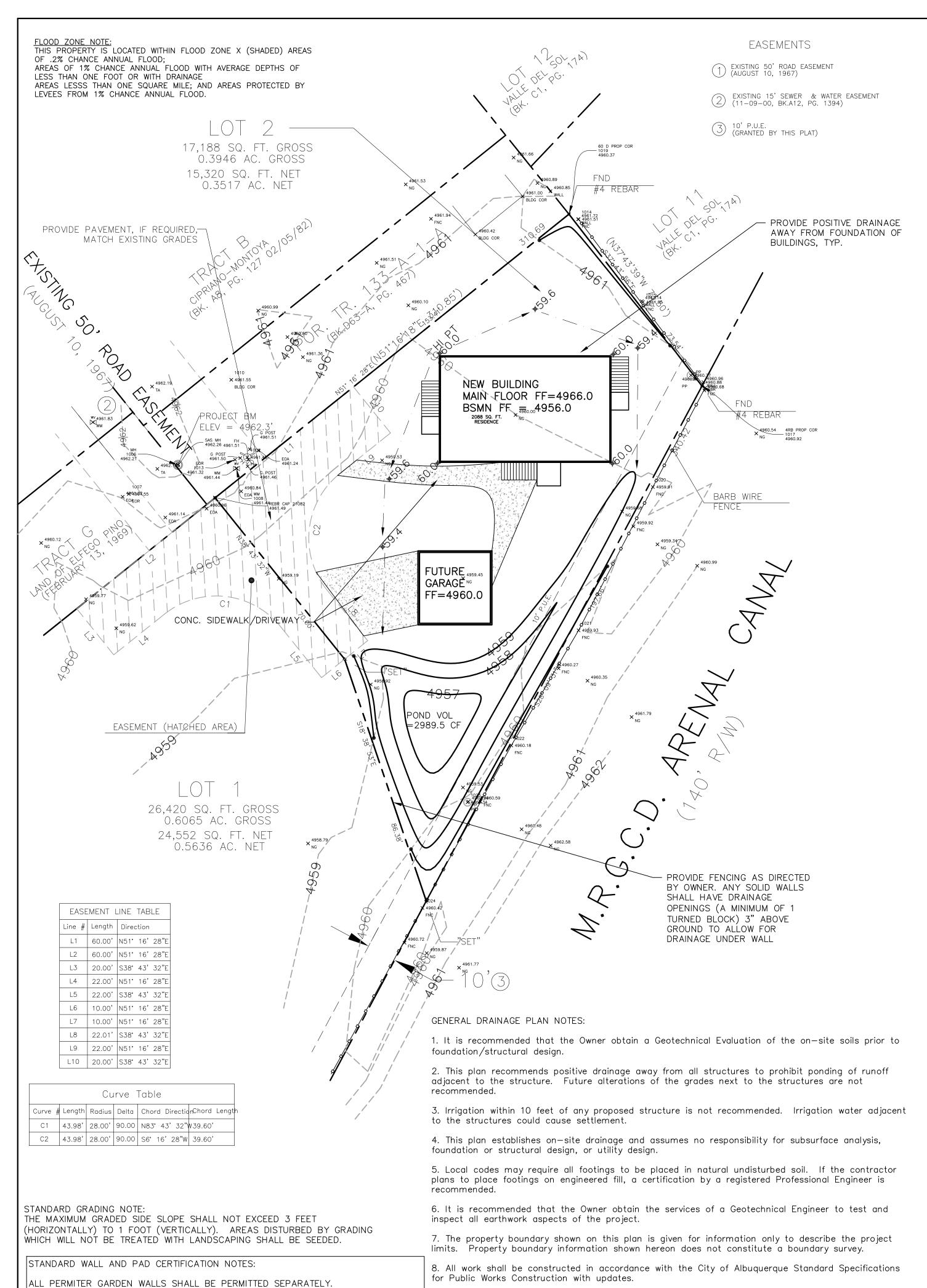
Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title:	Building Per	rmit #: Hydrology File #:			
PRB#:EPC#:		Work Order#:			
Legal Description:					
City Address:					
Applicant:		Contact:			
Address:					
		E-mail:			
Other Contact:		Contact:			
Address:					
		E-mail:			
Check all that Apply:		IS THIS A RESUBMITTAL?: Yes No			
DEPARTMENT:		TYPE OF APPROVAL/ACCEPTANCE SOUGHT: BUILDING PERMIT APPROVAL CERTIFICATE OF OCCUPANCY PRELIMINARY PLAT APPROVAL SITE PLAN FOR SUB'D APPROVAL SITE PLAN FOR BLDG. PERMIT APPROVAL FINAL PLAT APPROVAL SIA/ RELEASE OF FINANCIAL GUARANTEE FOUNDATION PERMIT APPROVAL GRADING PERMIT APPROVAL SO-19 APPROVAL PAVING PERMIT APPROVAL GRADING/ PAD CERTIFICATION WORK ORDER APPROVAL CLOMR/LOMR FLOODPLAIN DEVELOPMENT PERMIT OTHER (SPECIFY)			
DATE SUBMITTED:	_ By:				

