

CITY OF ALBUQUERQUE

Planning Department
David Campbell, Director



Mayor Timothy M. Keller

September 25, 2018

Jackie McDowell
McDowell Engineering, Inc.
7820 Beverly Hills Ave. NE
Albuquerque, NM 87122

RE: 5046 Valle Del Sol Rd. NW
Grading and Drainage Plan
Engineer's Stamp Date: 09/07/18
Hydrology File: J11D038

Dear Ms. McDowell:

Based upon the information provided in your submittal received 09/10/2018, the Grading Plan is **not** approved for Building Permit. The following comments need to be addressed for approval of the above referenced project:

1. Currently the design does not follow the Flat Grading Scheme outlined in the DPM. Please follow Chapter 22 Section 5.G (Flat Grading Scheme). The following conditions must be applied to the site:
 - a. The maximum percent impervious of the lot and the contributing area may not be greater than 45%.
 - b. Pad elevation shall be a minimum of one (1) foot above the 100 year 10-day storm water surface elevation.
 - c. The flow between the front yard and back yard cannot be obstructed. The storm water must be allowed to equalize to the same level between the front yard and back yard.
 - d. A permanent perimeter wall or barrier around the development is required to contain the 100 year 24 hour storm developed runoff.
 - e. The high point of the street should be four inches above the 100 year 10-day storm water surface elevation.
2. Also a retention pond is required. The required volume = (3.67 in. X impervious area / (12in/ft)). The location with elevation of pond and the calculation of both the required and actual volume needs to be shown on the Grading Plan.

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3. Please place gravel and slope the hammer head on this project's property at least. Transportation may want the entire hammer head built. This is for the Fire Department. The area of this graveled hammer head needs to be included in the Type C soil in the calculations.

If you have any questions, please contact me at 924-3995 or rbrissette@cabq.gov.

Sincerely,

Renée C. Brissette

Renée C. Brissette, P.E. CFM
Senior Engineer, Hydrology
Planning Department

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City of Albuquerque

Planning Department

Development & Building Services Division

DRAINAGE AND TRANSPORTATION INFORMATION SHEET (REV 3/2018)

Project Title: _____ **Building Permit #:** _____ **Hydrology File #:** _____

DRB#: _____ **EPC#:** _____ **Work Order#:** _____

Legal Description: _____

City Address: _____

Applicant: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Other Contact: _____ **Contact:** _____

Address: _____

Phone#: _____ **Fax#:** _____ **E-mail:** _____

Check all that Apply:

IS THIS A RESUBMITTAL?: ____ Yes ____ No

DEPARTMENT:

____ HYDROLOGY/ DRAINAGE
____ TRAFFIC/ TRANSPORTATION

TYPE OF SUBMITTAL:

____ ENGINEER/ARCHITECT CERTIFICATION
____ PAD CERTIFICATION
____ CONCEPTUAL G & D PLAN
____ GRADING PLAN
____ DRAINAGE MASTER PLAN
____ DRAINAGE REPORT
____ FLOODPLAIN DEVELOPMENT PERMIT APPLIC
____ ELEVATION CERTIFICATE
____ CLOMR/LOMR

____ TRAFFIC CIRCULATION LAYOUT (TCL)
____ TRAFFIC IMPACT STUDY (TIS)

____ OTHER (SPECIFY) _____
____ PRE-DESIGN MEETING?

TYPE OF APPROVAL/ACCEPTANCE SOUGHT:

____ BUILDING PERMIT APPROVAL
____ CERTIFICATE OF OCCUPANCY

____ PRELIMINARY PLAT APPROVAL
____ SITE PLAN FOR SUB'D APPROVAL
____ SITE PLAN FOR BLDG. PERMIT APPROVAL
____ FINAL PLAT APPROVAL

____ SIA/ RELEASE OF FINANCIAL GUARANTEE
____ FOUNDATION PERMIT APPROVAL
____ GRADING PERMIT APPROVAL
____ SO-19 APPROVAL
____ PAVING PERMIT APPROVAL
____ GRADING/ PAD CERTIFICATION
____ WORK ORDER APPROVAL
____ CLOMR/LOMR
____ FLOODPLAIN DEVELOPMENT PERMIT
____ OTHER (SPECIFY) _____

DATE SUBMITTED: _____ **By:** _____

COA STAFF:

ELECTRONIC SUBMITTAL RECEIVED: _____

FEE PAID: _____