COA STAFF: ELECTRONIC SUBMITTAL RECEIVED:___

FEE PAID:_____



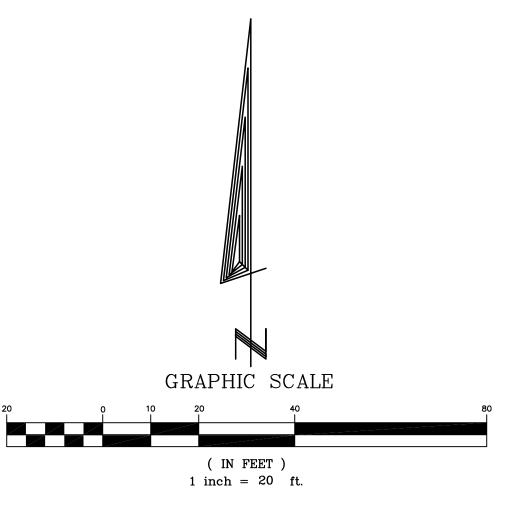
A PAD CERTIFICATION MAY BE REQUIRED BEFORE THE BUILDING PERMIT IS RELEASED.

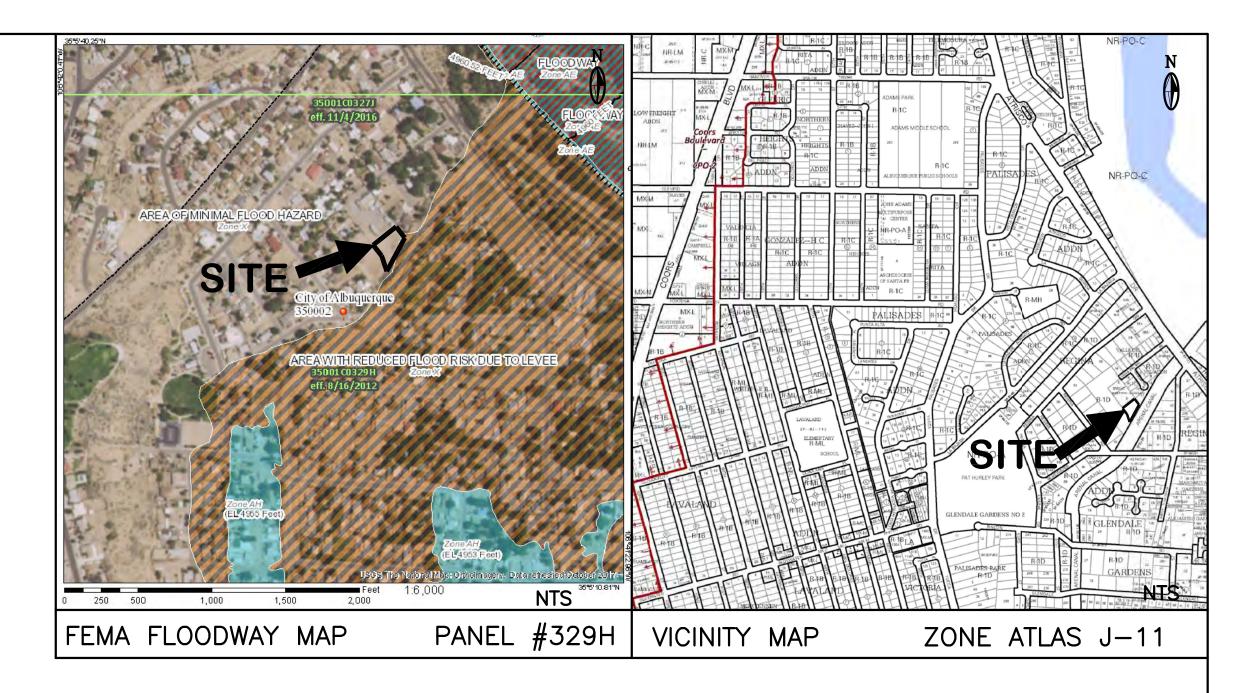
9. All work on this project shall be performed in accordance with applicable Federal, State, and Local laws, rules, and regulations concerning construction safety and health.

construction.

10. Contactor shall ensure that no site soils/sediment or silt enters the righ-of-ways during

11. Areas disturbed due to construction shall be restored per City of Albuquerque Spec. 1012 native





DRAINAGE PLAN

SCOPE:

Pursuant to the latest City of Albuquerque and Bernalillo County Ordinances, the Drainage Plan shown hereon outlines the drainage management criteria for controlling developed runoff on and exiting the project site. A single family home is proposed for the site with associated parking, access, landscaping, and utility improvements.

EXISTING CONDITIONS:

Presently, the 0.39 acre site is undeveloped. The site is bounded on the northwest, northeast, and southwest by private property, and on the southeast by MRGCD Arenal Canal. The site is relatively level. As shown on FEMA Panel #329H, dated August 16, 2012, the site is not located in a 100 year flood plain.

PROPOSED CONDITIONS:

Current COA Drainage Ordinance requires a "Flat Grading Scheme" for this area in the City. A pond has been provided to store the runoff from this site. As shown by the plan, the building is located in the center of the lot. Off-site flows enter the site from the west. On site flows will drain around the structures via swales, and flow to the southeast to the retention pond. All roof drainage will discharge from the roof to the lot and be directed around the structures to the drainage paths and pond.

Supplemental calculations are shown as part of this Grading and Drainage plan.

CALCULATIONS:

The calculations shown hereon define the 100 year—6 hour design storm falling within the project area under existing and developed conditions. The Hydrology is per "Section 22.2, Hydrology of the Development Process Manual, Volume 2, Design Criteria, for the City of Albuquerque, New Mexico in cooperation with Bernalillo County, New Mexico and the Albuquerque Metropolitan Arroyo Flood Control Authority.

PROPERTY ADDRESS:

5046 Valle del Sol Rd. NW, Albuquerque, NM 87105

TOPOGRAPHY:

Topographic information provided by David Acosta, PS, CTSI (Construction Survey Technologies, Inc.) August, 2018.

ZONE 1					POND VOLUME PROVIDED:		
					ELEV.	AREA	VOL. (CF)
Areas: (acres)					4959	2835	
. ,		Existing	Proposed				2083
Treatment A		0.39	0.00		4958	1331	
Treatment B		0.00	0.10				906.5
Treatment C		0.00	0.14		4957	482	
Treatment D		0.00	0.15				
	Total (acres) =	0.39	0.39			TOTAL	2989.5
Volumo		100 year	100 мозг	10 year	10 year	2 1/025	2 1/021
Volume		100 year	100 year	10 year	10 year	2 уеаг	2 year
		Existing	Proposed	Existing	Proposed	Existing	Proposed
	Volume (acre-feet) =	0.014	0.042	0.003	0.022	0.000	0.010
	Volume (cubic feet) =	623	1,819	113	979	0	457
Total Q(p), cfs:							
-(17)		100 year	100 year	10 year	10 year	2 year	2 year
		Existing	Proposed	Existing	Proposed	Existing	Proposed
		Q(p)*A	Q(p)*A	Q(p)*A	Q(p)*A	Q(p)*A	Q(p)*A
Treatment A		0.50				0.00	0.00
Treatment B		0.00	0.20	0.00	0.08	0.00	0.0
Treatment C		0.00				0.00	
Treatment D		0.00	0.66	0.00	0.43	0.00	0.29

POND VOLUME REQUIRED: V (10 day) = V (360) + A (D) * (P10day-P360)/12 in/ft =

LEGEND **EXISTING** PROPOSED _ *_ _ _ _ 6*045 *_ _ _ _ _ _* _______ SPOT ELEVATION



ENGINEER'S CERTIFICATION:

I, Jackie S. McDowell, hereby certify that I personally inspected the site shown on this plan on August 21, 2018 and as of that date it appeared that no filling, grading, or excavation had occurred thereon since completion of the topographic survey used to prepare this plan.

5046 Valle del Sol Rd. NW, Albuquerque, NM 87105

CITY OF ALBUQUERQUE, BERNALILLO COUNTY NEW MEXICO LOT 2, PLAT OF LOTS 1-2LANDS OF MCDONALD

MCDONALD - GRADING & DRAINAGE PLAN

TELE: 505-828-2430 • FAX: 505-821-4857

McDowell Engineering, 9nc.

Checked JSM Drawn STAFF MCD0118L AUGUST.2018

Total Q (cfs) = 0.09 0.72 0.00 0.0601 ac-ft

PROPERTY LINE WALLS AND GARDEN

WALLS SHALL HAVE TURNED BLOCKS

FOR DRAINAGE. ALL OPENINGS IN

THE WALLS SHALL BE 3" ABOVE

GRADE, TYP.